



CITY OF MANSFIELD

1200 E. Broad St.
Mansfield, TX 76063
mansfieldtexas.gov

Meeting Agenda - Final

Planning and Zoning Commission

Monday, April 5, 2021

6:00 PM

City Hall Council Chambers

PARTICIPATION IN THIS MEETING WILL BE AVAILABLE IN PERSON OR BY VIDEO CONFERENCING. To participate by video, please register at

https://mansfieldtexas.zoom.us/webinar/register/WN_ns5TWzqlS_a4zOQ9JnNNeg

by 6:00 pm on Monday, April 5, 2021 or join by telephone at 1-888-788-0099 (Toll Free). When you call into the meeting, provide the Webinar ID number and password below:

Webinar ID: 979 9232 8465

Passcode: 026404

Citizen comments on any agenda item for the April 5, 2021, Planning and Zoning Commission meeting may be submitted by email at planning@mansfieldtexas.gov. All comments must be received by 12:00 noon, Monday, April 5, 2021, for presentation to the Commissioners prior to the meeting

1. CALL TO ORDER

2. APPROVAL OF MINUTES

[21-4005](#) Minutes - Approval of the March 15, 2020 Planning and Zoning Committee Meeting Minutes

Attachments: [Meeting Minutes 03-15-2021pdf.pdf](#)

3. CITIZENS COMMENTS

Citizens wishing to address the Commission on non-public hearing agenda items and items not on the agenda may do so at this time. Once the business portion of the meeting begins, only comments related to public hearings will be heard. All comments are limited to 5 minutes. Please refrain from "personal criticisms".

In order to be recognized during the "Citizens Comments" or during a public hearing (applicants included), please complete a blue "Appearance Card" located at the entry to the Chambers and present it to the Planning Secretary.

4. PUBLIC HEARINGS

[21-4004](#)

SUP#21-001: Public hearing for a request for a Specific Use Permit for

apartments on approximately 12.869 acres out of the E. McAnear Survey, Abstract No. 1005, Tarrant County, TX, located at the southeast corner of Regency Pkwy. and Nahvi Rd.; Ryan Conway of JLB Partners (developer) on behalf of Mike Sellers of First Baptist Church, Michael P. Collini, and John C. Arnold of Fifteen Oaks Mansfield, L.P. (owners)

Attachments: [Maps and Supporting Information.pdf](#)

[Exhibit A - Property Description.pdf](#)

[Exhibit B - Site Plan.pdf](#)

[Exhibit C - Elevations & Perspectives.pdf](#)

[Exhibit D - Landscape Plan.pdf](#)

[Exhibit E - Signage Plan.pdf](#)

[21-4006](#)

ZC#21-003: Public hearing for a change of zoning from PR Pre-Development District to PD Planned Development District for single-family residential uses on approximately 4 acres out of the Ray Grevious Survey, Abstract No. 1307, Tarrant County, TX, located at 2349 N. Holland Rd.; Jeff Linder of Bannister Engineering (engineer) on behalf of Mouaz Allababidi of Allababidi Foundation, LLC (owner)

Attachments: [Maps and Supporting Information.pdf](#)

[Exhibit A - Property Description.pdf](#)

[Exhibit B -Development Plan.pdf](#)

[Exhibit C - Enhanced Entryway Plan.pdf](#)

[Exhibit D - Landscape and Screening Plan.pdf](#)

[Exhibit E - Residential Elevations.pdf](#)

[Driveway Acceptance Letter.pdf](#)

[Letter of Opposition.pdf](#)

5. OTHER AGENDA ITEMS

[21-4010](#)

SD#20-026: Final Plat of Somerset Addition, Phase III, on 53.744 acres located at 2201 Chambers Street by Bloomfield Homes, L.P., owner/developer; and LJA Surveying, surveyor

Attachments: [Location Map.pdf](#)

[Letter of Request.pdf](#)

[Approved Preliminary Plat.pdf](#)

[Final Plat.pdf](#)

6. COMMISSION ANNOUNCEMENTS

7. STAFF ANNOUNCEMENTS

8. ADJOURNMENT OF MEETING

9. NEXT MEETING DATE: Monday, April 19, 2021

I certify that the above agenda was posted on the bulletin board next to the main entrance of City Hall on April 1, 2021 in accordance with Chapter 551 of the Texas Government Code.

Jennifer Johnston, Development Coordinator

* This building is wheelchair accessible. Disabled parking spaces are available. Request for sign interpreter services must be made 48 hours ahead of meeting to make arrangements. Call 817 473-0211 or TDD 1-800-RELAY TX,

* In deciding a zoning change application, the Planning & Zoning Commission and City Council are required to determine the highest and best use of the property in question. The Commission may recommend and the Council may approve a change in zoning to the category or district requested by the applicant or to any zoning category or district of lesser intensity. Notice is presumed sufficient for every District up to the intensity set forth in the zoning change application.



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STAFF REPORT

File Number: 21-4005

Agenda Date: 4/5/2021

Version: 1

Status: Approval of Minutes

In Control: Planning and Zoning Commission

File Type: Meeting Minutes

Title

Minutes - Approval of the March 15, 2020 Planning and Zoning Committee Meeting Minutes

Description/History

The minutes of the March 15, 2020 Planning and Zoning Committee are in DRAFT form and will not become effective until approved by the Committee at this meeting.



CITY OF MANSFIELD

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Meeting Minutes - Draft

Planning and Zoning Commission

Monday, March 15, 2021

6:00 PM

City Hall Council Chambers

This meeting was open to the public and conducted by video conferencing with access to the public

1. CALL TO ORDER

Chairman Knight called the meeting to order at 6:00 p.m. in the City Council Chambers of City Hall, 1200 East Broad Street, with the meeting being open to the public and notice of said meeting, giving date, place, and subject thereof, having been posted as prescribed by Chapter 551, Texas Government Code. Commissioner Mainer attended virtually.

Staff:

Matt Jones, Director of Planning and Development

Andrew Bogda, Planner

Jennifer Johnston, Development Coordinator

Commissioners:

Absent 1 - Justin Gilmore

Present 6 - Anne Weydeck; Blake Axen; Kent Knight; Stephen Groll; David Goodwin and Michael Mainer

2. APPROVAL OF MINUTES

21-3989 Minutes - Approval of the March 1, 2020 Planning and Zoning Committee Meeting Minutes

Commissioner Groll made a motion to approve the March 01, 2020 minutes as presented. Commissioner Goodwin seconded the motion which carried by the following vote:

Aye: 6 - Anne Weydeck; Blake Axen; Kent Knight; Stephen Groll; David Goodwin and Michael Mainer

Nay: 0

Absent: 1 - Justin Gilmore

Abstain: 0

3. CITIZENS COMMENTS

None

4. PUBLIC HEARINGS

21-3985

SD#21-003: Public hearing on a replat to create Lots 42R1 and 42R2, Cresson Ranch Estates on 5.945 acres located at 2900 Jessica Drive; Bannister Engineering, Inc., engineer/surveyor; Gabriel and Deyanira Gaona, owner

Michael Davis, Bannister Engineering, was present on behalf of the applicant to answer any questions.

Chairman Knight opened the public hearing and called for anyone wishing to speak to come forward.

Seeing no one come forward to speak, Chairman Knight closed the public hearing

After discussion, Vice-Chairman Axen made a motion to approve the replat as presented. Commissioner Weydeck seconded the motion which carried by the following votes:

Aye: 6 - Anne Weydeck; Blake Axen; Kent Knight; Stephen Groll; David Goodwin and Michael Mainer

Nay: 0

Absent: 1 - Justin Gilmore

Abstain: 0

21-3990

ZC#21-001: Public hearing continuation for a change of zoning from PR Pre-Development District to PD Planned Development for retail plant nursery, wholesale plant nursery, and single-family residential uses on approximately 5.15 acres out of the Margaret Rockerfellow Survey, Abstract No. 1267, Tarrant County, TX, located at 1573 Newt Patterson Rd.; Michael Wilson of Bannister Engineering (landscape architect) on behalf of Magdaleno I. Pacheco of Leno's Plant Farm (owner/developer)

Mr. Bodga gave a brief PowerPoint presentation and was available for questions. Carina Pacheco, the applicant, and Michael Wilson, Bannister Engineering, were also available for questions.

Chairman Knight opened the public hearing and called for anyone wishing to speak to come forward.

Laurie McGee, of 898 Newt Patterson Rd., spoke in support of the zoning change.

Seeing no others come forward to speak, Chairman Knight closed the public hearing.

After discussion, Commissioner Groll made a motion to recommend approval of the zoning change with the staff recommendation of removing the gate and fence at Newt Patterson Rd. Commissioner Weydeck seconded the motion which carried by the following vote:

Aye: 6 - Anne Weydeck; Blake Axen; Kent Knight; Stephen Groll; David Goodwin and Michael Mainer

Nay: 0

Absent: 1 - Justin Gilmore

Abstain: 0

5. COMMISSION ANNOUNCEMENTS

None

6. STAFF ANNOUNCEMENTS

None

7. ADJOURNMENT OF MEETING

With no further business, Chairman Knight adjourned the meeting at 6:27 p.m.

Vice-Chairman Axen made a motion to adjourn the meeting. Commissioner Goodwin seconded the motion which carried by the following vote:

Aye: 6 - Anne Weydeck; Blake Axen; Kent Knight; Stephen Groll; David Goodwin and Michael Mainer

Nay: 0

Absent: 1 - Justin Gilmore

Abstain: 0

Kent Knight, Chairman

Jennifer Johnston, Development Coordinator



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STAFF REPORT

File Number: 21-4004

Agenda Date: 4/5/2021

Version: 1

Status: Public Hearing

In Control: Planning and Zoning Commission

File Type: Zoning Case

Agenda Number:

Title:

SUP#21-001: Public hearing for a request for a Specific Use Permit for apartments on approximately 12.869 acres out of the E. McAnear Survey, Abstract No. 1005, Tarrant County, TX, located at the southeast corner of Regency Pkwy. and Nahvi Rd.; Ryan Conway of JLB Partners (developer) on behalf of Mike Sellers of First Baptist Church, Michael P. Collini, and John C. Arnold of Fifteen Oaks Mansfield, L.P. (owners)

Description/History

Existing Use: Vacant Land

Existing Zoning: PD Planned Development

Surrounding Land Use & Zoning:

North - Vacant land, PD

South - Assisted senior living facility, PD

East - Vacant land, PD

West - Regency Pkwy; vacant land & professional offices (PD) across the street

Thoroughfare Plan Specification:

Regency Pkwy. - major collector (four-lane undivided)

Nahvi Rd. - minor collector (three-lane undivided)

Street along east perimeter - minor collector (three-lane undivided)

Comments and Considerations

The subject property consists of 12.869 acres of vacant land on the east side of Regency Parkway and the south side of future Nahvi Road (an extension of Robert Road). The property is located in the Workplace Sub-District of The Reserve, which is intended to provide opportunities for employment-related land uses including commercial and office, as well as multi-family residential and supporting service-related uses.

The applicant is requesting a Specific Use Permit for 356 apartment units. The Workplace Sub-District allows a maximum of 1,024 residential dwelling units. Urban Living Phase 1 (under construction) has already taken 295 units. If this development is approved, 373 units will remain available in this sub-district.

Site Plan

The applicant plans to develop an urban-style multi-family residential development called JLB Mansfield. Of the 12.869 total acres, the apartment development will be constructed

on 10.475 acres, with the balance of the property to be dedicated as public right-of-way for new streets along the north and east perimeter of the development. The street along the north side of the development will be called Nahvi Road, which is an extension of Robert Road. Nahvi Road was identified in a previously-approved preliminary plat and was named after a local veteran (U.S. Army Spc. Russell Nahvi) who was killed in action in the War on Terror. The street on the east side remains unnamed and the applicant will construct the west half of the street located on their property. A private drive will run north-south through the center of the development to connect to the existing private drive in the Highlands Village senior living community to the south.

JLB Mansfield will include three (3) three-story buildings and two (2) four-story buildings, as well as four outdoor amenity spaces. The development will include a mix of tuck-under garage parking spaces, uncovered surface parking spaces, covered (carport) parking spaces, and parallel parking spaces along Nahvi Road and the street along the east perimeter. Building 1 is located on the west side of the development near the intersection of Nahvi Road and Regency Parkway and is three stories; it will include some ground-floor live-work units and is flanked by amenities on the west and east sides of the building. To the east is Building 2, which is four stories and includes the leasing office, indoor amenities, and an outdoor courtyard amenity with swimming pool; Building 2 fronts on Nahvi Road and the central private drive. Buildings 3 and 5 are to the east of Building 2 and are both three stories; Building 3 fronts Nahvi and the private drive, while Building 5 fronts the private drive. Building 4 is the easternmost building and is an L-shaped four-story building that fronts both Nahvi Road and the street along the eastern perimeter. An additional amenity area with dog park and resident activity area is located roughly equi-distant to Buildings 3, 4, and 5. Combined, the buildings will include 356 apartments over 10.475 acres for a net density of about 34 dwelling units per acre.

The number of units, floors, floor area, and footprint size for each building is:

Building 1 (61 units; three stories): 71,583 sq. ft. floor area; 23,861 sq. ft. footprint

Building 2 (117 units; four stories): 142,752 sq. ft. floor area; 35,688 sq. ft. footprint

Building 3 (38 units; three stories): 47,216 sq. ft. floor area; 15,739 sq. ft. footprint

Building 4 (112 units; four stories): 121,339 sq. ft. floor area; 30,335 sq. ft. footprint

Building 5 (28 units; three stories): 37,256 sq. ft. floor area; 12,419 sq. ft. footprint

The lot coverage is 27% and the floor area ratio is 0.945.

The applicant is proposing the following unit mix:

Efficiency/studio (min. 600 sq. ft. floor area): 26 units (7.3%)

Efficiency/one-bedroom (min. 700 sq. ft. floor area): 141 units (39.6%)

One-bedroom (min. 750 sq. ft. floor area): 94 units (26.4%)

Two-bedroom (min. 950 sq. ft. floor area): 86 units (24.2%)

Live-work/one-bedroom (min. 750 sq. ft. floor area): 9 units (2.5%)

The units are distributed in a fairly balanced manner amongst the buildings, with the exception that Building 1 will be the only building to include live-work units.

Access, Circulation, and Parking

The main access to the development will be via the central north-south drive that connects

to Nahvi Road on the north and the Highlands Village development to the south. From there, two gated access points will be provided to allow access to the west and east sides of the development. Secondary gated access points will be provided on Nahvi Road between Buildings 1 & 2 and on the east perimeter street on the south side of Building 4.

Parallel parking spaces with a pedestrian-friendly urban streetscape with enhanced sidewalk and tree wells will be provided along Nahvi Road and along the east perimeter street. This streetscape will also be provided along the central drive, however this central drive will include head-in parking instead of parallel parking in order to meet the parking needs for the development. All of these spaces will be accessible to the public and residents alike. In addition, dedicated spaces will be provided near the leasing office for future residents and parcel carriers.

Restricted parking areas (accessed via gates) include a mix of uncovered spaces, covered (carport) spaces, and tuck-under garage spaces in the apartment buildings. The tuck-under spaces are all located on the interior of the development and do not directly face any public streets. The carport spaces are all located on interior drives that are not designated as fire lanes. There are 58 tuck-under garage spaces, 99 carport spaces, 338 standard parking spaces, and 14 ADA spaces, for a total of 509 spaces. The development will provide for a ratio of 1.15 spaces per bedroom and 1.43 spaces per unit.

To serve pedestrians, sidewalks will be located along the perimeter of most building facades (except where tuck-under garages are located) and sidewalk and crosswalk connections will allow for connection between buildings and access to amenities and parking areas. An 8' sidewalk will also be provided along Regency Parkway and enhanced sidewalks with tree wells will be provided along Nahvi Road, the eastern perimeter street, and both sides of the central drive.

Storage, Equipment/Service Area Screening, and Lighting

The applicant notes that there will be no outside storage or outside operations on the property, no parking of boats/trailers/recreational vehicles, all utilities with the exception of electric transmission lines will be placed underground, all service areas and mechanical equipment will be located and screened in accordance with the requirements of The Reserve, and adequate lighting will be provided in accordance with the requirements of The Reserve. Three masonry trash enclosures will be provided along the south side of the development and will be screened by shrubs. A maintenance garage will be located in Building 5. The applicant has provided for screening of rooftop equipment by parapet walls adjacent to public streets and screening of rooftop equipment by a screen-guard system elsewhere; staff recommends that all rooftop equipment be screened by parapet walls at least 1' taller than the tallest piece of equipment along all building facades.

Elevations and Perspectives

The applicant has provided elevations for all facades of each building, the carports and trash enclosures, as well as a few perspectives to illustrate how the development will look from key intersections at different angles and at different times of day.

The building materials primarily include a mix of brick, cementitious paneling, and cementitious siding. Each building material includes three different colors. Reds, greys, and whites form the predominant color scheme of the development, in addition to a black metal railing system. The tuck-under garage doors are paneled and residential in character. The buildings are heavily articulated with wall plane and roof height recesses and projections, balconies, alternating building materials and colors, abundant windows and doors, and soldier coursing and banding repeated throughout the buildings. The buildings will also include tower features at the building corners. The buildings include a mix of parapet walls along street frontages as well as pitched roofs along the interior facades with asphalt shingles and a 4:12 predominant roof pitch. The ground floor liv-work units in Building 1 facing Nahvi Road and the amenity areas in Building 2 are designed in a storefront condition. In addition, the ground-floor residential units facing public streets have finished floor elevations above the finished sidewalk grade.

The overall building materials percentages are as follows:

Building 1: 74.6% brick; 19.1% cementitious panel; 6.3% siding

Building 2: 62.4% brick; 37.6% cementitious panel

Building 3: 65.4% brick; 15.9% cementitious panel; 18.7% siding

Building 4: 68.9% brick; 15% cementitious panel; 16.1% siding

Building 5: 64.7% brick; 16.5% cementitious panel; 18.8% siding

It is noted that all elevations facing public or private streets are at least 75% masonry or masonry-like as required by the Workplace Sub-District regulations. The percentage of glass on each building is no more than 32%.

The trash enclosures and outer carport columns will include masonry to match the buildings.

The design of the site and the building architecture provides for prominent building corners at street intersections, abundant building façade relief and articulation, abundant roof line articulation, and a pedestrian-friendly streetscape design, all consistent with the standards for the Workplace Sub-District of The Reserve.

Landscaping, Screening, and Hardscaping

A Landscape Plan has been provided showing the overall landscaping and hardscaping to be provided throughout the site, as well as tables specifying the requirements, planting types and quantities, and details for the fencing and gates.

As required, street trees will be provided approximately every 40' along Regency Parkway and approximately every 30' in tree wells along Nahvi Road, the east perimeter street, and the central drive. Trees will also be provided in the parking lot islands and shrubs will be provided to screen parking areas from adjacent streets and properties. Shrubs will also be provided around building foundations and a mixture of landscaping and hardscaping will be provided in the amenity areas. Hardscape elements including benches, trash receptacles, street lights, and bike racks will be provided at regular intervals along Nahvi Road and the east perimeter street as required by the Workplace Sub-District regulations.

While The Reserve regulations discourage fencing, interior sections of the development are fenced and gated in order to restrict access to resident parking, living, and amenity areas. However, the portions of the development along public and private streets are not gated in order to provide for the street-oriented, pedestrian-friendly atmosphere intended by The Reserve. The fencing material will be a decorative ornamental metal fence in order to provide for an open, pedestrian-friendly aesthetic.

Amenities

The development will include four amenity areas:

- Amenity Area 1 will include the indoor club and fitness area as well as the mail center and leasing office, all located in Building 2; it will also include outdoor amenities in the courtyard of Building 2, including a resort-style pool with enhanced pavement pool deck, lounge chairs and outdoor furniture, covered open-air lounge space, grilling station with bar counter, and synthetic turf lawn areas.
- Amenity Area 2 will be located between Buildings 3, 4 and 5 and will include a fenced dog park with pet stations, lawn area for structured recreational activities, covered pavilion, outdoor furniture and bench seating, festive string lighting, and shade trees and enhanced planting.
- Amenity Area 3 will be located on the east side of Building 1 and will be designed as a passive space adjacent to Nahvi Road that will be accessible to the public and improved with enhanced pavement, bench seating and masonry seat wall, shade trees and enhanced planting, and pedestrian-scaled light fixtures.
- Amenity Area 4 will be located on the west side of Building 1 near the intersection of Regency Parkway and Nahvi Road and will include a masonry seat wall with memorial plaque to Spc. Russell Nahvi, as well as enhanced paving and landscaping.

Signage

A signage plan has been provided, showing limited signage consistent with the standards of The Reserve with a total of three wall signs, one each on Building 1 (facing Regency Parkway), Building 2 (facing Nahvi Road), and Building 4 (facing the east perimeter street). Each wall sign will be allowed a maximum length of 20' and a maximum height of 4' (80 sq. ft.).

Recommendation

The subject property is located in the Workplace Sub-District of The Reserve. This sub-district is intended to accommodate employment-related uses, multi-family residential, and supporting commercial service uses. After the Urban Living development provided the initial multi-family residential units to this sub-district, this development will bring additional units and help anchor the western portion of this development along Regency Parkway with active residential uses to help balance the office/employment-related uses along this corridor and help to further the pedestrian-friendly design already established with the Urban Living development to the northeast.

The applicant has worked cooperatively with staff to design the development in such a

way to meet the intent of The Reserve Planned Development Regulations, including increasing the height of some of the buildings to four stories, providing for a pedestrian-friendly streetscape, committing to building half of the east perimeter street, providing a central drive that is open to the public and enhanced with pedestrian-friendly elements, providing tuck-under garage spaces, limiting perimeter fencing and screening to only interior sections of the development, and providing for quality architecture, landscaping, hardscaping, and amenities throughout the development.

The apartments will also provide for convenient living options near the continued expansion of employment and commercial uses in this area, including the Broad Street, Heritage Parkway, and Regency Parkway corridors and the City's growing medical, educational, and recreational facilities. The development will complement the Urban Living development and continue the gridded street system with pedestrian-friendly streetscape as intended by The Reserve. The dense urban-style design in combination with the limits on the number of dwelling units established in The Reserve also allows for the continued careful stewardship of land resources in the City, including preservation of land for commercial and employment uses in much of the remainder of the Workplace Sub-District.

Staff recommends approval with the following condition:

- The screening of rooftop equipment be revised to provide for building parapets at least 1' taller than the tallest piece of equipment on all building facades.

Attachments:

Maps and Supporting Information

Exhibit A - Property Description

Exhibit B - Site Plan

Exhibit C - Elevations & Perspectives

Exhibit D - Landscape Plan

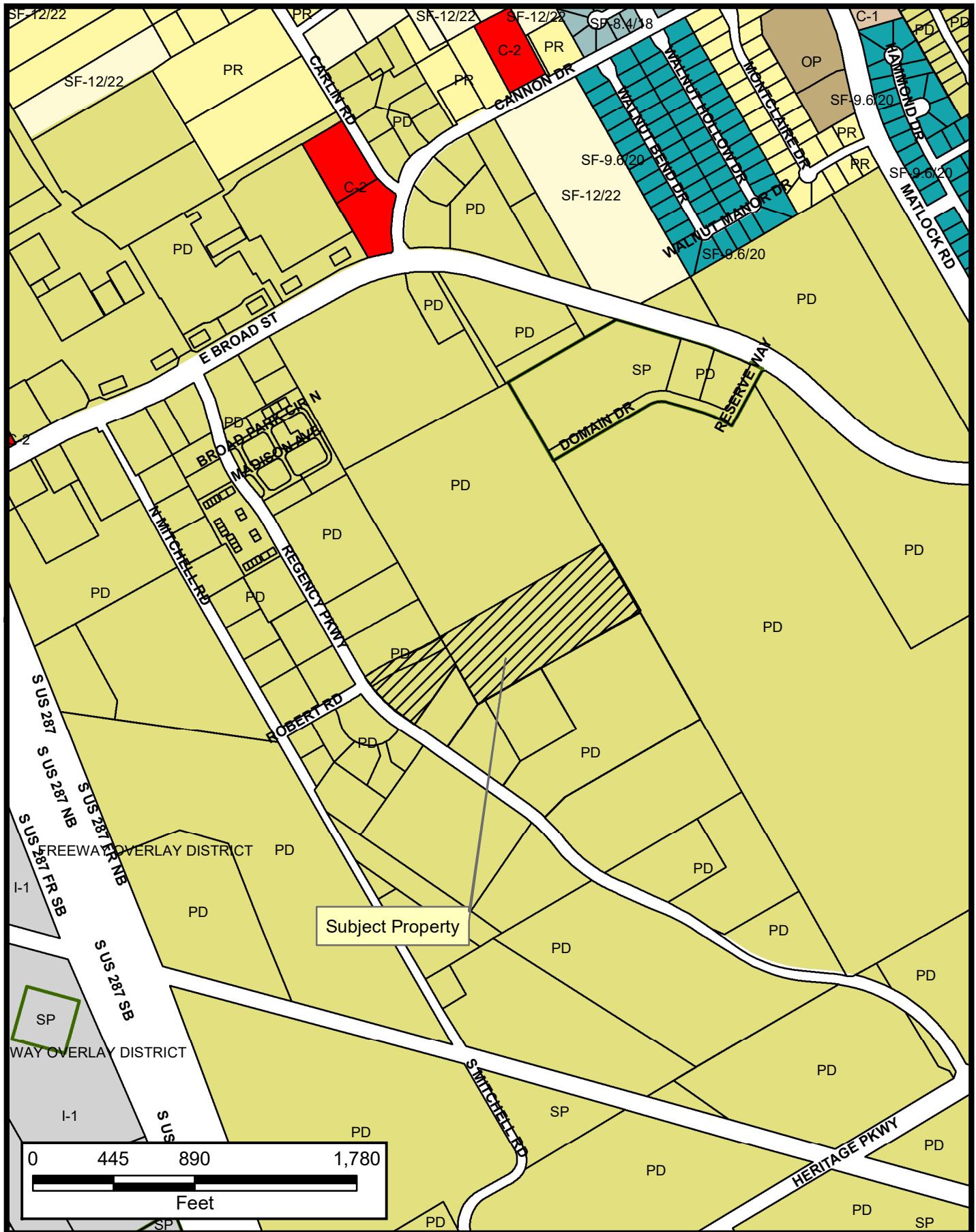
Exhibit E - Signage Plan



SUP#21-001

This information is for illustrative purposes only. Not for design or development purposes. Site-specific studies may be required to obtain accurate feature locations. Every effort is made to ensure the information displayed here is accurate; however, the City of Mansfield makes no claims to its accuracy or completeness.

3/25/2021



SUP#21-001

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3/25/2021

Property Owner Notification for SUP#21-001

LEGAL DESC 1	LEGAL DESC 2	OWNER NAME	OWNER ADDRESS	CITY	ZIP
FOUNTAINVIEW CENTER	BLK 1	RITTER, THOMAS J JR	1703 FOUNTAINVIEW DR STE 103	MANSFIELD, TX	76063-5092
FOUNTAINVIEW CENTER	BLK 1	RITTER, THOMAS J JR	1703 FOUNTAINVIEW DR STE 103	MANSFIELD, TX	76063-5092
FOUNTAINVIEW CENTER	BLK 1	MANSFIELD SPECIALISTS HOLDINGS	1021 MATLOCK RD #103	MANSFIELD, TX	76063
HIGHLAND HEIGHTS ADDN	BLK 1	GRAND REGENCY PARTNERS LLC	1100 W PIONEER PKWY	ARLINGTON, TX	76013-6367
HIGHLAND HEIGHTS ADDN	BLK 1	HIGHLANDS VILLAGE SENIOR LIVING LLC	1100 WEST PIONEER PKWY	ARLINGTON, TX	76013
HIGHLAND HEIGHTS ADDN	BLK 1	MANSFIELD DERMATOLOGY PLLC	130 REGENCY PKWY	MANSFIELD, TX	76063
MCANEAR, ELIZABETH SURVEY	A 1005	HORNING-LOCKWOOD, STEPHEN C	20 WOODLAND CT	MANSFIELD, TX	76063-6033
MCANEAR, ELIZABETH SURVEY	A 1005	FIRST BAPTIST CH MANSFIELD	PO BOX 2255	MANSFIELD, TX	76063-0047
MCANEAR, ELIZABETH SURVEY	A 1005	FIFTEEN OAKS MANSFIELD LP	3557 BELLAIRE DR S	FORT WORTH, TX	76109-2134
MCANEAR, ELIZABETH SURVEY	A 1005	COLLINI, MICHAEL P	1410 LONG AND WINDING RD	MANSFIELD, TX	76063-5607
MCANEAR, ELIZABETH SURVEY	A 1005	COLLINI, MICHAEL P	1410 LONG AND WINDING RD	MANSFIELD, TX	76063-5607
MCCASLIN BUSINESS PARK	BLK 1	TEKNON LLC	500 THROCKMORTON ST APT 3206	FORT WORTH, TX	76102
MCCASLIN BUSINESS PARK	BLK 2	MASTER METER INC	101 REGENCY PKWY	MANSFIELD, TX	76063-5093
MCCASLIN BUSINESS PARK	BLK 3	BHAKTA INVESTMENT GROUP LLC	3 HIDDEN LAKE CT	MANSFIELD, TX	76063

SUP#21-001 EXHIBIT A

METES AND BOUNDS DESCRIPTION

BEING a tract of land situated in the E. McAnier Survey, Abstract No. 1005, City of Mansfield, Tarrant County, Texas, being part of a tract conveyed to Fifteen Oaks Mansfield, L.P., recorded in Document No. D205288048 of the Official Public Records, Tarrant County, Texas (OPRTCT), and being all of a Tract 2 conveyed to Michael P. Collini, recorded in Document No. D210239946 OPRTCT, and being part of a tract conveyed to First Baptist Church of Mansfield, by deed recorded in Volume 7667, Page 1119 of the Deed Records, Tarrant County, Texas (DRTCT), with the subject tract being more particularly described as follows:

BEGINNING at a 1/2" iron rod found on the east line of Regency Parkway, a 70-foot right-of-way created by the final plat of Section One, McCaslin Business Park, recorded in Document No. D203330304 OPRTCT, for the south corner of a tract conveyed to Michael P. Collini, recorded in Document No. D212112078 OPRTCT;

THENCE along the southeast line thereof, the following:

N 54°56'11" E, 14.22 feet to a 1/2" iron rod found;

A tangent curve to the right having a central angle of 11°52'41", a radius of 1035.00 feet, a chord of N 60°52'31" E - 214.18 feet, an arc length of 214.57 feet to a 1/2" iron rod found;

N 66°48'52" E, 65.10 feet to a 1/2" iron rod found;

A tangent curve to the left having a central angle of 06°41'16", a radius of 965.00 feet, a chord of N 63°28'14" E - 112.57 feet, an arc length of 112.64 feet to a 1/2" iron rod found;

And N 60°07'36" E, 1085.76 feet to a point on the lower northeast line thereof, being on the southwest line of a tract conveyed to Stephen Clare Horning-Lockwood, recorded in Volume 10470, Page 1069 DRTCT;

THENCE S 30°07'32" E, 425.14 feet along the southwest line thereof to a 1/2" iron rod with plastic cap found for the north corner of a right-of-way dedication created by the final plat of Highland Heights Addition;

SUP#21-001 EXHIBIT A

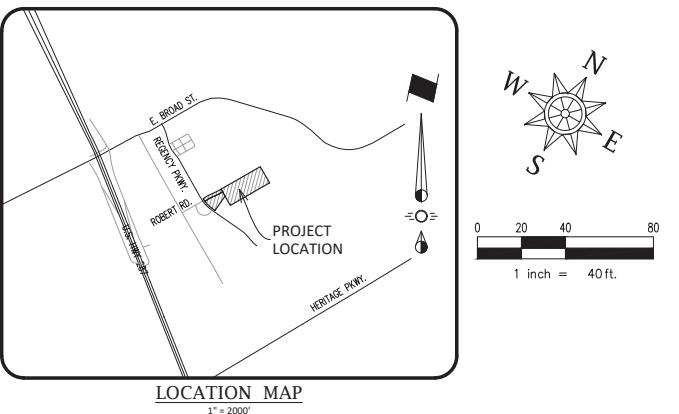
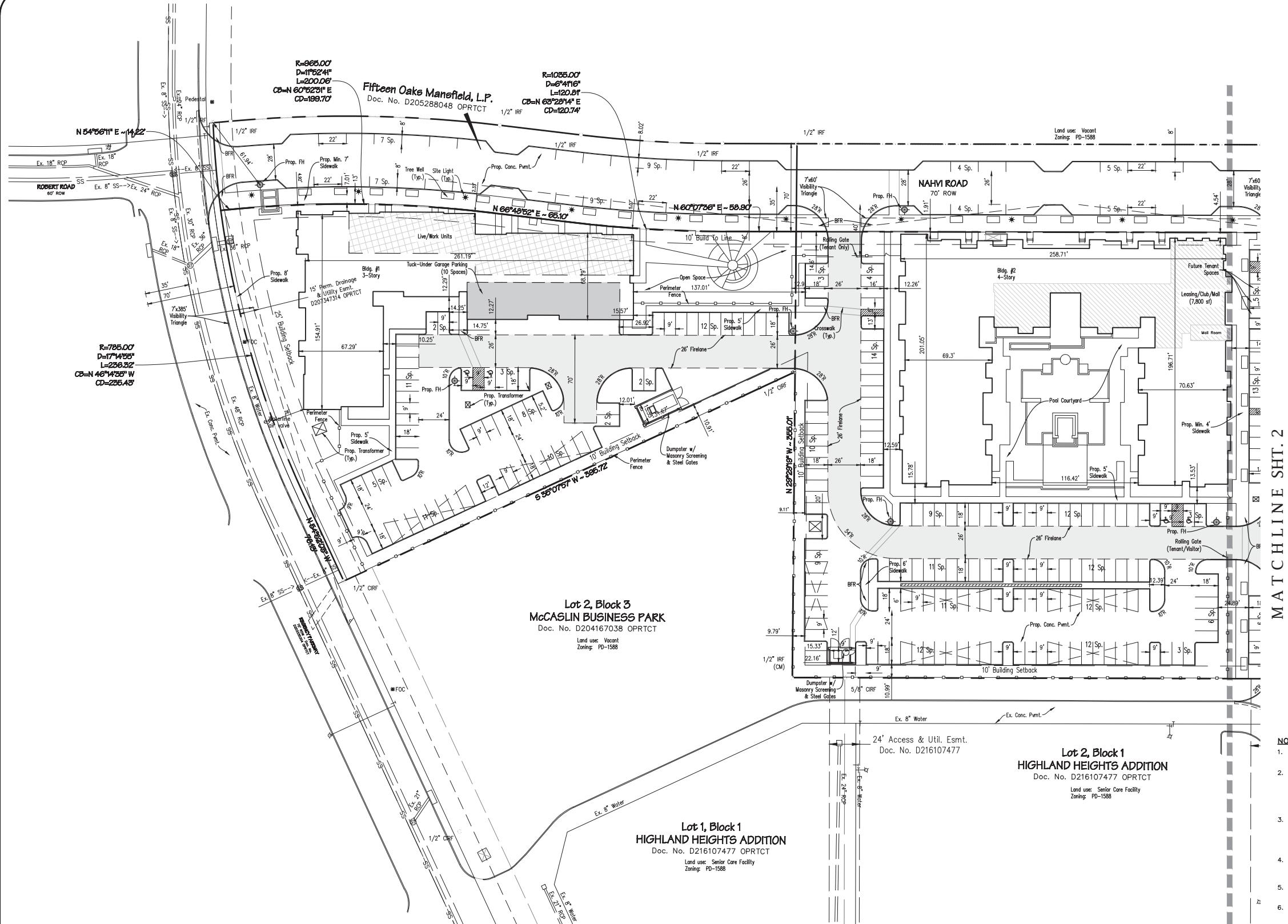
THENCE S 60°08'03" W, 1031.11 feet along the northwest line of Highland Heights Addition to a 1/2" iron rod found for the east corner of Lot 2, Block 3, McCaslin Business Park, recorded in Document No. D204167038, Official Public Records, Tarrant County, Texas, for a northwesterly corner of Lot 1, Block 1, Highland Heights Addition, recorded in Document No. D216107477 OPRTCT;

THENCE N 29°29'19" W, 243.27 feet along the northeast line of Lot 2, Block 3 to a 1/2" iron rod with plastic cap found for the north corner thereof, being the east corner of said Collini tract;

THENCE S 35°07'57" W, 395.72 feet along the northwest line of Lot 2 to a 1/2" iron rod with plastic cap found on the east line of Regency Parkway, a 70-foot right-of-way created by the final plat of Section One, McCaslin Business Park, recorded in Document No. D203330304 OPRTCT, for the west corner of Lot 2;

THENCE N 54°52'03" W, 76.13 feet along the east line of Regency Parkway to a 1/2" iron rod with plastic cap stamped "SPIARSENG" set;

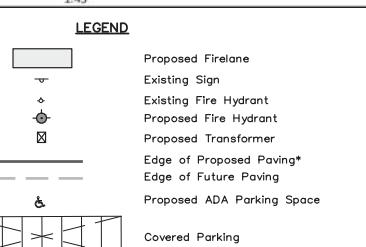
THENCE continuing along the east line of Regency Parkway, around a tangent curve to the right having a central angle of 22°21'35", a radius of 785.00 feet, a chord of N 43°41'16" W - 304.40 feet, an arc length of 306.35 feet to the POINT OF BEGINNING with the subject tract containing 560,584 square feet or 12.869 acres of land.



SITE DATA			
Site Area	12.869 Acres (Gross) 560,584 Sq. Ft. (Gross)	10.202 Acres (Net) 444,399 Sq. Ft. (Net)	
Total Units	356		
Density	27.7 UPA		34.9 UPA
UNIT MIX			
Type of Unit	# of Units	Min. Floor Area	Total %
Efficiency (Studio)	26	600 SF	7.3%
Efficiency (One Bedroom)	141	700 SF	39.6%
One Bedroom (A)	94	750 SF	26.4%
Two Bedroom (B)	86	950 SF	24.2%
Live Work (One Bedroom)	9	750 SF	2.5%
Total	356		100.0%
UNIT TABULATION			
Bldg. Number	Efficiency/One Bedroom / LW	Two Bedroom	Total
Bldg. 1	55	6	61
Bldg. 2	78	39	117
Bldg. 3	29	9	38
Bldg. 4	92	20	112
Bldg. 5	19	9	28
Total	273	83	356
BUILDING TABULATION			
Bldg. Number	Footprint	Total Building Area	
Bldg. 1	23,861 SF	71,583 SF	
Bldg. 2	35,688 SF	142,752 SF	
Bldg. 3	15,739 SF	47,216 SF	
Bldg. 4	30,335 SF	121,339 SF	
Bldg. 5	12,419 SF	37,256 SF	
Total	118,042 SF	420,146 SF	
Lot Coverage	27%		
Floor Area Ratio	0.945:1		
PARKING REQUIRED			
1 Bedroom & Eff. Units	1 Space/Unit	235 Spaces	
2 Bedroom Units	2 Spaces/Unit	172 Spaces	
Total		407 Spaces	
PARKING PROVIDED			
Standard Parking Spaces	338		
Standard HC Parking Spaces	13		
Covered Parking Spaces	99		
Covered HC Parking Spaces	1		
Attached Tuck-Under Garages	58		
Total Provided	509		
Space Per Bed	1.15		
Space Per Unit	1.43		

NOTES

- No trees, signs, or anything over 2' in height is allowed within the visibility triangle.
- Adequate lighting shall be provided throughout the development in accordance with Section 10 of the Workplace Sub-District of the Reserve Planned Development District Standards.
- All service areas and mechanical equipment will be located and screened in accordance with Section 10 of the Workplace Sub-District of The Reserve Planned Development Standards.
- All rooftop equipment shall be screened by at least 1' higher than the tallest piece of equipment.
- No outside storage or outside operations of any kind shall be permitted.
- No boats, motor homes, trailers, recreational vehicles, towed trailers, or similar vehicular equipment shall be parked or stored on the property.
- All utility stepped electrical transmission lines shall be placed underground in accordance with the Planned Development Standards.

SUP#21-001 EXHIBIT B
SPECIFIC USE PERMIT SITE PLAN

JLB MANSFIELD

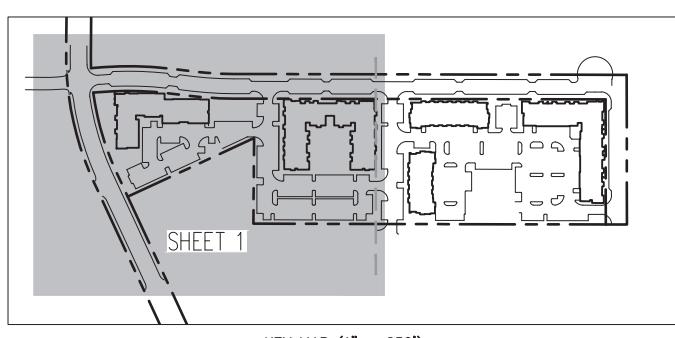
BLOCK A, LOT 1

IN THE CITY OF MANSFIELD, TARRANT COUNTY,
TEXASE. McANIER SURVEY, ABST. NO. 1005
456,299 Sq. Ft./ 10.475 Acres (Net)
560,584 Sq. Ft./ 12.869 Acres (Gross)

Current Zoning: PD-1558-The Reserve-Workplace Subdistrict

ENGINEER / SURVEYOR
Spiers Engineering, Inc.
765 Custer Road, Suite 100
Plano, TX 75075
Telephone: (972) 422-0077
TPBE No. F-2121
Contact: Joe Lehman
joe.lehman@spiersengineering.com
Phone: 214-271-8480

OWNER / APPLICANT
JLB Realty, LLC
3890 W. Northwest Highway, 7th Floor
Dallas, Texas 75220
Contact: Britton Church
bchurch@lbpartners.com



MATERIAL LEGEND		KEY PLAN - BUILDING LEGEND															
01.1	BRICK MASONRY VENEER - FIELD COLOR 01	04	PREFINISHED VINYL WINDOW SYSTEM	07	SPECIALTY WINDOW	08	CAST STONE	09	METAL RAILING SYSTEM	10	ASPHALT SHINGLE ROOFING SYSTEM	11	ALUMINUM PARAPET COPING CAP	12	METAL CANOPY	13	DOWNSPOUT
01.2	BRICK MASONRY VENEER - FIELD COLOR 02	05.1	CEMENTITIOUS SIDING SYSTEM - FIELD COLOR 01	05.2	CEMENTITIOUS SIDING SYSTEM - FIELD COLOR 02	05.3	CEMENTITIOUS SIDING SYSTEM - FIELD COLOR 03	06.1	BRICK MASONRY BAND - FIELD COLOR 01	06.2	BRICK MASONRY BAND - FIELD COLOR 02	06.3	BRICK MASONRY BAND - FIELD COLOR 03	14	RESIDENTIAL STEEL DOOR		
01.3	BRICK MASONRY VENEER - FIELD COLOR 03																
02.1	CEMENTITIOUS PANEL SYSTEM - FIELD COLOR 01																
02.2	CEMENTITIOUS PANEL SYSTEM - FIELD COLOR 02																
02.3	CEMENTITIOUS PANEL SYSTEM - FIELD COLOR 03																
03	PATIO DOOR UNIT																
BUILDING TOTAL: MATERIAL / FENESTRATION PERCENTAGES																	
WALLS																	
BRICK	74.6%																
BRICK - FIELD 01	58.6%																
BRICK - FIELD 02	11.2%																
BRICK - FIELD 03	4.8%																
CEMENTITIOUS PANEL SIDING	19.1%																
GGLASS/WINDOW/DOOR	26.8%																

Notes:
1) All roof mounted equipment shall be fully screened with parapet or guardrail height at a minimum of 12" higher than tallest equipment.



02 WEST ELEVATION

SCALE: 3/32" = 1'-0"

MATERIAL / FENESTRATION PERCENTAGES

WALLS	80.6%
BRICK	50.4%
BRICK - FIELD 01	12.7%
BRICK - FIELD 02	17.5%
BRICK - FIELD 03	19.4%
CEMENTITIOUS PANEL	19.4%
GGLASS/WINDOW/DOOR	27.1%



01 NORTH ELEVATION

SCALE: 3/32" = 1'-0"

MATERIAL / FENESTRATION PERCENTAGES

WALLS	79.6%
BRICK	49.4%
BRICK - FIELD 01	18.8%
BRICK - FIELD 02	11.5%
BRICK - FIELD 03	20.4%
CEMENTITIOUS PANEL	30.5%
GGLASS/WINDOW/DOOR	

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Project Title:
NAHVI ROAD

EXHIBIT C

MANSFIELD, TX.

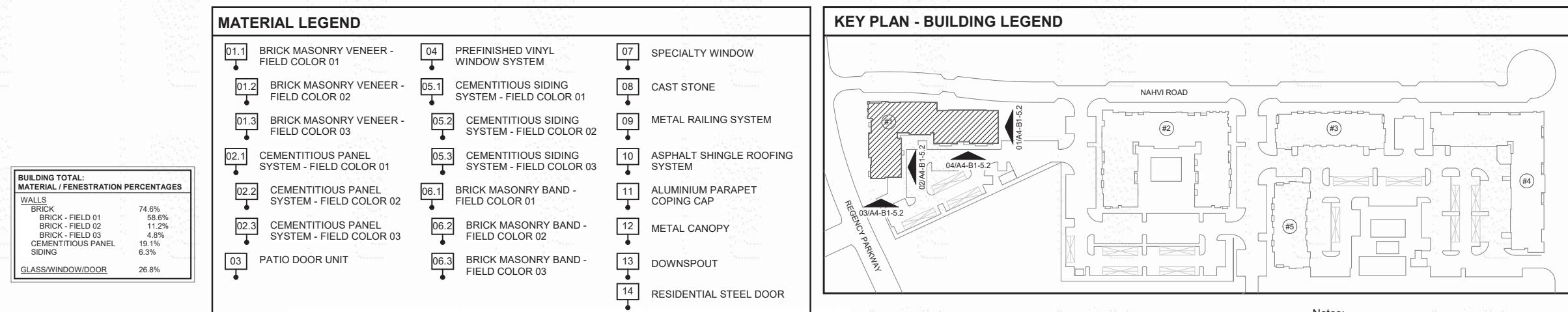
JLB
PARTNERS

Project ID: #20410

Sheet No.

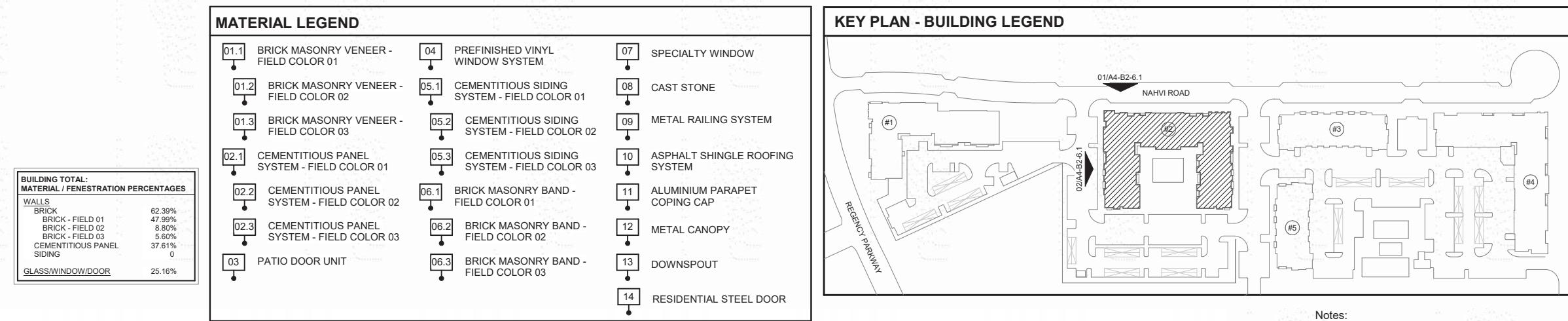
CASE NUMBER _SUP #21 - 001
HENSLEY LAMKIN RACHEL, INC.
14851 QUORUM DR #550
DALLAS, TX 75254
CONTACT PERSON - JUAN TORRES
(sr.proj manager)
EMAIL - juan@hlrlinc.net

PAGE 1 OF 15



Notes:
1) All roof mounted equipment shall be fully screened with parapet or guardrail height at a minimum of 12" higher than tallest equipment.





Notes:
1) All roof mounted equipment shall be fully screened with parapet or guardrail height at a minimum of 12" higher than tallest equipment.



BRUCE W. RACHEL, AIA
TX LICENCE NO. 14373
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EXHIBIT C
MANSFIELD, TX.

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Project ID: #20410

Sheet No.

PAGE 3 OF 15

MATERIAL LEGEND		KEY PLAN - BUILDING LEGEND	
01.1	BRICK MASONRY VENEER - FIELD COLOR 01	04	PREFINISHED VINYL WINDOW SYSTEM
01.2	BRICK MASONRY VENEER - FIELD COLOR 02	05	SPECIALTY WINDOW
01.3	BRICK MASONRY VENEER - FIELD COLOR 03	06	CEMENTITIOUS SIDING SYSTEM - FIELD COLOR 01
02.1	CEMENTITIOUS PANEL SYSTEM - FIELD COLOR 01	07	CEMENTITIOUS SIDING SYSTEM - FIELD COLOR 02
02.2	CEMENTITIOUS PANEL SYSTEM - FIELD COLOR 02	08	CEMENTITIOUS SIDING SYSTEM - FIELD COLOR 03
02.3	CEMENTITIOUS PANEL SYSTEM - FIELD COLOR 03	09	CAST STONE
03	PATIO DOOR UNIT	10	METAL RAILING SYSTEM
		11	ASPHALT SHINGLE ROOFING SYSTEM
		12	ALUMINUM PARAPET COPING CAP
		13	METAL CANOPY
		14	DOWNSPOUT
			RESIDENTIAL STEEL DOOR

BUILDING TOTAL: MATERIAL / FENESTRATION PERCENTAGES	
WALLS	
BRICK	62.39%
BRICK - FIELD 01	47.99%
BRICK - FIELD 02	8.80%
BRICK - FIELD 03	5.60%
CEMENTITIOUS PANEL SIDING	37.61%
GGLASS/WINDOW/DOOR	25.16%



2 SOUTH ELEVATION 03

SCALE: 3/32" = 1'-0"

MATERIAL / FENESTRATION PERCENTAGES	
WALLS	
BRICK	61.64%
BRICK - FIELD 01	47.81%
BRICK - FIELD 02	13.83%
BRICK - FIELD 03	0
CEMENTITIOUS PANEL	38.36%
GGLASS/WINDOW/DOOR	14.59%



01 EAST ELEVATION 03

SCALE: 3/32" = 1'-0"

MATERIAL / FENESTRATION PERCENTAGES	
WALLS	
BRICK	78.0%
BRICK - FIELD 01	53.8%
BRICK - FIELD 02	13.9%
BRICK - FIELD 03	10.3%
CEMENTITIOUS PANEL	22.0%
GGLASS/WINDOW/DOOR	27.0%

CASE NUMBER_SUF#21 - 001
HENSLEY LAMKIN RACHEL, INC.
14861 QUORUM DR#550
DALLAS,TX-75264
CONTACT PERSON-JUAN TORRES
(sr.proj manager)
EMAIL - juan@hlrinc.net

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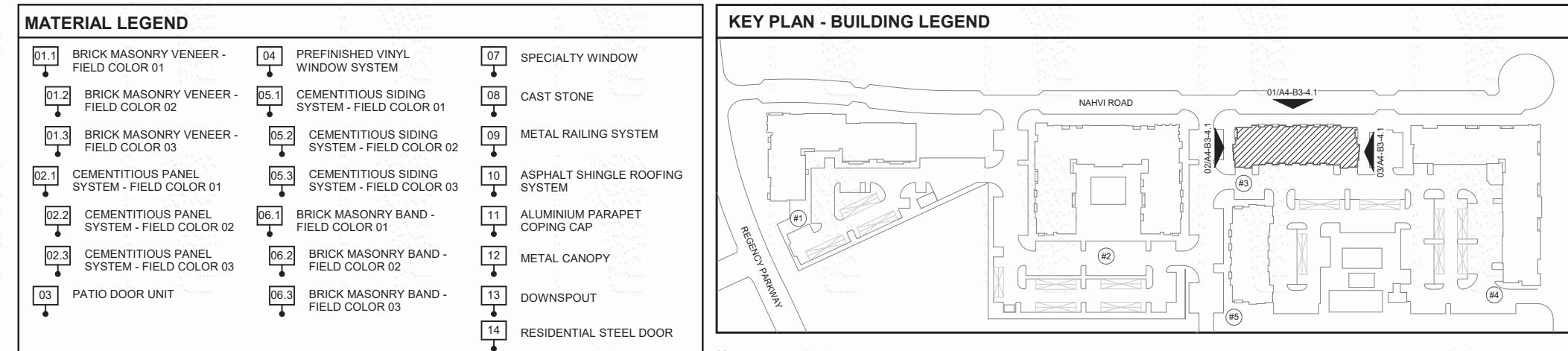
MANSFIELD,TX.

JLB
PARTNERS

Project ID: #20410

Sheet No.

PAGE 4 OF 15



Notes:
1) All roof mounted equipment shall be fully screened with parapet or guardrail height at a minimum of 12" higher than tallest equipment.

BUILDING TOTAL: MATERIAL / FENESTRATION PERCENTAGES	
WALLS	
BRICK	65.4%
BRICK - FIELD 01	51.7%
BRICK - FIELD 02	13.7%
CEMENTITIOUS PANEL	15.9%
SIDING	18.7%
GLASS/WINDOW/DOOR	22.5%



03 EAST ELEVATION

03

MATERIAL / FENESTRATION PERCENTAGE	
<u>WALLS</u>	
BRICK	65.5%
BRICK - FIELD 01	55.1%
BRICK - FIELD 02	10.4%
CEMENTITIOUS PANEL	8.3%
SIDING	26.2%
<u>GLASS/WINDOW/DOOR</u>	22.5%



02 WEST ELEVATION

02 SCALE:

MATERIAL / FENESTRATION PERCENTAGES	
<u>WALLS</u>	
BRICK	84.5%
BRICK - FIELD 01	53.8%
BRICK - FIELD 02	30.7%
CEMENTITIOUS PANEL	8.6%
SIDING	6.9%
<u>GLASS/WINDOW/DOOR</u>	22.8%



01 NORTH ELEVATION

01 SCALE: 3/32" = 1'-0"

MATERIAL / FENESTRATION PERCENTAGES	
<u>WALLS</u>	
BRICK	77.2%
BRICK - FIELD 01	69.7%
BRICK - FIELD 02	7.4%
CEMENTITIOUS PANEL	22.8%
SIDING	0.0%
<u>GLASS/WINDOW/DOOR</u>	24.7%

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TX LICENCE NO. 14373
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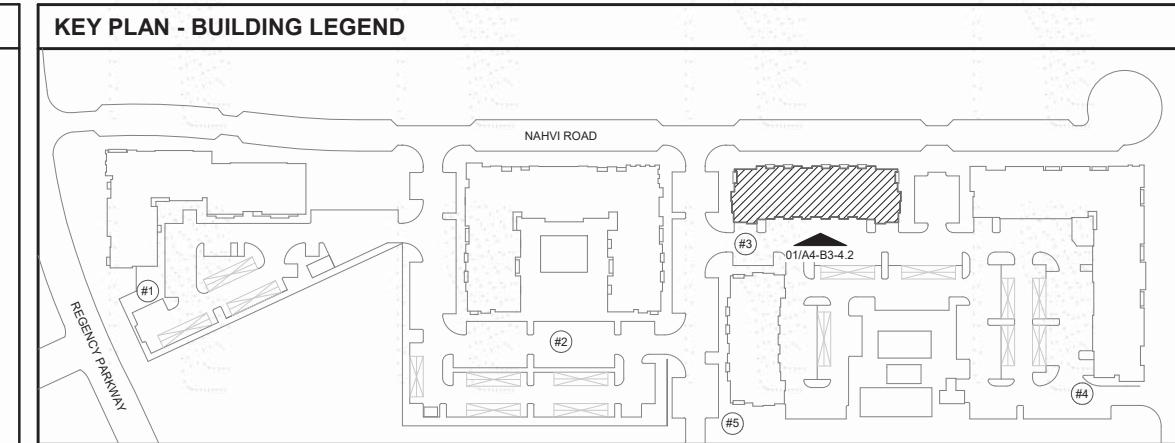
Project ID: #20410

Sheet No

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1. *What is the primary purpose of the study?* (e.g., to evaluate the effectiveness of a new treatment, to describe a population, to compare two groups).

MATERIAL LEGEND			
01.1	BRICK MASONRY VENEER - FIELD COLOR 01	04	PREFINISHED VINYL WINDOW SYSTEM
01.2	BRICK MASONRY VENEER - FIELD COLOR 02	05.1	CEMENTITIOUS SIDING SYSTEM - FIELD COLOR 01
01.3	BRICK MASONRY VENEER - FIELD COLOR 03	05.2	CEMENTITIOUS SIDING SYSTEM - FIELD COLOR 02
02.1	CEMENTITIOUS PANEL SYSTEM - FIELD COLOR 01	05.3	CEMENTITIOUS SIDING SYSTEM - FIELD COLOR 03
02.2	CEMENTITIOUS PANEL SYSTEM - FIELD COLOR 02	06.1	BRICK MASONRY BAND - FIELD COLOR 01
02.3	CEMENTITIOUS PANEL SYSTEM - FIELD COLOR 03	06.2	BRICK MASONRY BAND - FIELD COLOR 02
03	PATIO DOOR UNIT	06.3	BRICK MASONRY BAND - FIELD COLOR 03
		07	SPECIALTY WINDOW
		08	CAST STONE
		09	METAL RAILING SYSTEM
		10	ASPHALT SHINGLE ROOFING SYSTEM
		11	ALUMINUM PARAPET COPING CAP
		12	METAL CANOPY
		13	DOWNSPOUT
		14	RESIDENTIAL STEEL DOOR



Notes:
1) All roof mounted equipment shall be fully screened with parapet or guardrail height at a minimum of 12" higher than tallest equipment.

BUILDING TOTAL: MATERIAL / FENESTRATION PERCENTAGES	
WALLS	
BRICK	65.4%
BRICK - FIELD 01	51.7%
BRICK - FIELD 02	13.7%
CEMENTITIOUS PANEL SIDING	15.9%
	18.7%
GGLASS/WINDOW/DOOR	22.5%



MATERIAL / FENESTRATION PERCENTAGES	
WALLS	
BRICK	34.6%
BRICK - FIELD 01	28.2%
BRICK - FIELD 02	6.4%
CEMENTITIOUS PANEL SIDING	23.9%
	41.5%
GGLASS/WINDOW/DOOR	19.7%

CASE NUMBER _SUP #21 - 001
HENSLEY LAMKIN RACHEL, INC.
14851 QUORUM DR#550
DALLAS,TX-75264
CONTACT PERSON-JUAN TORRES
(sr.proj manager)
EMAIL - juan@hlrlnc.net

MATERIAL LEGEND		KEY PLAN - BUILDING LEGEND	
01.1	BRICK MASONRY VENEER - FIELD COLOR 01	04	PREFINISHED VINYL WINDOW SYSTEM
01.2	BRICK MASONRY VENEER - FIELD COLOR 02	05.1	CEMENTITIOUS SIDING SYSTEM - FIELD COLOR 01
01.3	BRICK MASONRY VENEER - FIELD COLOR 03	05.2	CEMENTITIOUS SIDING SYSTEM - FIELD COLOR 02
02.1	CEMENTITIOUS PANEL SYSTEM - FIELD COLOR 01	05.3	CEMENTITIOUS SIDING SYSTEM - FIELD COLOR 03
02.2	CEMENTITIOUS PANEL SYSTEM - FIELD COLOR 02	06.1	BRICK MASONRY BAND - FIELD COLOR 01
02.3	CEMENTITIOUS PANEL SYSTEM - FIELD COLOR 03	06.2	BRICK MASONRY BAND - FIELD COLOR 02
03	PATIO DOOR UNIT	06.3	BRICK MASONRY BAND - FIELD COLOR 03
		07	SPECIALTY WINDOW
		08	CAST STONE
		09	METAL RAILING SYSTEM
		10	ASPHALT SHINGLE ROOFING SYSTEM
		11	ALUMINUM PARAPET COPING CAP
		12	METAL CANOPY
		13	DOWNSPOUT
		14	RESIDENTIAL STEEL DOOR

Notes:

1) All roof mounted equipment shall be fully screened with parapet or guardrail height at a minimum of 12" higher than tallest equipment.



02 NORTH ELEVATION

SCALE: 3/32" = 1'-0"

MATERIAL / FENESTRATION PERCENTAGES

WALLS	98.0%
BRICK	61.6%
BRICK - FIELD 01	18.1%
BRICK - FIELD 02	18.3%
BRICK - FIELD 03	2.0%
CEMENTITIOUS PANEL	2.0%
Glass/Window/Door	24.4%



01 EAST ELEVATION

SCALE: 3/32" = 1'-0"

MATERIAL / FENESTRATION PERCENTAGES

WALLS	87.7%
BRICK	63.5%
BRICK - FIELD 01	18.1%
BRICK - FIELD 02	6.1%
BRICK - FIELD 03	12.3%
CEMENTITIOUS PANEL	12.3%
Glass/Window/Door	26.6%

CASE NUMBER _SUP #21 - 001
 HENSLEY LAMKIN RACHEL, INC.
 14881 QUORUM DR #550
 DALLAS, TX 75264
 CONTACT PERSON - JUAN TORRES
 (sr.proj manager)
 EMAIL - juan@hlrlinc.net

0 3 5 10 15

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Project ID: #20410

Sheet No.

PAGE 8 OF 15

MATERIAL LEGEND		KEY PLAN - BUILDING LEGEND	
01.1	BRICK MASONRY VENEER - FIELD COLOR 01	04	PREFINISHED VINYL WINDOW SYSTEM
01.2	BRICK MASONRY VENEER - FIELD COLOR 02	05.1	CEMENTITIOUS SIDING SYSTEM - FIELD COLOR 01
01.3	BRICK MASONRY VENEER - FIELD COLOR 03	05.2	CEMENTITIOUS SIDING SYSTEM - FIELD COLOR 02
02.1	CEMENTITIOUS PANEL SYSTEM - FIELD COLOR 01	05.3	CEMENTITIOUS SIDING SYSTEM - FIELD COLOR 03
02.2	CEMENTITIOUS PANEL SYSTEM - FIELD COLOR 02	06.1	BRICK MASONRY BAND - FIELD COLOR 01
02.3	CEMENTITIOUS PANEL SYSTEM - FIELD COLOR 03	06.2	BRICK MASONRY BAND - FIELD COLOR 02
03	PATIO DOOR UNIT	06.3	BRICK MASONRY BAND - FIELD COLOR 03
BUILDING TOTAL: MATERIAL / FENESTRATION PERCENTAGES		07	
WALLS		08	SPECIALTY WINDOW
BRICK	68.88%	09	CAST STONE
BRICK - FIELD 01	47.11%	10	METAL RAILING SYSTEM
BRICK - FIELD 02	17.71%	11	ASPHALT SHINGLE ROOFING SYSTEM
BRICK - FIELD 03	4.06%	12	ALUMINUM PARAPET COPING CAP
CEMENTITIOUS PANEL SIDING	14.97%	13	METAL CANOPY
	16.13%	14	DOWNSPOUT
GGLASS/WINDOW/DOOR	21.94%	15	
RESIDENTIAL STEEL DOOR		16	

Notes:
1) All roof mounted equipment shall be fully screened with parapet or guardrail height at a minimum of 12" higher than tallest equipment.



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NAHVI ROAD

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MANSFIELD, TX.

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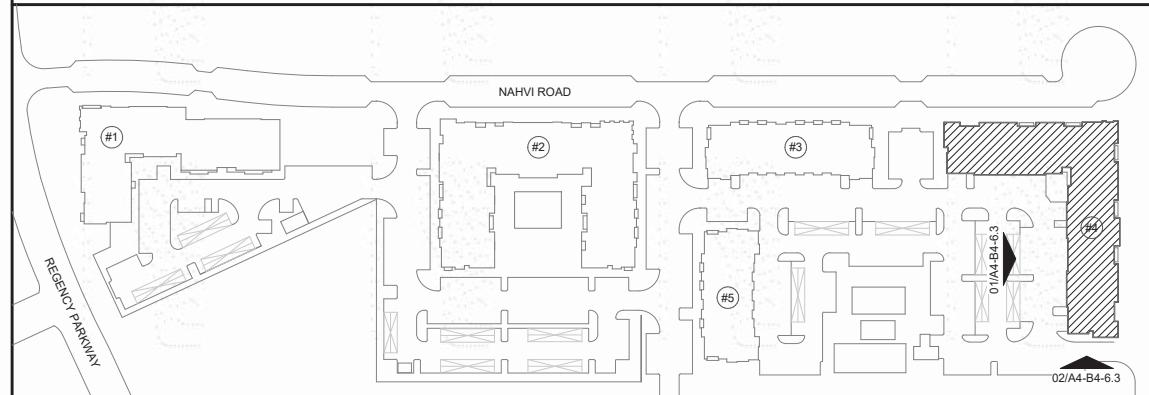
PAGE 9 OF 15

CASE NUMBER _SUP #21 - 001
HENSLEY LAMKIN RACHEL, INC.
14861 QUORUM DR #550
DALLAS, TX 75264
CONTACT PERSON - JUAN TORRES
(sr.proj manager)
EMAIL - juan@hlrlinc.net

MATERIAL LEGEND

01.1	BRICK MASONRY VENEER - FIELD COLOR 01	04	PREFINISHED VINYL WINDOW SYSTEM	07	SPECIALTY WINDOW
01.2	BRICK MASONRY VENEER - FIELD COLOR 02	05.1	CEMENTITIOUS SIDING SYSTEM - FIELD COLOR 01	08	CAST STONE
01.3	BRICK MASONRY VENEER - FIELD COLOR 03	05.2	CEMENTITIOUS SIDING SYSTEM - FIELD COLOR 02	09	METAL RAILING SYSTEM
02.1	CEMENTITIOUS PANEL SYSTEM - FIELD COLOR 01	05.3	CEMENTITIOUS SIDING SYSTEM - FIELD COLOR 03	10	ASPHALT SHINGLE ROOFING SYSTEM
02.2	CEMENTITIOUS PANEL SYSTEM - FIELD COLOR 02	06.1	BRICK MASONRY BAND - FIELD COLOR 01	11	ALUMINIUM PARAPET COPING CAP
02.3	CEMENTITIOUS PANEL SYSTEM - FIELD COLOR 03	06.2	BRICK MASONRY BAND - FIELD COLOR 02	12	METAL CANOPY
03	PATIO DOOR UNIT	06.3	BRICK MASONRY BAND - FIELD COLOR 03	13	DOWNSPOUT
				14	RESIDENTIAL STEEL DOOR

KEY PLAN - BUILDING LEGEND



Notes:

- 1) All roof mounted equipment shall be fully screened with parapet or guardrail height at a minimum of 12" higher than tallest equipment.



MATERIAL / FENESTRATION PERCENTAGE	
WALLS	
BRICK	82.94%
BRICK - FIELD 01	53.12%
BRICK - FIELD 02	29.82%
BRICK - FIELD 03	0%
CEMENTITIOUS PANEL	17.06%
SIDING	0%
GLASS/WINDOW/DOOR	
	14.52%



MATERIAL / FENESTRATION PERCENTAGES	
<u>WALLS</u>	
BRICK	29.42%
BRICK - FIELD 01	24.93%
BRICK - FIELD 02	4.49%
BRICK - FIELD 03	0%
CEMENTITIOUS PANEL	20.64%
SIDING	49.94%
<u>GLASS/WINDOW/DOOR</u>	26.09%

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Project Title: **NAHVI ROAD**

EXHIBIT C

JLB
PARTNERS

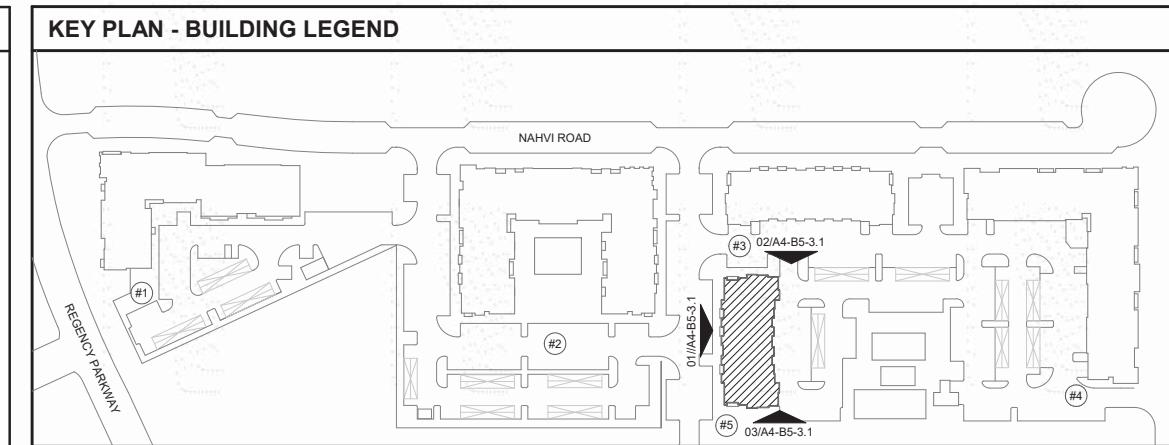
Project ID: #20410

Page 11

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PAGE 10 OF 15

MATERIAL LEGEND	
01.1	BRICK MASONRY VENEER - FIELD COLOR 01
01.2	BRICK MASONRY VENEER - FIELD COLOR 02
01.3	BRICK MASONRY VENEER - FIELD COLOR 03
02.1	CEMENTITIOUS PANEL SYSTEM - FIELD COLOR 01
02.2	CEMENTITIOUS PANEL SYSTEM - FIELD COLOR 02
02.3	CEMENTITIOUS PANEL SYSTEM - FIELD COLOR 03
03	PATIO DOOR UNIT
04	PREFINISHED VINYL WINDOW SYSTEM
05.1	CEMENTITIOUS SIDING SYSTEM - FIELD COLOR 01
05.2	CEMENTITIOUS SIDING SYSTEM - FIELD COLOR 02
05.3	CEMENTITIOUS SIDING SYSTEM - FIELD COLOR 03
06.1	BRICK MASONRY BAND - FIELD COLOR 01
06.2	BRICK MASONRY BAND - FIELD COLOR 02
06.3	BRICK MASONRY BAND - FIELD COLOR 03
07	SPECIALTY WINDOW
08	CAST STONE
09	METAL RAILING SYSTEM
10	ASPHALT SHINGLE ROOFING SYSTEM
11	ALUMINUM PARAPET COPING CAP
12	METAL CANOPY
13	DOWNSPOUT
14	RESIDENTIAL STEEL DOOR



03 SOUTH ELEVATION

SCALE: 3/32" = 1'-0"

MATERIAL / FENESTRATION PERCENTAGES	
WALLS	65.5%
BRICK	55.1%
BRICK - FIELD 01	10.4%
BRICK - FIELD 02	8.3%
CEMENTITIOUS PANEL SIDING	26.2%
GGLASS/WINDOW/DOOR	22.5%



02 NORTH ELEVATION

SCALE: 3/32" = 1'-0"

MATERIAL / FENESTRATION PERCENTAGES	
WALLS	84.8%
BRICK	55.0%
BRICK - FIELD 01	29.8%
BRICK - FIELD 02	8.3%
CEMENTITIOUS PANEL SIDING	6.9%
GGLASS/WINDOW/DOOR	22.5%



01 WEST ELEVATION

SCALE: 3/32" = 1'-0"

MATERIAL / FENESTRATION PERCENTAGES	
WALLS	75.2%
BRICK	63.1%
BRICK - FIELD 01	12.1%
BRICK - FIELD 02	28.4%
CEMENTITIOUS PANEL SIDING	0.0%
GGLASS/WINDOW/DOOR	24.2%

CASE NUMBER _SU#21 - 001
HENSLEY LAMKIN RACHEL, INC.
14861 QUORUM DR#550
DALLAS, TX 75264
CONTACT PERSON - JUAN TORRES
(sr.proj manager)
EMAIL - juan@hlrlinc.net

Revisions

BRUCE W. RACHEL, AIA
TX LICENCE NO. 14373
PRELIMINARY DRAWING
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Project Title:
NAHVI ROAD

EXHIBIT C

MANSFIELD, TX.

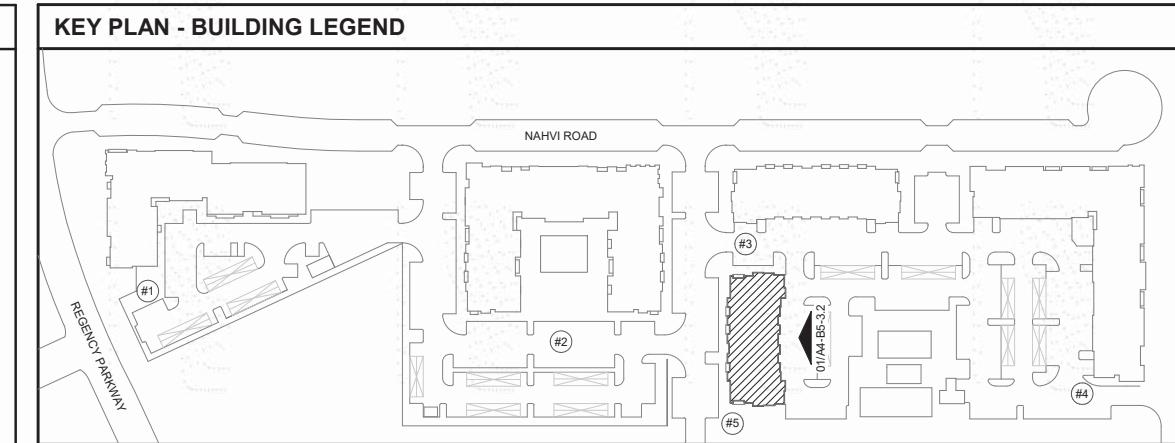
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PARTNERS

Project ID: #20410

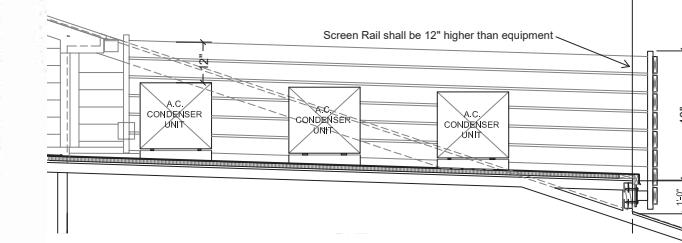
Sheet No.

PAGE 11 OF 15

MATERIAL LEGEND	
01.1	BRICK MASONRY VENEER - FIELD COLOR 01
01.2	BRICK MASONRY VENEER - FIELD COLOR 02
01.3	BRICK MASONRY VENEER - FIELD COLOR 03
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11	ALUMINUM PARAPET COPING CAP
12	METAL CANOPY
13	DOWNSPOUT
14	RESIDENTIAL STEEL DOOR



BUILDING TOTAL: MATERIAL / FENESTRATION PERCENTAGES	
WALLS	64.7%
BRICK	50.6%
BRICK - FIELD 01	14.1%
BRICK - FIELD 02	16.5%
CEMENTITIOUS PANEL SIDING	18.8%
GLASS/WINDOW/DOOR	21.9%



02 CONDENSER DITCH OUT SECTION PROFILE

Scale: NTS

Notes:
1) All roof mounted equipment shall be fully screened with parapet or guardrail height at a minimum of 12" higher than tallest equipment.

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TX LICENCE NO. 14373
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Project Title:
NAHVI ROAD

EXHIBIT C

MANSFIELD, TX.

JLB
PARTNERS

Project ID: #20410

Sheet No.

PAGE 12 OF 15

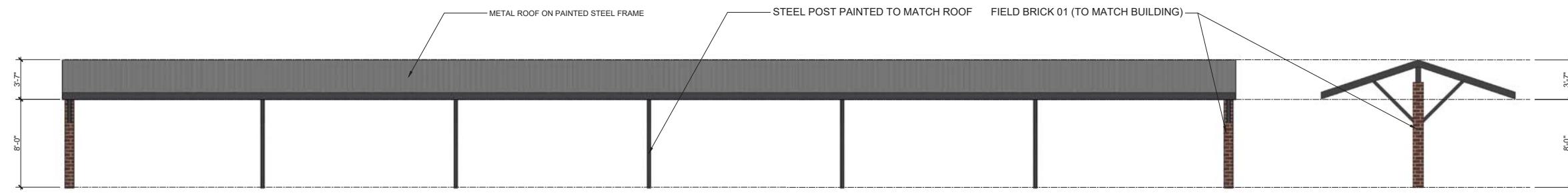


01 EAST ELEVATION

SCALE: 3/32" = 1'-0"

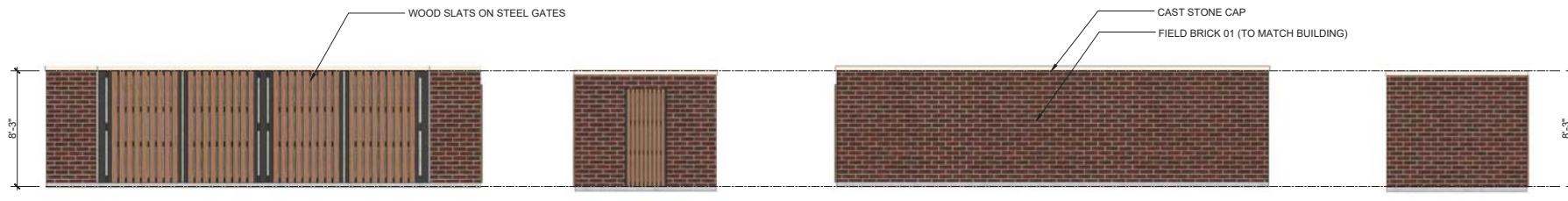
MATERIAL / FENESTRATION PERCENTAGES	
WALLS	36.8%
BRICK	29.2%
BRICK - FIELD 01	7.6%
BRICK - FIELD 02	21.1%
CEMENTITIOUS PANEL SIDING	42.1%
GLASS/WINDOW/DOOR	18.7%

CASE NUMBER_SUF #21 - 001
HENSLEY LAMKIN RACHEL, INC.
14881 QUORUM DR #550
DALLAS, TX 75264
CONTACT PERSON - JUAN TORRES
(sr.proj manager)
EMAIL - juan@hlrin.net



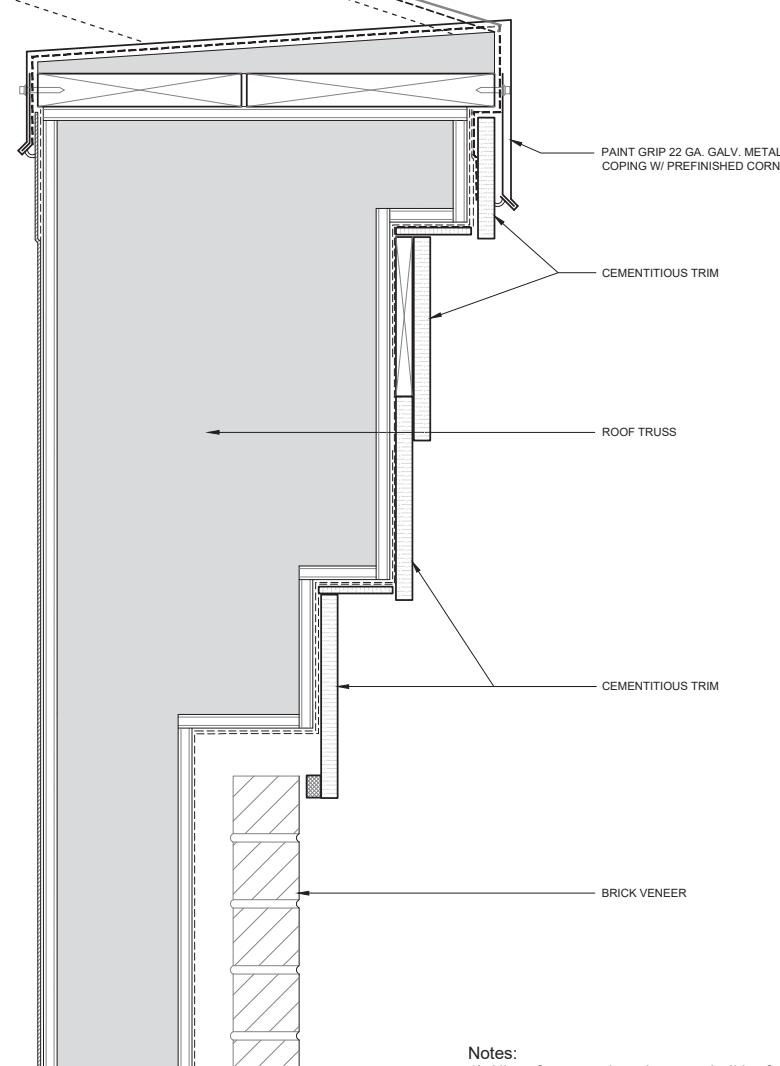
05 | CARPORT ELEVATIONS

SCALE: 3/16" = 1'-0"



04 | TRASH ENCLOSURE ELEVATIONS

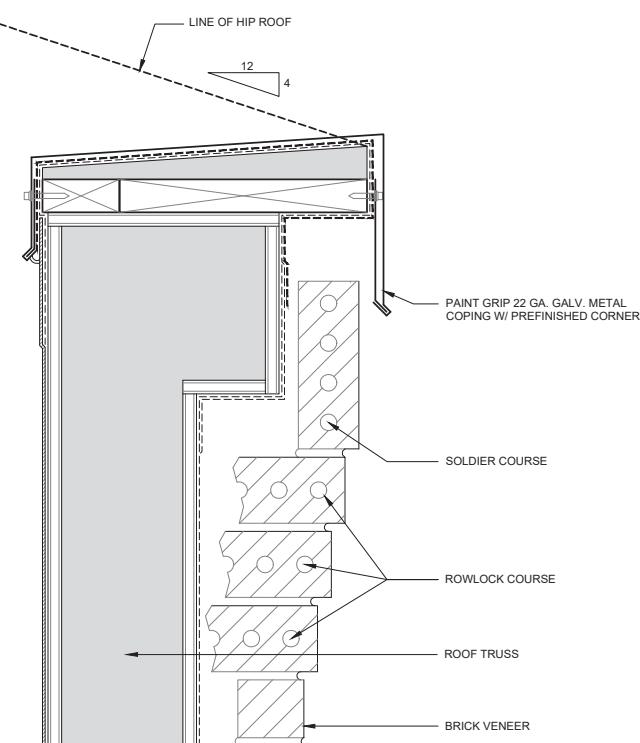
SCALE: 3/16" = 1'-0"



Notes:
 1) All roof mounted equipment shall be fully screened with parapet or guardrail height at a minimum of 12" higher than tallest equipment.

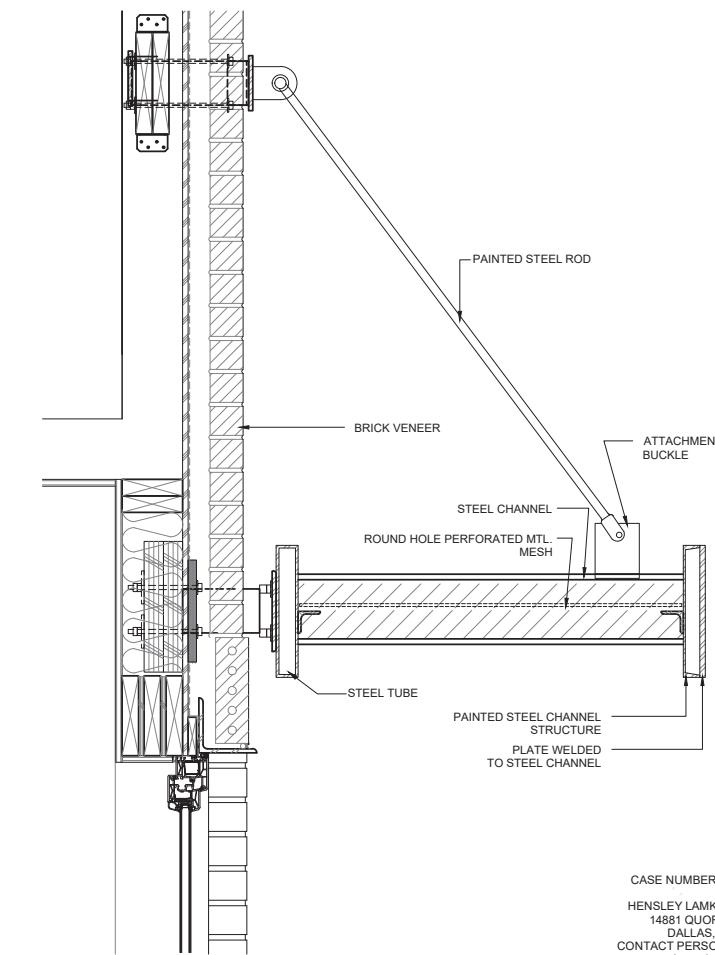
03 | ARTICULATED PARAPET DETAIL

SCALE: 3" = 1'-0"



02 | ARTICULATED PARAPET DETAIL

SCALE: 3" = 1'-0"



01 | TYP. ROOF AWNING DETAIL

SCALE: 1 1/2" = 1'-0"

BRUCE W. RACHEL, AIA
 TX LICENSE NO. 14373
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 Project Title:
NAHVI ROAD

EXHIBIT C

 Mansfield, Tx
 Project #FAP2020-049



 Project ID: 20410
 Sheet No.

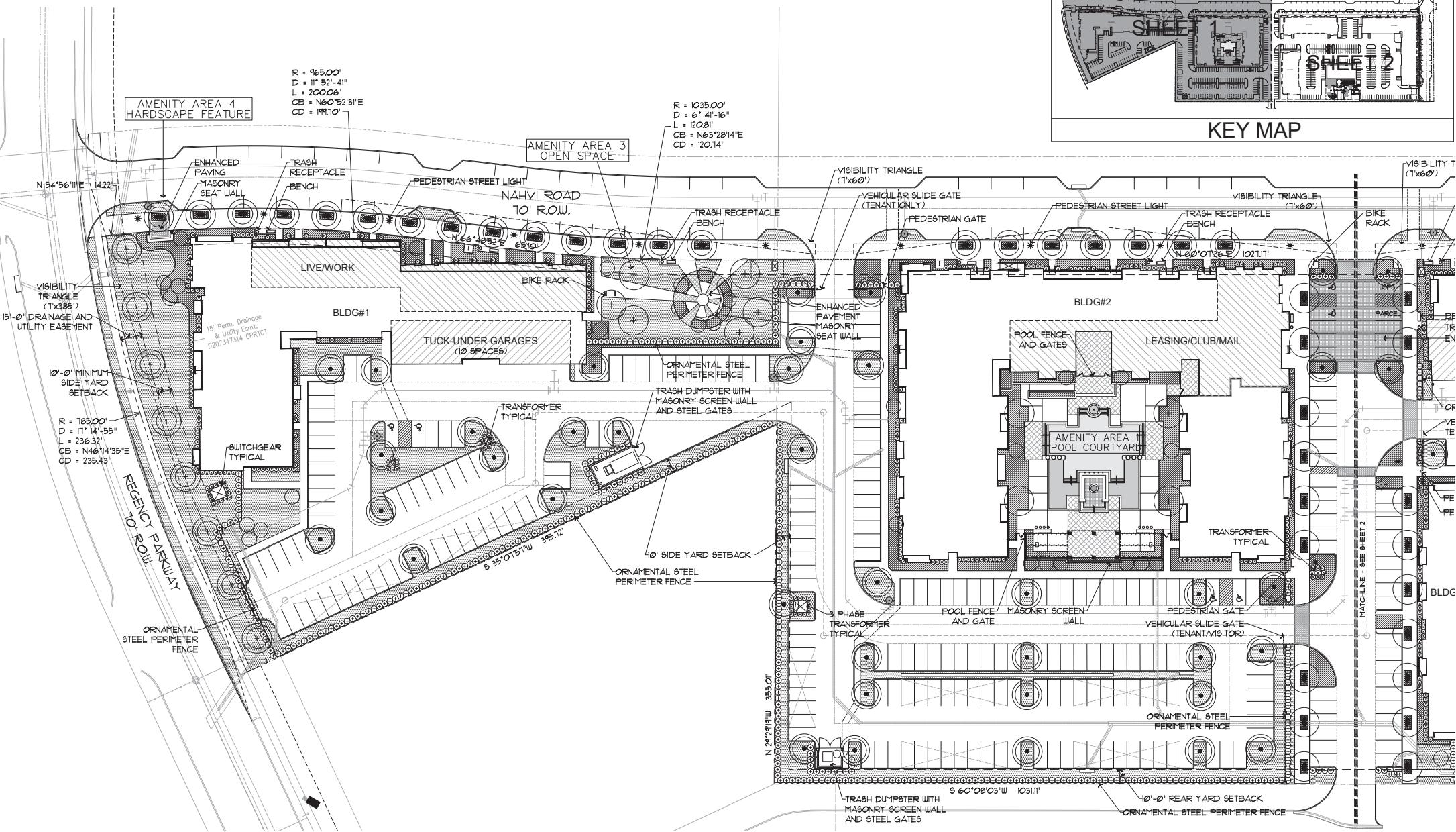
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CONCEPT RENDER - BLDG 1 - INTERSECTION OF ROBERT ROAD AND RECENTY PARKWAY



CONCEPT RENDER - BLDG 2 - LEASING ALONG NAHVI RD

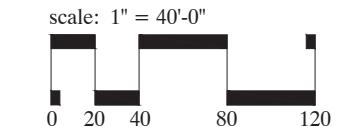


MATERIAL NOTES:

1. GATE AND FENCE LOCATIONS ARE SCHEMATIC AND SUBJECT TO CHANGE.
2. AMENITY AREA 1 - POOL COURTYARD (APPROX. 10500 SF)
 - CLUB AND FITNESS SPACES INTEGRATE WITH COURTYARD
 - COVERED OPEN-AIR LOUNGE SPACE
 - RESORT STYLE POOL WITH SUN SHELF AND WATER FEATURES
 - LOUNGE CHAIRS AND OUTDOOR FURNITURE
 - GRILLING STATION WITH BAR COUNTER
 - ENHANCED PAVEMENT POOL DECK
 - SYNTHETIC TURF LAWN AREAS
3. AMENITY AREA 2 - DOG PARK/RESIDENT ACTIVITY ZONE (APPROX. 13200SF)
 - FENCED DOG PARK WITH PET STATIONS
 - LAWN AREA FOR RESIDENT STRUCTURED RECREATIONAL ACTIVITY
 - SHARED COVERED PAVILION BETWEEN THE TWO ADJACENT SPACES
 - OUTDOOR FURNITURE AND BENCH SEATING
 - FESTIVE STRING LIGHTING
 - SHADE TREES AND ENHANCED PLANTING
4. AMENITY AREA 3 - OPEN SPACE (APPROX. 4500SF)
 - PASSIVE ZONE ADJACENT TO STREET FRONTRAGE AND ACCESSIBLE TO THE PUBLIC
 - INTIMATE HARD SURFACE SITTING AREA
 - BENCH SEATING AND MASONRY SEAT WALL
 - SHADE TREES AND ENHANCED PLANTING
 - PEDESTRIAN SCALED LIGHT FIXTURES
 - ENHANCED PAVEMENT
5. AMENITY AREA 4 - HARDSCAPE FEATURE
 - MASONRY SEAT WALL WITH MEMORIAL PLAQUE
 - ENHANCED PAVEMENT
 - ENHANCED PLANTING
6. DETAILS & SPECIFIC TO EACH AMENITY AREA TO BE PROVIDED WITH CONSTRUCTION PLANS.

GENERAL NOTES:

1. LANDSCAPING MAINTENANCE: THE PROPERTY OWNER, TENANT OR AGENT, SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL REQUIRED LANDSCAPING IN A HEALTHY, NEAT, ORDERLY AND LIVELY-GROWING CONDITION AT ALL TIMES. THIS SHALL INCLUDE MOWING, EDGING, PRUNING, FERTILIZING, IRRIGATION, WEEDING, AND OTHER SUCH ACTIVITIES COMMON TO THE MAINTENANCE OF LANDSCAPING. LANDSCAPED AREAS SHALL BE KEPT FREE OF TRASH, LITTER, WEEDS AND OTHER SUCH MATERIALS NOT A PART OF THE LANDSCAPING. PLANT MATERIAL THAT DIE SHALL BE REPLACED WITH PLANT MATERIALS OF SIMILAR VARIETY AND SIZE.
2. IRRIGATION: ALL LANDSCAPE AREAS SHALL BE IRRIGATED BY AN UNDERGROUND AUTOMATIC SYSTEM THAT MAY INCLUDE A Drip IRRIGATION SYSTEM. IRRIGATION SYSTEM SHALL BE DESIGNED, INSTALLED, MAINTAINED, ALTERED, REPAIRED, SERVICED AND OPERATED IN A MANNER THAT WILL PROMOTE WATER CONSERVATION.
3. FIRE APPARATUS CLEARANCE: FIRE DEPARTMENT RISER ROOM ACCESS SHALL REMAIN CLEAR OF SHRUBS OR OTHER LANDSCAPE MATERIAL THAT MAY CAUSE OBSTRUCTION. THREE (3) FOOT CLEARANCE SHALL BE MAINTAINED AROUND FIRE DEPARTMENT CONNECTIONS AND FIRE HYDRANT TYPICAL.
4. VISIBILITY TRIANGLE: NO TREES, SIGNS OR ANYTHING OVER TWO (2) FEET IN HEIGHT IS ALLOWED WITHIN THESE TRIANGLES.



SUP #1-001
LANDSCAPE PLAN - EXHIBIT D

JLB MANSFIELD

BLOCK A, LOT 1
IN THE CITY OF MANSFIELD, TARRANT COUNTY,
TEXAS

E. MCANIER SURVEY, ABST. NO. 1025
560284 Sq. Ft. (Gross) / 12,269 Acres (Gross)

Current Zoning: PD-1550-The Reserve-Workplace Subdistrict

LANDSCAPE ARCHITECT
ENVIRONMENTAL DESIGN
1424 GREENVILLE AVENUE, SUITE 200
3800 W. NORTHEAST HIGHWAY, 11TH FLOOR
DALLAS, TEXAS 75220
PHONE: (214) 987-3010
CONTACT: STEVEN REDDY
SHREDDY@ENVIRODESIGN-DALLAS.COM
PHONE: (214) 211-8480

TITLE
LANDSCAPE PLAN

SHEET
EXHIBIT D
1 OF 4

CONCEPT PLANT SCHEDULE
MAY INCLUDE BUT NOT LIMITED TO

STREET TREE (5' CALIPER MINIMUM/3.5' CALIPER
MINIMUM AT REGENCY PARKWAY) 54
Acer grandidentatum / Bigtooth Maple
Ulmus crassifolia / Cedar Elm
Quercus fusciformis / Live Oak
Quercus shumardii / Shumard Red Oak
Liquidambar styraciflua / Sweet Gum
Taxodium distichum / Bald Cypress
Ulmus americana / American Elm
Ulmus parvifolia / Lacebark Elm

PARKING LOT TREE (3.5' CALIPER MINIMUM) 11
Acer grandidentatum / Bigtooth Maple
Ulmus crassifolia / Cedar Elm
Quercus fusciformis / Live Oak
Quercus shumardii / Shumard Red Oak
Liquidambar styraciflua / Sweet Gum
Taxodium distichum / Bald Cypress
Ulmus americana / American Elm
Ulmus parvifolia / Lacebark Elm

ADDITIONAL CANOPY TREE (3' CALIPER MINIMUM) 40
Acer grandidentatum / Bigtooth Maple
Ulmus crassifolia / Cedar Elm
Quercus fusciformis / Live Oak
Quercus shumardii / Shumard Red Oak
Liquidambar styraciflua / Sweet Gum
Taxodium distichum / Bald Cypress
Ulmus americana / American Elm
Ulmus parvifolia / Lacebark Elm

SMALL TREE (2' CALIPER MINIMUM) 42
Cercis canadensis texensis / Texas Redbud
Ilex decidua / Possumhaw Holly
Ilex opaca 'savannah' / Savannah Holly
Ilex vomitoria / Yaupon Holly
Koelreuteria paniculata / Golden Rain Tree
Lagerstroemia indica / Crapemyrtle
Myrica cerifera / Southern Wax Myrtle
Prunus caroliniana / Carolina Laurel Cherry
Prunus mexicana / Mexican Plum
Vitex agnus-castus / Chaste Tree

DENSE EVERGREEN SHRUBS (5 GALLON MINIMUM) 600
Eleagnus ebbingei / Eleagnus
Ilex x attenuata 'Foster' / Foster Holly
Ilex cornuta / Chinese Holly
Ilex cornuta 'Burfordii Nana' / Dwarf Burford Holly
Ilex x 'Nellie R. Stevens' / Nellie R. Stevens Holly
Ilex vomitoria 'Nana' / Dwarf Yaupon
Juniperus chinensis 'Seagreen' Seagreen Juniper
Myrica pumila / Dwarf Wax Myrtle

SHRUBS (3 GALLON MINIMUM) 733
Abelia x grandiflora / Glossy Abelia
Hesperomeles parviflora / Red Tucca
Ilex cornuta 'Burfordii Nana' / Dwarf Burford Holly
Juniperus sabina 'Tamariscifolia' / Tam Juniper
Leucophyllum frutescens / Texas Sage
Ligustrum sinense 'Variegata' / Variegated Chinese Privet
Spirea sp. / Dwarf Spirea

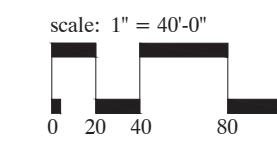
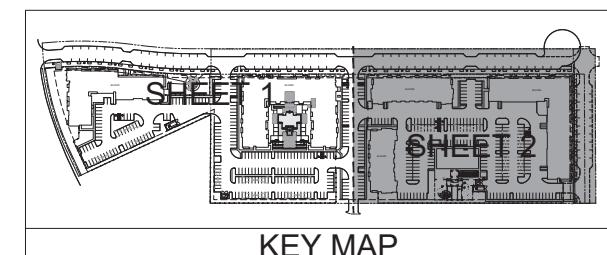
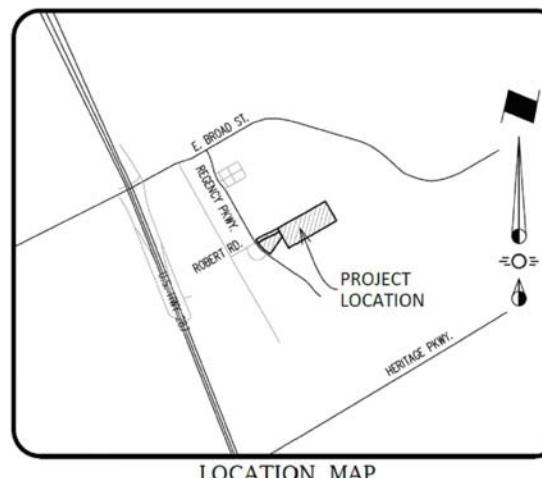
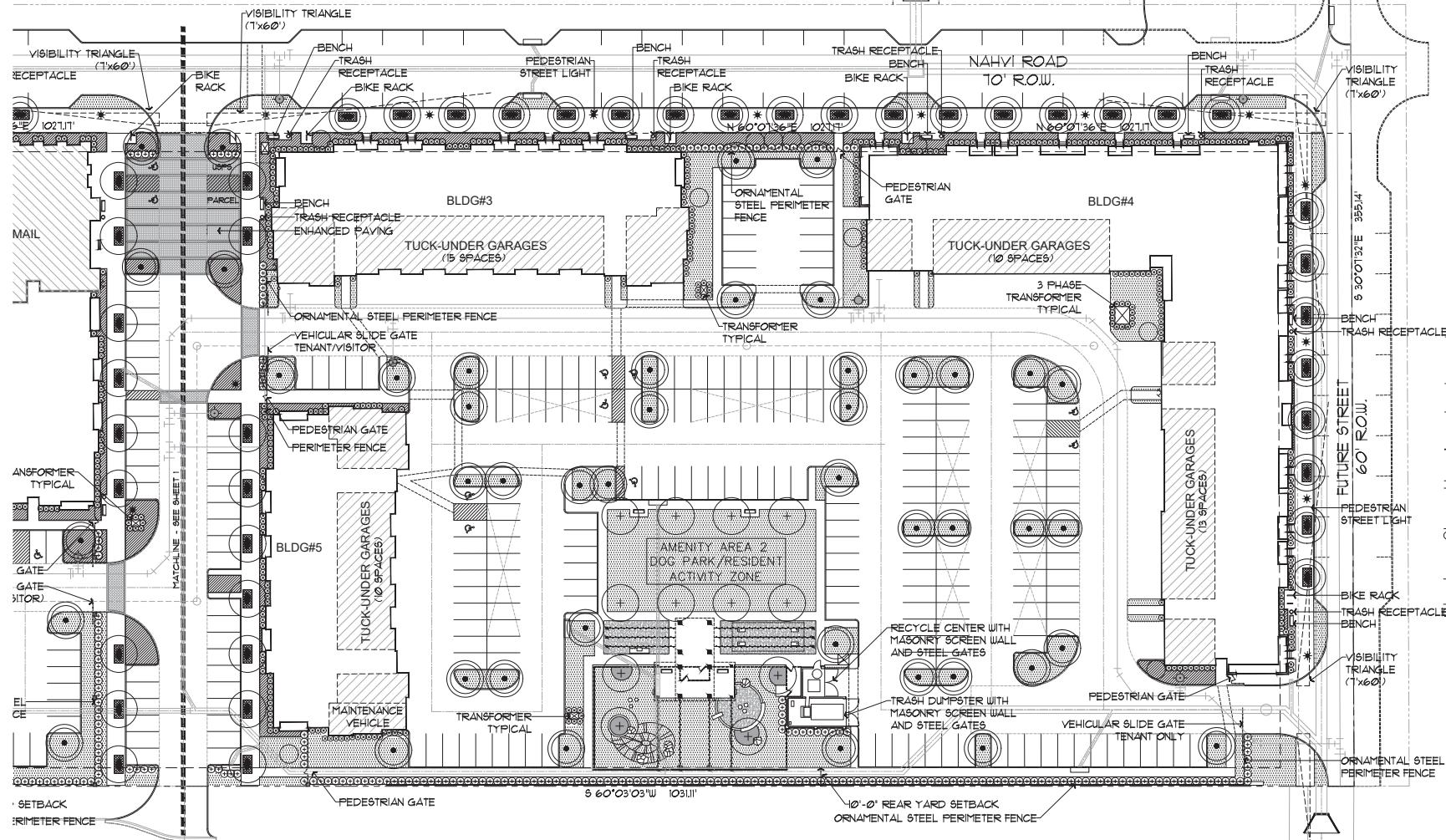
PERENNIAL (1 GALLON MINIMUM) 384

PLANTING AREA 11,140 sf

TURF (SOLID SOD) 59,590 sf

EVERGREEN GROUNDCOVER (1 GALLON MINIMUM) 2,309 sf

NOTE: REFERENCE EXHIBIT D SHEET 1 FOR GENERAL NOTES AND MATERIAL NOTES.



SUP #21-001
LANDSCAPE PLAN - EXHIBIT D

JLB MANSFIELD

BLOCK A, LOT 1
IN THE CITY OF MANSFIELD, TARRANT COUNTY,
TEXAS
E. MCANIER SURVEY, ABST. NO. 1025
560,284 Sq. Ft. (Gross) / 12.269 Acres (Gross)
Current Zoning: PD-1558-The Reserve-Workplace Subdistrict

LANDSCAPE ARCHITECT
ENVIRONMENTAL DESIGN
1424 GREENVILLE AVENUE, SUITE 200
DALLAS, TX 75231
PHONE: (214) 987-3010
CONTACT: STEVEN REDDY
SREDDY@ENVIRODESIGN-DALLAS.COM

OWNER / APPLICANT
JLB REALTY, LLC
1424 GREENVILLE AVENUE, SUITE 200
DALLAS, TEXAS 75231
PHONE: (214) 987-3010
CONTACT: BRITTON CHURCH
BCHURCH@JLBPARTNERS.COM
PHONE: (214) 211-8480

SUMMARY CHART - SITE DATA	
CURRENT ZONING CLASSIFICATION	PD 1558 (THE RESERVE PLANNED DEVELOPMENT WORKPLACE SUB-DISTRICT)
TOTAL SITE AREA:	12.869 ACRES (GROSS) / 560584 SF (GROSS) / 10202 ACRES (NET) / 444398 SF (NET)
PROPOSED USE:	MULTI-FAMILY APARTMENT
NO. UNITS/ NO. BEDROOMS (REFER TO ARCHITECTURALS)	356 UNITS / 401 BEDROOMS
NO. PARKING SPACES REQUIRED (REFER TO ARCHITECTURALS)	1 PER BEDROOM = 401

LANDSCAPE REQUIREMENTS	
LANDSCAPE IMPROVEMENTS FOR THE PROPERTY SHALL CONFORM TO APPLICABLE SECTION (INCLUDED BELOW) OF 'THE RESERVE PLANNED DEVELOPMENT DISTRICT STANDARD-WORKPLACE SUBDISTRICT' AS ADOPTED BY THE CITY OF MANSFIELD.	
SECTION 8 - PARKING AREAS	
8.4 SURFACE PARKING LANDSCAPING - PARKING LOTS THAT CONTAIN TEN (10) OR MORE PARKING SPACES SHALL PROVIDE LANDSCAPING AND SCREENING IN ACCORDANCE WITH SECTION 1300, LANDSCAPING AND SCREENING REQUIREMENTS OF THE MANSFIELD ZONING ORDINANCE.	
8.6 SURFACE PARKING PERIMETER SCREENING - ALL SURFACE PARKING LOTS SHALL BE SCREENED FROM STREET VIEW, SUCH SCREENING SHALL TAKE THE FORM OF THREE (3) FOOT PLANTING OF DENSE EVERGREEN HEDGE AT THE TIME OF INSTALLATION MEASURED ABOVE THE GRADE OF THE PARKING LOT.	
SECTION 10 - SERVICE AND EQUIPMENT AREAS	
10.2 SERVICE AREA SCREENING - WHEN SERVICE AREAS ARE NOT ABLE TO BE PLACED WITHIN THE BUILDING ENVELOPE, THEY SHALL BE SCREENED BY MASONRY WALLS SIX (6) FEET IN HEIGHT WITH ADJACENT PLANTINGS OF DENSE EVERGREEN MATERIAL THREE (3) FEET IN HEIGHT AT INSTALLATION. TRANSFORMERS, SWITCHGEAR, AIR CONDITIONERS, AND OTHER GROUND MOUNTED EQUIPMENT OR UTILITY FUNCTIONS MUST BE SCREENED FROM VIEW WITH EVERGREEN PLANTINGS SIX (6) FEET IN HEIGHT AT INSTALLATION.	
SECTION 13 - STREETSCAPE AND OPEN SPACE	
13.1 FRONT YARDS - SIDEWALKS AND LANDSCAPING SHALL BE PROVIDED BETWEEN THE STREET AND BUILDING FAÇADE TO OFFER AN INVITING WALKING EXPERIENCE. PLANT MATERIALS SHOULD CONSIST OF SHADE TREES, ORNAMENTAL TREES, SHRUBS, EVERGREEN GROUNDCOVERS, VINES, AND SEASONAL COLOR, AND MAY BE OMITTED AT BUILDING ENTRIES, SEATING AREAS, AND ADJACENT TO COMMERCIAL USES.	
13.2 STREETSCAPES - STREET TREES SHALL BE PLANTED AT AN AVERAGE OF THIRTY (30) FEET ON CENTER ACROSS EACH BLOCK FACE AND THREE AND A HALF (3.5) FEET FROM THE BACK OF CURB, TREES TO HAVE A MINIMUM CALIPER OF FIVE (5) INCHES AT INSTALLATION, AND SHALL NOT BE CLOSER THAN TEN (10) FEET FROM A STREET LIGHT OR FIRE HYDRANT.	
13.5 STREET TREES ALONG REGENCY PARKWAY - STREET TREES SHALL BE PLANTED AT AN AVERAGE FORTY (40) FEET ON CENTER. TREES SHALL HAVE A MINIMUM CALIPER OF THREE AND A HALF (3.5) INCHES AT INSTALLATION.	
13.6 TREE PLANTERS - STREET TREES TO BE CENTERED WITHIN FIVE (5) FOOT BY TEN (10) FOOT PLANTERS AS LEAVE-OUTS WITHIN THE SIDEWALK AND SURROUNDED WITH EITHER A TWELVE (12) INCH HIGH ORNAMENTAL STEEL FENCE OR BRICK TURN-UP EDGE. THESE PLANTERS WILL ALSO CONSIST OF EVERGREEN GROUNDCOVER AND PERENNIAL PLANTINGS FOR AESTHETIC INTEREST. THE STREET-FACING EDGE OF ALL PLANTERS SHALL BE PLACED ONE AND A HALF (1.5) FEET FROM THE FACE OF THE CURB.	
13.8 OPEN SPACE - THE PROVISIONS OF ADEQUATE AND APPROPRIATE OPEN SPACE AREAS ADD VALUE TO DEVELOPMENT AND ARE ENCOURAGED IN ALL DEVELOPMENT IN THE SUB-DISTRICT. THE OPEN SPACE PROVIDED SHOULD BE APPROPRIATELY DESIGNATED AND SCALED. OPEN SPACES MAY BE IN THE FORM OF POCKET PARKS, PLAZAS, SQUARES, LINEAR PARKS, ENVIRONMENTAL PRESERVES, PRIVATE OPEN SPACES, SIDEWALKS, ACTIVE SPORTS FIELDS, STRUCTURED RECREATIONAL ACTIVITY AREAS, ETC.	
13.9 STREET BENCHES - STREET BENCHES SHALL BE PROVIDED AT AVERAGE INTERVALS OF ONE HUNDRED AND FIFTY (150) FEET ALONG ALL BLOCK FACES EXCEPT ALONG REGENCY PARKWAY. STREET BENCHES SHALL BE PLACED FACING THE SIDEWALK AND CURB, AND PARALLEL TO THE BUILDINGS.	
13.10 STREET LIGHTS - STREET LIGHTS SHALL BE PROVIDED FOUR (4) FEET FROM FACE OF CURB AT AVERAGE INTERVALS OF NINETY (90) FEET ALONG ALL BLOCK FACES EXCEPT REGENCY PARKWAY. LIGHT FIXTURE SHALL BE MOUNTED TEN (10) TO TWELVE (12) FEET FROM FINISH GRADE AND SHALL BE METAL HALIDE TYPE.	
13.11 BICYCLE RACKS - BICYCLE RACKS SHALL BE PROVIDED AT AVERAGE INTERVALS OF ONE HUNDRED AND FIFTY (150) FEET ALONG ALL BLOCK FACES EXCEPT REGENCY PARKWAY, AND CLUSTERED AT STREET LIGHT OR BUILDING ENTRY LOCATIONS.	
13.12 LITTER CONTAINERS - LITTER CONTAINERS SHALL BE PROVIDED AT AVERAGE INTERVALS OF ONE HUNDRED AND FIFTY (150) FEET ALONG ALL BLOCK FACES EXCEPT REGENCY PARKWAY, AND CLUSTERED AT STREET LIGHT OR BUILDING ENTRY LOCATIONS.	
SECTION 1300 - LANDSCAPING AND SCREENING REQUIREMENTS	
Q. PARKING LOT PERIMETER LANDSCAPING: (1) IN THE MF-1, MF-2, OF, C-1, C-2, C-3, I-1, AND I-2 ZONING DISTRICTS AND ALL NONRESIDENTIAL DEVELOPMENT SUCH AS CHURCHES, SCHOOLS, AND PUBLIC FACILITIES IN ANY ZONING DISTRICT, ALL PARKING LOT, VEHICULAR USE AND MANEUVERING AREAS THAT ARE NOT SCREENED BY ONSITE BUILDINGS SHALL BE SCREENED FROM VIEW OF PUBLIC STREETS IN ACCORDANCE WITH THE FOLLOWING REQUIREMENTS:	
(a) THE SCREENING SHALL BE A MINIMUM HEIGHT OF THREE (3) FEET AT Maturity (IN THE CASE OF PLANTS) ABOVE THE GRADE OF THE PARKING LOT, VEHICLE USE AND/OR MANEUVERING AREAS.	
(b) THE SCREENING SHALL CONSIST OF ONE OF A COMBINATION OF THE FOLLOWING: 1) SCREENING SHRUBS, AND/OR 2) SODDED BERMS.	
(c) THE SCREENING MAY OCCUR WITHIN THE STREET LANDSCAPE SETBACK.	
(d) WHEEL STOPS SHALL BE PROVIDED FOR PARKING SPACES ADJACENT TO THE SCREENING TO PROHIBIT ANY VEHICLE FROM OVERHANGING THE PLANTING AREA.	
R. PARKING LOT INTERNAL LANDSCAPING: ANY PARKING LOT THAT CONTAINS TEN (10) OR MORE PARKING SPACES SHALL PROVIDE INTERNAL LANDSCAPING EXCEPT AS PRESCRIBED HEREIN BELOW.	
(1) A RATIO OF ONE CANOPY TREE FOR EVERY TEN (10) PARKING SPACES SHALL BE PROVIDED THROUGHOUT ANY SURFACE PARKING LOT.	
(2) PLANTING AREAS FOR THE TREES WITHIN THE PARKING ROWS OF A SURFACE PARKING LOT SHALL BE ACHIEVED BY ONE OR BOTH OF THE FOLLOWING:	
(a) A CONTIGUOUS LANDSCAPE MEDIAN STRIP, AT LEAST SIX (6) FEET WIDE (BACK-OF-CURB TO BACK-OF-CURB) BETWEEN ROWS OF PARKING SPACES. TREES SHALL BE PLACED AT INTERVALS NO GREATER THAN FORTY (40) FEET APART OF FRACTION THEREOF.	
(b) LANDSCAPE ISLANDS, AT LEAST THE MINIMUM SIZE OF A REGULAR PARKING SPACE OF NINE BY EIGHTEEN FEET (9' x 18') OR ONE HUNDRED SIXTY-TWO (162) SQUARE FEET, NO MORE THAN FIFTEEN (15) CONTIGUOUS SPACES SHALL BE LOCATED TOGETHER WITHOUT A TREE-ISLAND.	
(3) PARKING LOTS THAT ARE DESIGNED WITH PLANTED OR RAISED LANDSCAPE ISLANDS SHALL DESIGN THE ISLANDS SO AS NOT TO INTERFERE WITH THE OPENING OF CAR DOORS IN ADJACENT SPACES.	
(4) EVERY REQUIRED LANDSCAPE ISLAND MUST INCLUDE ONE (1) CANOPY TREE.	
S. PARKING END CAPS: ONE (1) LANDSCAPE ISLAND SHALL BE LOCATED AT THE TERMINUS OF EACH ROW OF PARKING AND SHALL CONTAIN ONE (1) TREE. ROWS WITH HEAD-TO-HEAD PARKING ARRANGEMENT SHALL HAVE TWO (2) ISLANDS AND TWO (2) TREES.	

SUMMARY CHART - BUFFER YARDS/ SETBACKS					
LOCATION OF BUFFERYARD OR SETBACK	REQUIRED/ PROVIDED	LENGTH	BUFFER YARD OR SETBACK WIDTH/ TYPE	CANOPY TREES	ORNAMENTAL TREES
NORTH (NAHVI ROAD)	REQUIRED (1 TREE/ 30 LF)	1404.26'	LOCAL STREET 10' ROW	41	N/A
	PROVIDED	1404.26'	LOCAL STREET 10' ROW	*38	N/A
EAST (FUTURE STREET)	REQUIRED (1 TREE/ 30 LF)	329.14'	LOCAL STREET 60' ROW	11	N/A
	PROVIDED	329.14'	LOCAL STREET 60' ROW	*8	N/A
SOUTH	REQUIRED	103.11"	10' REAR YARD SETBACK	N/A	N/A
	PROVIDED	103.11"	10' REAR YARD SETBACK	N/A	N/A
WEST (INSET)	REQUIRED	355.01'	10' SIDE YARD SETBACK	N/A	N/A
	PROVIDED	355.01'	10' SIDE YARD SETBACK	N/A	N/A
SOUTH (INSET)	REQUIRED	355.12'	10' SIDE YARD SETBACK	N/A	N/A
	PROVIDED	355.12'	10' SIDE YARD SETBACK	N/A	N/A
WEST (REGENCY PARKWAY)	REQUIRED (1 TREE/40 LF)	312.45'	10' MIN. SIDE YARD SETBACK	8	N/A
	PROVIDED	312.45'	10' MIN. SIDE YARD SETBACK	8	N/A

SUMMARY CHART - INTERIOR LANDSCAPE					
LANDSCAPE AREA (SF)	% OF LANDSCAPE AREA	CANOPY TREES	ORNAMENTAL TREES	SHRUBS	GROUNDCOVER (SF)
REQUIRED	44,440 SF	10%	N/A	N/A	N/A
PROVIDED	44,440 SF	10%	N/A	N/A	N/A

SUMMARY CHART - INTERIOR PARKING LOT LANDSCAPING	
NUMBER OF REQUIRED PARKING SPACES	401
NUMBER OF PROVIDED PARKING SPACES (INCLUDES TANDEM PARKING/EXCLUDES ON-STREET PARKING)	510
NUMBER OF TREES REQUIRED (1 TREE/ 10 SPACES)	51
NUMBER OF TREES PROVIDED	11

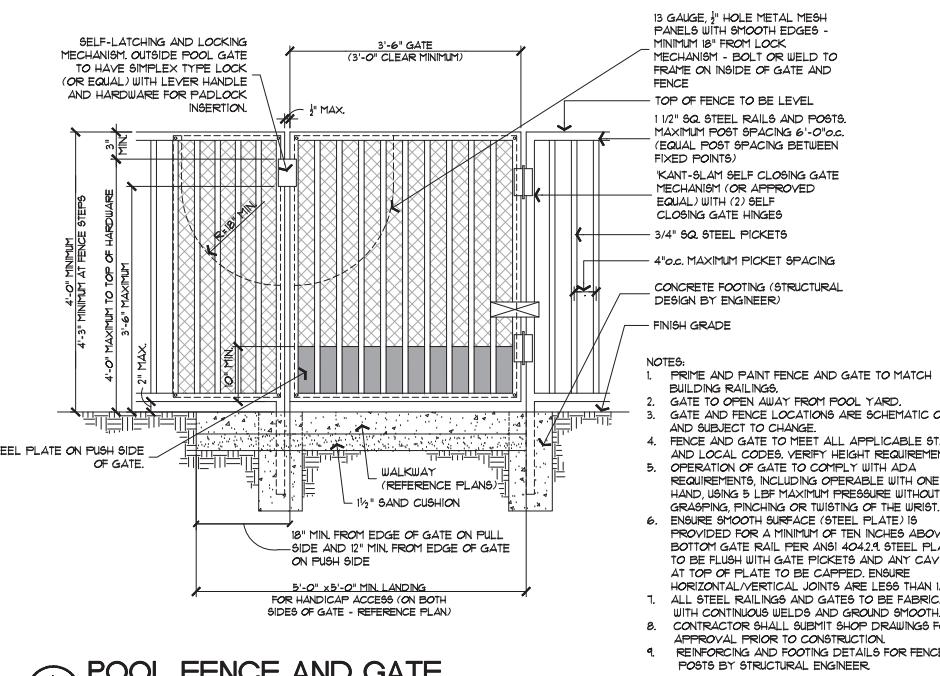
NOTE ANY CREDITS USED IN CALCULATIONS: N/A

OTHER COMMENTS: N/A

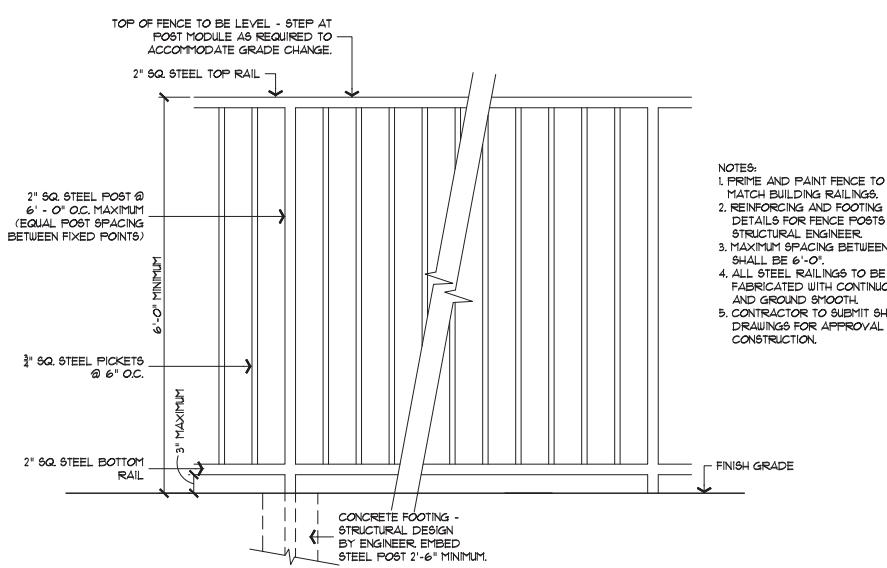
MAY INCLUDE BUT NOT LIMITED TO

STREET TREE (5' CALIPER MINIMUM/3.5' CALIPER MINIMUM AT REGENCY PARKWAY)	54	600
Eleagnus ebbingei Eleagnus ebbingei 'Foster' Foster Holly		
Acer grandidentatum / Bigtooth Maple		
Ulmus crassifolia / Cedar Elm		
Quercus fusciformis / Live Oak		
Quercus shumardii / Shumard Red Oak		
Liquidambar styraciflua / Sweet Gum		
Taxodium distichum / Bald Cypress		
Ulmus americana / American Elm		
Ulmus parvifolia / Lacebark Elm		
DENSE EVERGREEN SHRUBS (5 GALLON MINIMUM)		
Eleagnus ebbingei Eleagnus ebbingei 'Foster' Foster Holly		
+		
PARKING LOT TREE (3.5' CALIPER MINIMUM)	11	733
Acer grandidentatum / Bigtooth Maple		
Ulmus crassifolia / Cedar Elm		
Quercus fusciformis / Live Oak		
Quercus shumardii / Shumard Red Oak		
Liquidambar styraciflua / Sweet Gum		
Taxodium distichum / Bald Cypress		
Ulmus americana / American Elm		
Ulmus parvifolia / Lacebark Elm		
SHRUBS (3 GALLON MINIMUM)		
Abelia x grandiflora / Glossy Abelia		
Hesperaloe parviflora / Red Yucca		
Ilex cornuta 'Burfordii Nana' / Dwarf Burford Holly		
Juniperus sabina Tamariscifolia / Tam Juniper		
Leucophyllum frutescens / Texas Sage		
Ligustrum sinense 'Variegata' / Variegated Chinese Privet		
Spiraea sp. / Dwarf Spiraea		
PERENNIAL (1 GALLON MINIMUM)		384
+		
PLANTING AREA		11,140 sf
TURF (SOLID SOD)		59,590 sf
+		
EVERGREEN GROUNDCOVER (1 GALLON MINIMUM)		2,309 sf
+		
SMALL TREE (2' CALIPER MINIMUM)	42	
Cercis canadensis texensis / Texas Redbud		
Ilex decidua / Possumhaw Holly		
Ilex opaca 'Savannah' / Savannah Holly		
Koelreuteria paniculata / Golden Rain Tree		
Lagerstroemia indica / Crepe Myrtle		
Myrta cerifera / Southern Wax Myrtle		
Prunus caroliniana / Carolina Laurel Cherry		
Prunus mexicana / Mexican Plum		
Vitis angus-castus / Choke Tree		
SUP #21-001		

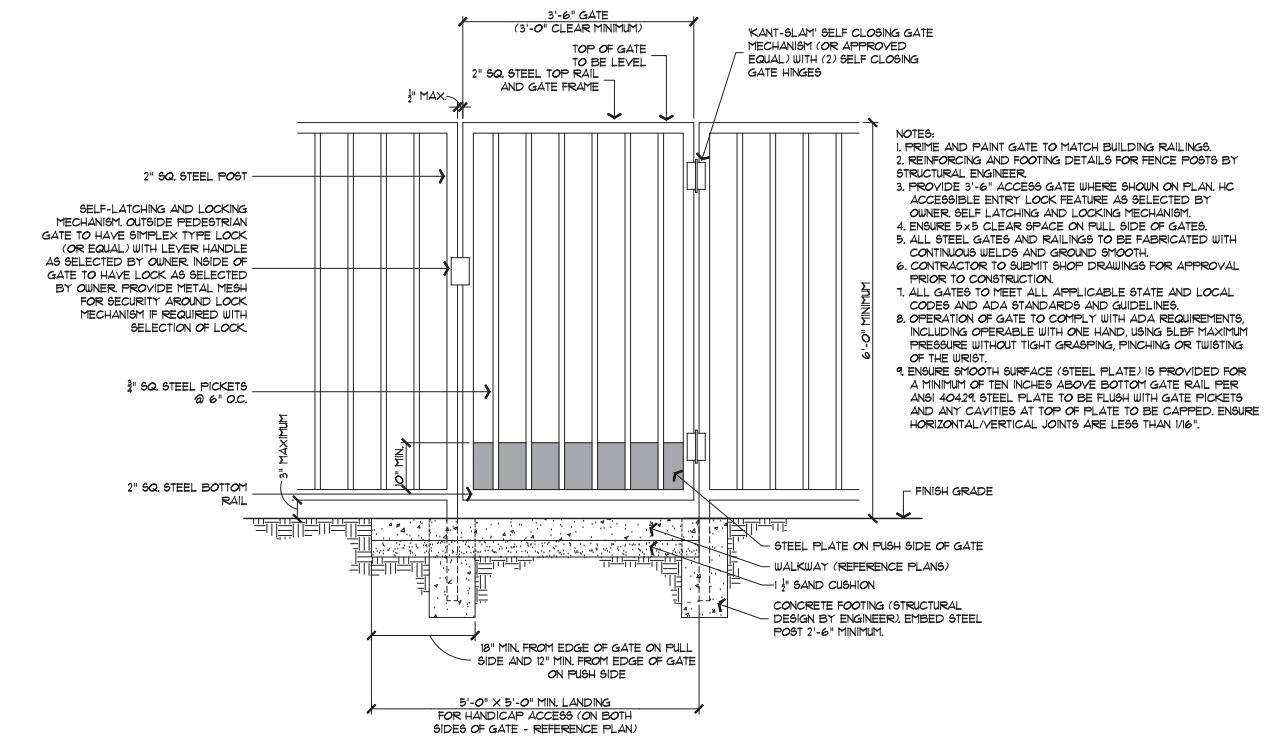
LANDSCAPE REQUIREMENTS & SUMMARY TABLES - EXHIBIT D
JLB MANSFIELD
BLOCK A, LOT 1
IN THE CITY OF MANSFIELD, TARRANT COUNTY, TEXAS
E. MCANIER SURVEY, ABST. NO. 1005
560584 Sq. Ft. (Gross) / 12.869 Acres (Gross)
Current Zoning: PD-1558-The Reserve-Workplace Subdistrict
LANDSCAPE ARCHITECT
ENVRO DESIGN
1424 GREENVILLE AVENUE, SUITE 200
DALLAS, TX 75231
PHONE: (214) 987-3010
CONTACT: BRITTON CHURCH
E-MAIL: BCHURCH@JLBPARTNERS.COM
PHONE: (214) 21-0400
OWNER / AP



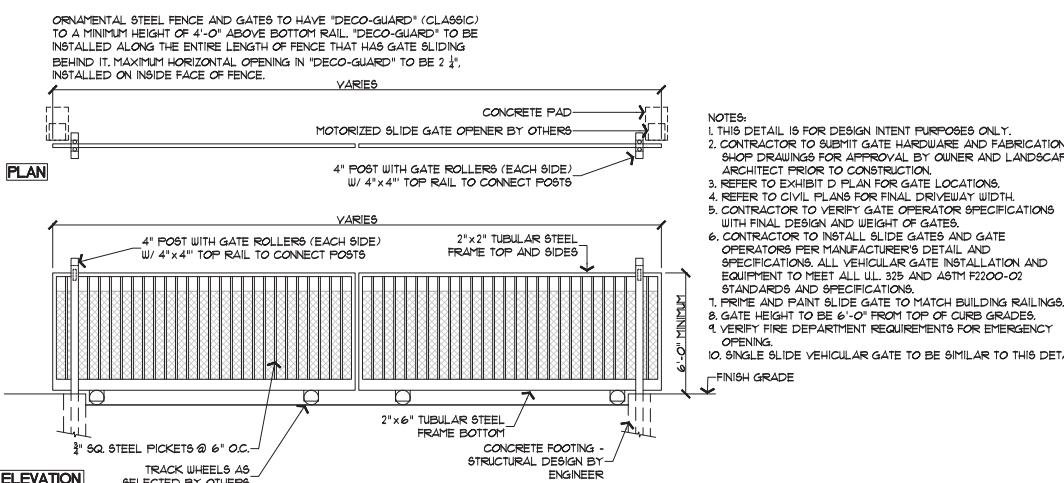
A POOL FENCE AND GATE



B PERIMETER FENCE



D PERIMETER GATE



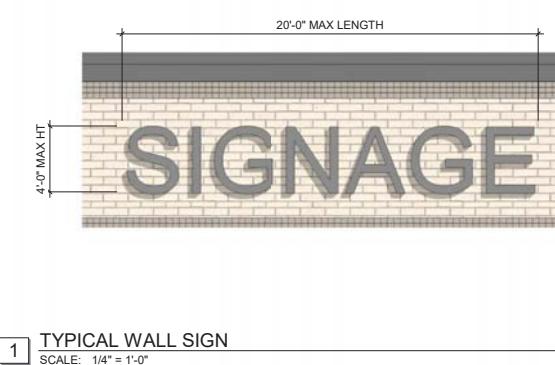
C VEHICULAR SLIDE GATE



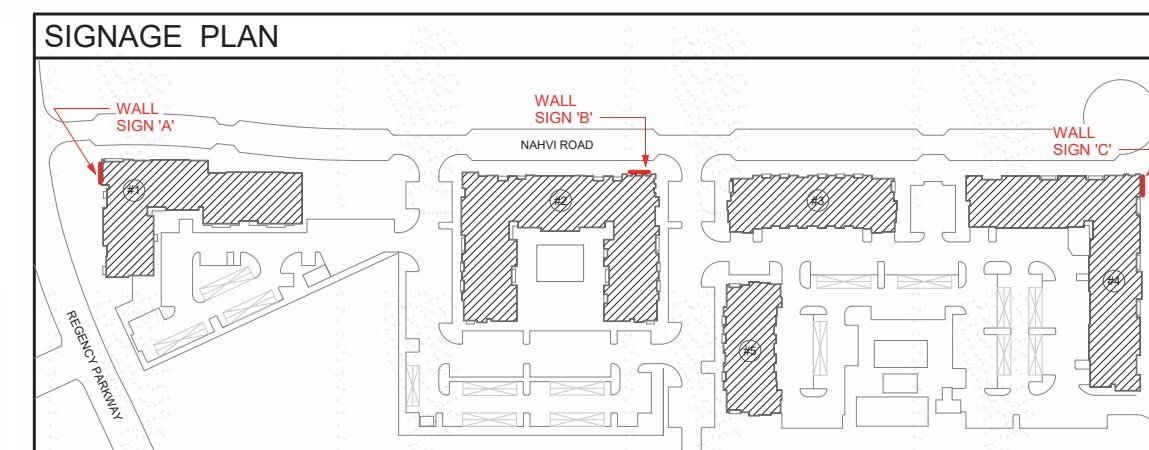
PROPOSED WALL SIGN 'A' FACING REGENCY PKWY



PROPOSED WALL SIGN 'B' FACING NAHVI RD



1 TYPICAL WALL SIGN
SCALE: 1/4" = 1'-0"



SIGNAGE AND MATERIALS PLAN - EXHIBIT E

CASE NUMBER _SUP #21 - 001

HENSLEY LAMKIN RACHEL, INC.
14881 QUORUM DR #550
DALLAS, TX 75254
CONTACT PERSON - JUAN TORRES
(sr. proj. manager)
EMAIL - juan@hlrinc.net

Sheet No.

PAGE 1 OF 1

VICINITY MAP - MANSFIELD , TX



HLR
ARCHITECTS

HENSLEY LAMKIN RACHEL, INC.

DALLAS • HOUSTON • SEATTLE

WWW.HLRINC.NET

PH: 972.726.9400

Revisions

BRUCE W. RACHEL, AIA
TX LICENCE NO. 14373
PRELIMINARY DRAWING
NOT FOR CONSTRUCTION
NOT FOR GOVERNMENTAL REVIEW

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WITHOUT WRITTEN CONSENT OF HENSLEY
LAMKIN RACHEL, INC.

Project Title:
NAHVI ROAD
EXHIBIT E
MANSFIELD, TX.

JLB
PARTNERS

Project ID: #20410

Sheet No.



CITY OF MANSFIELD

1200 E. Broad St.
Mansfield, TX 76063
mansfieldtexas.gov

STAFF REPORT

File Number: 21-4006

Agenda Date: 4/5/2021

Version: 1

Status: Public Hearing

In Control: Planning and Zoning Commission

File Type: Zoning Case

Agenda Number:

Title

ZC#21-003: Public hearing for a change of zoning from PR Pre-Development District to PD Planned Development District for single-family residential uses on approximately 4 acres out of the Ray Grevious Survey, Abstract No. 1307, Tarrant County, TX, located at 2349 N. Holland Rd.; Jeff Linder of Bannister Engineering (engineer) on behalf of Mouaz Allababidi of Allababidi Foundation, LLC (owner)

Description/History

Existing Use: Single-family residential

Existing Zoning: PR, Pre-Development District

Surrounding Land Use & Zoning:

North - Vacant land and single-family residential, PR & SF-12/22

South - Single-family residential, PR

East - Holland Rd.; Single-family residential (City of Arlington) across the street

West - Single-family residential, PR

Thoroughfare Plan Specification:

N. Holland Rd. - local collector (two-lane undivided)

Collins St. - principal arterial (six-lane divided)

Comments and Considerations

The subject property consists of 4 acres with an existing single-family residential home. The applicant is requesting to rezone the property from PR Pre-Development District to PD Planned Development District for single-family residential uses.

Development Plan and Regulations

The applicant plans to develop a single-family residential development called Damascus Gardens with nine residential lots and three open space lots. A new public street, Damask Rose Court, will extend from Holland Road through the middle of the property with the lots located on either side. In order to accommodate this configuration, the proposed lots are shallower than what the existing zoning allows, which is the primary reason for the zoning change. Due to the shallower lots, the front and rear setbacks will also be reduced. The development will have a gross density of 2.25 dwelling units per acre and will have the following minimum standards:

Minimum Lot Area: 12,000 sq. ft.

Minimum Lot Width: 120'; 79' at cul-de-sac

Minimum Lot Depth: 95'; 70' at cul-de-sac
Minimum Front Yard: 20'
Minimum Rear Yard: 15'
Minimum Interior Side Yard: 10'
Minimum Residential Floor Area: 2,600 sq. ft.
Maximum Height: 35'
Maximum Lot Coverage: 45%

The architecture and community design standards will adhere to Section 4600 of the Zoning Ordinance, with the exception that the homes will be allowed to be up to 100% stucco. Staff does not support the deviation from the architectural requirements to allow 100% stucco as it out of character for the area; staff recommends the homes be at least 80% masonry as required by Section 4600.

Access and Circulation

The development will be served by a single public street (Damask Rose Court), which will connect directly to Holland Road. In addition, right-of-way will be dedicated along Holland Road to accommodate future expansion and improvements. With this development, the existing driveway that is shared with the property to the south will need to be reconfigured, which the adjacent property owner has agreed to. Off-street parking and loading standards will adhere to Section 7200 of the Zoning Ordinance as it relates to single-family residential uses.

Enhanced Entryway Plan

The entrance into the development on Damask Rose Court will include an enhanced entryway. As indicated in the Enhanced Entryway Plan (Exhibit C), the developer will be providing five enhanced entry features as required by the Zoning Ordinance. The five proposed elements are a boulevard section with median, enhanced pavers or stained concrete (stamped patterned colored concrete), decorative street lighting, enhanced architectural features (enhanced screening wall with signage and 8' architectural columns), and enhanced landscaping features (shade trees, ornamental trees, shrubs, and ground cover).

Landscaping, Screening, and Amenities

A Landscape and Screening Plan (Exhibit D) has been provided for the development. As required for 12,000 sq. ft. lots, each residential lot will include four medium-size canopy trees with a minimum of two in the front yard. In addition, an open space lot (Lot 11X) will be located at the northeast corner of the development near the entrance, which will include a detention pond, mail kiosk, bench, trash receptacle, walking path, and gazebo. Landscaping will also be provided at the entryway and in open space lots along Holland Road. A 6' masonry screening wall with 7' columns will screen Lot 2 from Holland Road and a 6' ornamental metal fence with 7' masonry columns will screen the open space lot (Lot 11X) from Holland Road; this open-style fence will allow for proper drainage and provide for views of the landscaped pond. A 6' board-on-board wood fence with cap rail will be provided along the north, west, and south perimeters of the development to provide for consistent screening adjacent to surrounding residential properties.

Residential Elevations

The applicant has provided elevations for the proposed homes, which show a Mediterranean style of architecture, including some use of stucco and barrel tile roofing, as well as side-loaded garages. The elevations appear to be well articulated, with numerous façade recesses and projections, roof variations, windows, materials changes, and some covered entryways. The applicant has indicated the homes will adhere to Section 4600 of the Zoning Ordinance, with the exception that the homes will be allowed to be up to 100% stucco. Staff does not support the deviation from the architectural requirements to allow 100% stucco as it out of character for the area; staff recommends the homes be at least 80% masonry as required by Section 4600.

Recommendation

The proposed development will provide for an infill residential development including single-family residential uses. The Land Use Plan recommends continued development as suburban residential consistent with adjacent development. While the immediate surrounding properties are generally a half-acre or larger, properties further to the south and west have been built out at suburban densities and it is expected this area will continue to redevelop at suburban densities as land becomes more scarce. The proposed development also provides for lots that have the minimum lot size required by the existing zoning. The primary reason for the Planned Development zoning request is to allow lots with a shallower depth than the current zoning would allow in order to provide for a double-loaded street where all lots back to the surrounding properties. The shallower lot depths also require reduced front and rear setbacks, which are consistent with setbacks in other developments in the City. Staff does not support the exception to allow homes with up to 100% stucco and recommends the homes follow allow aspects of Section 4600 of the Zoning Ordinance, including the minimum 80% masonry percentage. The landscaping, pond, neighborhood amenities, and entryway features will add value and interest to the development, while screening helps to provide privacy for neighborhood residents and reduce any impacts to surrounding properties.

Staff recommends approval with the following conditions:

1. The applicant must provide written permission from the City of Arlington for sanitary sewer access.
2. The applicant must provide written permission from the City of Arlington that they acknowledge receiving extra runoff.
3. The applicant must confirm whether the existing water main has an adequate fire flow or not.
4. Remove the exception to allow up to 100% stucco; the development architecture and materials must adhere to Section 4600 of the Zoning Ordinance, including the requirement for at least 80% masonry.

Attachments:

Maps and Supporting Information

Exhibit A - Property Description

Exhibit B - Development Plan

Exhibit C - Enhanced Entryway Plan

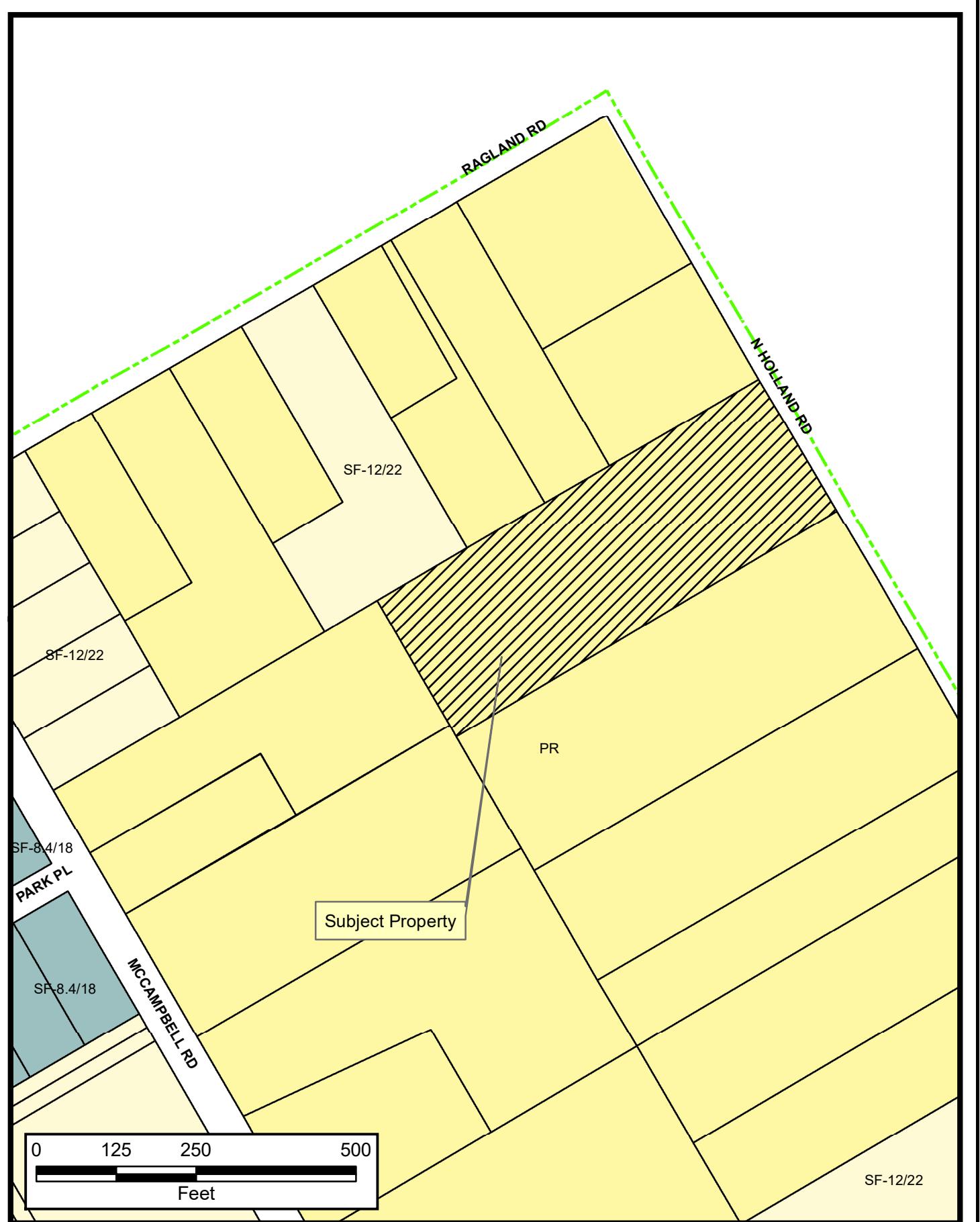
Exhibit D - Landscape and Screening Plan
Exhibit E - Residential Elevations
Driveway Acceptance Letter
Letter of Opposition



ZC#21-003

This information is for illustrative purposes only. Not for design or development purposes. Site-specific studies may be required to obtain accurate feature locations. Every effort is made to ensure the information displayed here is accurate; however, the City of Mansfield makes no claims to its accuracy or completeness.

3/25/2021



This information is for illustrative purposes only. Not for design or development purposes. Site-specific studies may be required to obtain accurate feature locations. Every effort is made to ensure the information displayed here is accurate; however, the City of Mansfield makes no claims to its accuracy or completeness.

3/25/2021

Property Owner Notification for ZC#21-003

LEGAL DESC 1	LEGAL DESC 2	OWNER NAME	OWNER ADDRESS	CITY	ZIP
			*** NO ADDRESS ***	*** NO CITY ***	* NO ZIP *
HALL ADDN (MANSFIELD)	BLK 1	HALL, JOE B	1050 MCCAMPBELL RD	MANSFIELD, TX	76063-5305
JACKSON ADDITION	BLK 1	GONZALES, DAVID R & DEBRA J	2816 RAGLAND RD	MANSFIELD, TX	76063-5319
MASCO ADDITION	BLK 1	MATOKE, CARRIE A	8125 DARTMOOR CT	COLORADO SPRINGS, CO	80920-6142
RAY, GREVIOUS SURVEY	A 1307	PALOMINO, JOSEPH G	2848 RAGLAND RD	MANSFIELD, TX	76063-5319
RAY, GREVIOUS SURVEY	A 1307	ALLABABIDI FOUNDATION LLC	2349 N HOLLAND RD	MANSFIELD, TX	76063
RAY, GREVIOUS SURVEY	A 1307	MCGLASSON, IRVY LEE JR	2315 N HOLLAND RD	MANSFIELD, TX	76063-5507
RAY, GREVIOUS SURVEY	A 1307	WRIGHT, JOHNNY E & NANCY L	1020 MCCAMPBELL RD	MANSFIELD, TX	76063
RAY, GREVIOUS SURVEY	A 1307	JONES, RUSSELL B & JANE A	2888 RAGLAND RD	MANSFIELD, TX	76063-5319
RAY, GREVIOUS SURVEY	A 1307	MUBAAK, MUSTAFA	2860 RAGLAND RD	MANSFIELD, TX	76063-5319

Exhibit A

ZC#21-003

LEGAL LAND DESCRIPTION:

BEING 4.000 acres (174,255 square feet) of land in the Ray Grevious Survey, Abstract No. 1307, City of Mansfield, Tarrant County, Texas; said 4.000 acres (174,255 square feet) of land being a portion of that certain tract of land described in a General Warranty Deed to Allababidi Foundation, LLC (hereinafter referred to as Allababidi Foundation tract), as recorded in Instrument Number D220313589, Official Public Records, Tarrant County, Texas (O.P.R.T.C.T.); said 4.000 acres (174,255 square feet) of land being more particularly described, by metes and bounds, as follows:

BEGINNING at a mag nail set in asphalt pavement for the Northeasterly corner of said Allababidi Foundation tract, same being a point in North Holland Road, previously known as County Road 2011 (variable width right-of-way);

THENCE South 30 degrees 13 minutes 23 seconds East with the Northeasterly line of said Allababidi Foundation tract and with said North Holland Road, a distance of 245.05 feet to a mag nail set in asphalt pavement for the Southeasterly corner of said Allababidi Foundation tract, same being the Northeasterly corner of that certain tract of land described in a Warranty Deed to Irvy Lee McGlasson, Jr. and wife, Mary Gann McGlasson (hereinafter referred to as McGlasson tract), as recorded in Volume 5920, Page 350, Deed Records, Tarrant County, Texas;

THENCE South 59 degrees 46 minutes 37 seconds West, departing said North Holland Road, with the common line between said Allababidi Foundation tract and said McGlasson tract, a distance of 711.10 feet to a three-eighths inch iron rod found for the Southwesterly corner of said Allababidi Foundation tract, same being the Northwesterly corner of said McGlasson tract, same also being the Northeasterly line of that certain tract of land described in a Warranty Deed with Vendor's Lien to Johnny E. Wright and Nancy L. Wright (hereinafter referred to as Wright tract), as recorded in Instrument Number D215191509, O.P.R.T.C.T.;

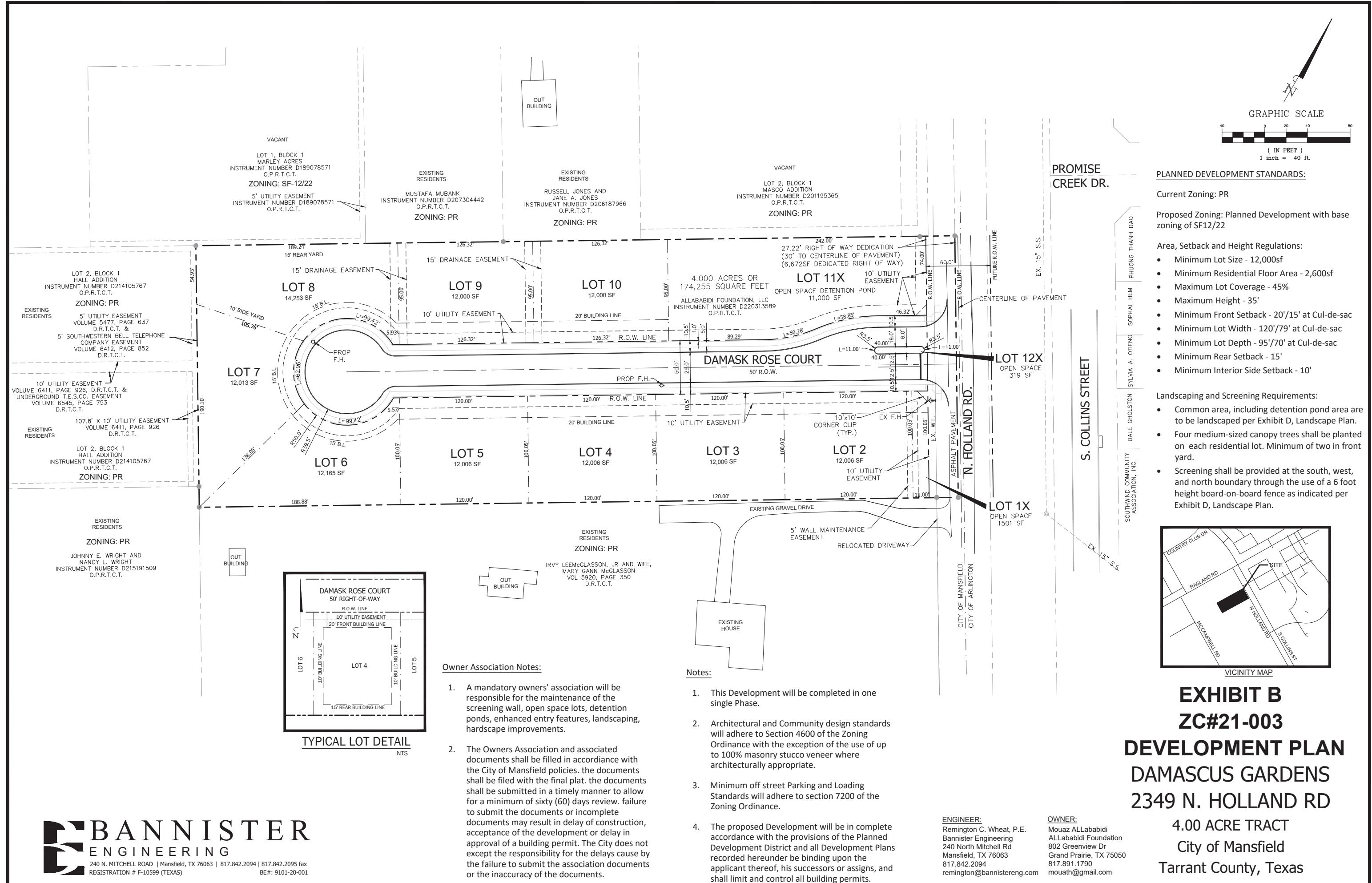
THENCE North 30 degrees 13 minutes 23 seconds West with the common line between said Allababidi Foundation tract and said Wright tract, pass at a distance of 19.45 feet, a one-half inch iron rod found for the Northeasterly corner of said Wright tract, same being the Southeasterly corner of that certain tract of land described as Hall Addition, an addition to the City of Mansfield, Tarrant County, Texas, according to the plat recorded in Instrument Number D214105767, O.P.R.T.C.T., continue with said course, the common line between said Allababidi Foundation tract and said Hall Addition for a total distance of 245.05 feet to a five-eighths inch iron rod with plastic cap stamped "RPLS 4838" found for the Northwesterly corner of said Allababidi Foundation tract, same being the Northeasterly corner of said Hall Addition, same also being the Southeasterly line of that certain tract of land described as Marley Acres, an addition to the City of Mansfield, Tarrant County, Texas, according to the plat recorded in Instrument Number D189078571, O.P.R.T.C.T.;

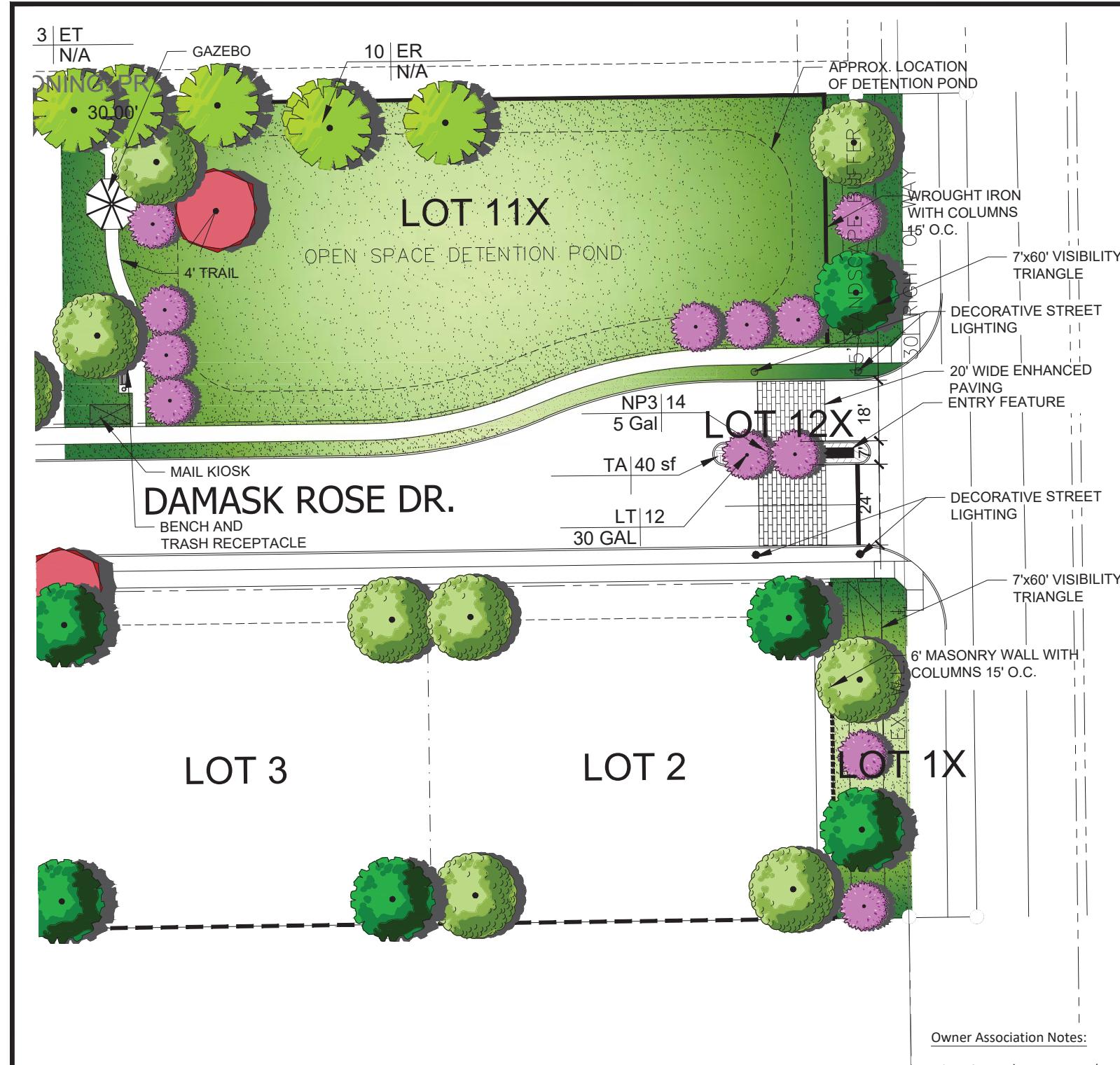
THENCE North 59 degrees 46 minutes 37 seconds East with the common line between said Allababidi Foundation tract and said Marley Acres, pass at a distance of 159.00 feet, the Southeasterly corner of said Marley Acres, same being the Southwesterly corner of that certain tract of land described in a deed

Exhibit A

ZC#21-003

to Mustafa Mubank (hereinafter referred to as Mubank tract), as recorded in Instrument Number D207304442, O.P.R.T.C.T., continue with said course, the common line between said Allababidi Foundation tract and said Mubank tract, pass at a distance of 288.00 feet, a one-half inch iron rod found for the Southeasterly corner of said Mubank tract, same being the Southwesterly corner of that certain tract of land described in a deed to Ruseel Jones and Jane A. Jones (hereinafter referred to as Jones tract), as recorded in Instrument Number D206187966, O.P.R.T.C.T., continue with said course, the common line between said Allababidi Foundation tract and said Jones tract, pass at a distance of 417.00 feet, the Southeasterly corner of said Jones tract, same being the Southwesterly corner of that certain tract of land described as Masco Addition, an addition to the City of Mansfield, Tarrant County, Texas, according to the plat recorded in Instrument Number D201195365, O.P.R.T.C.T., continue with said course, the common line between said Allababidi Foundation tract and said Masco Addition for a total distance of 711.10 feet to the **PLACE OF BEGINNING**, and containing a calculated area of 4.000 acres (174,255 square feet) of land.



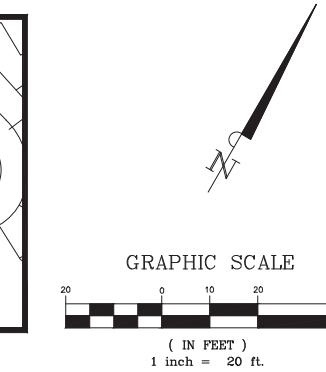
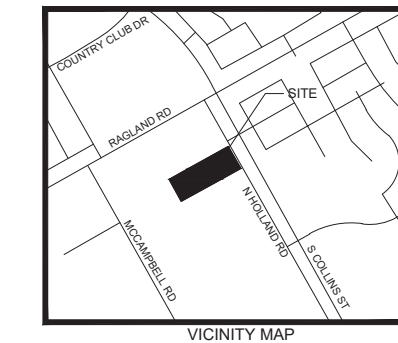


Owner Association Notes:

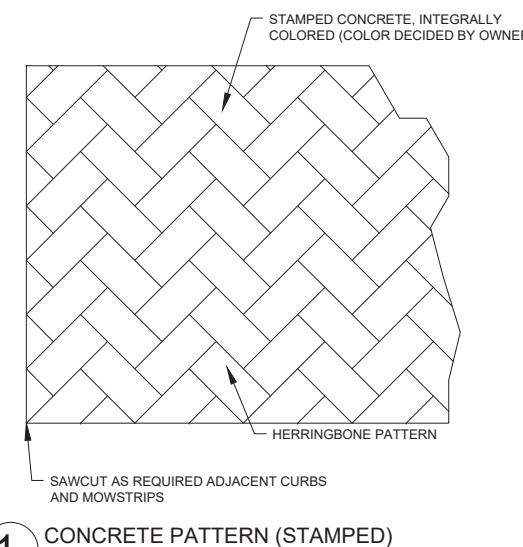
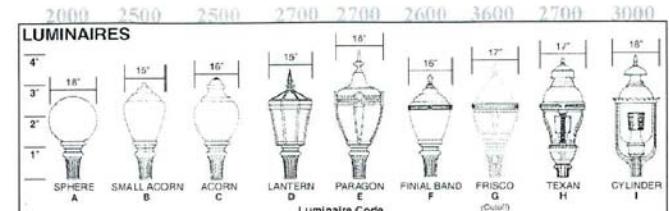
1. A mandatory owners' association will be responsible for the maintenance of the screening wall, open space lots, detention ponds, enhanced entry features, landscaping, hardscape improvements.
2. The Owners Association and associated documents shall be filed in accordance with the City of Mansfield policies. The documents shall be filed with the final plat, the documents shall be submitted in a timely manner to allow for a minimum of sixty (60) days review. Failure to submit the documents or incomplete documents may result in delay of construction, acceptance of the development or delay in approval of a building permit. The City does not except the responsibility for the delays cause by the failure to submit the association documents or the inaccuracy of the documents.

Landscape and Screening Requirements:

- Common area, including detention pond area are to be landscaped per Exhibit D, Landscape Plan.
- Four medium-sized canopy trees shall be planted on each residential lot. Minimum of two in front yard.
- Screening shall be provided at the south, west, and north boundary through the use of a 6 foot height board-on-board fence as indicated per Exhibit D, Landscape Plan.

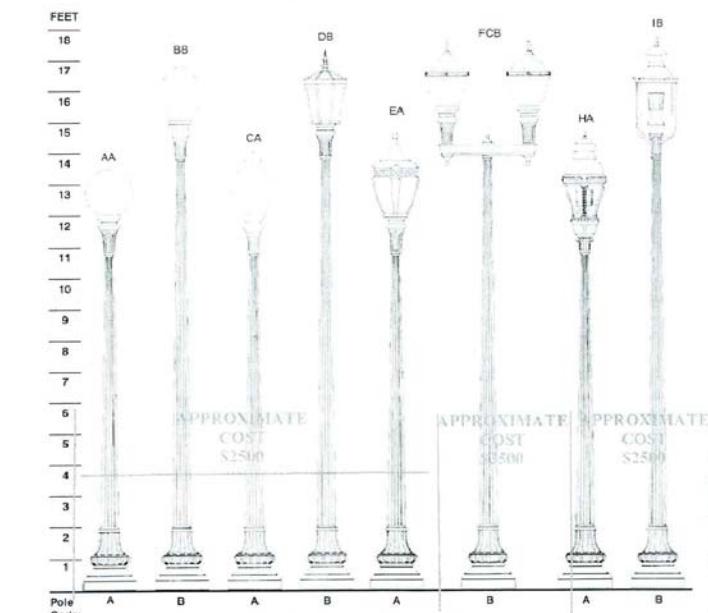


NOTE:
THE "ACORN" (C) LUMINARIES ON AN ELEVEN FOOT (11') "AMERICAN STYLE POLE", WITH 100 WATT LED, AS SHOWN BELOW, WILL BE INSTALLED AT EACH STREETLIGHT LOCATION.



1 CONCRETE PATTERN (STAMPED)

NOT TO SCALE



Oncor Electric Delivery's decorative poles are made of cast aluminum and are powder coat painted at the factory.

Oncor's only standard color offering for decorative poles and luminaires is black.

EXHIBIT C

ZC#21-003

ENHANCED ENTRYWAY PLAN

PAGE 1 OF 2

DAMASCUS GARDENS
2349 N. HOLLAND RD
City of Mansfield
Tarrant County, Texas

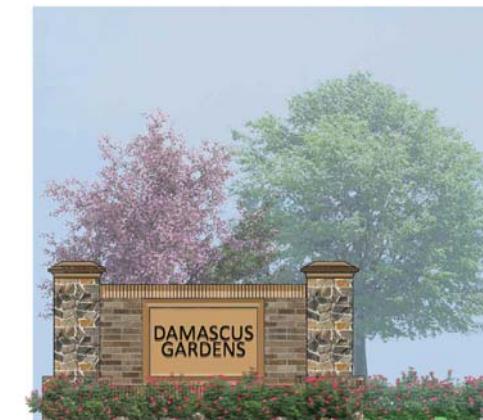
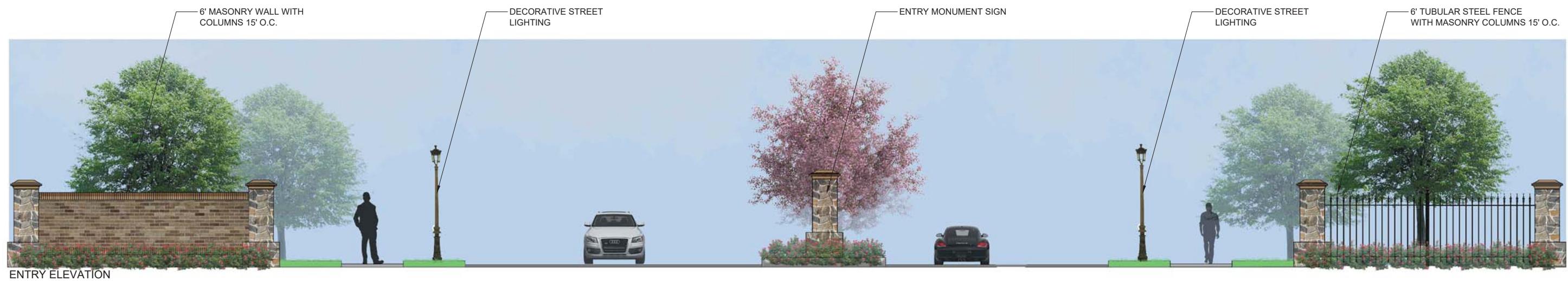


EXHIBIT C
ZC#21-003
ENHANCED ENTRYWAY
PLAN

PAGE 2 OF 2

DAMASCUS GARDENS
2349 N. HOLLAND RD
City of Mansfield
Tarrant County, Texas

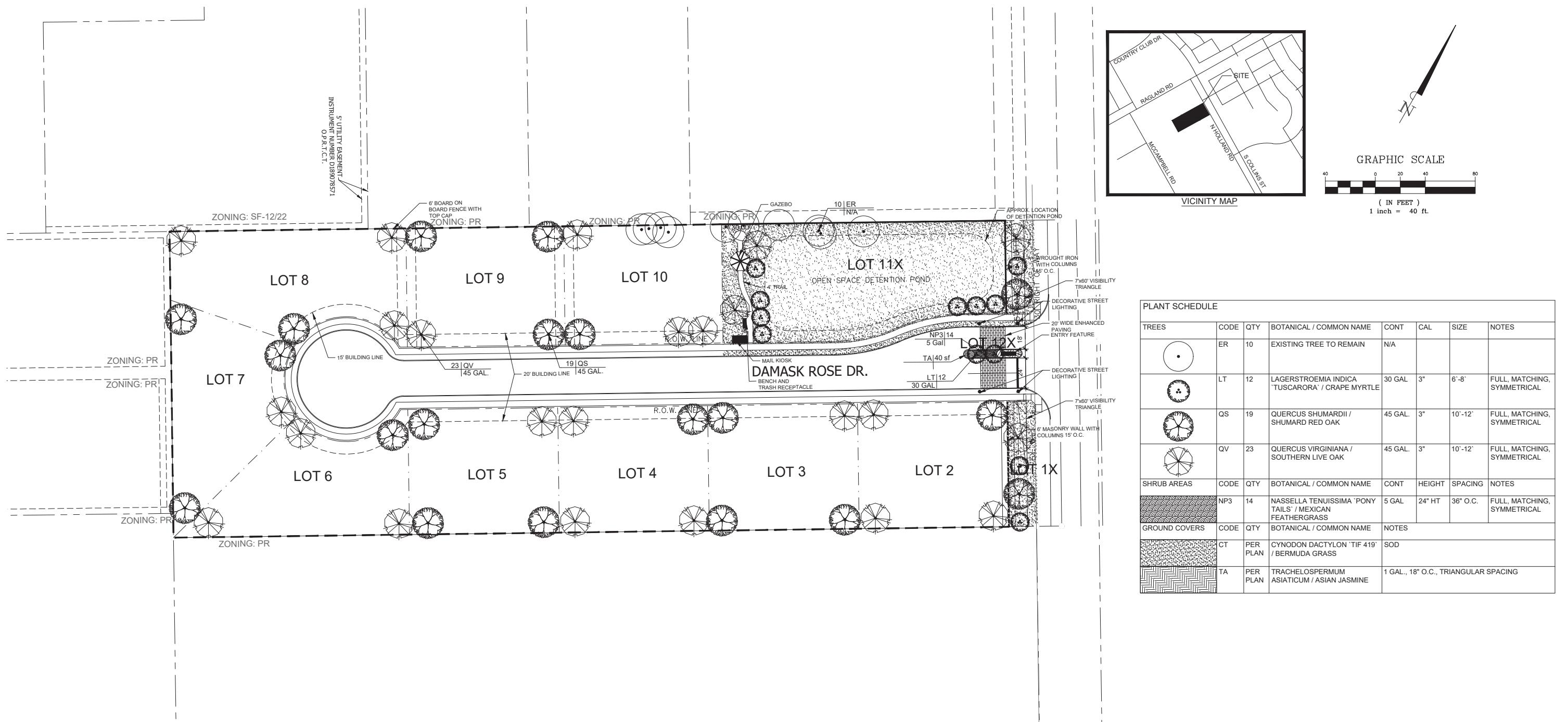


EXHIBIT D
ZC#21-003
LANDSCAPE and
SCREENING PLAN

PAGE 1 OF 2
DAMASCUS GARDENS
2349 N. HOLLAND RD
City of Mansfield
Tarrant County, Texas

Owner Association Notes:

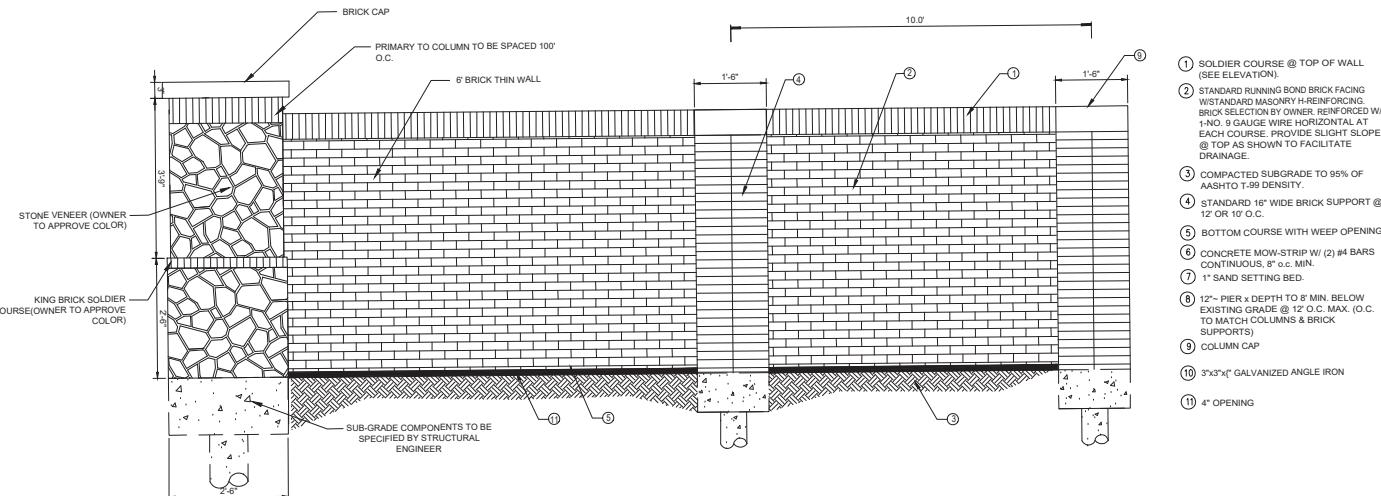
1. A mandatory owners' association will be responsible for the maintenance of the screening wall, open space lots, detention ponds, enhanced entry features, landscaping, hardscape improvements.
2. The Owners Association and associated documents shall be filled in accordance with the City of Mansfield policies. the documents shall be filed with the final plat. the documents shall be submitted in a timely manner to allow for a minimum of sixty (60) days review. failure to submit the documents or incomplete documents may result in delay of construction, acceptance of the development or delay in approval of a building permit. The City does not except the responsibility for the delays cause by the failure to submit the association documents or the inaccuracy of the documents.

Landscaping and Screening Requirements:

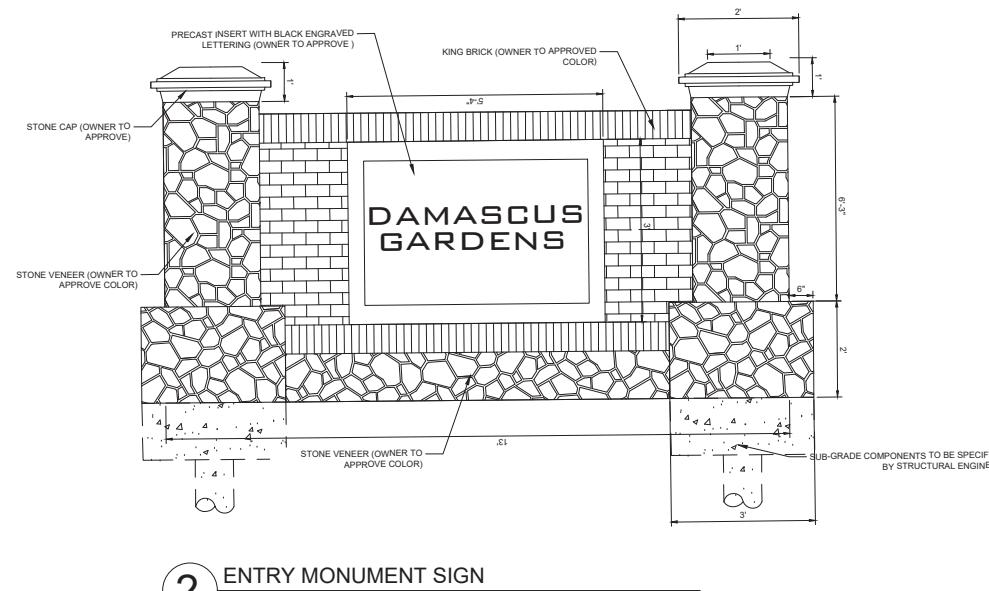
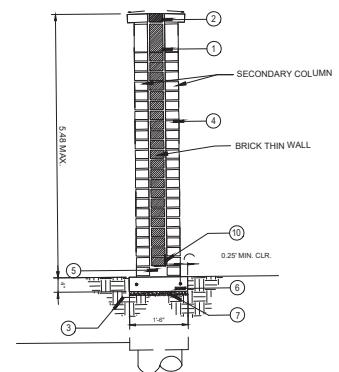
- Common area, including detention pond area are to be landscaped per Exhibit D, Landscape Plan.
- Four medium-sized canopy trees shall be planted on each residential lot. Minimum of two in front yard.
- Screening shall be provided at the south, west, and north boundary through the use of a 6 foot height board-on-board fence as indicated per Exhibit D, Landscape Plan.

ENGINEER:
Remington C. Wheat, P.E.
Bannister Engineering
240 North Mitchell Rd
Mansfield, TX 76063
817.842.2094
remington@bannistereng.com

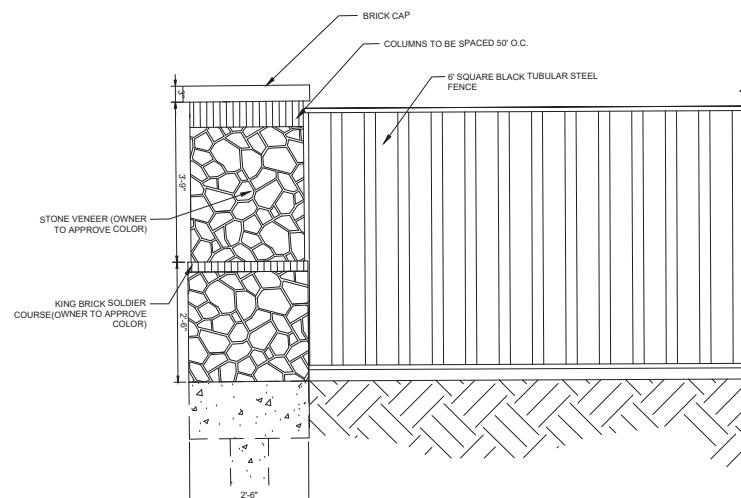
OWNER:
Mouaz ALLababidi
ALLababidi Foundation
802 Greenview Dr
Grand Prairie, TX 75050
817.891.1790
mouath@gmail.com



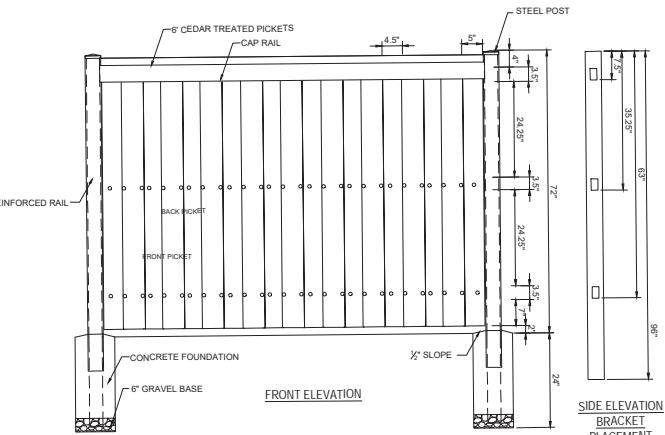
1 6' MASONRY WALL W/ COLUMNS 15' O.C.
NOT TO SCALE



2 ENTRY MONUMENT SIGN



3 6' TUBULAR STEEL FENCE W/ MASONRY COLUMNS 15' O.C.



4 6' BOARD ON BOARD FENCE WITH TOP CAP

EXHIBIT D
ZC#21-003
LANDSCAPE and
SCREENING PLAN

PAGE 2 OF 2
DAMASCUS GARDENS
349 N. HOLLAND RD

City of Mansfield
Tarrant County, Texas

ENGINEER:
Remington C. Wheat, P.E.
Bannister Engineering
240 North Mitchell Rd
Mansfield, TX 76063
817.842.2094
remington@bannistereng.com

OWNER:
Mouaz ALLababidi
ALLababidi Foundation
802 Greenview Dr
Grand Prairie, TX 75050
817.891.1790
mouath@gmail.com

BANNISTER ENGINEERING

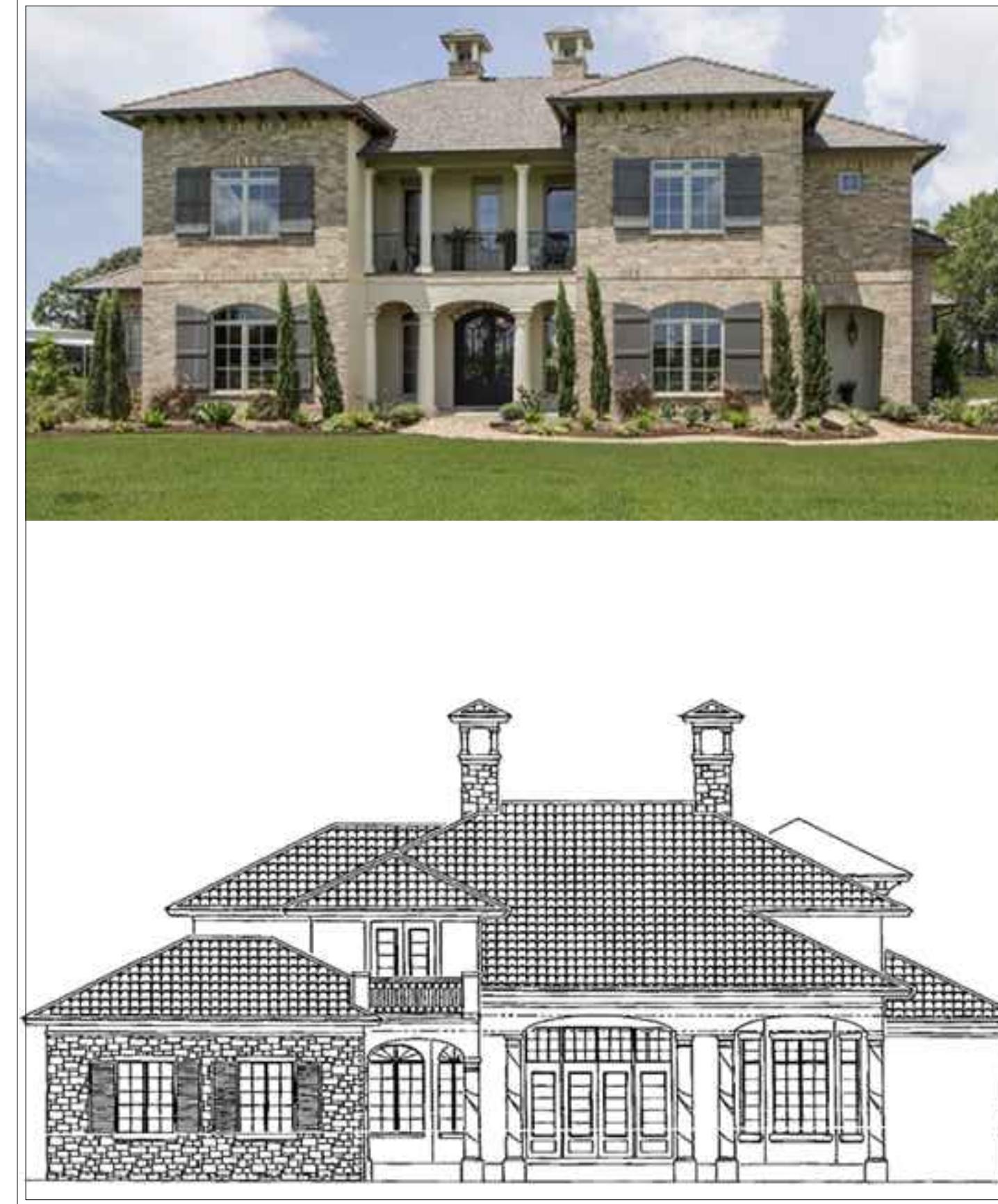


EXHIBIT E
ZC#21-003
RESIDENTIAL ELEVATIONS
DAMASCUS GARDENS
2349 N. HOLLAND RD

City of Mansfield
 Tarrant County, Texas

March 29, 2021

Irvy L. McGlasson, Jr.

2315 N. Holland Rd.

Mansfield, TX. 76063

To whom it may concern:

I have spoken with Jeff Linder concerning the proposed relocation of the driveway for our private residence. As I understand it, the driveway for our private residence will be relocated to the southeast for only a few feet.

My wife and I agree to this minor change. This includes a concrete culvert and additional crushed rock for the driveway.

Cordially,

A handwritten signature in black ink, appearing to read "Irvy L. McGlasson, Jr." The signature is fluid and cursive, with "Irvy" and "L." being the most distinct initials.

Irvy L. McGlasson, Jr.

March 26, 2021

Subject: Request for Zoning Change of 4 Acre lot at 2349 N Holland Rd (ZC21-003)
City of Mansfield Planning Department

Dear Mr. Bogda,

I live in the Ridge Trace Estates neighborhood close to 2349 N Holland Road (ZC21-003). I am writing to voice my disapproval over the above zoning request change. My family is **STRONGLY AGAINST** this proposed zoning change because it would be detrimental to the neighborhood and greatly reduce the property value of the neighboring homes.

North Holland road is a small black top road and by putting the proposed nine houses into a cul-de sac format squeezed into a generally small area compared to the houses close by it would create a lot of unwanted traffic on such a small road. Another concern is that this will create a chain reaction of the adjacent homes that sit on 3-4-acre sites. These homes have been on the larger lots for over 20 years along North Holland. If the owners of the house next to 2349 N Holland decide to sell and move will another developer or the same developer come and do the same with that 3-4-acre lot? This trend could possibly change the entire atmosphere of North Holland Road into a very busy area which is **NOT** why we purchased our home in our little slice of heaven. We wanted to get away from the busy neighborhoods that have 2-4 cars per house in the driveway and parked on the street.

My husband and I moved into Ridge Trace Estates 14 years ago because it was our small quiet area back in the woods. We loved the fact that because the soccer field is behind us Ridge Trace Estates could not expand anywhere around us. This was a huge selling point for us. We did not want to be in a neighborhood with cheap track homes that had street facing garages with owners that would not maintain the homes. We also did not want more homes to be developed anywhere around us aside from what was already there. I fear this would happen if the proposed zoning change is approved. Also, in the 14 years we have lived along North Holland Road our property value has doubled and with all the medical facilities being build within a 5 mile radius of North Holland Road and the high value homes close by the property value is likely to continue to increase. If you approve this zoning change, then the value of **ALL** the properties within a 5 miles radius will decrease and homeowners will be hurt financially.

The homeowners in Ridge Trace Estates love the peaceful quiet atmosphere of N. Holland Road and do **NOT** want this proposed zoning change approved. Other concerns include what will happen to North Holland Road? Will it need to be widened? Will it need to be made into a “through” street? Will all the trees be taken down? Almost all the homeowners on North Holland Road and within Ridge Trace Estates utilize North

Holland Road for exercise to include running, walking, walking animals, cycling, etc. We LOVE North Holland Road the way it is and want it to STAY the way it is. We DO NOT WANT this zoning request approved.

We humbly ask that the City of Mansfield **disapprove** the request for zoning change at 2349 N Holland Rd (ZC21-003). Let's keep ALL of North Holland Road the way it is. Thank you for your attention to this matter.

Sincerely,

Julie M. Von Hollen *Julie M. Von Hollen*
3215 Ridge Trace Circle
Ridge Trace Estates, North Holland Road



CITY OF MANSFIELD

1200 E. Broad St.
Mansfield, TX 76063
mansfieldtexas.gov

STAFF REPORT

File Number: 21-4010

Agenda Date: 4/5/2021

Version: 1

Status: Consideration

In Control: Planning and Zoning Commission

File Type: Plat

Title

SD#20-026: Final Plat of Somerset Addition, Phase III, on 53.744 acres located at 2201 Chambers Street by Bloomfield Homes, L.P., owner/developer; and LJA Surveying, surveyor

Comments and Considerations

The purpose of this plat is to create 204 residential lots and 13 open space lots. This plat substantially conforms to the approved preliminary plat except for the following:

- Lots have been shifted on Block 39 to add a new HOA lot to accommodate drainage;
- Additional lots have been added to several of the blocks. For example, Block 41 shows 22 lots on the preliminary plat and 25 lots on this final plat;
- The shape of the open spaces have been modified throughout Phase III to accommodate changes in lot lines or the addition of new lots;

All lots meet the required minimum lot area, lot width and lot depth.

There is a blank space on the plat for the deed information for an off-site utility easement. The plat cannot be filed at the County until the applicant provides the recording information for the easement on the plat.

The applicant is also seeking a variance to the minimum width of the corner lot. The Subdivision Control Ordinance requires that corner residential lots have a minimum width 15 feet greater than the adjacent lot. The applicant proposes corner lots that are 10 feet greater in width than the minimum lot width required for the applicable Residential Product. The applicant is requesting variances to the corner lot width on the following lots in Phase III:

Lots 1 and 25, Block 38;
Lots 1 and 26, Block 37;
Lots 1 and 20, Block 36;
Lots 11 and 12, Block 41;
Lots 15 and 16, Block 40; and
Lot 18, Block 35.

Although the copy of the plat in Commission's packet does not have signatures, the filing

copies have been signed.

Recommendation

Due to the nature of the lot sizes in Phase III and for the reasons stated in the applicant's letter of request, Staff believes the variance requests are reasonable and consistent with similar variances granted by the Commission in Phases 1 and 2 of the Somerset development.

Staff recommends approval with the requested variances.

Attachments

Location Map

Letter of Request

Approved Preliminary Plat

Final Plat



Somerset Phase III

12/14/2017

This information is for illustrative purposes only. Not for design or development purposes. Site-specific studies may be required to obtain accurate feature loc 61. Every effort is made to ensure the information displayed here is accurate; however, the City of Mansfield makes no claims to its accuracy or completeness.

September 16, 2020

Attn: Art Wright
Planning Department
City of Mansfield
1200 E. Broad Street
Mansfield, Texas 76063

Re: Somerset Phase III Final Plat Variance Request

Dear Mr. Wright

At the Planning and Zoning Commission meeting for the above referenced final plat, LJA Engineering will respectfully request a variance for the provision of the Subdivision Control Ordinance that corner lots be at least 15' wider than the adjacent lot for the following lots: Lots 1 and 25, Block 38; Lots 1 and 26, Block 37; Lots 1 and 20, Block 36; Lots 11 and 12, Block 41; Lots 15 and 16, Block 40; and Lot 18, Block 35.

The lots in question are at least 10 feet wider than what is required in accordance with the Planned Development and meet the minimum exterior side yard setback criteria set out in the Planned Development.

In total, this variance request is for eleven lots out of 204 total residential lots. The number of lots for which this variance is requested, considering the total number of residential lots being platted, represents a negligible departure from the subdivision ordinance and is in keeping with the overall intent of that ordinance.

For the foregoing reasons, LJA would like the support of the City of Mansfield Planning Department in this variance request.

If you have any additional comments or concerns, please feel free to contact me.

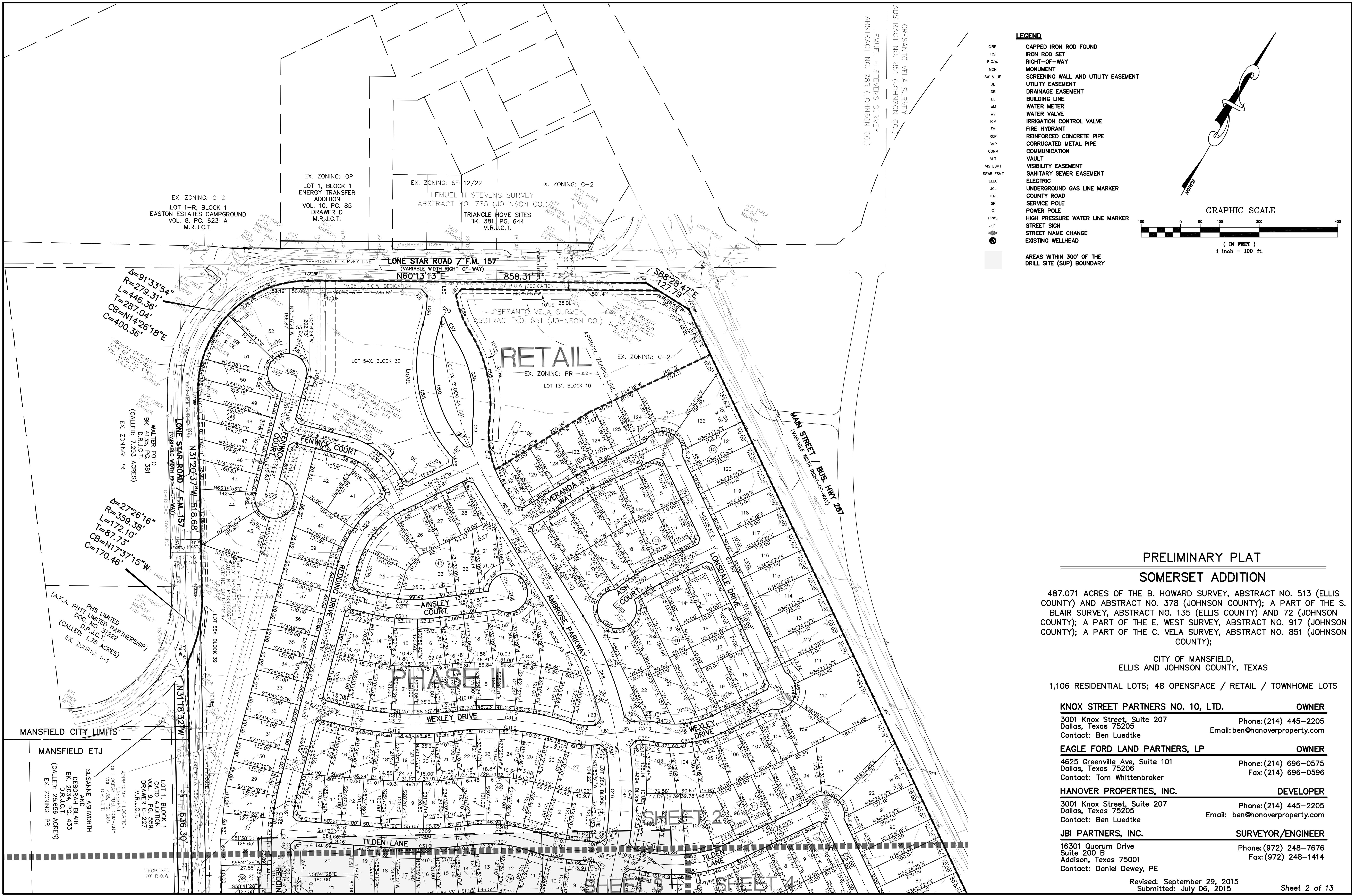
Sincerely,



Andrew Kubiak, PE
Project Engineer

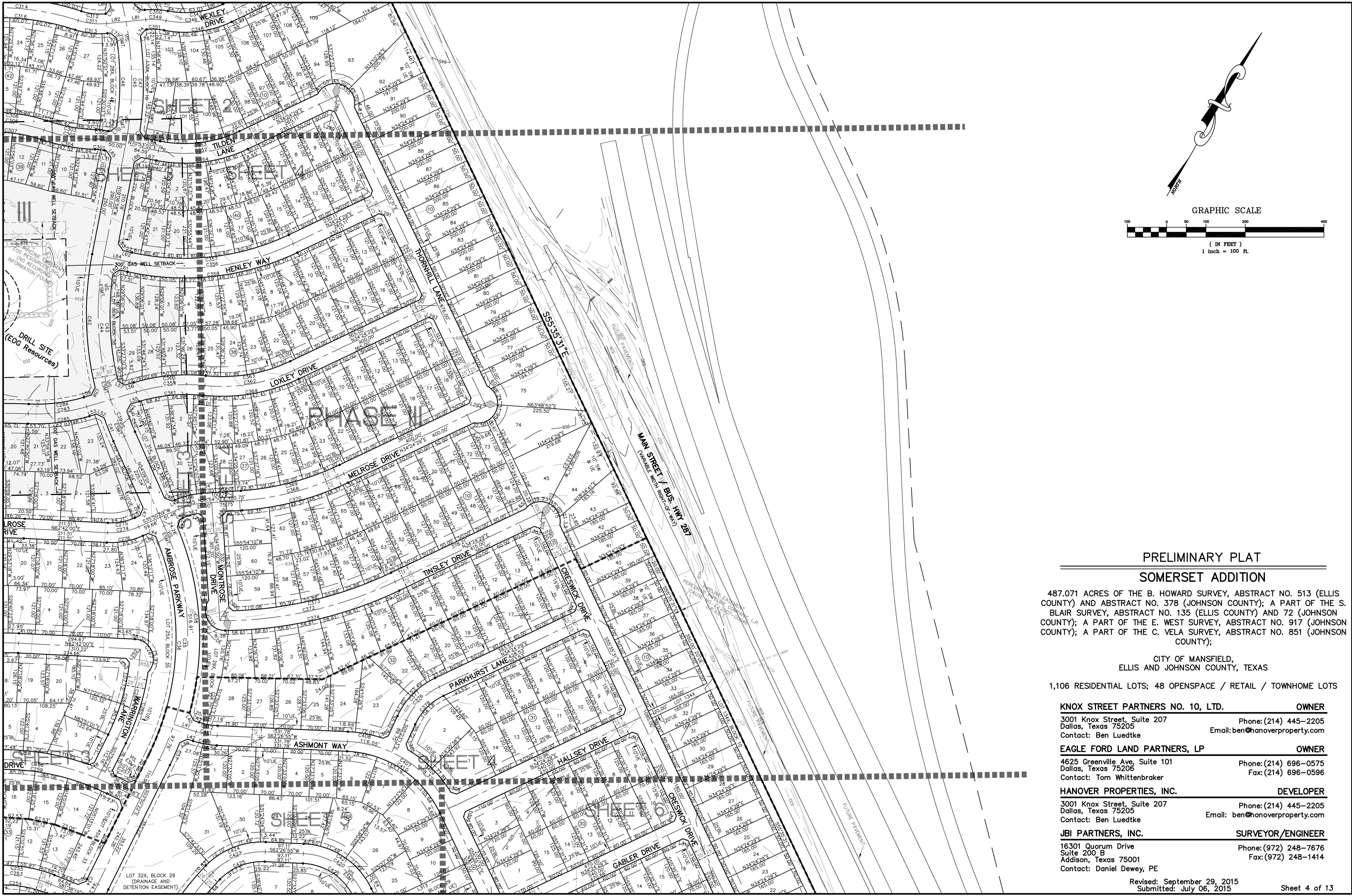
AK/rr

cc: Landon King – LJA
Clint Vincent – Bloomfield Homes
Ben Luedtke – Hanover Property Company



CASE NO. (SD#15-033)

5





**PRELIMINARY PLAT
SOMERSET ADDITION**

487.071 ACRES OF THE B. HOWARD SURVEY, ABSTRACT NO. 513 (ELLIS COUNTY) AND ABSTRACT NO. 378 (JOHNSON COUNTY); A PART OF THE S. BLAIR SURVEY, ABSTRACT NO. 135 (ELLIS COUNTY) AND 72 (JOHNSON COUNTY); A PART OF THE E. WEST SURVEY, ABSTRACT NO. 917 (JOHNSON COUNTY); A PART OF THE C. VELA SURVEY, ABSTRACT NO. 851 (JOHNSON COUNTY);

CITY OF MANSFIELD,
ELLIS AND JOHNSON COUNTY, TEXAS

1,106 RESIDENTIAL LOTS; 48 OPENSPACE / RETAIL / TOWNHOME LOTS

KNOX STREET PARTNERS NO. 10, LTD.

OWNER
3001 Knox Street, Suite 207
Dallas, Texas 75205
Phone: (214) 445-2205
Email: ben@hanoverproperty.com

EAGLE FORD LAND PARTNERS, LP

OWNER
4625 Greenville Ave, Suite 101
Dallas, Texas 75206
Phone: (214) 696-0575
Fax: (214) 696-0596

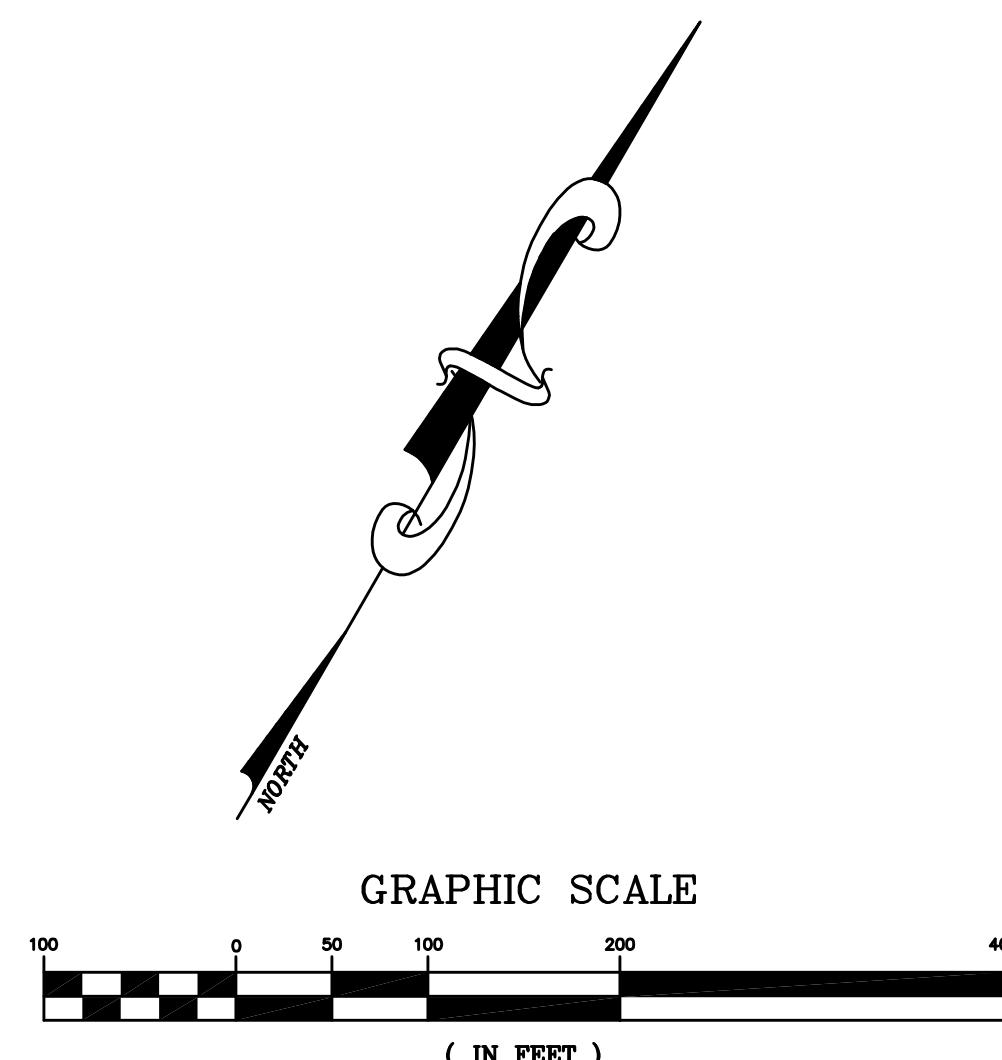
HANOVER PROPERTIES, INC.

DEVELOPER
3001 Knox Street, Suite 207
Dallas, Texas 75205
Phone: (214) 445-2205
Email: ben@hanoverproperty.com

JBI PARTNERS, INC.

SURVEYOR/ENGINEER
16301 Quorum Drive
Suite 200 B
Addison, Texas 75001
Phone: (972) 248-7676
Fax: (972) 248-1414

Revised: September 29, 2015
Submitted: July 06, 2015



PRELIMINARY PLAT

SOMERSET ADDITION

487.071 ACRES OF THE B. HOWARD SURVEY, ABSTRACT NO. 513 (ELLIS COUNTY) AND ABSTRACT NO. 378 (JOHNSON COUNTY); A PART OF THE S. BLAIR SURVEY, ABSTRACT NO. 135 (ELLIS COUNTY) AND 72 (JOHNSON COUNTY); A PART OF THE E. WEST SURVEY, ABSTRACT NO. 917 (JOHNSON COUNTY); A PART OF THE C. VELA SURVEY, ABSTRACT NO. 851 (JOHNSON COUNTY):

**CITY OF MANSFIELD,
ELLIS AND JOHNSON COUNTY, TEXAS**

1.106 RESIDENTIAL LOTS: 48 OPENSPACE / RETAIL / TOWNHOME LOTS

KNOX STREET PARTNERS NO. 10, LTD.

OWNER

Phone: (214) 445-2205
Email: ben@hanoverproperty.com

www.hanoverproperty.com

OWNER

OWNER

Phone: (214) 696-0575
Fax: (214) 696-0596

Fax: (214) 696-0596

DEFVFI OPER

DEVELOPER

Phone: (214) 445-2205

property.com

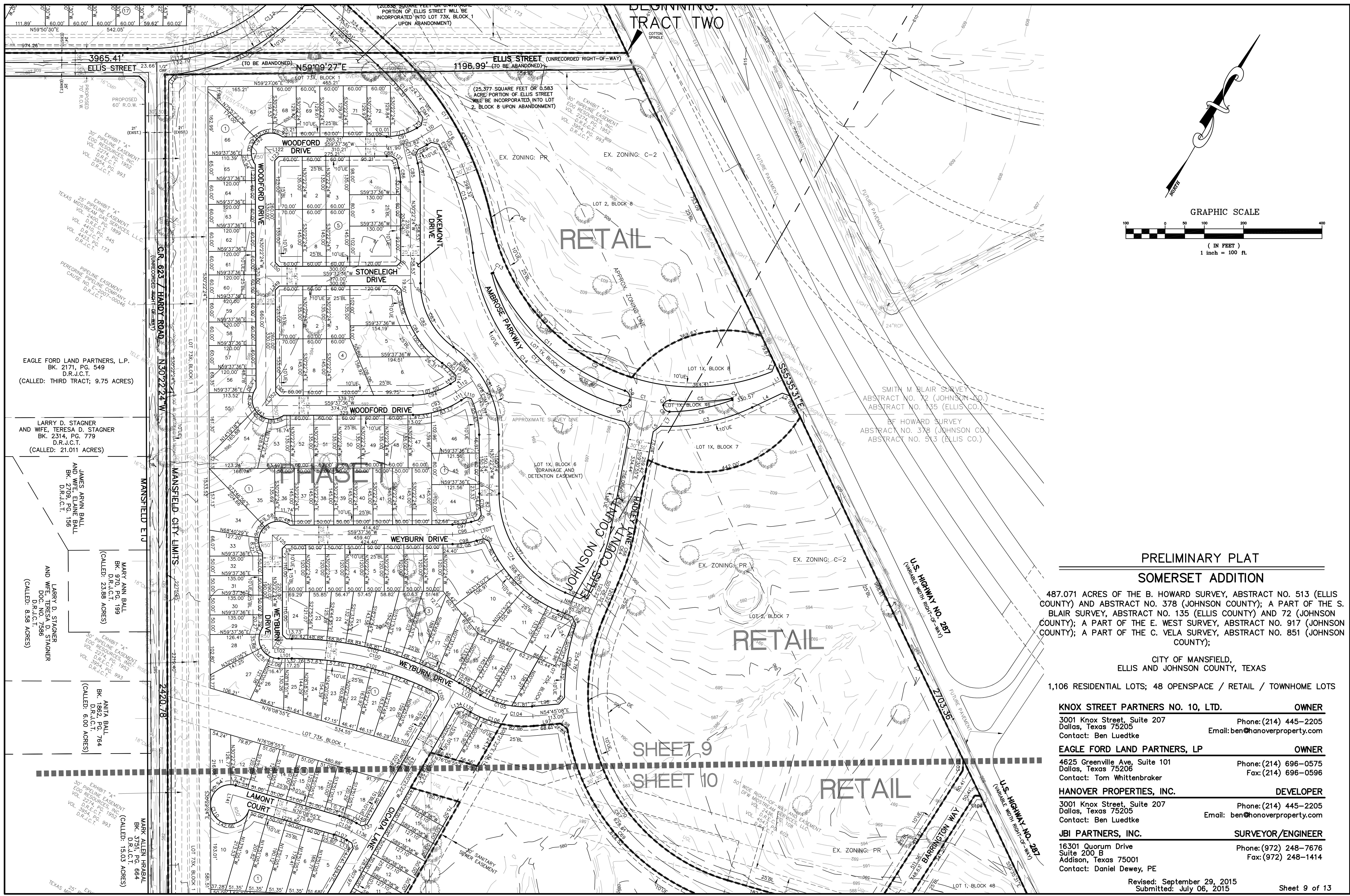
SURVEYOR / ENGINEER

SURVEYOR/ENGINEER

248-7676

Fax: (972) 248-1414

vised: September 29, 2015
Submitted: July 06, 2015



PRELIMINARY PLAT

SOMERSET ADDITION

487.071 ACRES OF THE B. HOWARD SURVEY, ABSTRACT NO. 513 (ELLIS COUNTY) AND ABSTRACT NO. 378 (JOHNSON COUNTY); A PART OF THE S. BLAIR SURVEY, ABSTRACT NO. 135 (ELLIS COUNTY) AND 72 (JOHNSON COUNTY); A PART OF THE E. WEST SURVEY, ABSTRACT NO. 917 (JOHNSON COUNTY); A PART OF THE C. VELA SURVEY, ABSTRACT NO. 851 (JOHNSON COUNTY);

**CITY OF MANSFIELD,
ELLIS AND JOHNSON COUNTY, TEXAS**

1,106 RESIDENTIAL LOTS; 48 OPENSPACE / RETAIL / TOWNHOME LOTS

KNOX STREET PARTNERS NO. 10, LTD. **OWNER**
3001 Knox Street, Suite 207 **Phone: (214) 445-2205**

Phone: (214) 445-2205
Email: ben@hanoverproperty.com

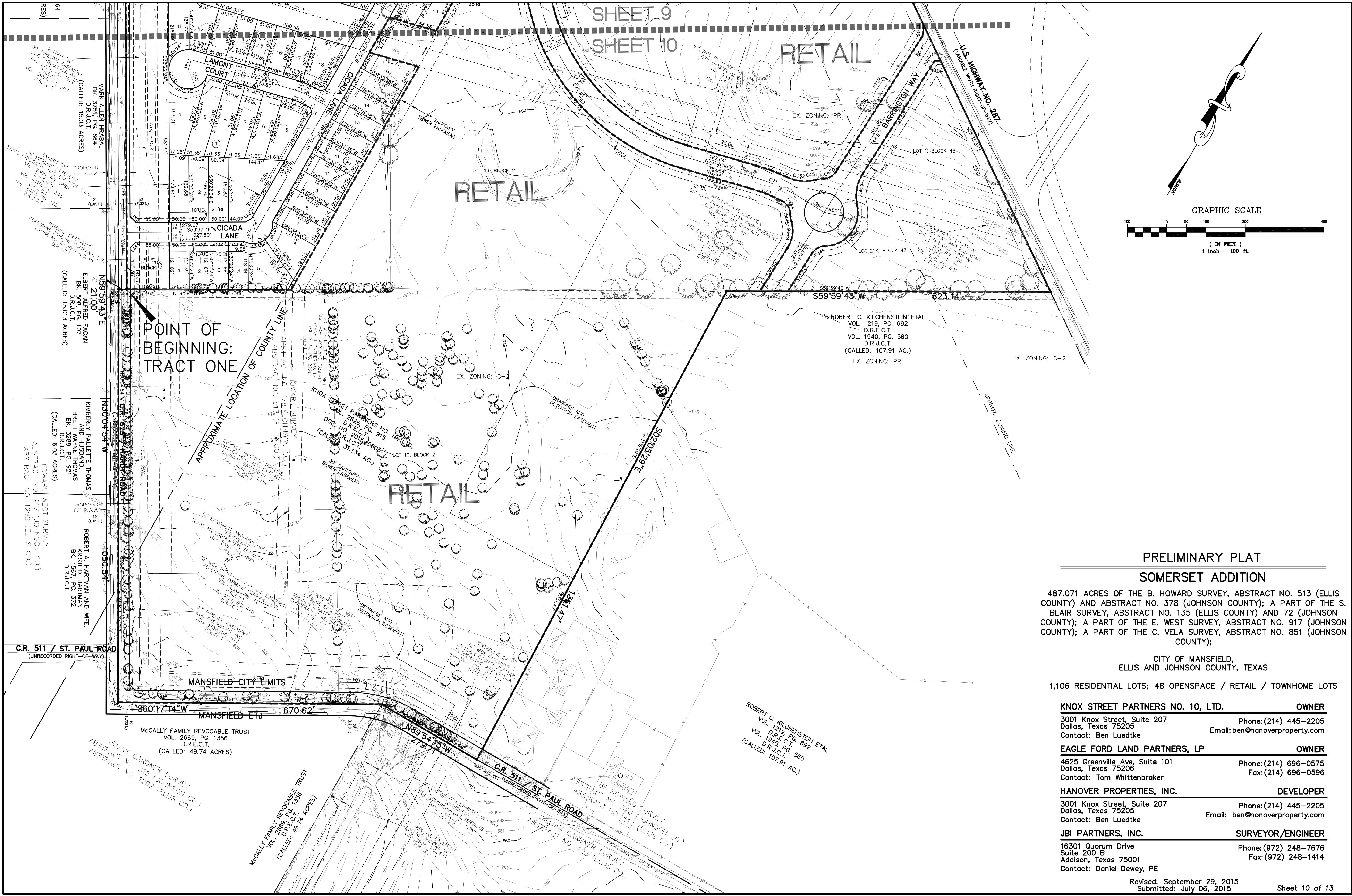
EAGLE FORD LAND PARTNERS, LP **OWNER**
4625 Greenville Ave, Suite 101
Dallas, Texas 75206
Phone: (214) 696-0575
Fax: (214) 696-0596

Phone: (214) 696-0575
Fax: (214) 696-0596

HANOVER PROPERTIES, INC. **DEVELOPER**
3001 Knox Street, Suite 207 Dallas, Texas 75205 Phone: (214) 445-2205
General Manager Email: ben@honoverproperty.com

Phone: (214) 445-2205
ail: ben@honoroverproperty.com

Fax: (972) 240-1414



100 0 100
1 INCH = 100 FT.

CONDITIONS OF ACCEPTANCE OF DRAINAGE AND FLOODWAY EASEMENTS

THIS PLAT IS PROPOSED BY THE OWNERS OF PROPERTIES DESCRIBED HEREIN (HEREINAFTER REFERRED TO AS "PROPERTY OWNERS") AND IS APPROVED BY THE CITY OF MANSFIELD SUBJECT TO THE FOLLOWING CONDITIONS WHICH SHALL BE BINDING UPON THE PROPERTY OWNERS, HIS HEIRS, GRANTEES, SUCCESSORS AND ASSIGNS:

NO OBSTRUCTION TO THE FLOW OF STORMWATER RUNOFF SHALL BE PERMITTED BY FILLING, DRAINING OR CONSTRUCTION OF ANY TYPE OF DRAIN, BUILDING, BRIDGE, FENCE, OR ANY OTHER STRUCTURE WITHIN THE DRAINAGE EASEMENT SHOWN HEREIN. FENCE OR ANY OTHER STRUCTURE WITHIN THE DRAINAGE EASEMENT SHOWN HEREIN ON THIS PLAT, UNLESS APPROVED BY THE CITY OF MANSFIELD PROVIDED, HOWEVER, IT IS UNDERSTOOD THAT IN THE EVENT IT BECOMES NECESSARY FOR THE CITY OF MANSFIELD TO CONSTRUCT A DRAINAGE EASEMENT, THE PROPERTY OWNERS SHALL CONSTRUCT A DRAINAGE EASEMENT AS NECESSARY, AND THE CITY OF MANSFIELD SHALL CONSTRUCT AND MAINTAIN ANY FACILITY DEEMED NECESSARY FOR DRAINAGE PURPOSES.

THE PROPERTY OWNERS WILL BE RESPONSIBLE FOR MAINTAINING SAID DRAINAGE EASEMENT. THE PROPERTY OWNERS SHALL KEEP SAID DRAINAGE EASEMENT CLEAN AND FREE OF DEBRIS, SILT, HIGH WEEDS, AND ANY SUBSTANCE WHICH WOULD RESULT IN A HAZARD TO ANY OF THE PROPERTY OWNERS. THE CITY OF MANSFIELD SHALL MAINTAIN THE RIGHT-OF-WAY AND EGRESS FOR THE DRAINAGE EASEMENT AND SUPERVISING MAINTENANCE WORK DONE BY THE PROPERTY OWNERS. IF AT ANY TIME THE PROPERTY OWNERS FAIL TO SATISFY ANY OF THEIR AFOREMENTIONED RESPONSIBILITIES OR OBLIGATIONS, THE CITY OF MANSFIELD, UPON TEN (10) DAYS PRIOR NOTICE TO THE OWNERS, MAY ENTER SAID DRAINAGE EASEMENT AT ANY POINT OR POINTS TO PERFORM MAINTENANCE OR CLEAN-UP, AND BILL THE PROPERTY OWNERS FOR THE COSTS OF MAINTENANCE OR CLEAN-UP. THE OWNERS' BILL IS NOT PAID WITHIN THIRTY (30) DAYS OF ITS MAILING, THE CITY OF MANSFIELD WILL NOT PAY WITHIN THIRTY (30) DAYS OF ITS MAILING.

SAID DRAINAGE EASEMENT, AS IN THE CASE OF ALL DRAINAGE EASEMENTS, IS SUBJECT TO STORMWATER OVERFLOW AND EROSION TO THE EXTENT WHICH CANNOT BE SPECIFICALLY DEFINED. THE CITY OF MANSFIELD SHALL NOT BE HELD LIABLE FOR ANY DAMAGE TO PRIVATE PROPERTIES OR PERSONS RESULTING FROM THE FLOW OF WATER WITHIN SAID DRAINAGE EASEMENT AND PROPERTIES.

GENERAL NOTES:

- NOTICE: SELLING A PORTION OF ANY LOT IN THIS ADDITION BY METES AND BOUNDS IS A VIOLATION OF STATE LAW AND CITY ORDINANCE AND IS SUBJECT TO PENALTIES IMPOSED BY LAW.
- NOTICE: BEARING GRID NORTH, STATE PLANE COORDINATES, NORTH CENTRAL ZONE (4202); NAD83 (2011) EPOCH 2010, DETERMINED BY GPS OBSERVATIONS IN REFERENCE TO THE CITY OF MANSFIELD SURVEY POINT, NAD83 (2011) EPOCH 2010, MANSFIELD, TX. CALCULATED FROM DENTON CORS APP (RD-DF5896) AND ARLINGTON RRP2 CORS (PID-D-F5387). DISTANCES SHOWN ARE DERIVED FROM THE APPLICATION OF A SURFACE ADJUSTMENT FACTOR OF 1.00012 APPLIED FROM ORIGIN (0,0). COORDINATES SHOWN ARE IN GRID.
- A MANDATORY HOMEOWNERS ASSOCIATION WILL BE RESPONSIBLE FOR THE MAINTENANCE OF THE PRIVATE AMENITIES, COMMON AREAS INCLUDING BUT NOT LIMITED TO SCREENING FENCES, INCLUDING THE PARKWAY BETWEEN A SCREENING FENCE AND THE STREET; LANDSCAPING, AND THE ROUND-ABOUTS AND MEDIAN.
- OPEN SPACE LOTS WILL BE OWNED AND MAINTAINED BY THE H.O.A.
- THE UTILITY EASEMENT FOR ALL TRANSFORMER INSTALLED AT OR NEAR THE FRONT LOT CORNER (SEE TYPICAL 5'X10' UTILITY EASEMENT DETAIL).
- SUBJECT TRACT APPEARS TO BE WITHIN ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 0.25 ANNUAL CHANCE FLOODPLAIN) PER FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP, NO. 48251C0125J, REVISED DECEMBER 4, 2012.
- ALL CORNERS ARE 5/8" IRON ROD WITH YELLOW PLASTIC CAP STAMPED "LJA SURVEYING" SET UNLESS OTHERWISE SPECIFIED.
- NO TREES, FENCES, WALLS OR ANYTHING OVER 2' IN HEIGHT IS ALLOWED IN VISIBILITY EASEMENTS.

STREET
10'UE
5' 10'UE
5' X 10' UTILITY
EASEMENT FOR
TRANSFORMERS
LOT
LOT
TYPICAL 5'X10' UTILITY
EASEMENT DETAIL
N.T.S.

JOHNSON COUNTY:
PLAT FILED _____, 20_____
INSTRUMENT# _____
DRAWER _____ SLIDE _____
BECKY IVEY, JOHNSON COUNTY CLERK
BY _____ DEPUTY CLERK

APPROVED BY THE CITY OF MANSFIELD
APPROVED BY: _____ P & Z COMMISSION CHAIRMAN
ATTEST: _____ PLANNING & ZONING SECRETARY
2020

OWNER'S CERTIFICATE
STATE OF TEXAS)
COUNTY OF JOHNSON)
WHEREAS, BLOOMFIELD HOMES, L.P., ACTING BY AND THROUGH THE UNDERSIGNED, ITS DULY AUTHORIZED AGENT, IS THE SOLE OWNER OF A 54.683 ACRE TRACT OF LAND LOCATED IN THE CRESANTO VELA SURVEY, ABSTRACT NO. 851, AND THE EDWARD WEST SURVEY, ABSTRACT NO. 917, IN THE CITY OF MANSFIELD, JOHNSON COUNTY, TEXAS, AND BEING ALL OF THAT TRACT OF LAND DESCRIBED TO BLOOMFIELD HOMES, L.P. BY DEED RECORDED IN DOCUMENT NO. 2020-35761, OFFICIAL PUBLIC RECORDS, JOHNSON COUNTY, TEXAS, SAID 54.683 ACRE TRACT BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

TRACT 1
BEGINNING AT A 5/8-INCH IRON ROD WITH YELLOW PLASTIC CAP STAMPED "LJA" FOUND ON THE WESTERLY LINE OF SAID BLOOMFIELD TRACT, SAME BEING THE WESTERLY RIGHT-OF-WAY OF CHAMBERS STREET (A VARIABLE WIDTH RIGHT-OF-WAY) FOR THE NORTHWEST CORNER OF SOMERSET ADDITION PHASE II, AN ADDITION TO THE CITY OF MANSFIELD, JOHNSON COUNTY, TEXAS, ACCORDING TO THE PLAT RECORDED IN VOLUME 11, PAGE 869, DRAWER K OF THE OFFICIAL PROPERTY RECORDS OF JOHNSON COUNTY, TEXAS;

THENCE, NORTH 31°18'32" WEST, WITH THE SOUTHWESTERLY LINE OF SAID BLOOMFIELD TRACT AND SAID EASTERLY RIGHT-OF-WAY LINE OF CHAMBERS STREET, A DISTANCE OF 1424.46 FEET TO A 5/8-INCH IRON ROD WITH YELLOW PLASTIC CAP STAMPED "LJA" SET THEREON REFERRED TO AS "SET IRON ROD" FOR CORNER, FROM WHICH A 1/2-INCH CHORD IRON ROD STAMPED "TOPOGRAPHIC" SET IRON ROD FOR CORNER ON THE WESTERLY LINE OF SAID BLOOMFIELD TRACT BEARS NORTH 31°18'32" WEST, DISTANCE OF 178.53 FEET;

THENCE, OVER AND ACROSS SAID BLOOMFIELD TRACT, THE FOLLOWING COURSES AND DISTANCES:

NORTH 03°50'12" EAST, A DISTANCE OF 450.08 FEET TO A SET IRON ROD FOR CORNER; SOUTH 31°18'32" WEST, A DISTANCE OF 120.00 FEET TO A SET IRON ROD FOR CORNER; SOUTH 03°50'12" EAST, A DISTANCE OF 123.01 FEET TO A SET IRON ROD FOR CORNER; SOUTH 41°09'48" WEST, A DISTANCE OF 14.14 FEET TO A SET IRON ROD FOR CORNER; SOUTH 86°09'48" WEST, A DISTANCE OF 6.00 FEET TO A SET IRON ROD FOR CORNER; SOUTH 03°50'12" EAST, A DISTANCE OF 128.47 FEET TO A SET IRON ROD FOR CORNER;

THENCE, NORTH 31°18'32" WEST, WITH THE SOUTHWESTERLY LINE OF SAID BLOOMFIELD TRACT AND SAID EASTERLY RIGHT-OF-WAY LINE OF CHAMBERS STREET, A DISTANCE OF 1424.46 FEET TO A 5/8-INCH IRON ROD WITH YELLOW PLASTIC CAP STAMPED "LJA" SET THEREON REFERRED TO AS "SET IRON ROD" FOR CORNER, FROM WHICH A 1/2-INCH CHORD IRON ROD STAMPED "TOPOGRAPHIC" SET IRON ROD FOR CORNER ON THE WESTERLY LINE OF SAID BLOOMFIELD TRACT BEARS NORTH 31°18'32" WEST, DISTANCE OF 178.53 FEET;

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