

EXHIBIT "A"

LEGAL LAND DESCRIPTION:

BEING 4.977 acres or (216,809 square feet) of land in the Sydney S. Callander Survey, Abstract No. 359, City of Mansfield, Tarrant County, Texas; said 4.977 acres or (216,809 square feet) of land being all of that certain tract of land described in a Warranty Deed to Frank R. Moree, Jr. and wife Kathy Anna Moree (hereinafter referred to as Moree tract), as recorded in Volume 6638, Page 521, Deed Records, Tarrant County, Texas (D.R.T.C.T.); said 4.977 acres or (216,809 square feet) being more particularly described, by metes and bounds, as follows:

BEGINNING at a five-eighths inch iron rod found for the Easterly corner of said Moree tract, same being the Northerly corner of that certain tract of land described in a Warranty Deed to Steven Couch and Deborah Couch (hereinafter referred to as Couch tract), as recorded in Instrument Number D206286297, D.R.T.C.T., same also being in the existing Southwesterly right-of-way line of Russell Lane, also known as County Road 2009 and also known as Arlington Mansfield Road (variable width right-of-way) (No record found);

THENCE South 59 degrees 21 minutes 37 seconds West, departing the existing Southwesterly right-of-way line of said Russell Lane with the common line between said Moree tract and said Couch tract, a distance of 564.43 feet to a one-half inch iron rod found for the Southerly corner of said Moree tract, same being the Westerly corner of said Couch tract, same also being the Northeasterly line of that certain tract of land described as Silverleaf Mobile Home Park (hereinafter referred to as Silverleaf Mobile Home Park), an addition to the City of Mansfield, Tarrant County, Texas, according to the plat recorded in Volume 388-168, Page 37, Plat Records, Tarrant County, Texas (P.R.T.C.T.);

THENCE North 30 degrees 31 minutes 39 seconds West with the common line between said Moree tract and said Silverleaf Mobile Home Park, passing at a distance of 125.91 feet, the Northerly corner of said Silverleaf Mobile Home Park, same being the Easterly corner of that certain tract of land described as Lot 2, Block 1, Best Maid Addition (hereinafter referred to as Best Maid Addition), an addition to the City of Mansfield, Tarrant County, Texas, according to the plat recorded in Cabinet A, Slide 3277, P.R.T.C.T. and continue with said course and the common line between said Moree tract and said Best Maid Addition for a total distance of 369.93 feet to a five-eighths inch iron rod with plastic cap stamped "RPLS 4838" set for the Westerly corner of said Moree tract, same being the Southerly corner of that certain tract of land described as Lot 2, Davie Business Park, Lots 1 & 2 (hereinafter referred to as Lot 2), an addition to the City of Mansfield, Tarrant County, Texas, according to the plat recorded in Volume 388-188, Page 56, P.R.T.C.T., from which a three-eighths inch iron rod found bears North 59 degrees 18 minutes 36 seconds East, a distance of 0.31 feet;

THENCE North 59 degrees 18 minutes 36 seconds East, departing the Northeasterly line of said Best Maid Addition with the common line between said Moree tract and said Lot 2, a distance of 623.93 feet to a five-eighths inch iron rod with plastic cap stamped "RPLS 4838" set for the Northerly corner of said Moree tract, same being the Southeasterly corner of said Lot 2, same being in the existing Southwesterly right-of-way line of the aforesaid Russell Lane, same also being the beginning of a non-tangent curve to the left, whose long chord bears South 18 degrees 48 minutes 00 seconds East, a distance of 236.00 feet;

THENCE Southerly with the common line between said Moree tract and the existing Southwesterly right-of-way line of said Russell Lane and with said non-tangent curve to the left having a radius of 967.96 feet, through a central angle of 14 degrees 00 minutes 15 seconds, for an arc distance of 236.59 feet to a five-eighths inch iron rod with plastic cap stamped "RPLS 4838" set;

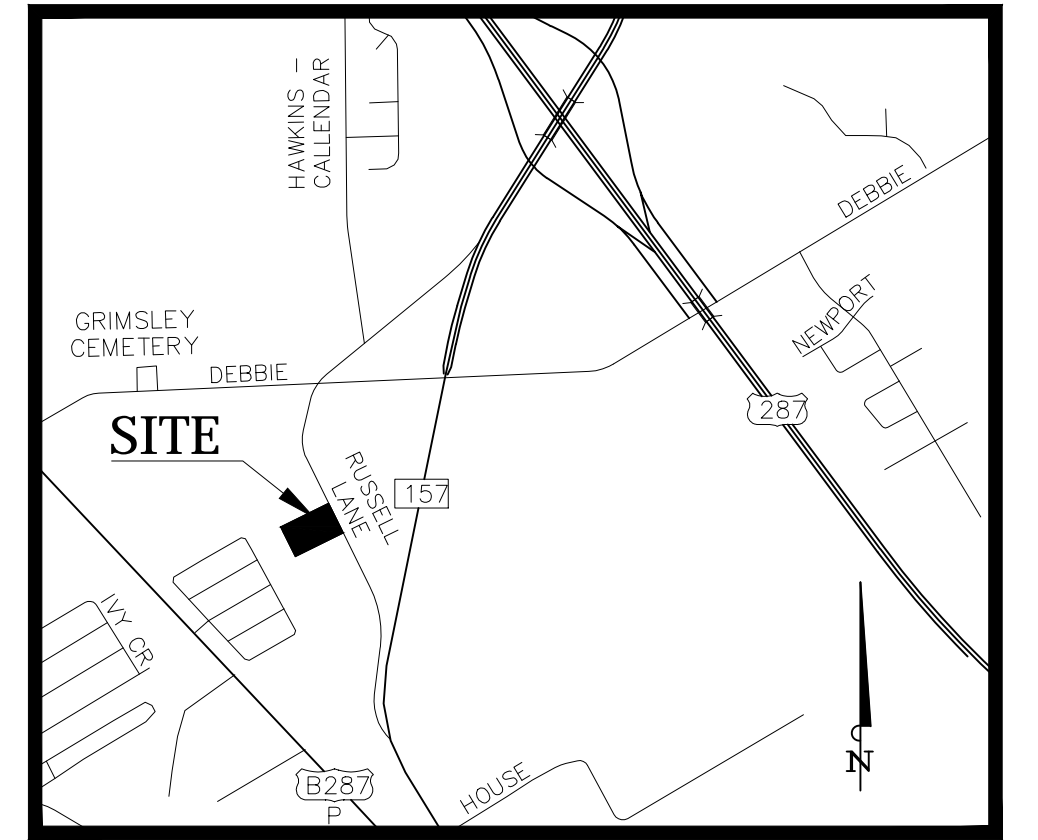
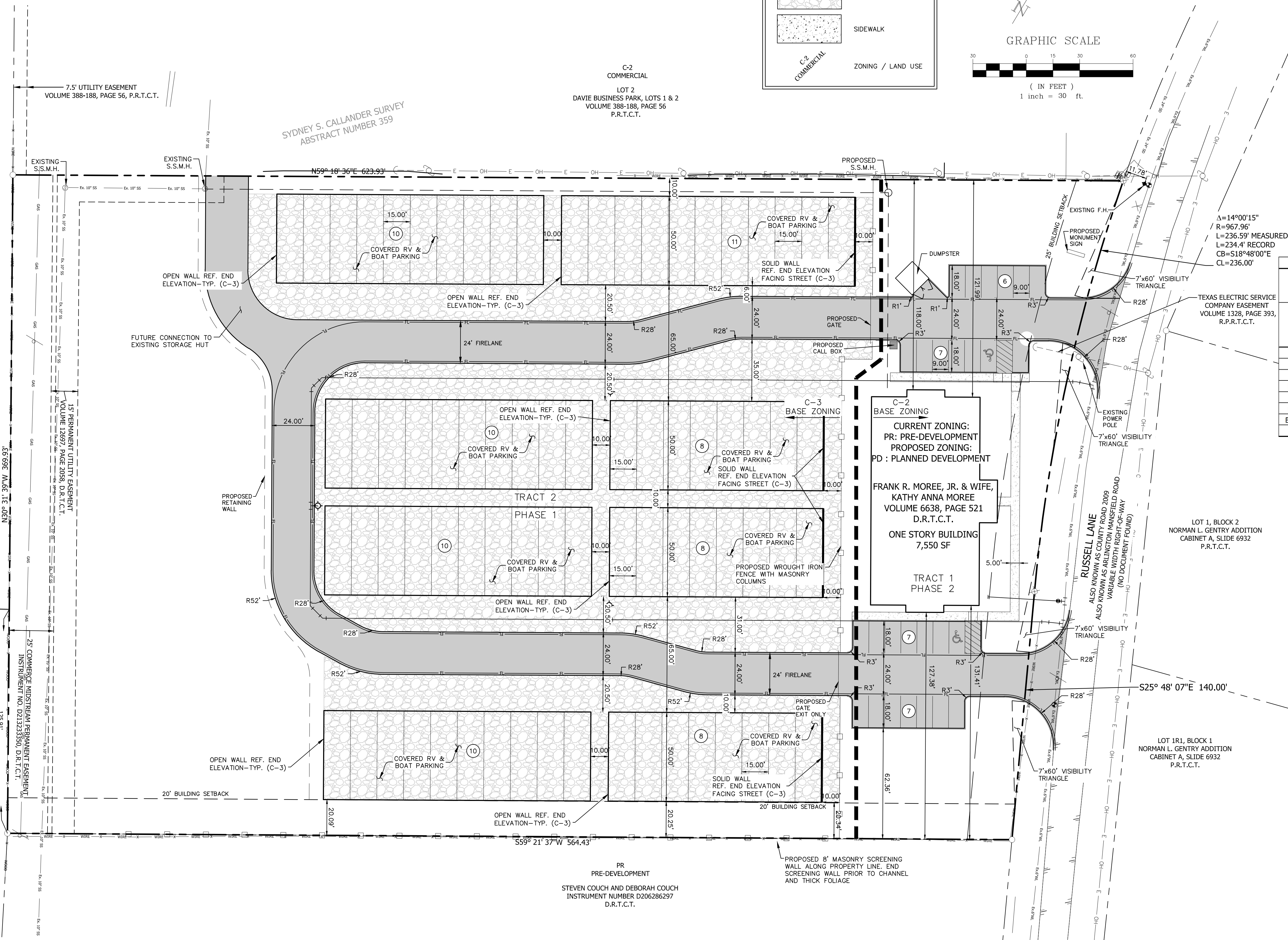
THENCE South 25 degrees 48 minutes 07 seconds East continue with the common line between said Moree tract and the existing Southwesterly right-of-way line of said Russell Lane, a distance of 140.00 feet to the PLACE OF BEGINNING, and containing a calculated area of 4.977 acres or (216,809 square feet) of land.

LOT 2, BLOCK 1
BEST MUD ADDITION
CABINET A, SLIDE 3277
P.R.T.C.T.

C-2
COMMERCIAL

MH
MANUFACTURED HOME

SILVERLEAF MOBILE HOME PARK
VOLUME 388-168, PAGE 37
P.R.T.C.T.



VICINITY MAP
NOT TO SCALE

Site Data Table (Proposed Tract 1)		Site Data Table (Proposed Tract 2)	
Owner	Frank & Kathy Moree 1121 Rock Island Ave. Dalhart, Texas 79022	Owner	Frank & Kathy Moree 1121 Rock Island Ave. Dalhart, Texas 79022
Developer	Contact: Hal Mueller Storage Hut 355 Russell Lane Mansfield, Texas 76063	Developer	Contact: Hal Mueller Storage Hut 355 Russell Lane Mansfield, Texas 76063
Building Size	7,550 s.f.	Building Size	NA
Building Use	Office	Building Use	RV Storage
Site Usage	Commercial	Site Usage	Commercial
Parking Required	25 (@ 1 per 300 s.f.)	Parking Required	NA
Parking Provided	28 Standard Parking Stalls	Parking Provided	75 RV Parking Stalls
Masonry Content	Front: 65% Rear: 86% Sides: 46%	Masonry Content	Facing Street: 81% Other: 0%
Building Floor Area	7,550 s.f.	Building Floor Area	NA
Floor Area Ratio	7550/39353 = 0.1919 = 19.19%	Floor Area Ratio	NA

ZONING TABLE	
Existing Zoning	PR
Proposed Zoning - Tract 1	C-2
Proposed Zoning - Tract 2	C-3

DEVIATIONS TABLE	
Proposed Zoning - Tract 1	C-2 With all uses and requirements of Zoning Ordinance No. 671 with the exception of the requirement for building articulation and 46% masonry instead of 70% masonry.
Proposed Zoning - Tract 2	C-3 With all uses and requirements of Zoning Ordinance No. 672 with the exception of a 20' setback along the south property line (instead of 52.5') as well as the requirement for masonry columns for the covered storage facility. Steel columns shall be an acceptable alternative.

DEVELOPMENT SCHEDULE

General Development Data:	
Phase 1	4.074 Acres (177,456 SF)
Phase 2	0.903 Acres (39,353 SF)
Anticipated Start Date (Phase 1)	Winter 2016
Anticipated End Date (Phase 1)	Spring 2016
Anticipated Start Date (Phase 2)	Summer 2016
Anticipated End Date (Phase 2)	Fall 2016
Phase 1 Use	RV Parking
Phase 2 Use	Office & Customer/Employee Parking

Exhibit 'B1'
DEVELOPMENT PLAN
for
STORAGE HUT
Being 4.977 acres or (216,809
square feet) out of
Sydney S. Callander Survey,
Abstract Number 359
City of Mansfield,
Tarrant County, Texas
Prepared: January 11, 2016

ENGINEER:
BANNISTER ENGINEERING, LLC
240 NORTH MITCHELL ROAD
MANSFIELD, TX 76063
(817) 842-2094
CONTACT: CODY R. BROOKS, P.E.

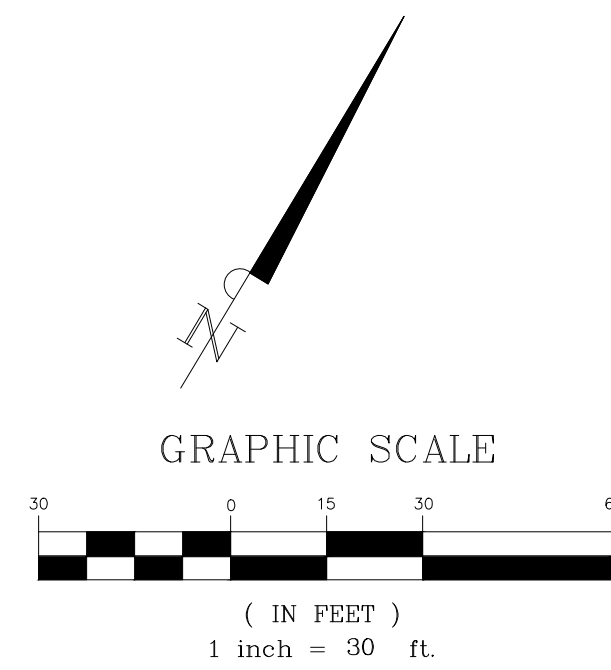
DEVELOPER:
STORAGE HUT
355 RUSSELL LANE
MANSFIELD, TEXAS, 76063
CONTACT: HAL MUELLER

ZC#15-013

PROJECT NO.: 999-15-26

SYDNEY S. CALLANDER SURVEY
ABSTRACT NUMBER 359

C-2
COMMERCIAL
LOT 2
DAVIE BUSINESS PARK, LOTS 1 & 2
VOLUME 388-186, PAGE 56
P.R.T.C.T.



N59° 18' 36"E 623.93'

$\Delta=14^{\circ}00'15"$
 $R=967.96'$
 $L=236.59'$ MEASURED
 $L=234.4'$ RECORD
 $CB=S18^{\circ}48'00"E$
 $CL=236.00'$

CURRENT ZONING:
PR: PRE-DEVELOPMENT

PROPOSED ZONING:
PD : PLANNED DEVELOPMENT

FRANK R. MOREE, JR. & WIFE,
KATHY ANNA MOREE
VOLUME 6638, PAGE 521
D.R.T.C.T.
4.977 ACRES OR
216,809 SQUARE FEET

LOT 2, BLOCK 1
BEST INTEREST ADDITION
CABINET A, SLIDE 3277
P.R.T.C.T.

C-2
COMMERCIAL

MH
MANUFACTURED HOME

SILVERLEAF MOBILE HOME PARK
VOLUME 388-168, PAGE 37
P.R.T.C.T.

N30° 31' 39"W 369.93'

.16521

S59° 21' 37"W 564.43'

PR
PRE-DEVELOPMENT

STEVEN COUCH AND DEBORAH COUCH
INSTRUMENT NUMBER D206286297
D.R.T.C.T.

RUSSELL LANE

ALSO KNOWN AS TARRANT COUNTY ROAD 2009
ALSO KNOWN AS ABUTTING MANSFIELD ROAD
VARIABLE WIDTH RIGHT-OF-WAY
(NO DOCUMENT FOUND)

C-2
COMMERCIAL
LOT 1, BLOCK 2
NORMAN L. GENTRY ADDITION
CABINET A, SLIDE 6932
P.R.T.C.T.

C-2
COMMERCIAL
LOT 1R1, BLOCK 1
NORMAN L. GENTRY ADDITION
CABINET A, SLIDE 6932
P.R.T.C.T.

S23° 48' 07"E 140.00'

Exhibit 'B2'
ZONING EXHIBIT
for
STORAGE HUT

Being 4.977 acres situated in the
Sydney S. Callander Survey,
Abstract No. 359
City of Mansfield, Tarrant County, Texas
Prepared: 01/05/2016

GENERAL NOTES:

1. No trees, bushes, walls, fences or anything over 2' in
height is allowed within the visibility easements.

ENGINEER:
BANNISTER ENGINEERING, LLC
240 N. MITCHELL ROAD
MANSFIELD, TX 76063
(817) 842-2094
CONTACT: CODY R. BROOKS, P.E.

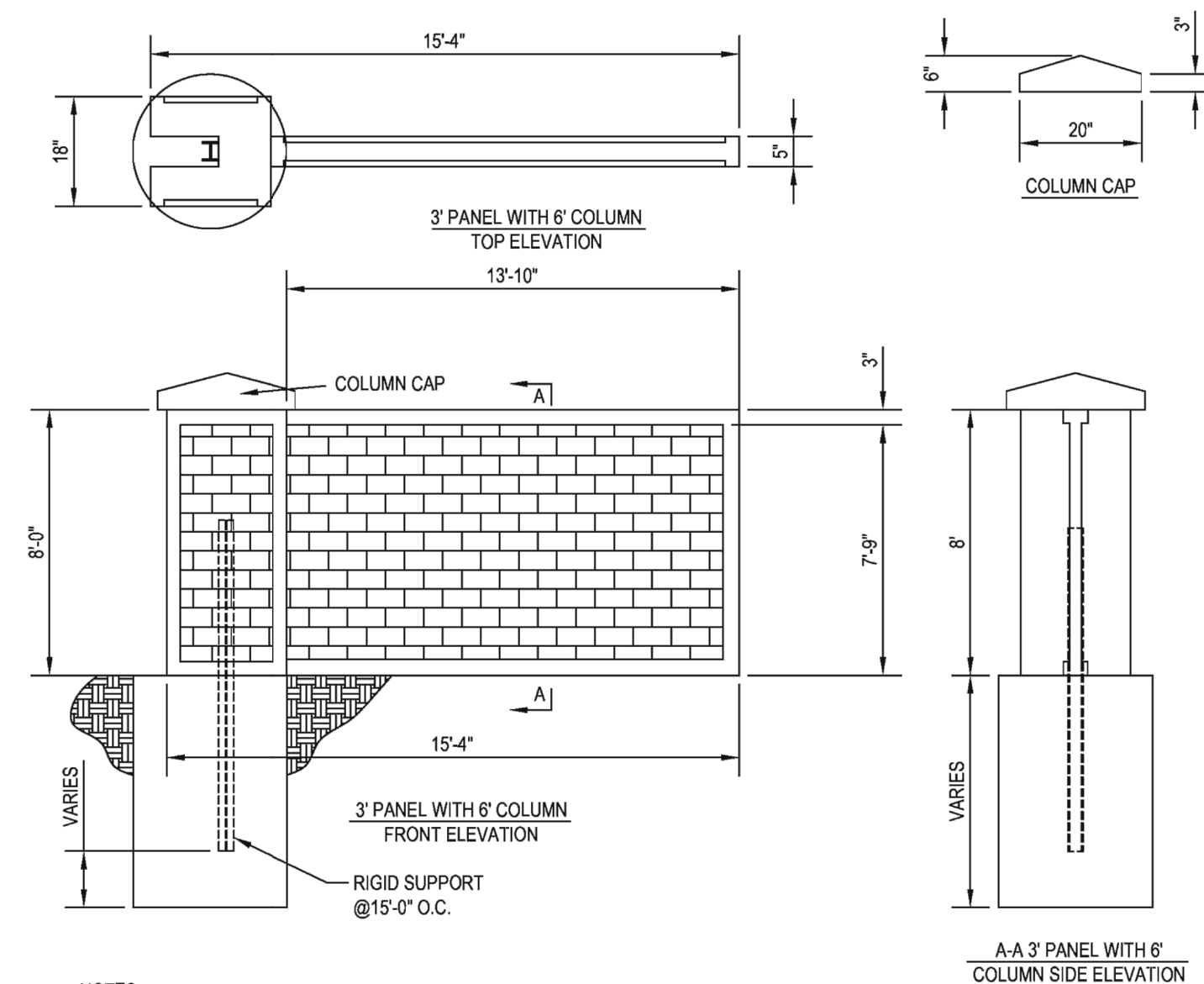
DEVELOPER:
STORAGE HUT
355 RUSSELL LANE
MANSFIELD, TEXAS, 76063
CONTACT: HAL MUELLER

ZC#: 15-013

PROJECT NO.: 999-15-26

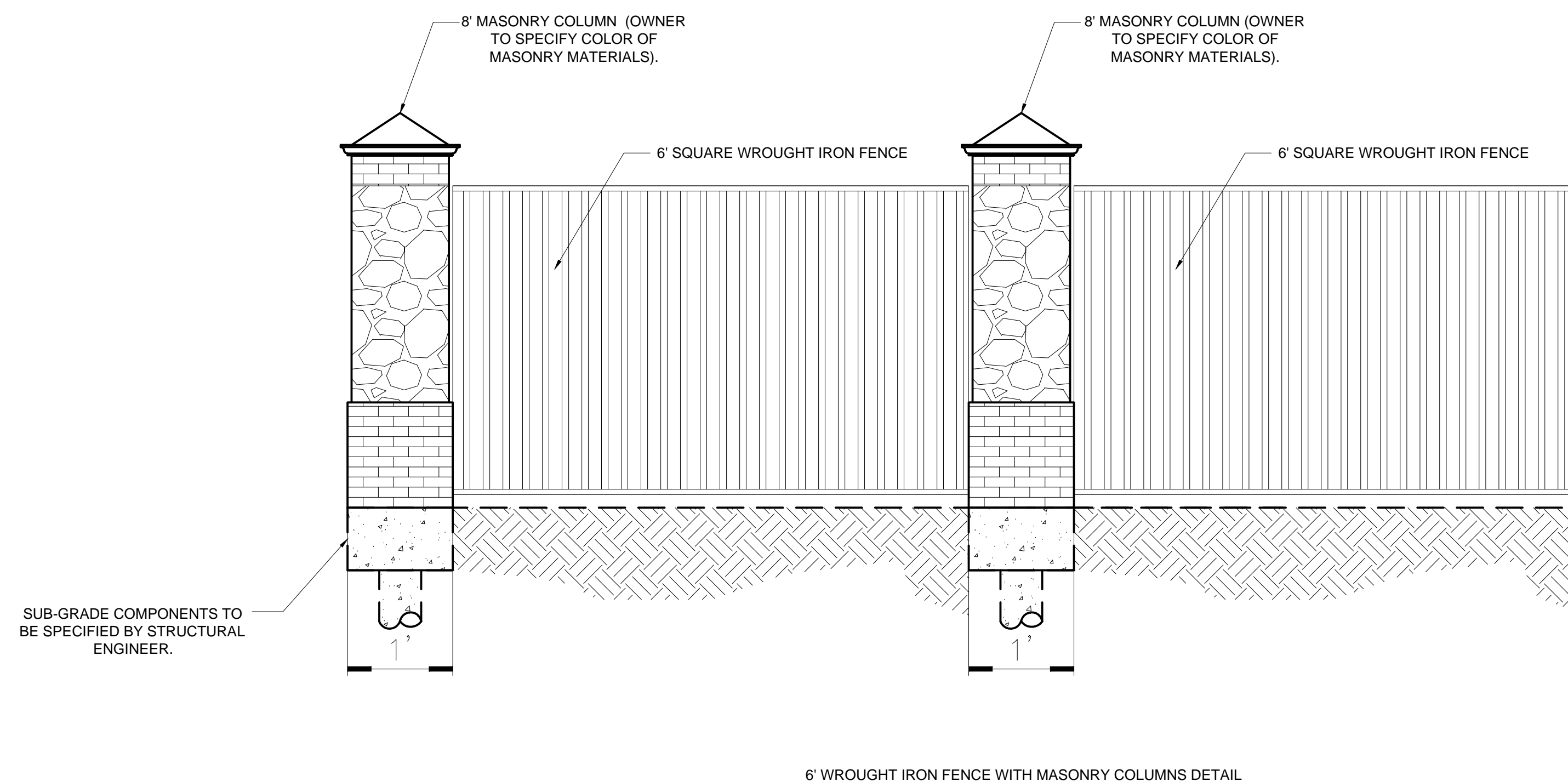


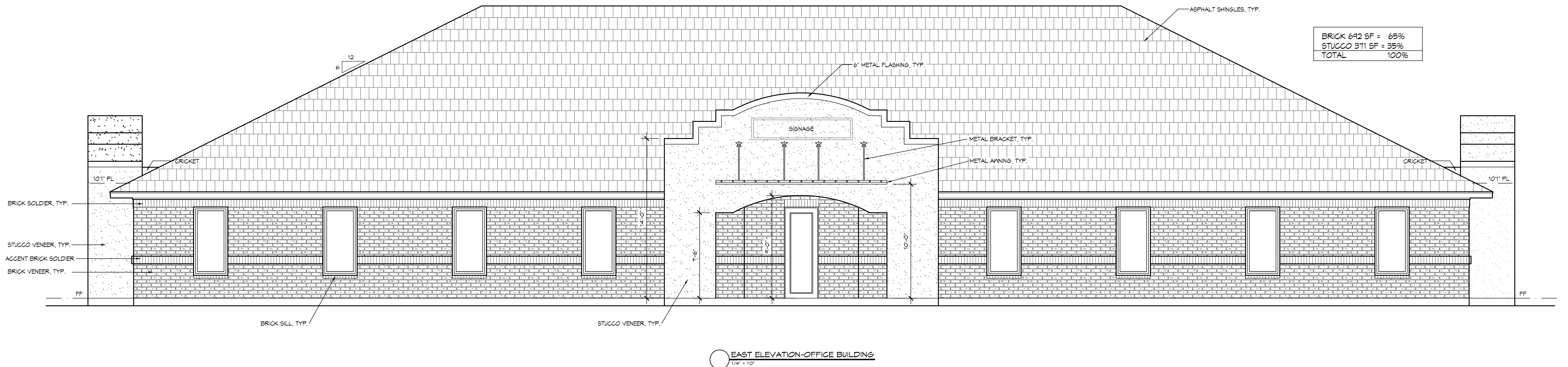
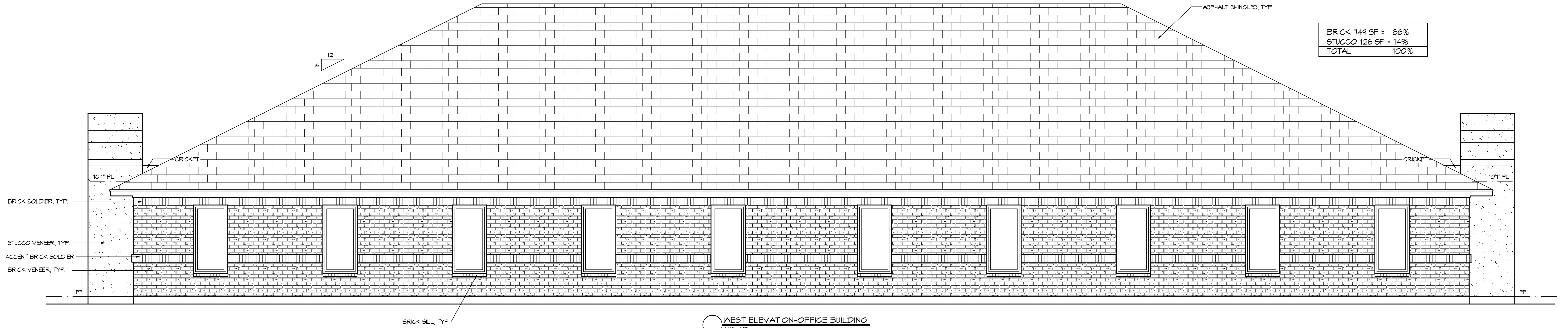
4730 S. RIVERSIDE DRIVE
SALT LAKE CITY, UT 84123
TOLL FREE: 1-866-370-3676
PHONE: (801) 281-2262
FAX: (801) 281-2272
www.stonetreefence.com

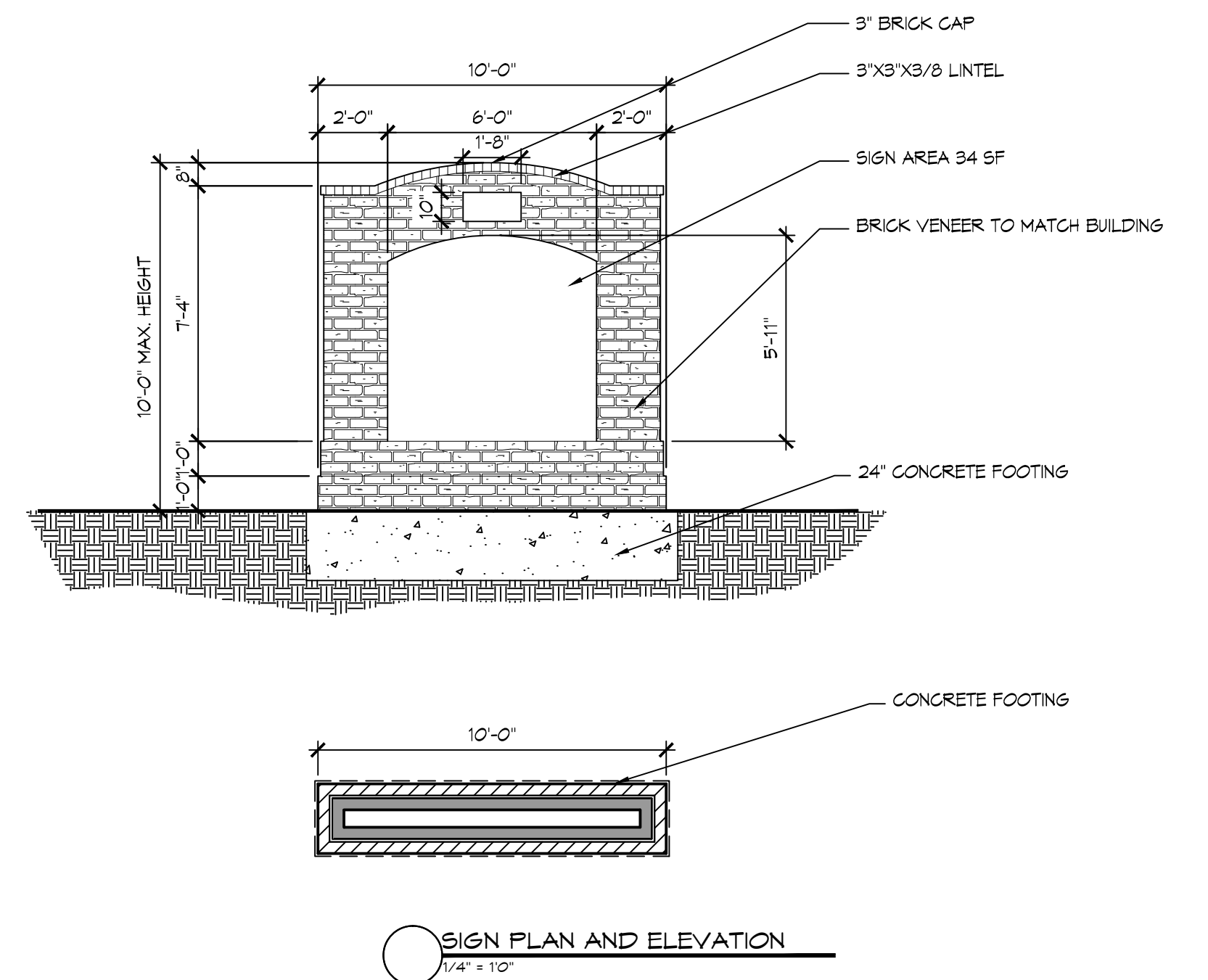
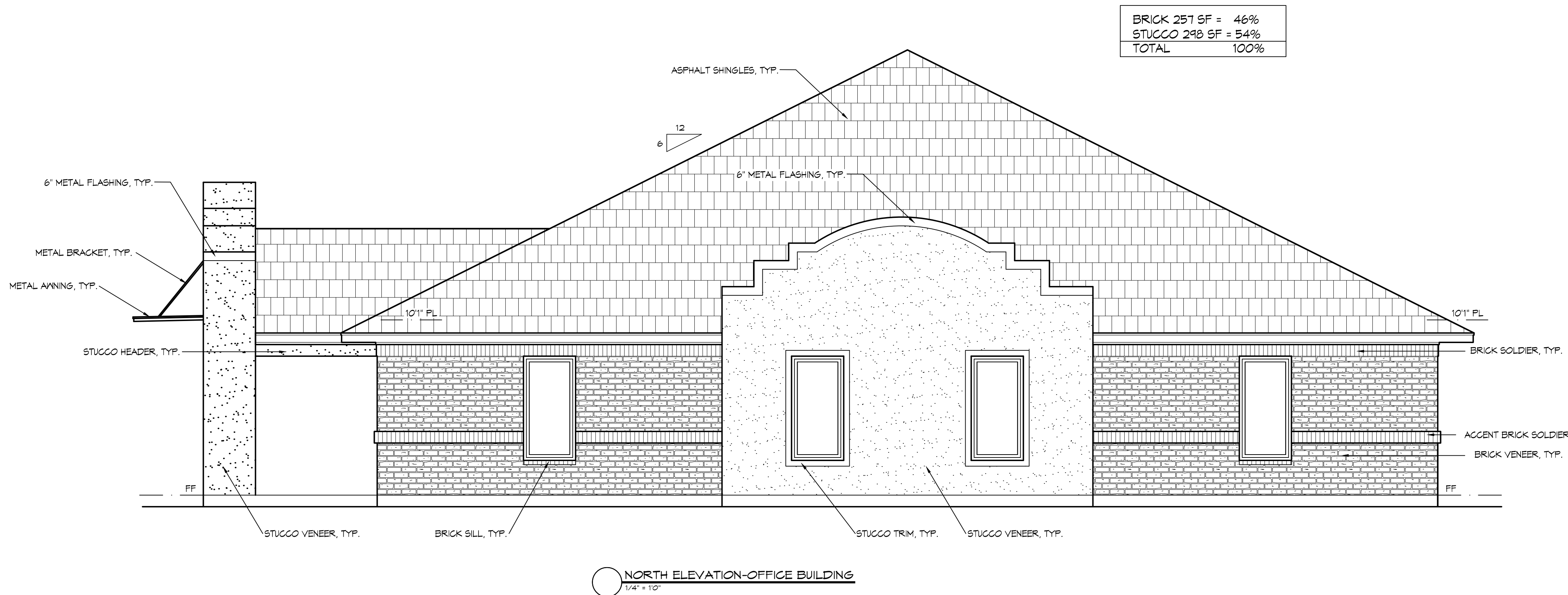
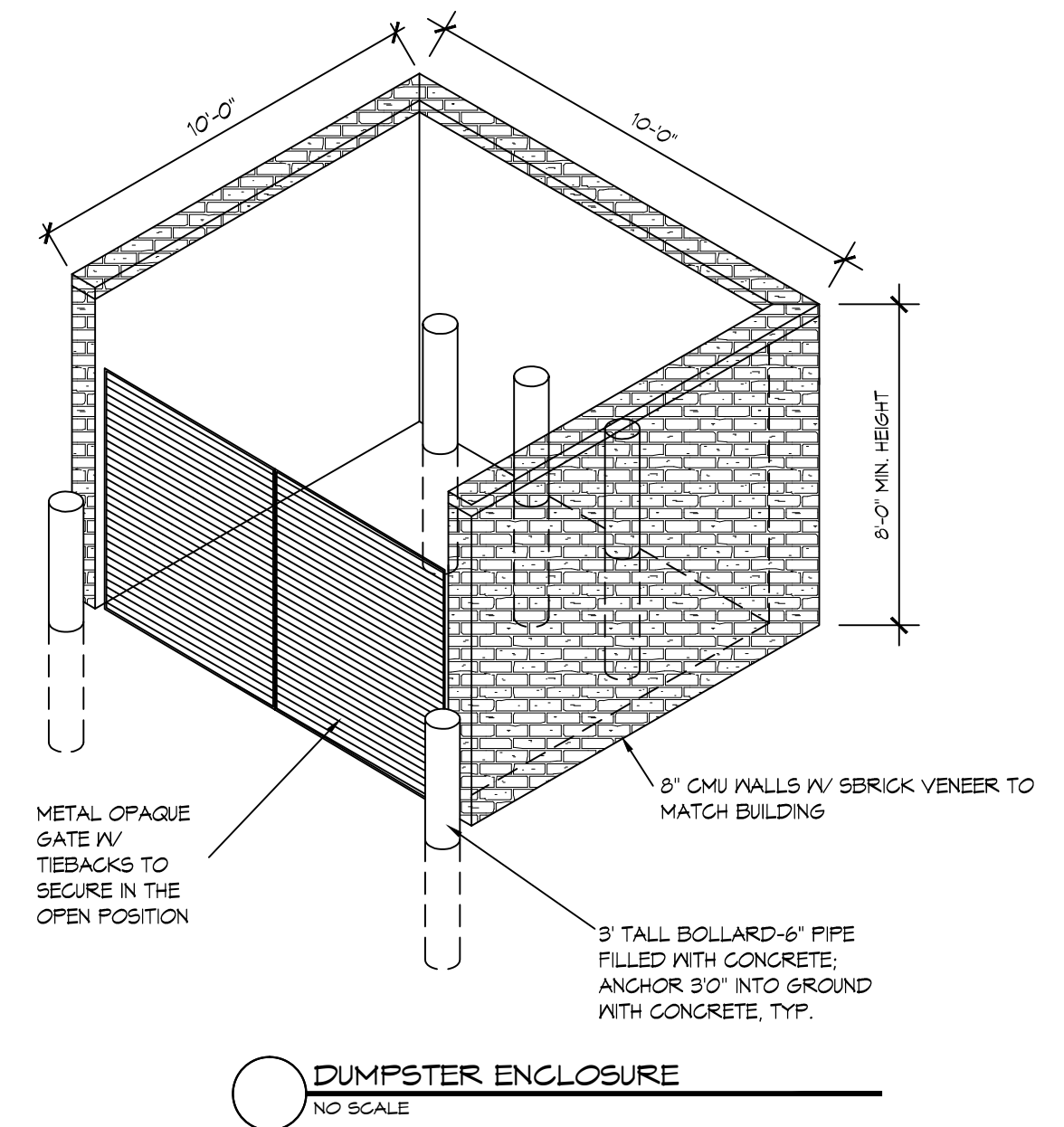
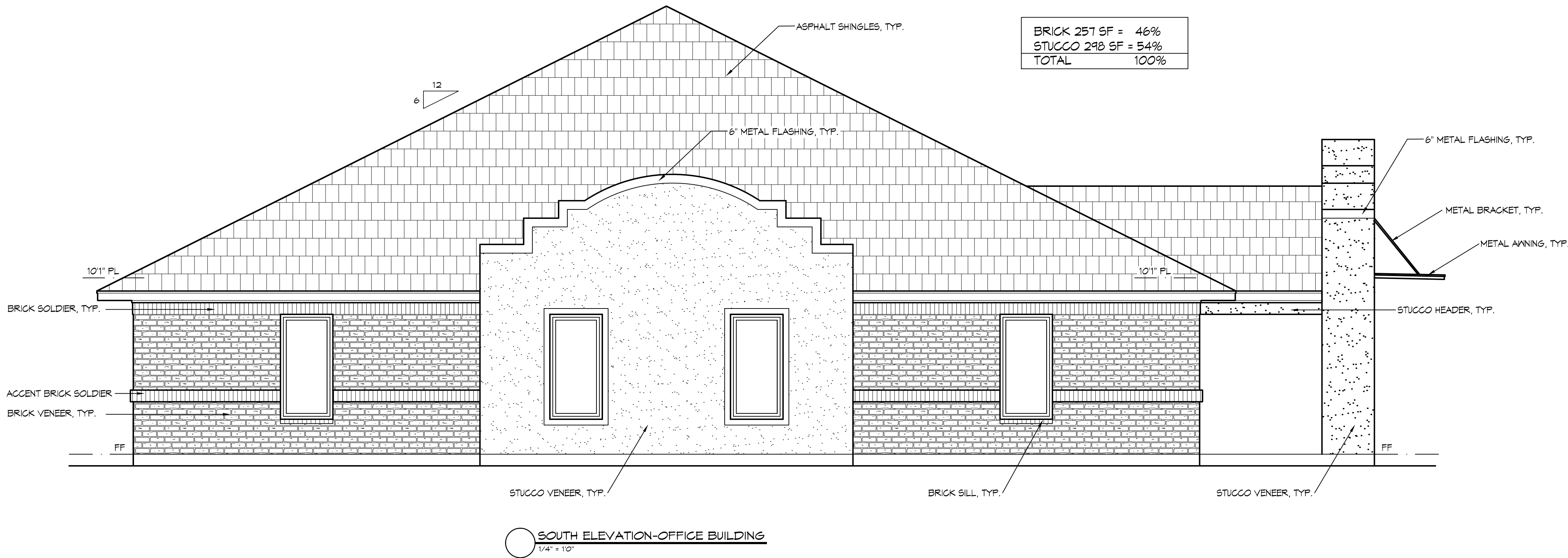


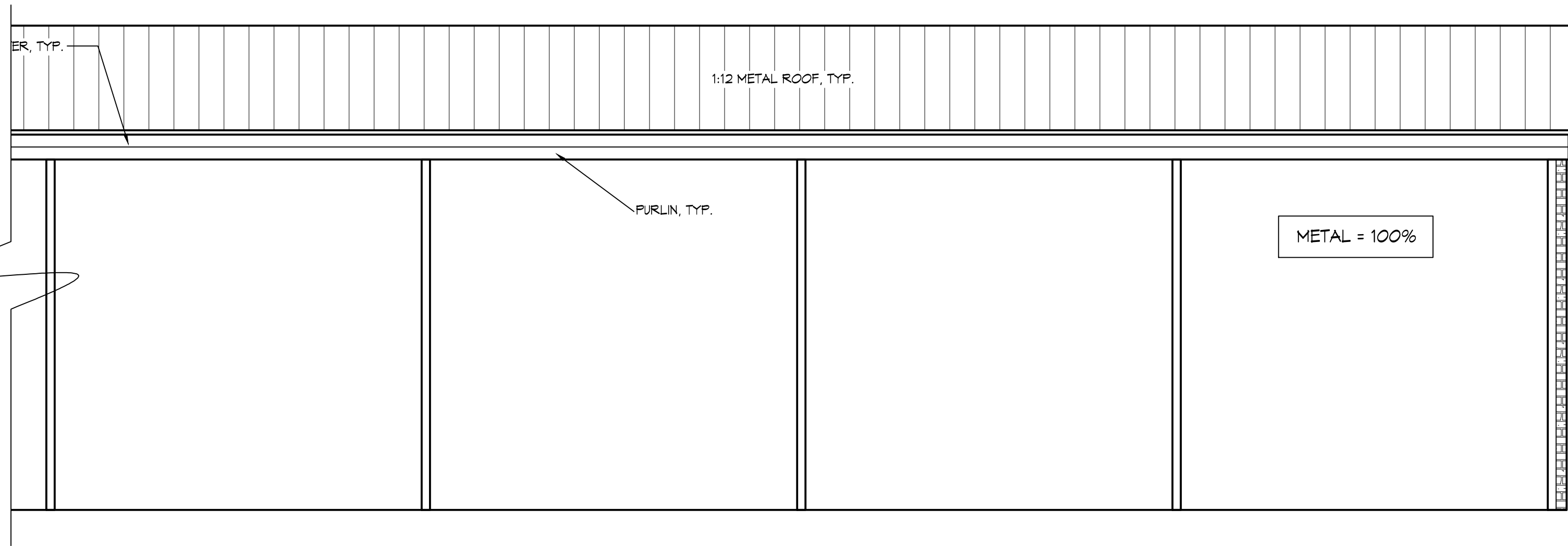
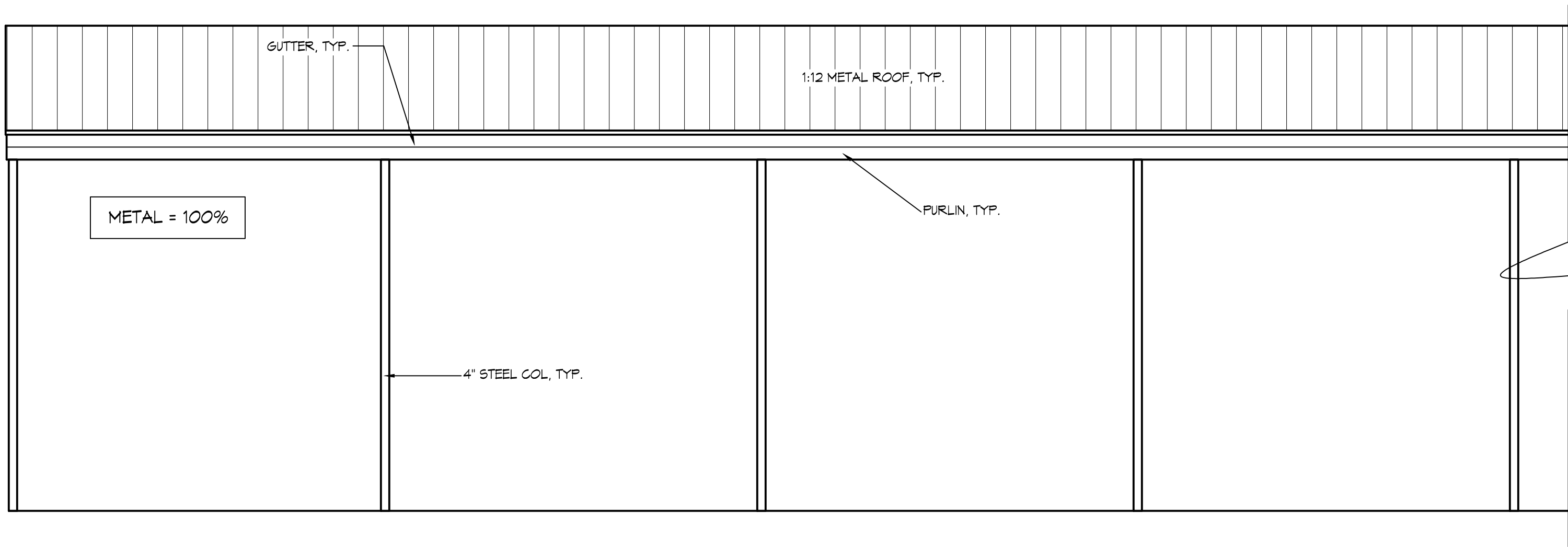
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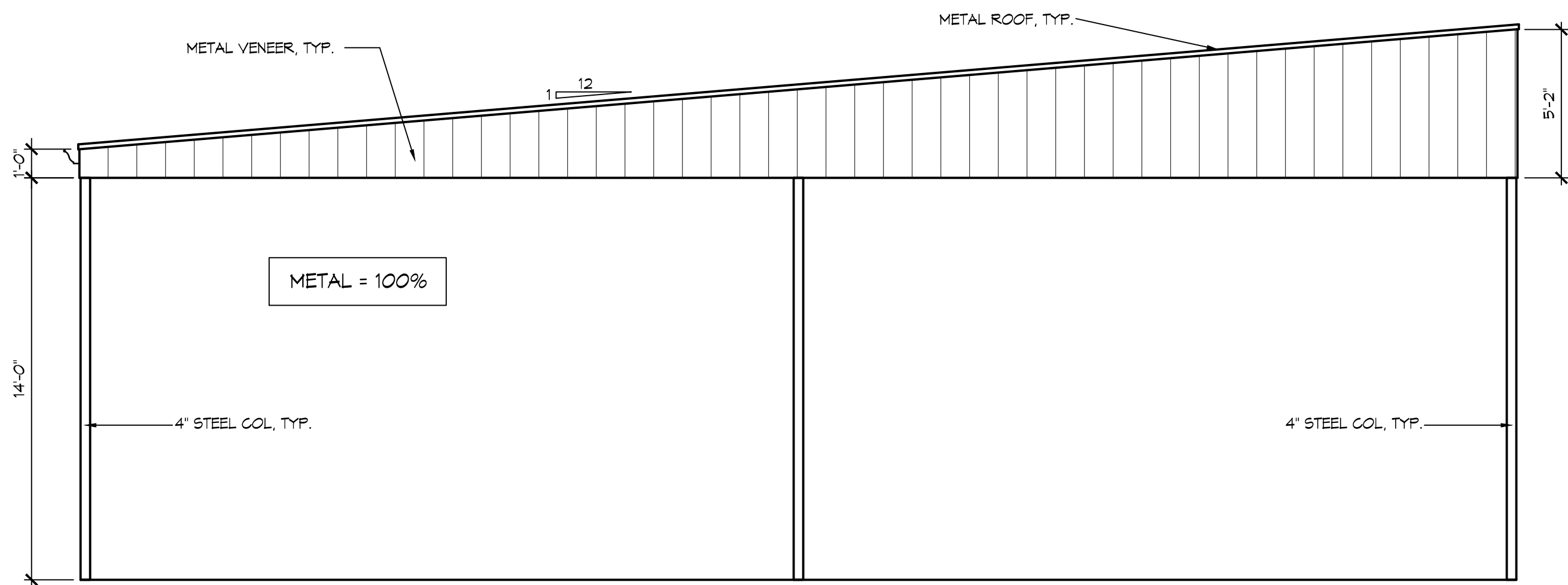




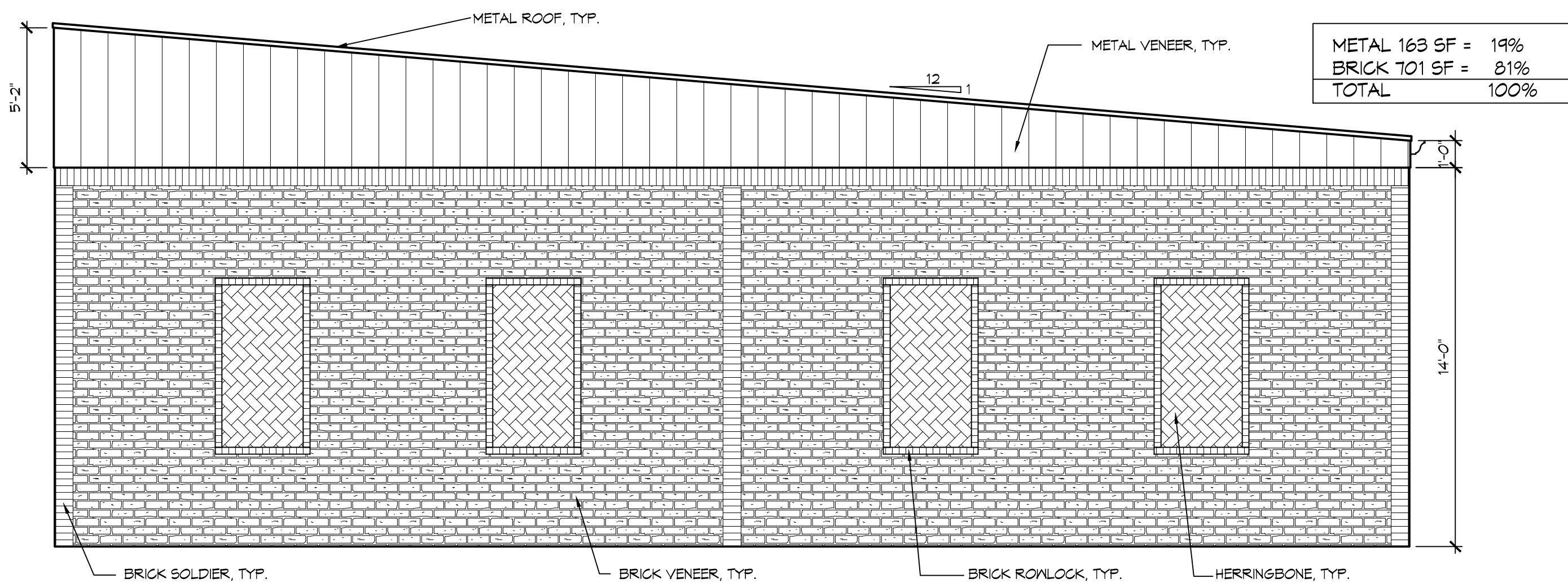




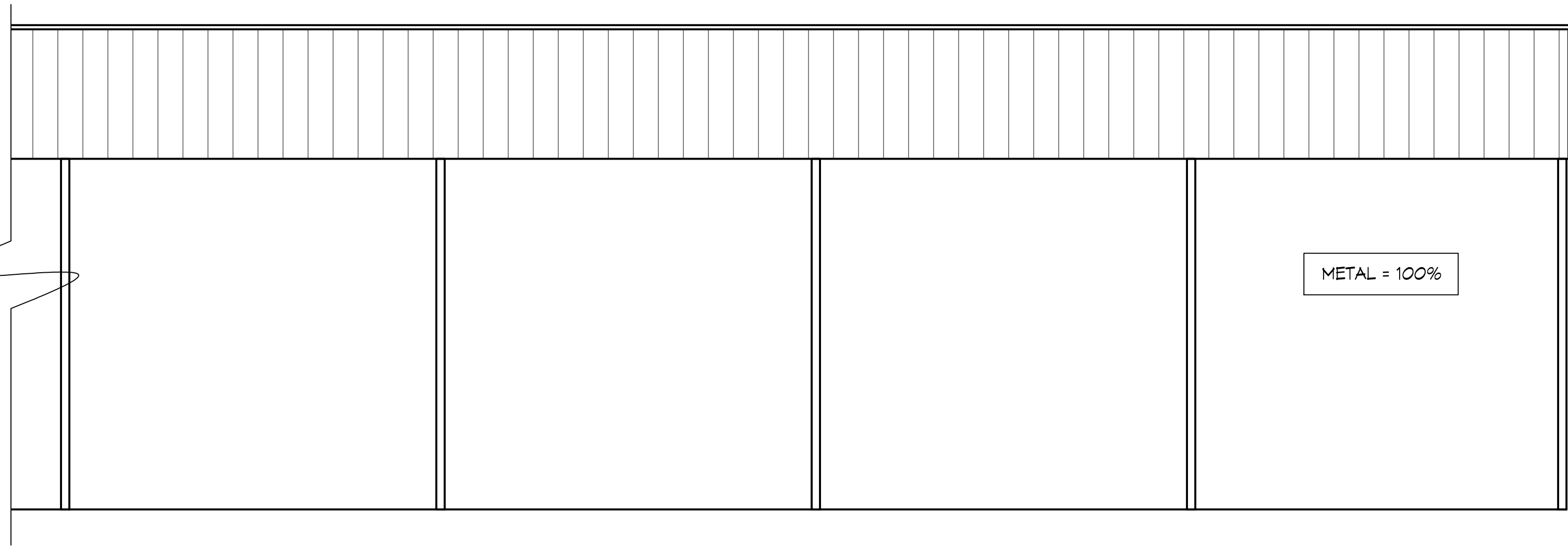
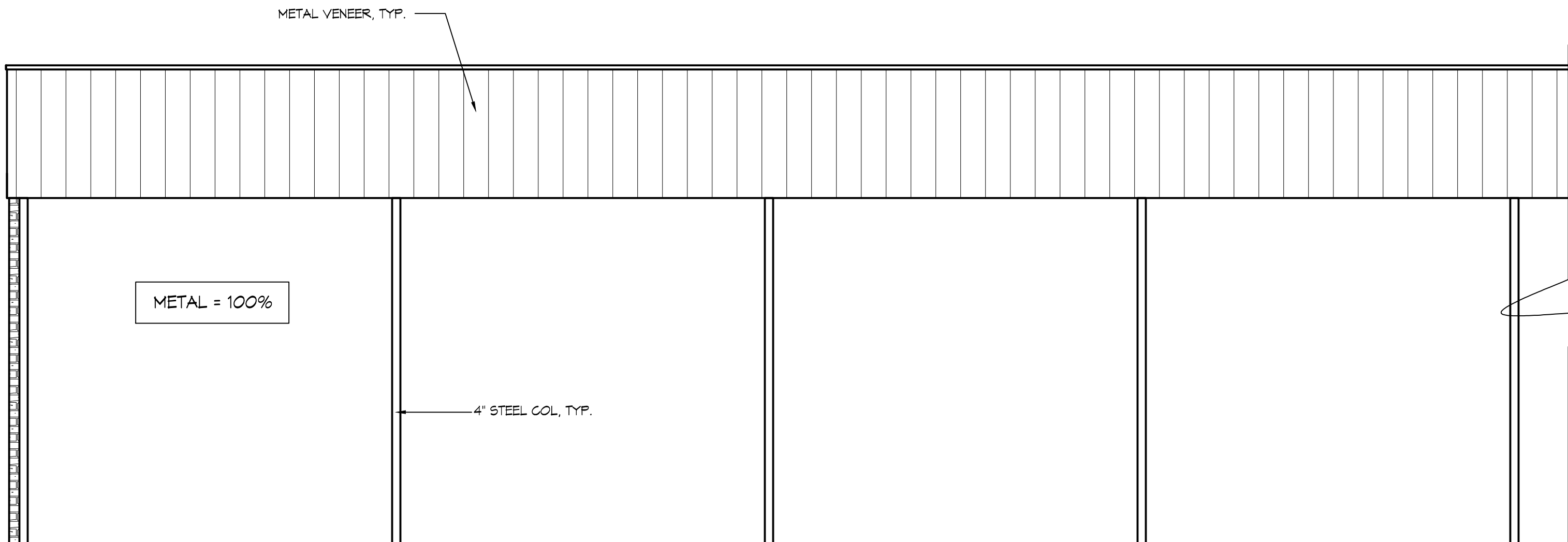
FRONT ELEVATION-TYP. RV STORAGE
1/4" = 10'



END ELEVATION-TYP. RV STORAGE
1/4" = 10'



END ELEVATION(FACING STREET)-TYP. RV STORAGE
1/4" = 10'



REAR ELEVATION-TYP. RV STORAGE
1/4" = 10'

SHEET No.:

C-3



218 N. WALNUT CREEK DR. MANSFIELD TEXAS 76063
817.471.1324 METRO 817.471.3893 FAX
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SHEET Title:

TYPICAL RV
STORAGE

GENERAL NOTES:

1. CONTRACTOR TO VERIFY ALL DIMENSIONS PRIOR TO BEGINNING CONSTRUCTION. NOTIFY ARCHITECT OF ANY DISCREPANCIES IMMEDIATELY.
2. CONTRACTOR TO OBSERVE ALL APPLICABLE STATE AND LOCAL CODES AND ORDINANCES.
3. ALL ELECTRICAL OUTLETS AT NET AREAS (INCL. GARAGE) TO BE 6 F.U.
4. ALL EXTERIOR ELECTRICAL OUTLETS TO BE WEATHER PROOF.
5. ALL GLAZING WITHIN 20" HORIZ. DISTANCE FROM JAMB OF EXTERIOR DOORS TO BE TEMPERED GLASS.
6. PLUMBING WALLS AT TOILETS TO BE 2X6 STUDS.
7. ALL DIMENSIONS ARE TO FACE OF STUD OR FACE OF BRICK. ALL DIMENSIONS ARE FOR NOMINAL 4" STUD (ACTUAL 3-1/2" STUD).
8. PROVIDE 120V, WIRE IN SERIES SMOKE DETECTORS OR PER LOCAL CODE REQUIREMENTS.
9. WINDOW AND DOOR SIZES ARE AS INDICATED ON PLANS AT MDN. & DOOR LOCATIONS.

DATE: 7-1-15 PD1

12-8-15 PD2

1-4-16 REV

RUSSELL LANE
LOT LOT BLOCK BLOCK
SUBDIVISION
MANSFIELD, TEXAS
TARRANT COUNTY

MANSFIELD
RV

151553



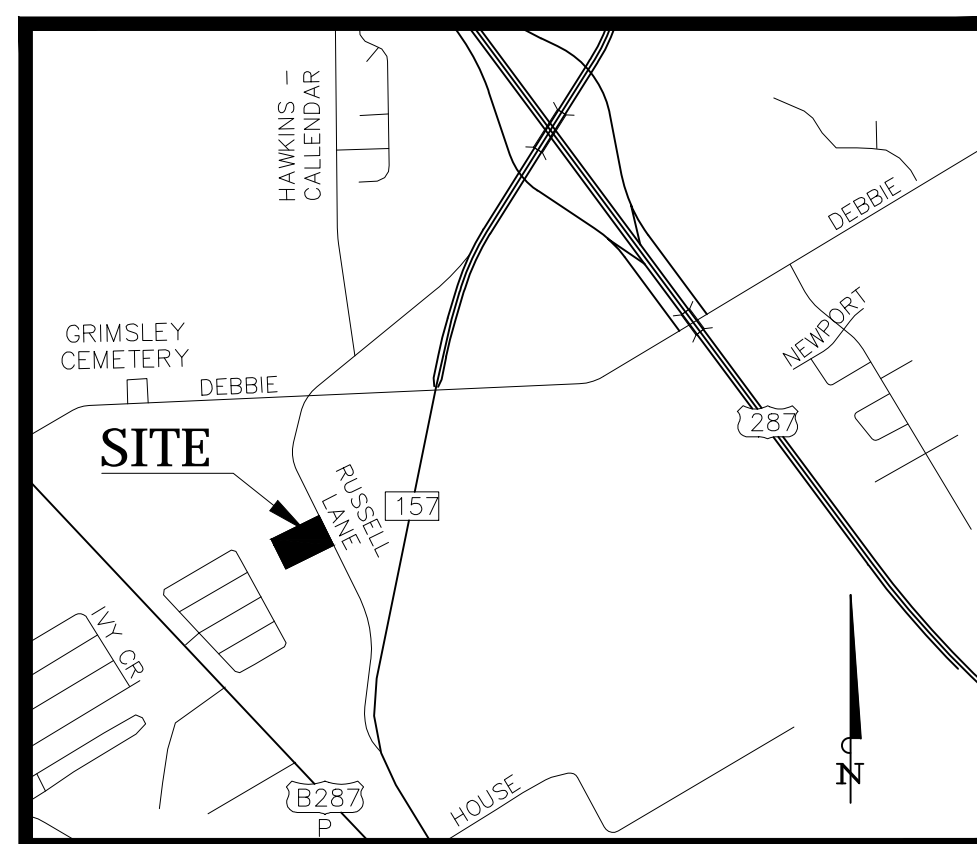
TREE #	CALIPER	TYPE	REMAIN	REMOVE
1058	18	CEDAR	X	
1059	10	ELM	X	
1060	15	ELM		X
1121	10	ELM		X
1126	12	ELM	X	
1127	12	ELM	X	
1128	12	BOIS D'ARC	X	
1129	8	ELM	X	
1130	8	TR 8 ELM	X	
1131	8	ELM	X	
1132	8	ELM	X	
1139	10	ELM		X
1140	12	POST OAK		X
1141	15	ELM		X
1142	12	POST OAK		X
1143	15	POST OAK		X
1144	18	POST OAK		X
1147	18	ELM		X
1149	12	POST OAK		X
1150	10	ELM	X	
1151	8	ELM	X	
1152	10	ELM	X	
1153	10	ELM	X	
1156	8	ELM	X	
1160	10	ELM	X	
1161	10	POST OAK		X
1162	10	ELM		X
1163	10	ELM		X
1164	8	HACKBERRY		X
1165	12	HACKBERRY		X
1166	12	ELM		X
1167	12	POST OAK		X
1168	24	PECAN		X
1169	10	POST OAK		X
1170	10	POST OAK		X
1171	8	WILLOW		X
1175	18	PECAN		X
1176	15	CEDAR		X
1177	15	CEDAR		X
1178	18	PECAN	X	
1179	15	POST OAK	X	
1180	8	CEDAR	X	
1181	12	POST OAK	X	
1208	36	POST OAK	X	
1209	10	LIVE OAK		X
1210	10	POST OAK		X
1211	15	ELM		X
1212	8	POST OAK		X
1213	8	POST OAK		X
1214	10	LIVE OAK		X
1215	10	POST OAK		X
1219	12	WILLOW		X
1220	15	WILLOW		X
1229	24	POST OAK	X	
1230	21	POST OAK	X	
1231	21	POST OAK	X	
1232	18	ELM	X	
1244	24	POST OAK	X	
1256	18	PIN OAK	X	
1257	12	ELM	X	
1258	9	ELM		X
1259	15	POST OAK		X
1269	8	POST OAK	X	
1270	12	RED OAK	X	
1321	24	ELM		X

SUMMARY CHART - BUFFERYARDS / SETBACKS					
LOCATION OF BUFFERYARD OR SETBACK	REQ'D PROV'D	LENGTH (IN FEET)	BUFFERYARD OR SETBACK WIDTH / TYPE	CANOPY TREES	SCREEN WALL / DEVICE HEIGHT AND MATERIAL
NORTH	REQ'D PROV'D	624	10' BUFFERYARD "	NA NA	- -
SOUTH	REQ'D PROV'D	564	20' BUFFERYARD	23	8' MASONRY SCREEN WALL
EAST	REQ'D PROV'D	281	20' STREET SETBACK "	23 6	8' MASONRY SCREEN WALL -
WEST	REQ'D PROV'D	370	10' BUFFERYARD "	7 7	- -

SUMMARY CHART - INTERIOR LANDSCAPE			
	LOT AREA (IN SQUARE FEET)	LANDSCAPE AREA (IN SQUARE FEET)	% OF LANDSCAPE AREA
REQ'D	216,809	21,681	10%
PROV'D		86,661	39.97%

SUMMARY CHART - INT. PARKING LOT LANDSCAPING		
LOT 1	# OF REQD PARKING SPACES:	25
	# OF PROV'D PARKING SPACES:	27
	# OF TREE ISLANDS WITH TREES PROV'D:	0

Site plan for a pre-development project. The plan shows a one-story building (7,550 SF) with a bedding area (typical). The building is surrounded by lawns and parking areas. Various trees are indicated by circles with crosses or dots, and some are labeled with numbers (e.g., 1169, 1170, 1171, 1172, 1173, 1174, 1175, 1176, 1177, 1178, 1179, 1180, 1181, 1182, 1183, 1184, 1185, 1186, 1187, 1188, 1189, 1190, 1191, 1192, 1193, 1194, 1195, 1196, 1197, 1198, 1199, 1200, 1201, 1202, 1203, 1204, 1205, 1206, 1207, 1208, 1209, 1210, 1211, 1212, 1213, 1214, 1215, 1216, 1217, 1218, 1219, 1220, 1221, 1222, 1223, 1224, 1225, 1226, 1227, 1228, 1229, 1230, 1231, 1232, 1233, 1234, 1235, 1236, 1237, 1238, 1239, 1240, 1241, 1242, 1243, 1244, 1245, 1246, 1247, 1248, 1249, 1250, 1251, 1252, 1253, 1254, 1255, 1256, 1257, 1258, 1259, 1260, 1261, 1262, 1263, 1264, 1265, 1266, 1267, 1268, 1269, 1270, 1271, 1272, 1273, 1274, 1275, 1276, 1277, 1278, 1279, 1280, 1281, 1282, 1283, 1284, 1285, 1286, 1287, 1288, 1289, 1290, 1291, 1292, 1293, 1294, 1295, 1296, 1297, 1298, 1299, 1300, 1301, 1302, 1303, 1304, 1305, 1306, 1307, 1308, 1309, 1310, 1311, 1312, 1313, 1314, 1315, 1316, 1317, 1318, 1319, 1320, 1321, 1322, 1323, 1324, 1325, 1326, 1327, 1328, 1329, 1330, 1331, 1332, 1333, 1334, 1335, 1336, 1337, 1338, 1339, 1340, 1341, 1342, 1343, 1344, 1345, 1346, 1347, 1348, 1349, 1350, 1351, 1352, 1353, 1354, 1355, 1356, 1357, 1358, 1359, 1360, 1361, 1362, 1363, 1364, 1365, 1366, 1367, 1368, 1369, 1370, 1371, 1372, 1373, 1374, 1375, 1376, 1377, 1378, 1379, 1380, 1381, 1382, 1383, 1384, 1385, 1386, 1387, 1388, 1389, 1390, 1391, 1392, 1393, 1394, 1395, 1396, 1397, 1398, 1399, 1400, 1401, 1402, 1403, 1404, 1405, 1406, 1407, 1408, 1409, 1410, 1411, 1412, 1413, 1414, 1415, 1416, 1417, 1418, 1419, 1420, 1421, 1422, 1423, 1424, 1425, 1426, 1427, 1428, 1429, 1430, 1431, 1432, 1433, 1434, 1435, 1436, 1437, 1438, 1439, 1440, 1441, 1442, 1443, 1444, 1445, 1446, 1447, 1448, 1449, 1450, 1451, 1452, 1453, 1454, 1455, 1456, 1457, 1458, 1459, 1460, 1461, 1462, 1463, 1464, 1465, 1466, 1467, 1468, 1469, 1470, 1471, 1472, 1473, 1474, 1475, 1476, 1477, 1478, 1479, 1480, 1481, 1482, 1483, 1484, 1485, 1486, 1487, 1488, 1489, 1490, 1491, 1492, 1493, 1494, 1495, 1496, 1497, 1498, 1499, 1500, 1501, 1502, 1503, 1504, 1505, 1506, 1507, 1508, 1509, 1510, 1511, 1512, 1513, 1514, 1515, 1516, 1517, 1518, 1519, 1520, 1521, 1522, 1523, 1524, 1525, 1526, 1527, 1528, 1529, 1530, 1531, 1532, 1533, 1534, 1535, 1536, 1537, 1538, 1539, 1540, 1541, 1542, 1543, 1544, 1545, 1546, 1547, 1548, 1549, 1550, 1551, 1552, 1553, 1554, 1555, 1556, 1557, 1558, 1559, 1560, 1561, 1562, 1563, 1564, 1565, 1566, 1567, 1568, 1569, 1570, 1571, 1572, 1573, 1574, 1575, 1576, 1577, 1578, 1579, 1580, 1581, 1582, 1583, 1584, 1585, 1586, 1587, 1588, 1589, 1590, 1591, 1592, 1593, 1594, 1595, 1596, 1597, 1598, 1599, 1600, 1601, 1602, 1603, 1604, 1605, 1606, 1607, 1608, 1609, 1610, 1611, 1612, 1613, 1614, 1615, 1616, 1617, 1618, 1619, 1620, 1621, 1622, 1623, 1624, 1625, 1626, 1627, 1628, 1629, 1630, 1631, 1632, 1633, 1634, 1635, 1636, 1637, 1638, 1639, 1640, 1641, 1642, 1643, 1644, 1645, 1646, 1647, 1648, 1649, 1650, 1651, 1652, 1653, 1654, 1655, 1656, 1657, 1658, 1659, 1660, 1661, 1662, 1663, 1664, 1665, 1666, 1667, 1668, 1669, 1670, 1671, 1672, 1673, 1674, 1675, 1676, 1677, 1678, 1679, 1680, 1681, 1682, 1683, 1684, 1685, 1686, 1687, 1688, 1689, 1690, 1691, 1692, 1693, 1694, 1695, 1696, 1697, 1698, 1699, 1700, 1701, 1702, 1703, 1704, 1705, 1706, 1707, 1708, 1709, 1710, 1711, 1712, 1713, 1714, 1715, 1716, 1717, 1718, 1719, 1720, 1721, 1722, 1723, 1724, 1725, 1726, 1727, 1728, 1729, 1730, 1731, 1732, 1733, 1734, 1735, 1736, 1737, 1738, 1739, 1740, 1741, 1742, 1743, 1744, 1745, 1746, 1747, 1748, 1749, 1750, 1751, 1752, 1753, 1754, 1755, 1756, 1757, 1758, 1759, 1760, 1761, 1762, 1763, 1764, 1765, 1766, 1767, 1768, 1769, 1770, 1771, 1772, 1773, 1774, 1775, 1776, 1777, 1778, 1779, 1780, 1781, 1782, 1783, 1784, 1785, 1786, 1787, 1788, 1789, 1790, 1791, 1792, 1793, 1794, 1795, 1796, 1797, 1798, 1799, 1800, 1801, 1802, 1803, 1804, 1805, 1806, 1807, 1808, 1809, 1810, 1811, 1812, 1813, 1814, 1815, 1816, 1817, 1818, 1819, 1820, 1821, 1822, 1823, 1824, 1825, 1826, 1827, 1828, 1829, 1830, 1831, 1832, 1833,



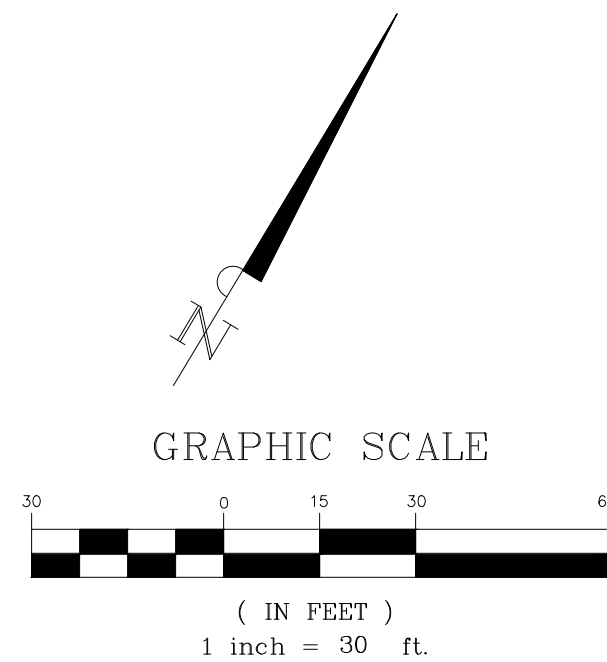
VICINITY MAP
NOT TO SCALE

EXISTING TREE TO REMAIN

EXISTING TREE TO BE REMOVED



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STORAGE HUT
MANSFIELD, TEXAS
ZONING CASE No. ZC#15-013
LANDSCAPE AND TREE PRESERVATION PLAN

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