

PRELIMINARY CONSTRUCTION PLANS FOR :Mixed Used
Addition 700 N HOLLAND RD, MANSFIELD, TEXAS

Surveyor:
Rodney Martinez L-R Surveying, LLC

- THE ALLEY TO SERVE THE ROW HOUSES AND THE PRIVATE RESIDENCE WILL REQUIRE A MINIMUM PAVEMENT WIDTH OF 14 FEET AND A MINIMUM EASEMENT WIDTH OF 20 FEET.
- CONCERNING THE COMMERCIAL USES AND URBAN DESIGN REQUIREMENTS, AS APPROVED FOR OTHER PROJECTS:
 - ALLOWED USES: AS SPECIFIED IN EXHIBIT B-1 FOR ZC#-23-019 PD REGULATIONS.
- PROHIBITED USES: ANY USE NOT LISTED ABOVE SHALL BE PROHIBITED, INCLUDING DRIVE-THROUGH FACILITIES; OUTDOOR STORAGE; AND THE SALE OF SECONDHAND OR USED MERCHANDISE.
- MINIMUM DEDICATION OF COMMERCIAL SPACE TO FOOD SERVICE ESTABLISHMENT: A MINIMUM OF 2,500 SQUARE FEET OF GROSS LEASABLE SPACE SHALL BE PERMANENTLY DEDICATED TO THE OPERATION OF A RESTAURANT, COFFEE SHOP, CAFÉ, OR OTHER SIMILAR FOOD SERVICE ESTABLISHMENT SUBJECT TO THE APPROVAL OF THE DIRECTOR OF PLANNING AND SUBJECT TO THE LIMITATIONS OF THIS PD, PLANNED DEVELOPMENT DISTRICT.
- OUTDOOR SEATING AND SERVING AREA: OUTDOOR SEATING AND SERVING AREAS SHALL BE PROVIDED ARCHITECTURAL STANDARDS:
 - ARCHITECTURE:
 - GENERALLY, THE ARCHITECTURAL COMPOSITION OF ALL FRONT BUILDING FAÇADES SHALL BE INSPIRED BY THE IMAGES SHOWN IN THE ATTACHED (SEE PHOTOGRAPH ATTACHED).
 - WITH THE EXCEPTION OF OPENINGS FOR DOORS AND WINDOWS ONLY, A MINIMUM OF 80 PERCENT OF EACH BUILDING WALL SHALL BE FIRED-CLAY BRICK, CAST STONE, STONE OR STUCCO. IN ADDITION:
 - EXTERIOR INSULATED FINISHING SYSTEMS (E.I.F.S.) IS NOT A PERMITTED MATERIAL.
 - DOORS AND WINDOWS SHALL BE RECESSED A MINIMUM OF THREE (3) INCHES IN BUILDING FAÇADES CONSTRUCTED OF BRICK, STONE, OR STUCCO. FLUSH MOUNTED WINDOWS ARE PROHIBITED.
 - A MINIMUM OF 70 PERCENT OF THE FRONT BUILDING FAÇADE BETWEEN TWO AND 12 FEET ABOVE THE ADJACENT SIDEWALK (I.E., THE BUILDING WALL CONTAINING THE MAIN POINT OF ACCESS FOR PEDESTRIANS INTO THE BUILDING) SHALL BE GLAZED IN CLEAR GLASS. A MINIMUM OF 50 PERCENT OF ANY BUILDING FAÇADE FACING ANY CIVIC SPACE OR OTHER AREA FOR STRUCTURED OR UNSTRUCTURED RECREATION SHALL BE GLAZED IN CLEAR GLASS BETWEEN TWO AND 12 FEET ABOVE THE ADJACENT SIDEWALK.
 - NO MORE THAN 10 PERCENT OF THE REQUIRED GLAZING FOR COMMERCIAL USES SHALL BE TINTED.
 - ALL COMMERCIAL TENANT SPACES SHALL BE DESIGNED AS SEPARATE SHOPFRONTS. SHOPFRONTS SHALL BE SUBJECT TO THE FOLLOWING DESIGN REQUIREMENTS:
 - SHOPFRONTS SHALL BE DESIGNED WITH A BULKHEAD, DISPLAY WINDOW AND TRANSOM.
 - BULKHEADS SHALL BE BETWEEN 24 AND 36 INCHES IN HEIGHT.
 - TRANSOM WINDOWS SHALL BE INSTALLED ABOVE THE BULKHEAD AND DISPLAY WINDOWS AND SHALL BE BETWEEN TWO AND FOUR FEET IN HEIGHT.
 - ALL ROOFTOP MECHANICAL EQUIPMENT SHALL BE FULLY SCREENED FROM ALL SIDES BY PARAPET WALLS OF WHICH SHALL BE AT LEAST 12 INCHES GREATER IN HEIGHT THAN THE EQUIPMENT.
 - SIGN STANDARDS: COMMERCIAL SIGNAGE WILL COMPLY WITH ALL APPLICABLE PROVISIONS IN SECTION 155.090 (SIGN STANDARDS) FOR THE C-2, COMMUNITY BUSINESS DISTRICT.
 - REQUIRED PARKING: ALL COMMERCIAL USES SHALL REQUIRE A MINIMUM OF 4.0 ASSIGNED PARKING SPACES PER 1,000 SQUARE FEET OF GROSS LEASABLE SPACE, EXCEPT AS PROVIDED BELOW:
 - ALL COMMERCIAL SPACES UNDER 1,500 SQUARE FEET OF NET LEASABLE AREA SHALL BE EXEMPT FROM PARKING REQUIREMENTS.
 - OUTDOOR REFUSE AND RECYCLING COLLECTION RECEPTACLES: OUTDOOR REFUSE AND RECYCLING COLLECTION RECEPTACLES SHALL BE VISUALLY SCREENED ON ALL SIDES BY A SOLID WALL A MINIMUM OF SIX (6) FEET IN HEIGHT, AND THAT IS CONSTRUCTED OF A MATERIAL MATCHING THE ADJACENT BUILDING FAÇADE. ALL ACCESS DOORS INTO THE COLLECTION RECEPTACLE SHALL BE MADE OF OPAQUE METAL MATCHING THE HEIGHT OF THE SOLID WALLS.
- LANDSCAPE BUFFER BETWEEN TOWNHOME AND EXISTING SF REQUESTED TO BE 20' AS TO REMAIN CONTIGUOUS W/ THE REST OF THE DEVELOPMENT. SCREENING WALL TO REMAIN AT 8'. STRUCTURES TO REMAIN OUTSIDE ORIGINAL 50' BUFFER.

LOT 26: 0.038 AC. (1648 SF.)	LOT 41: 0.038 AC. (1648 SF.)
LOT 27: 0.038 AC. (1648 SF.)	LOT 42: 0.038 AC. (1648 SF.)
LOT 28: 0.038 AC. (1648 SF.)	LOT 43: 0.038 AC. (1648 SF.)
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LOT 39: 0.038 AC. (1648 SF.)	
LOT 40: 0.038 AC. (1648 SF.)	

RESIDENTIAL	PARKING REQUIREMENTS
SINGLE-FAMILY DWELLING	2 PER DWELLING UNIT
TOWNHOUSE	2 PER DWELLING UNIT
TOWNHOUSE GUEST	1 PER DWELLING UNIT
PROPOSED	PARKING PROVIDED
2,000 SF (ROW HOMES - EA.)	92 GARAGE STALLS
92,000 SF (TOTAL 46 R.H.)	92 DRIVEWAY STALLS
COMMERCIAL PROPOSED	PARKING PROVIDED
9,000 SF (RESTAURANT)	4 PER 1,000 SF (36)
5,000 SF (OFFICE)	3 PER 1,000 SF (15)
16,020 SF (RETAIL)	4 PER 1,000 SF (65)
30,020 SF (TOTAL BUILDINGS)	94 OF 116

LOT 14-1, BLOCK 1
WILLIAM C. LOWE ADDITION
CABINET A, PAGES 128-129
P.A.T.C.T.

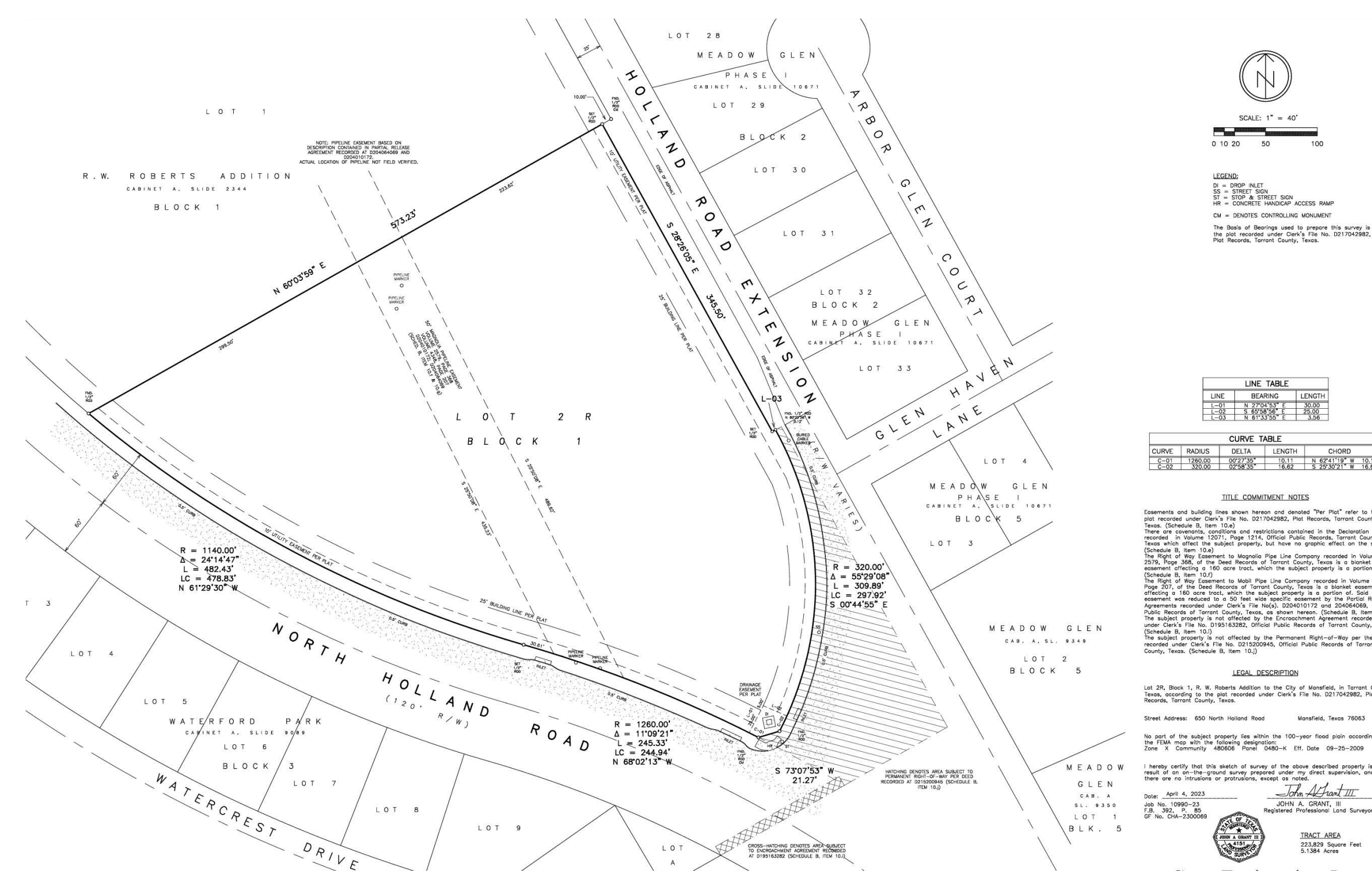
LOT 14-2, BLOCK 1
WILLIAM C. LOWE ADDITION
CABINET A, PAGES 128-129
P.A.T.C.T.

LOT 15, BLOCK 1
WILLIAM C. LOWE ADDITION
CABINET A, PAGES 128-129
P.A.T.C.T.

LOT 1, BLOCK 1
S.W. 36TH ST. ADDITION
CABINET A, PAGES 234
&
THOMAS J. RITTER, JR.
VOLUME 58, PAGE 180
D.A.T.C.T.
238,787 SQUARE FEET
OR 5.458 ACRES

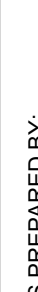
LOT 2, BLOCK 1
S.W. 36TH ST. ADDITION
CABINET A, PAGES 234
P.A.T.C.T.

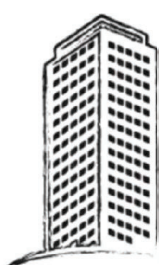
SCALE 1" = 40'



SCALE: 1/64" =

SCALE: 1/64" = 1'

SHEET NO LD-1	PLAN CHECK:	700 N HOLLAND RD, MANSFIELD, TX	PLANS PREPARED BY:  1020 Ventures Group 1020 Ventures Group, LLC 713 West Park Road, Irving, TX 76018 660.716.5724	DEVELOPER: SOIL ENGINEER: DATE: SCALE: SEE PLAN	DESIGNED: DRAWN: CHECKED: DATE: SCALE: SEE PLAN	7		
	PERMIT:					6		
						5		
						4		
						3		
						2		
						1		
				REPORT#	DATE	NO.	DATE	REVISIONS



INTERIM REVIEW DOCUMENTS
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This document is issued under good faith, and the issuer is not held liable under any circumstances.

REVISIONS:

ISSUE DATE:
23 MAY 2024

PROJECT No.:
21027.100

SHEET TITLE:

PRELIMINARY
ARCHITECTURAL
SITE PLAN

SHEET No.:

A1.01

SITE INFORMATION

CURRENT SITE AS EXISTING: (10.574 TOTAL ACRES)

ZONING: SF 12/22 – SINGLE FAMILY RESIDENTIAL DISTRICT
USE: UNDEVELOPED LAND

LOT 1: 5.436 ACRES (236,787 SF)
LOT 2: 5.138 ACRES (223,829 SF)

PROPOSED DEVELOPMENT: (10.574 TOTAL ACRES)

NEW ZONING: PLANNED DEVELOPMENT
NEW USE(S): RETAIL, COMMERCIAL, RESIDENTIAL SINGLE
FAMILY – ROW HOUSES, RESIDENTIAL SINGLE FAMILY – HOME

LOT 1: 7.971 AC. (347,246 SF.)	LOT 13: 0.045 AC. (1973 SF.)
LOT 2: 0.667 AC. (29,070 SF.)	LOT 14: 0.045 AC. (1978 SF.)
	LOT 15: 0.046 AC. (1983 SF.)
LOT 3: 0.046 AC. (1996 SF.)	LOT 16: 0.046 AC. (1991 SF.)
LOT 4: 0.046 AC. (2001 SF.)	LOT 17: 0.046 AC. (1995 SF.)
LOT 5: 0.046 AC. (2007 SF.)	LOT 18: 0.046 AC. (2000 SF.)
LOT 6: 0.046 AC. (2024 SF.)	LOT 19: 0.046 AC. (2005 SF.)
LOT 7: 0.047 AC. (2029 SF.)	LOT 20: 0.046 AC. (2014 SF.)
LOT 8: 0.047 AC. (2033 SF.)	LOT 21: 0.046 AC. (2018 SF.)
LOT 9: 0.047 AC. (2041 SF.)	LOT 22: 0.046 AC. (2023 SF.)
LOT 10: 0.047 AC. (2046 SF.)	LOT 23: 0.047 AC. (2040 SF.)
LOT 11: 0.047 AC. (2050 SF.)	LOT 24: 0.047 AC. (2046 SF.)
LOT 12: 0.047 AC. (2058 SF.)	LOT 25: 0.047 AC. (2054 SF.)

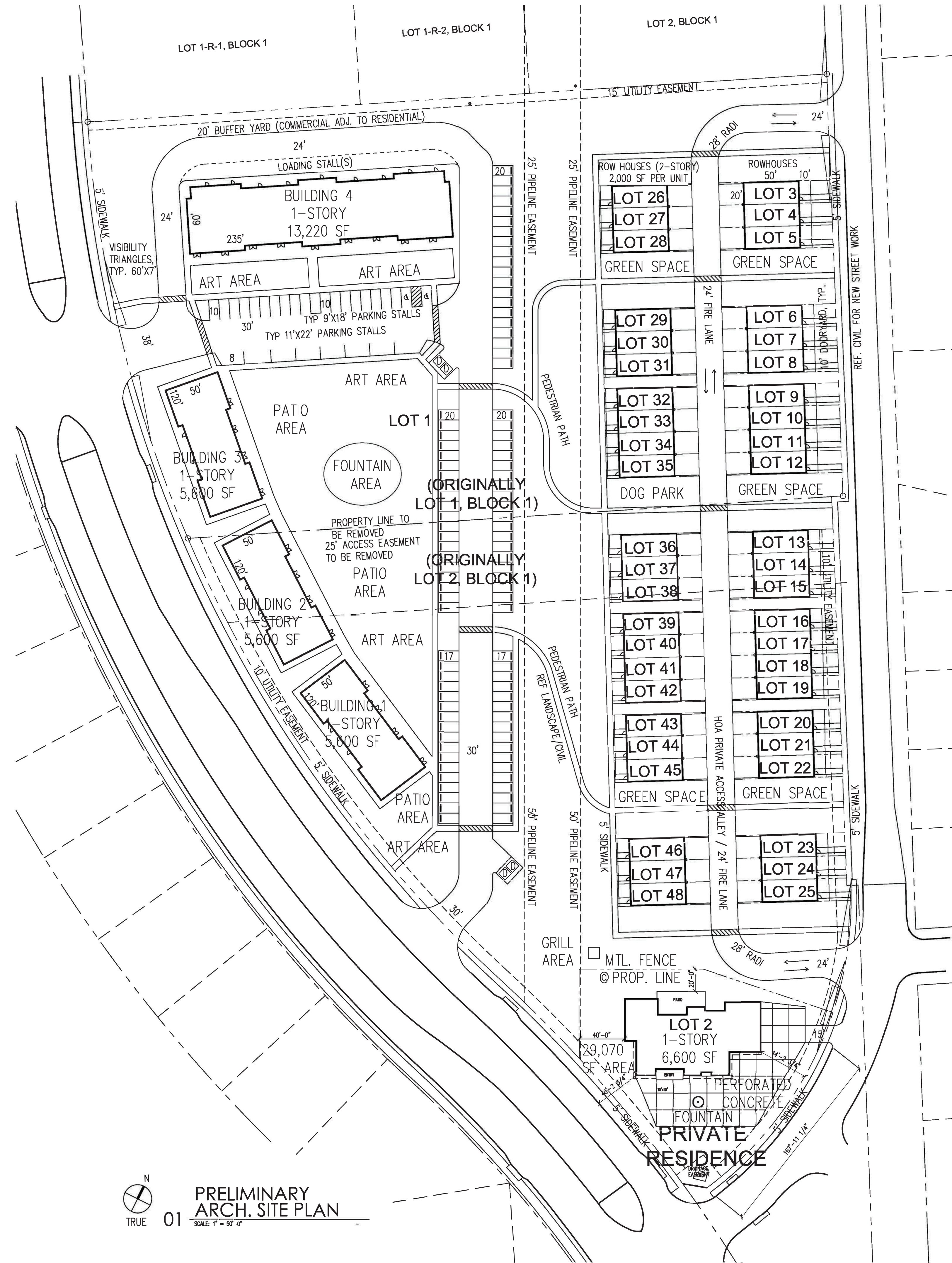
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REF. LANDSCAPE FOR OUTSIDE
PATIO AND SITE LIGHTING,
EQUIPMENT AND FURNISHINGS

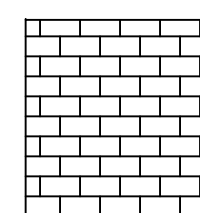
SITE PLAN FOR GENERAL BUILDING, PARKING LAYOUT
AND INFORMATION PURPOSES ONLY. REFER TO CIVIL
ENGINEERING DRAWINGS FOR DIMENSIONS AND
DETAILED LOCATIONS OF BUILDINGS, PARKING,
UTILITIES AND OTHER INFORMATION.



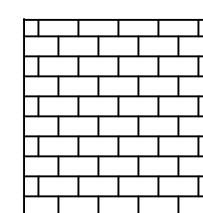
PRELIMINARY
ARCH. SITE PLAN
SCALE: 1" = 50'-0"



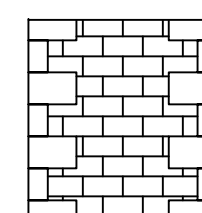
MATERIAL LEGEND



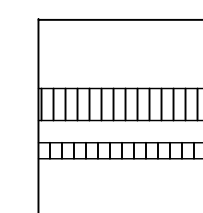
BRICK
STANDARD
COLOR 1



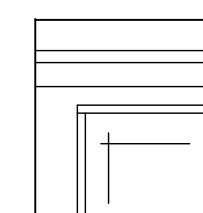
BRICK
STANDARD
COLOR 2



BRICK ACCENT
STANDARD
COLOR 3



BRICK
SOLIDER COURSE
ROWLOCK

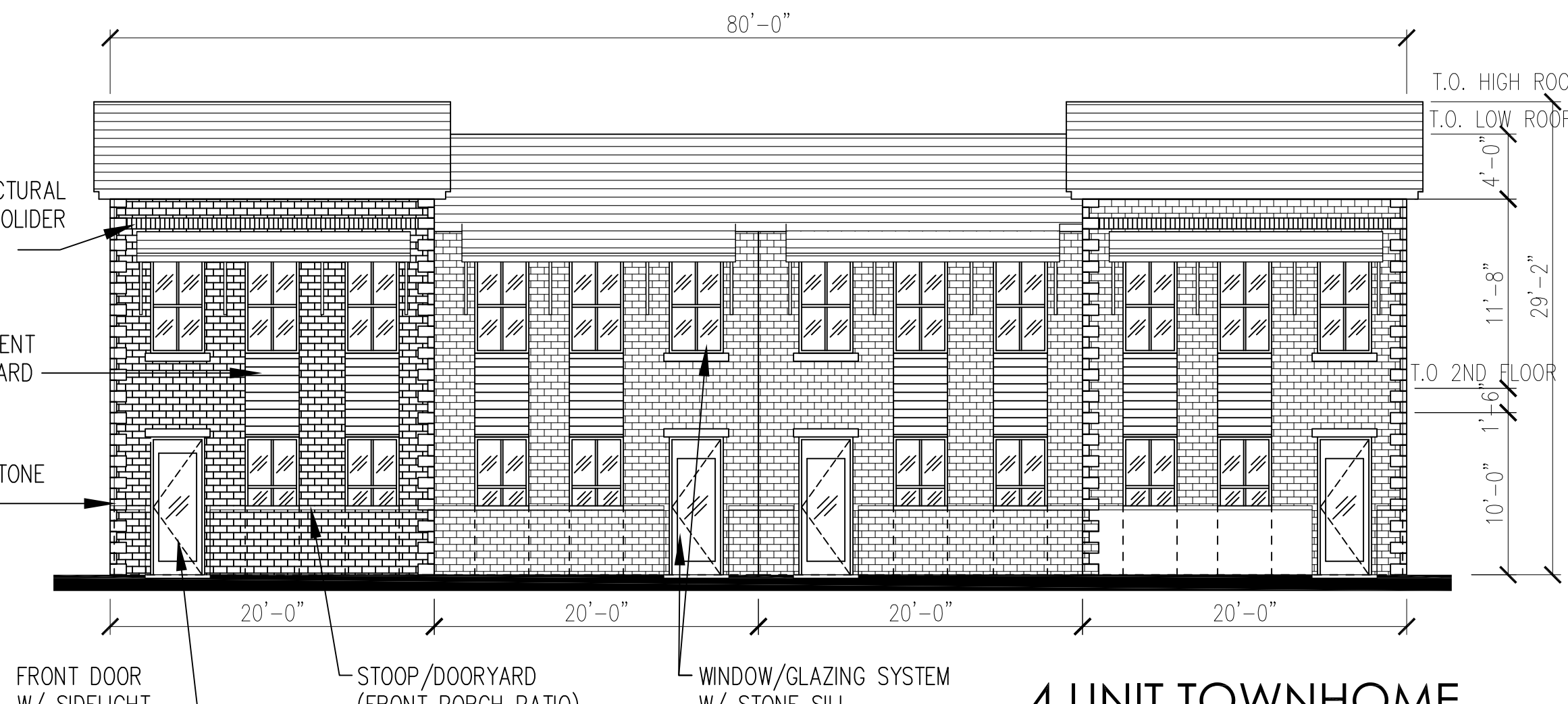


FIBER CEMENT BOARD & TRIM
HARDIE BOARD
COLOR 1,2,3

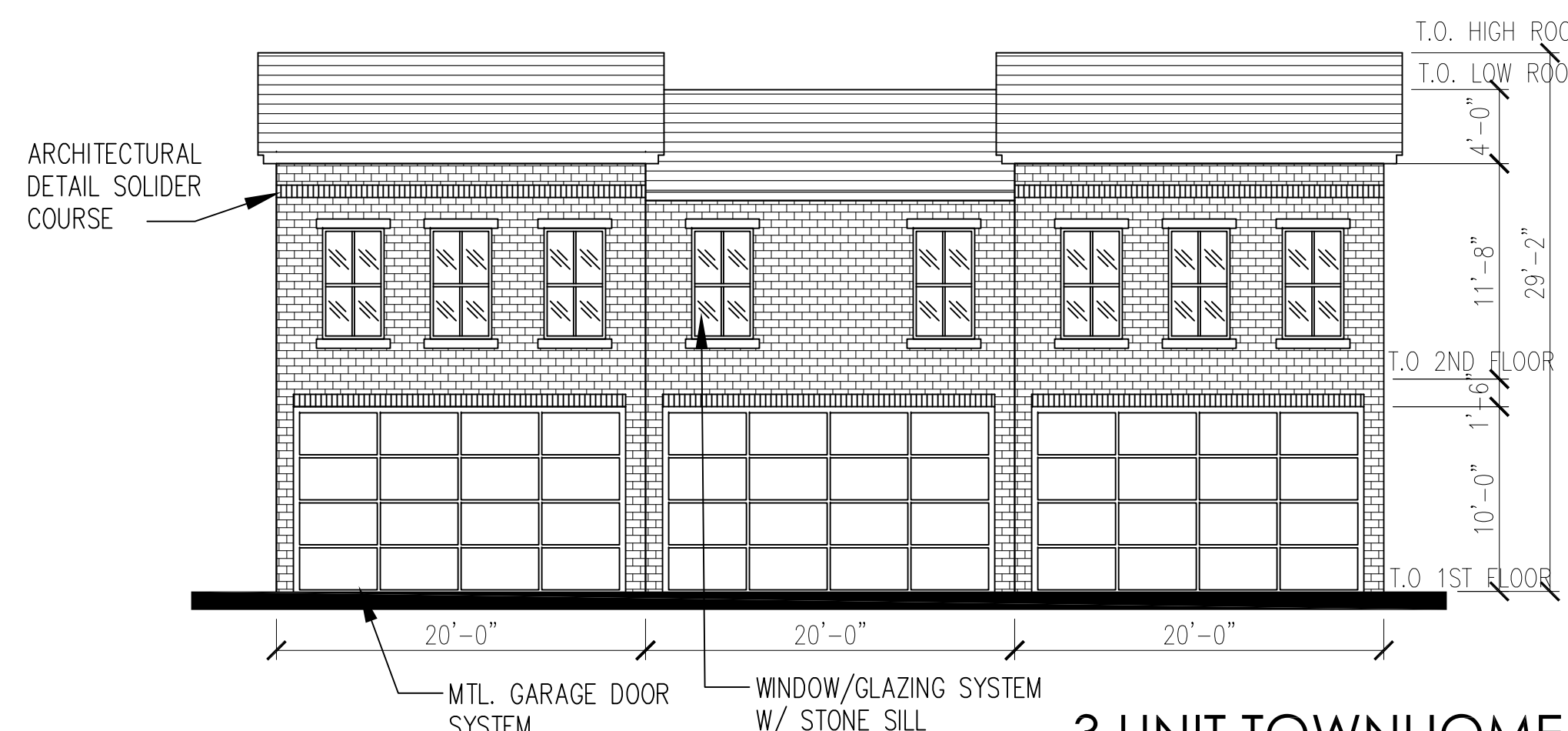
FACADE MASONRY REQUIREMENT MET: MIN. 80% MASONRY (BRICK) & MAX. MASONRY-LIKE (20% FIBER CEMENT BOARD)



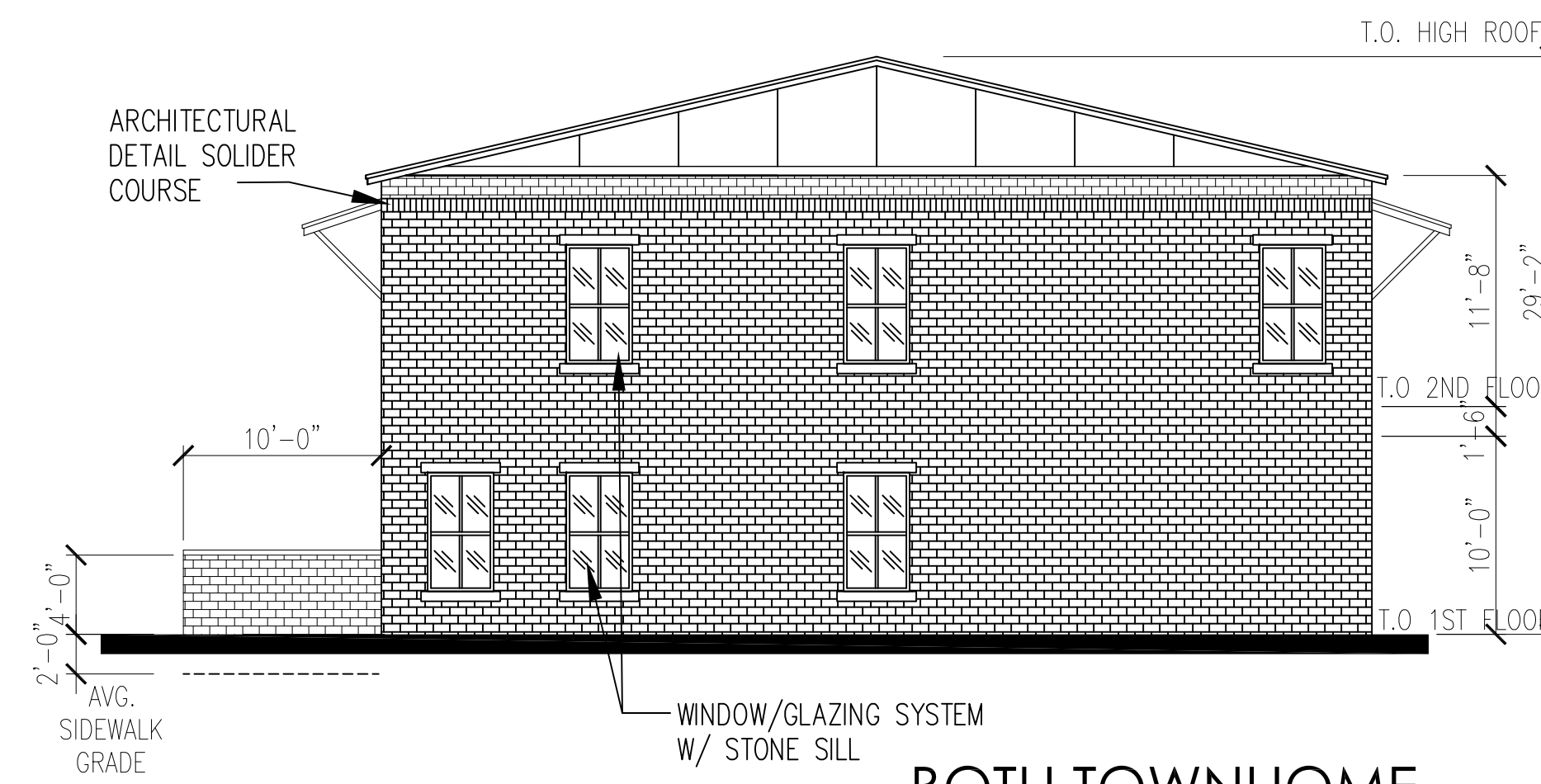
04 4 UNIT TOWNHOME
REAR ELEVATION
SCALE: 1/8" = 1'-0"



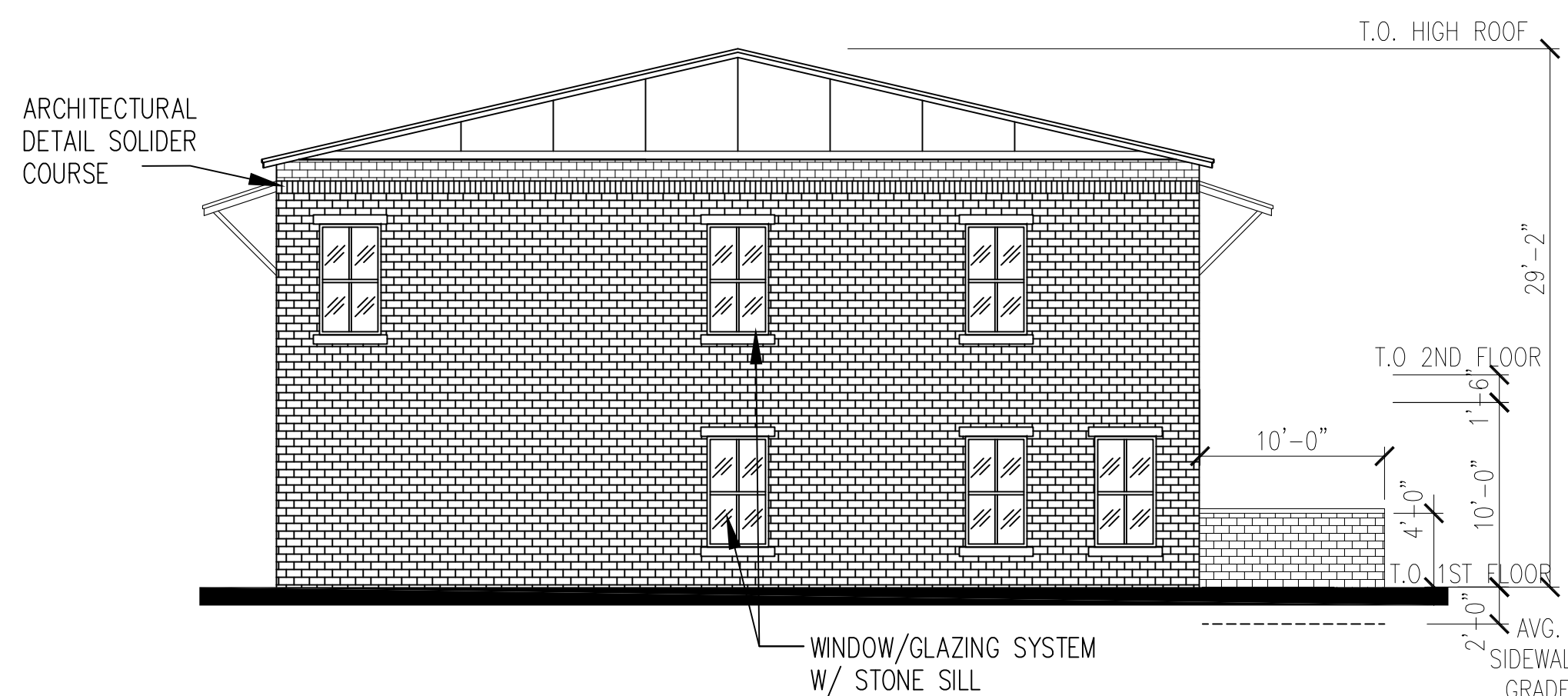
05 4 UNIT TOWNHOME
FRONT ELEVATION
SCALE: 1/8" = 1'-0"



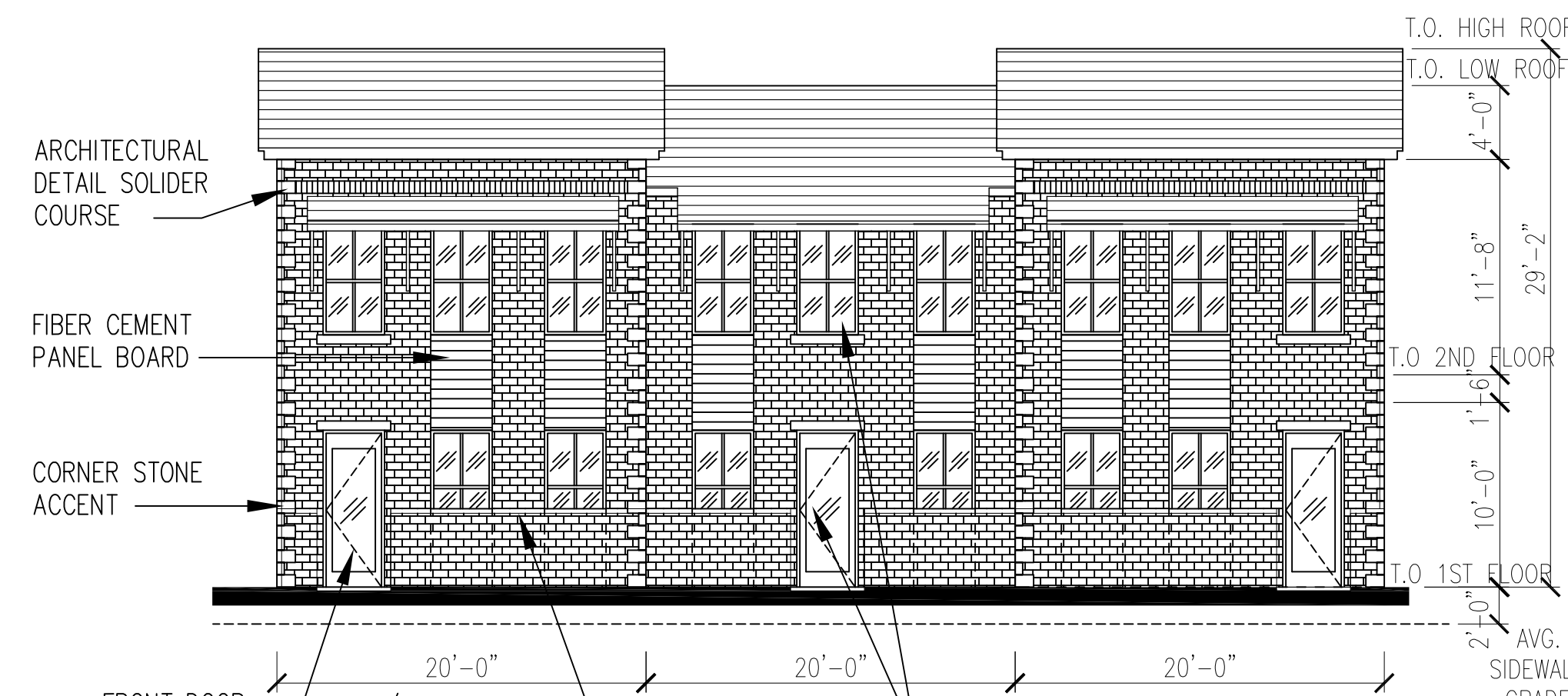
04 3 UNIT TOWNHOME
REAR ELEVATION
SCALE: 1/8" = 1'-0"



03 BOTH TOWNHOME
RIGHT ELEVATION
SCALE: 1/8" = 1'-0"



02 BOTH TOWNHOME
LEFT ELEVATION
SCALE: 1/8" = 1'-0"



01 3 UNIT TOWNHOME
FRONT ELEVATION
SCALE: 1/8" = 1'-0"



1028 Ventures

© COPYRIGHT 2024

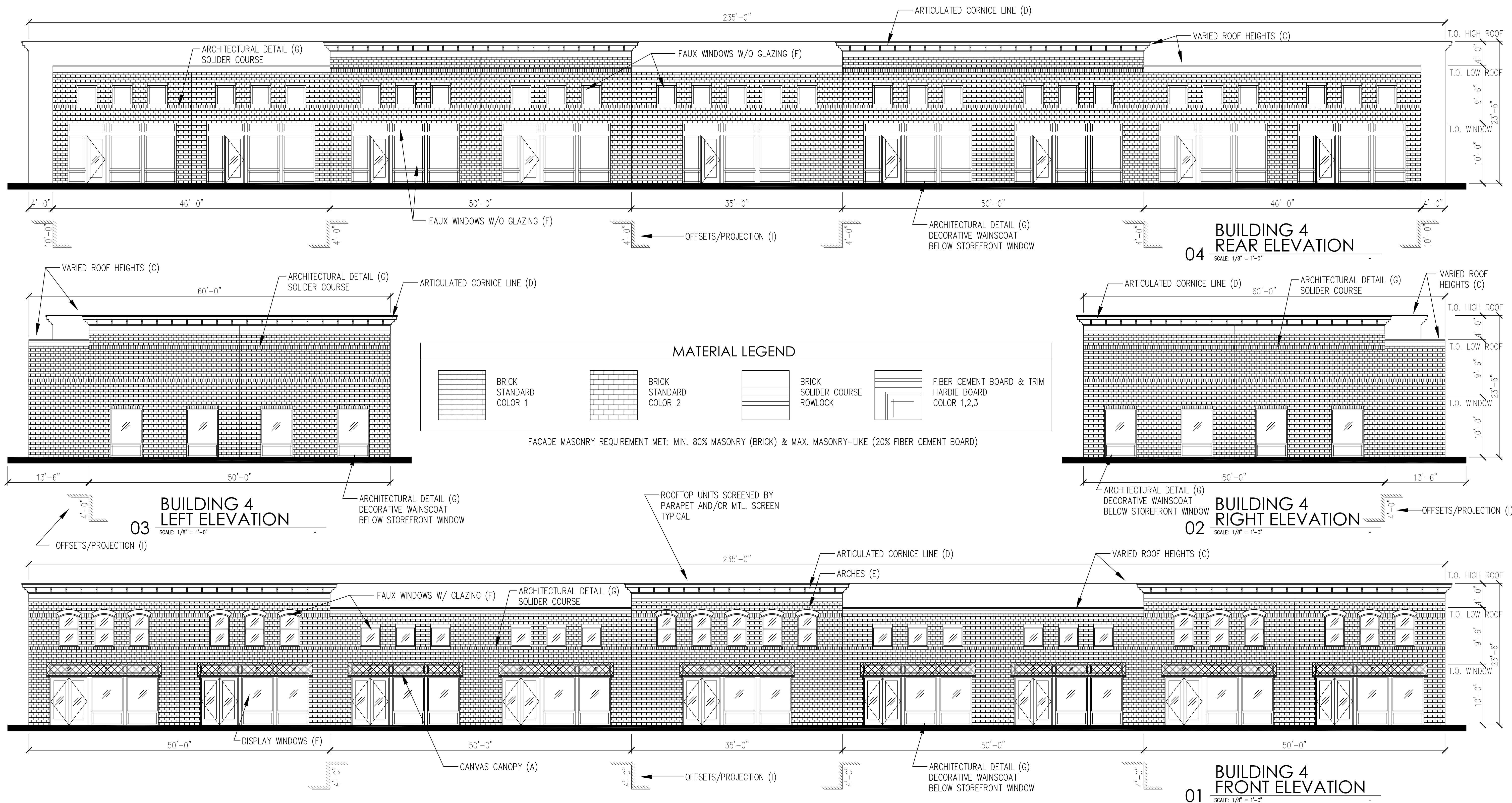
INTERIM REVIEW DOCUMENTS
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REVISIONS:

ISSUE DATE:
23 MAY 2024PROJECT No.:
21027.100SHEET TITLE:
PRELIMINARY
ELEVATIONS

SHEET No.:

A4.02





INTERIM REVIEW DOCUMENTS
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REVISIONS:

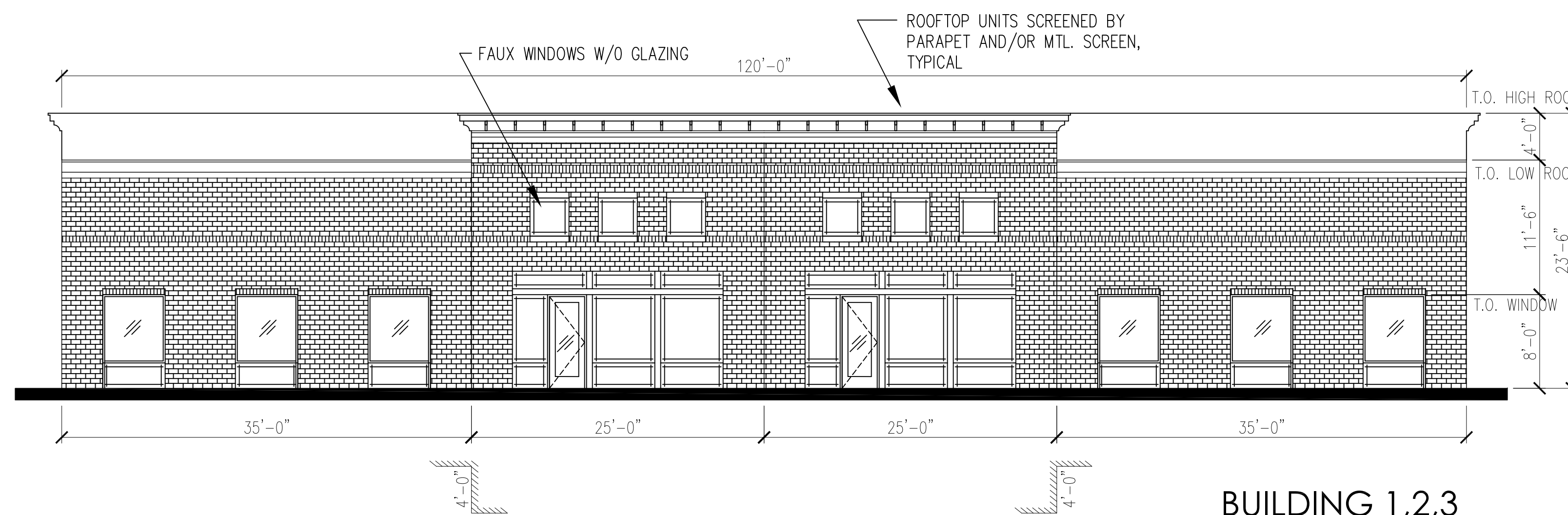
ISSUE DATE:
23 MAY 2024

PROJECT No.:
21027.100

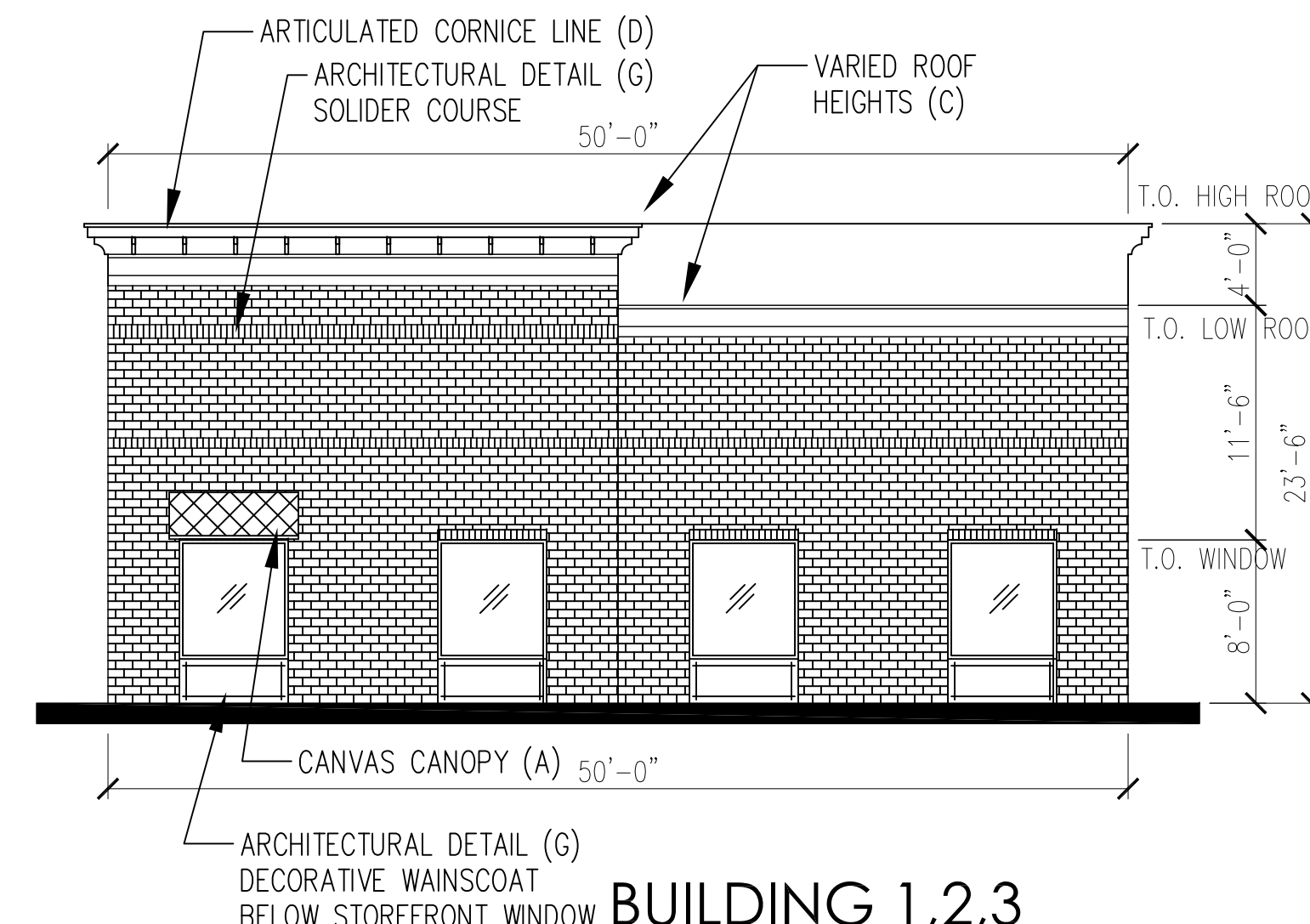
SHEET TITLE:
PRELIMINARY
ELEVATIONS

SHEET No.:
A4.03

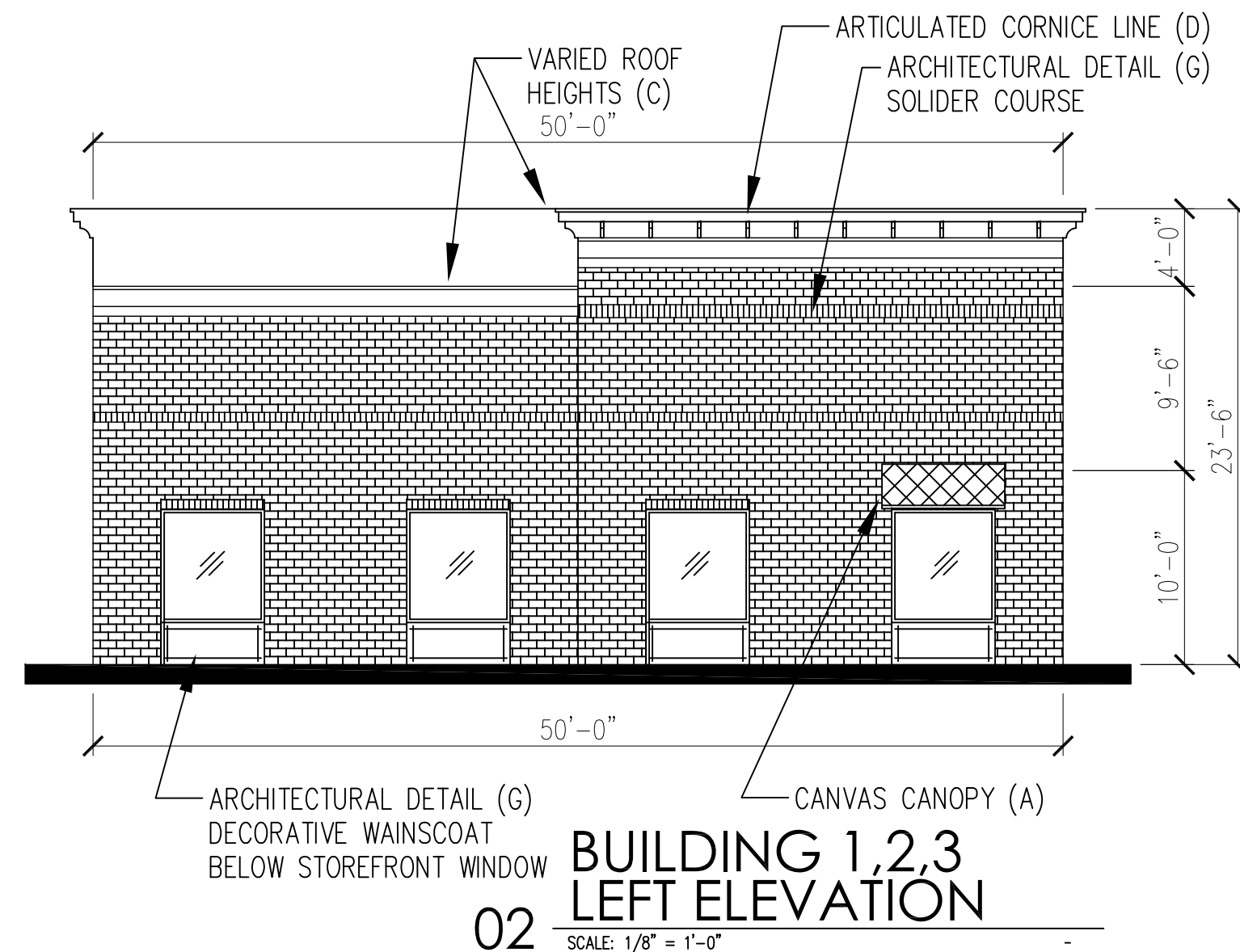
MATERIAL LEGEND			
	BRICK STANDARD COLOR 1		BRICK STANDARD COLOR 2
	BRICK SOLIDER COURSE ROWLOCK		FIBER CEMENT BOARD & TRIM HARDIE BOARD COLOR 1,2,3
FACADE MASONRY REQUIREMENT MET: MIN. 80% MASONRY (BRICK) & MAX. MASONRY-LIKE (20% FIBER CEMENT BOARD)			



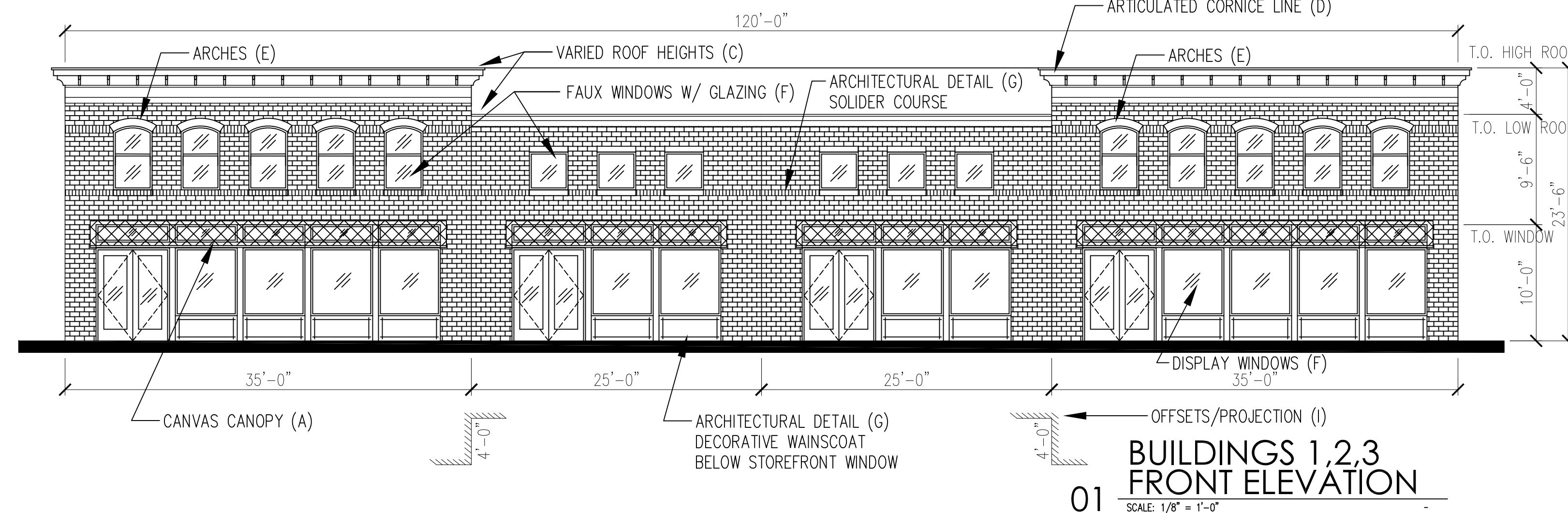
04 BUILDING 1,2,3
REAR ELEVATION
SCALE: 1/8" = 1'-0"



03 BUILDING 1,2,3
RIGHT ELEVATION
SCALE: 1/8" = 1'-0"



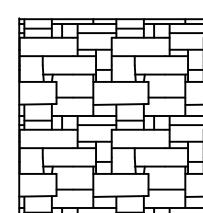
02 BUILDING 1,2,3
LEFT ELEVATION
SCALE: 1/8" = 1'-0"



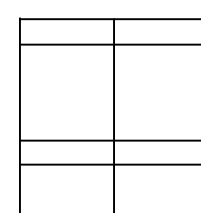
01 BUILDINGS 1,2,3
FRONT ELEVATION
SCALE: 1/8" = 1'-0"



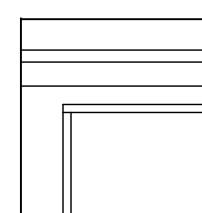
MATERIAL LEGEND



STACK STONE
COLOR 6



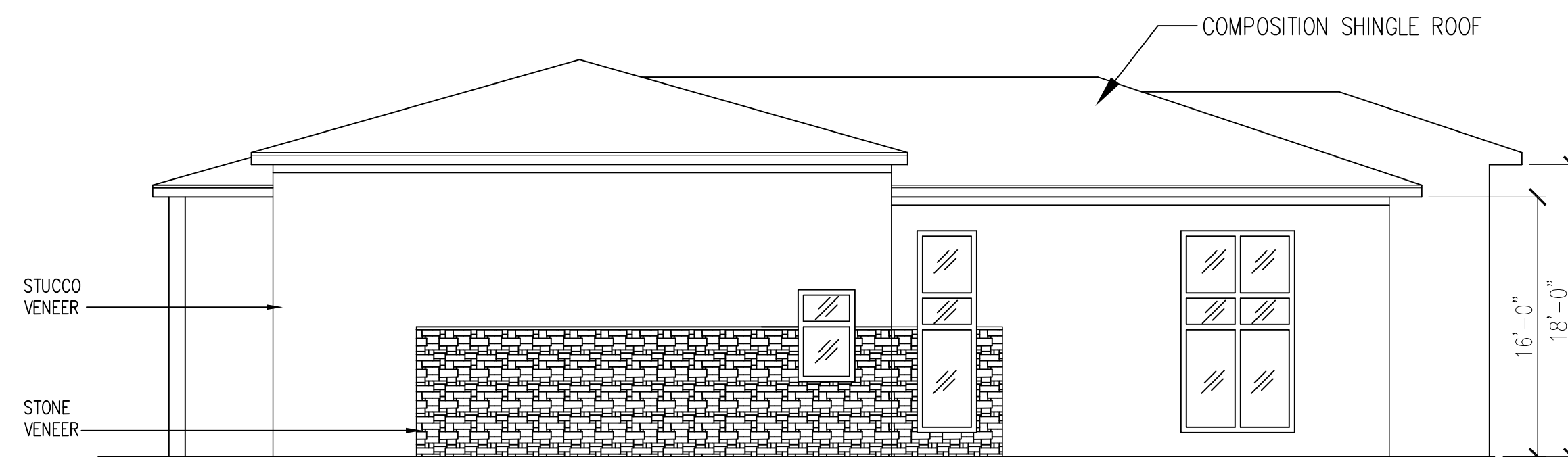
STUCCO
COLOR 5



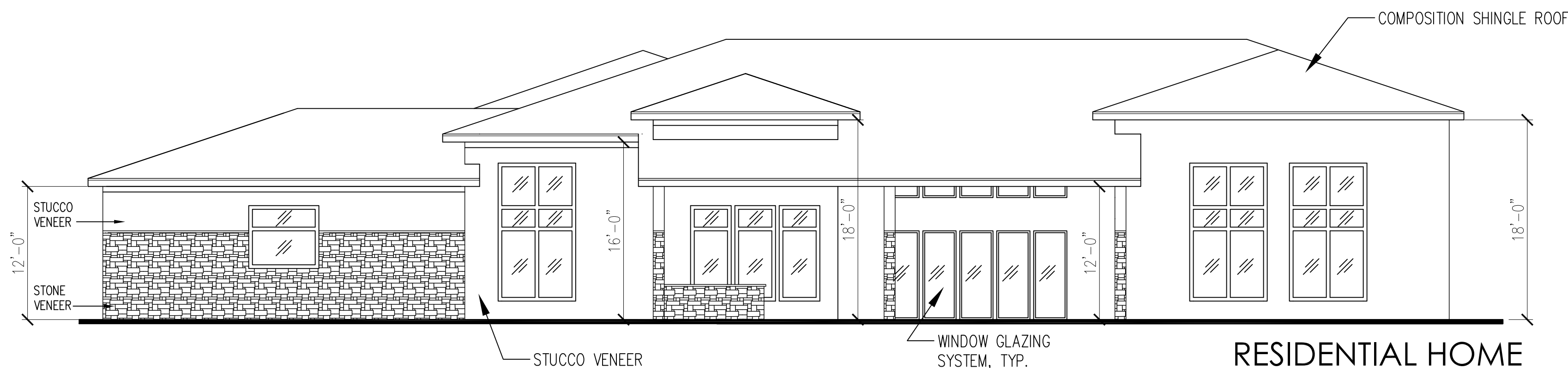
FIBER CEMENT BOARD & TRIM
HARDIE BOARD
COLOR 2,4,5



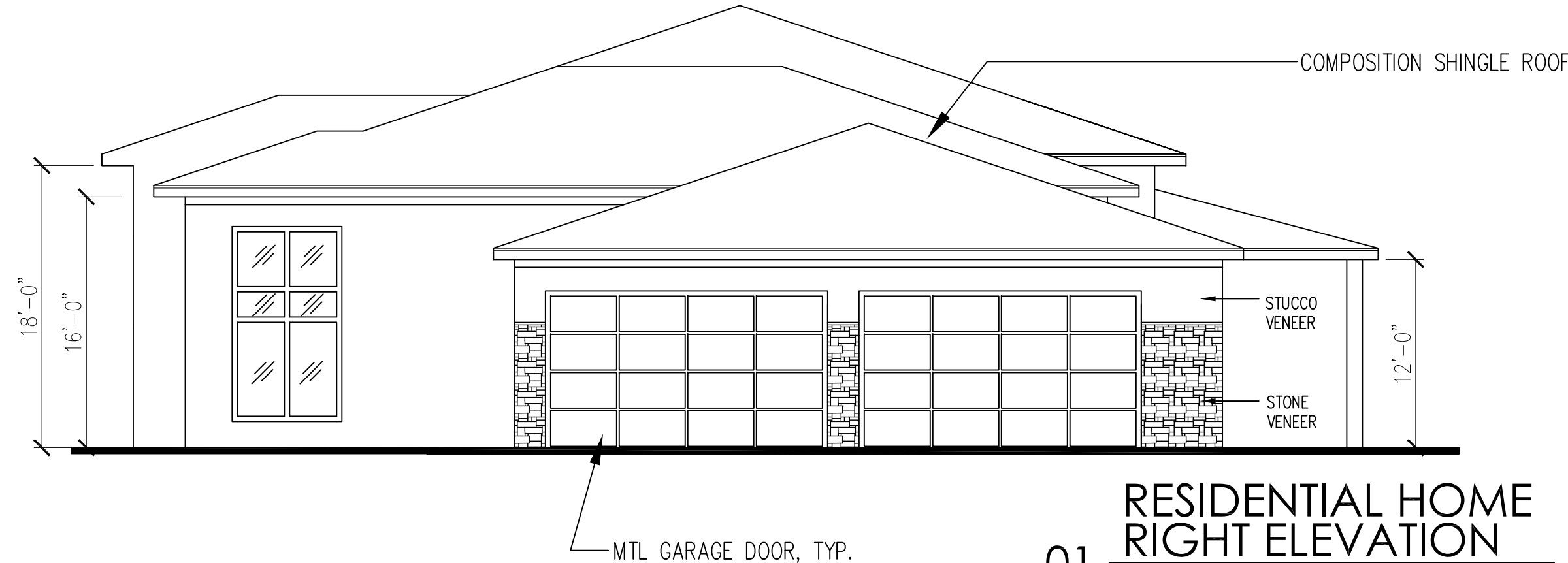
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LEFT ELEVATION
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