

City of Mansfield

Zoning Board of Adjustments

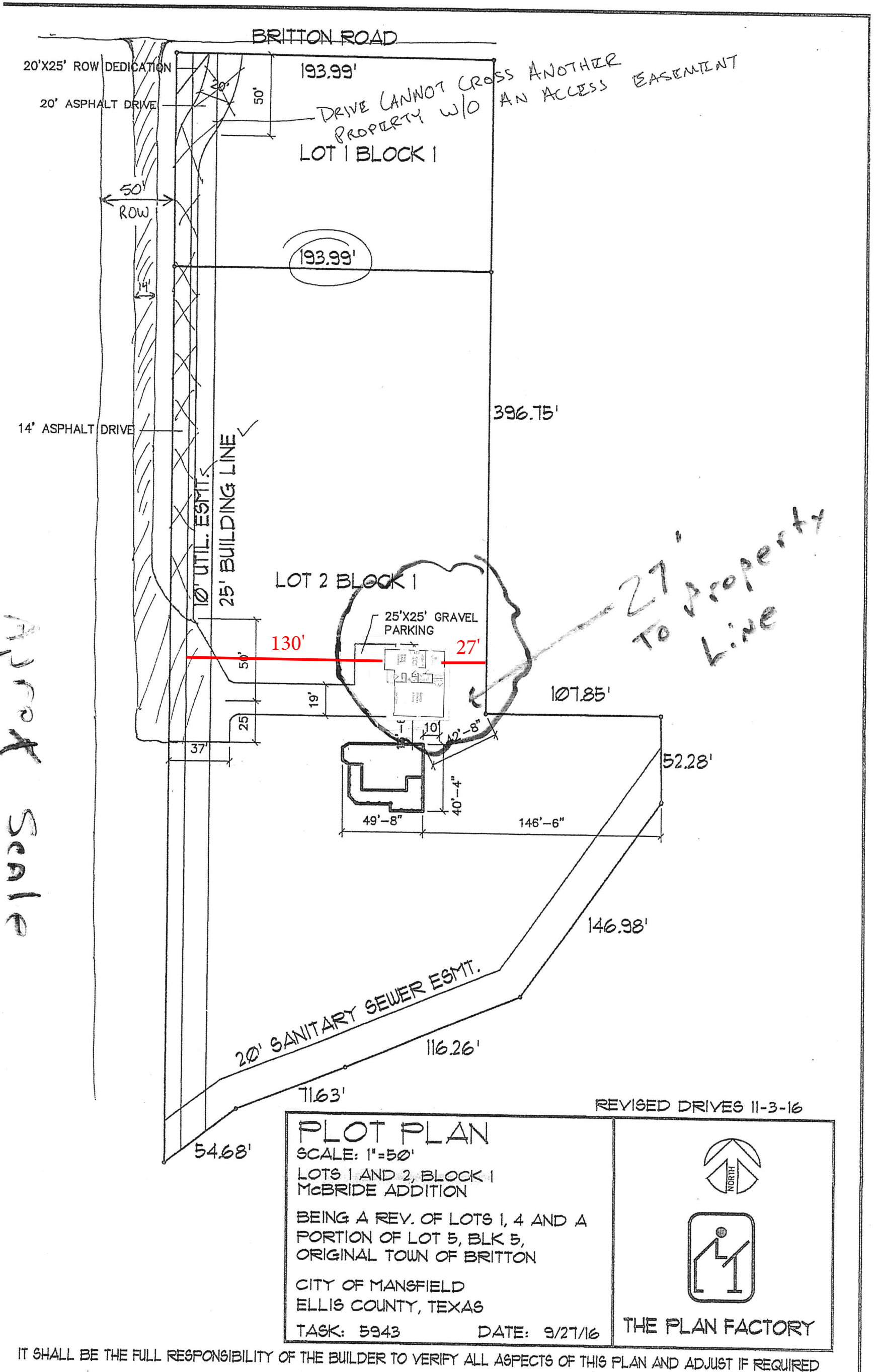
Mansfield, Texas 60963

For: Janice and Morgan McBride Owners of 919 Spencer St. Mansfield, Texas

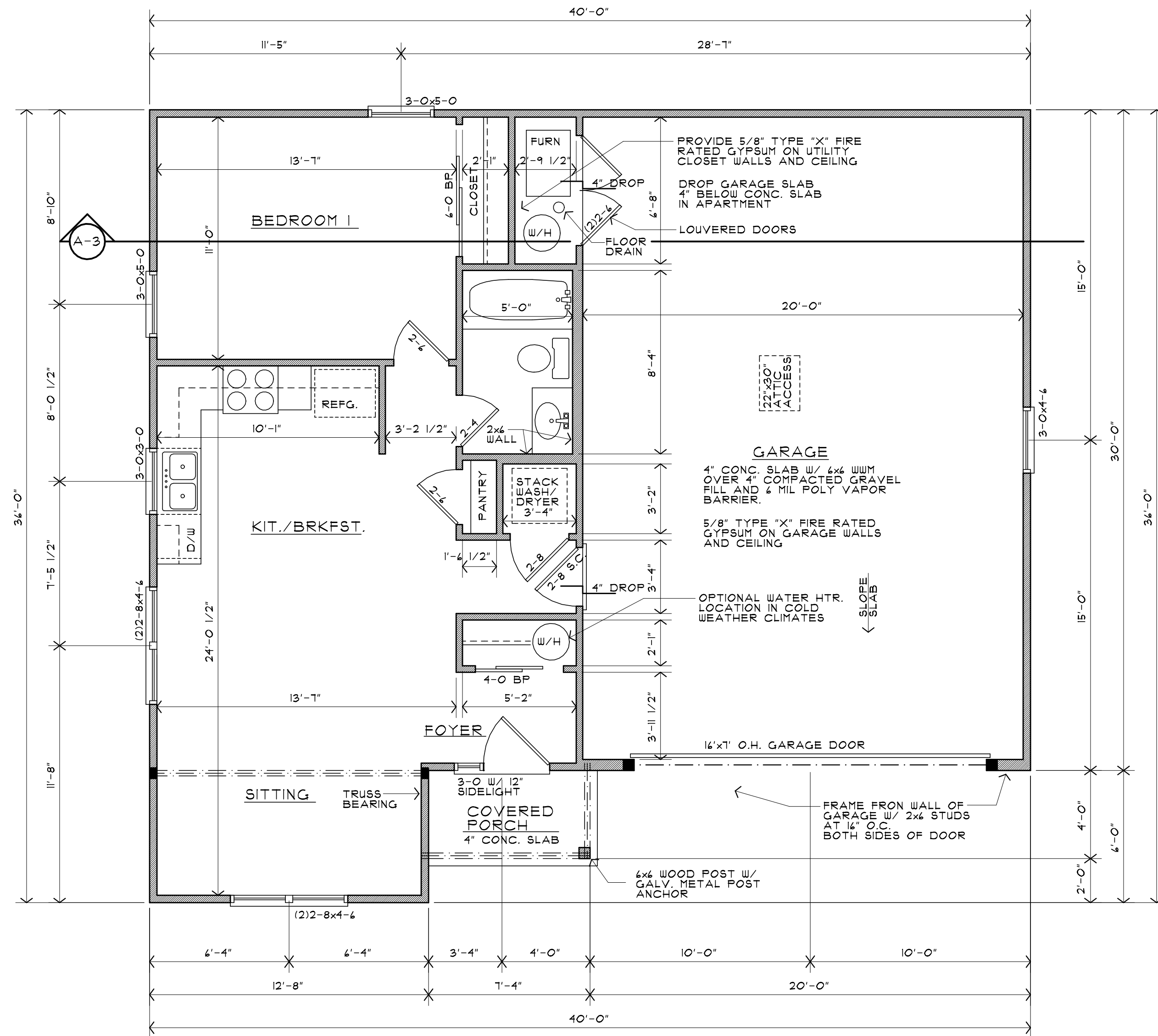
July 1, 2022

Our reply to the conditions of approval:

1. Purpose of accessory dwelling is living space for daughter while she attends local college.
2. Dwelling will not be used as rental property.
3. We will have only one accessory dwelling on this lot.
4. The total area of lot 2 Block 1 is far in excess of 20,000 square feet.
5. Habitable floor space of this accessory dwelling does not exceed 50% of the habitable floor space of main dwelling.
6. The maximum height of this accessory dwelling is less than 22 feet from top of slab.
7. The front of the accessory dwelling will set 20 feet behind the front of the main dwelling  
It will also be 27 feet off of the rear property line.
8. The drive way approach for the main dwelling and the accessory dwelling shall be common.
9. The accessory dwelling will have the same exterior materials and paint colors as the main dwelling.
10. Each utility meters for gas, electricity, and water will be common for both accessory and main dwelling.
11. Exterior colors and materials on this accessory dwelling will not diminish any property values in the neighborhood.

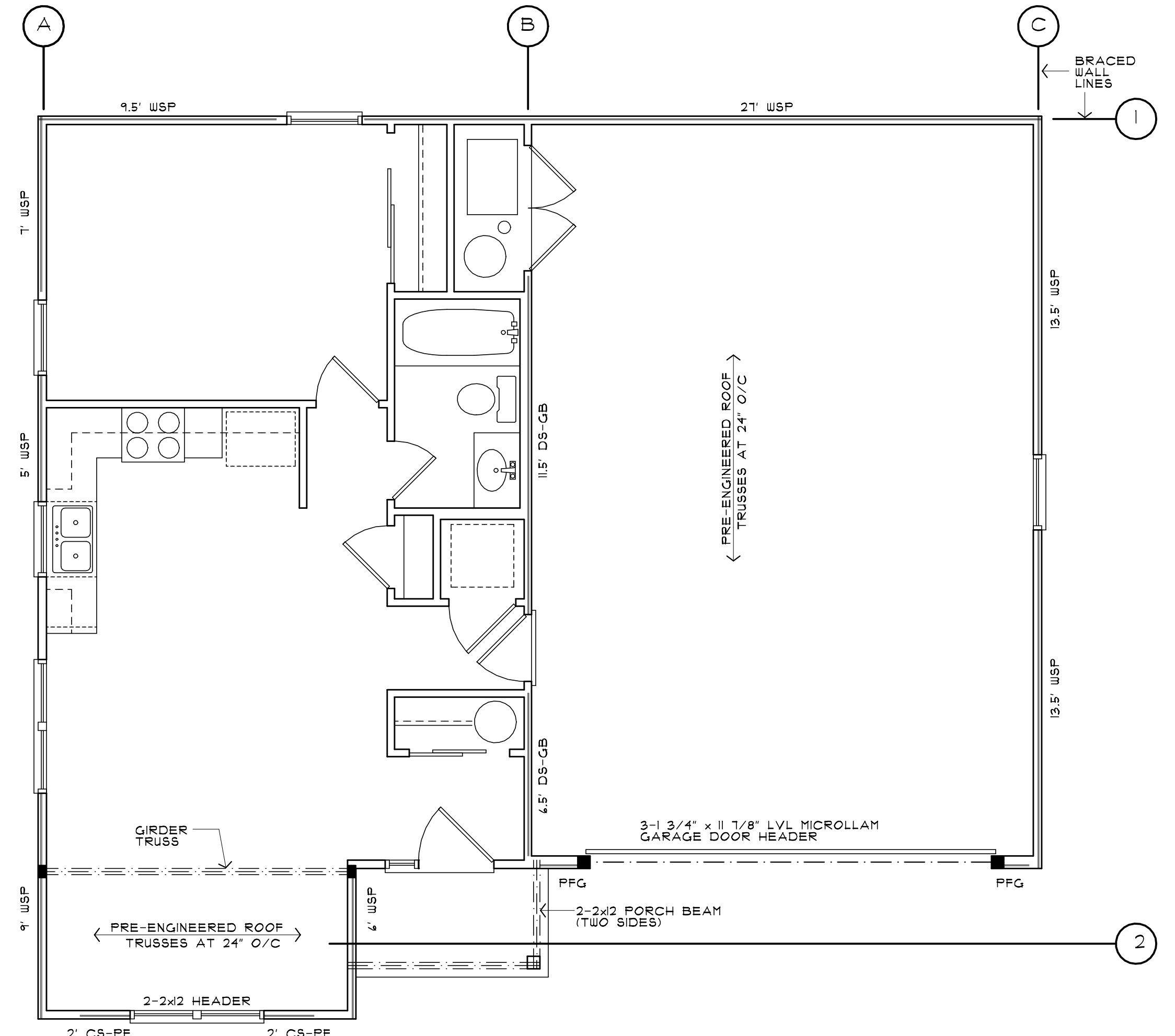


919 Spencer  
 McBride



**FIRST FLOOR PLAN**  
SCALE: 1/4" = 1'-0"  
665 SQUARE FEET LIVING SPACE

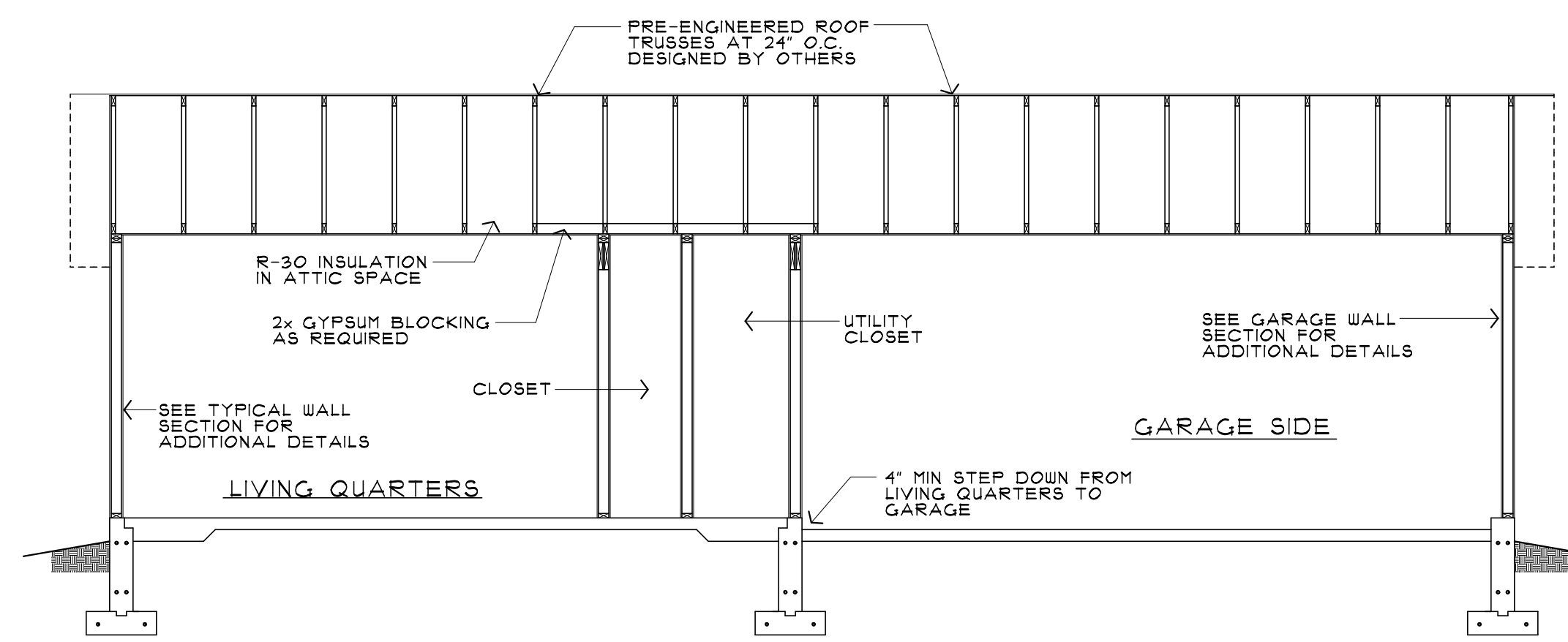
- FLOOR PLAN NOTES:**
1. ALL EXTERIOR WALLS ARE 4" THICK (INCLUDING EXT. WALL SHEATHING) AND ALL INTERIOR WALLS ARE 3 1/2" THICK UNLESS OTHERWISE NOTED ON FLOOR PLANS.
  2. ■ DENOTES 3-2x4 POST UNLESS OTHERWISE NOTED ON FLOOR PLANS. PROVIDE SOLID BLOCKING BELOW ALL POSTS TO FOUNDATION.
  3. NAILING SCHEDULE FOR BUILT-UP COLUMNS  
THREE 2x4 LAMINATIONS WITH ONE ROW OF STAGGERED 30# COMMON WIRE NAILS (D= 0.201", L= 4 1/2")  
THREE 2x4 LAMINATIONS WITH TWO ROWS OF 30# COMMON WIRE NAILS (D= 0.201", L= 4 1/2")  
ALL NAILS PENETRATE AT LEAST 3/4 OF THE THICKNESS OF THE LAST LAMINATION.
  4. FOR MULTIPLE LAMINATED WOOD BEAM MEMBERS, REFER TO MANUFACTURER'S NAILING/BOLTING SPECIFICATIONS FOR TOP AND SIDE LOADING CONDITIONS.
  5. ALL INTERIOR DOOR HEADERS ARE 2-2x4'S w/ 1/2" PLYWOOD BETWEEN. ALL EXTERIOR DOOR AND WINDOW HEADERS ARE 2-2x4'S w/ 1/2" PLYWOOD BETWEEN UNLESS OTHERWISE NOTED ON PLANS. ALL HEADER LUMBER SHALL BE SYP #1 OR EQUAL.
  6. WINDOW SIZES SHOWN ARE THOSE OF ANDERSEN WINDOWS. SET TOPS AT 4'-8" ABOVE FLOOR.
  7. DRIVEWAY AND SIDEWALK DESIGN AND MATERIAL SELECTION BY OWNER/CONTRACTOR.



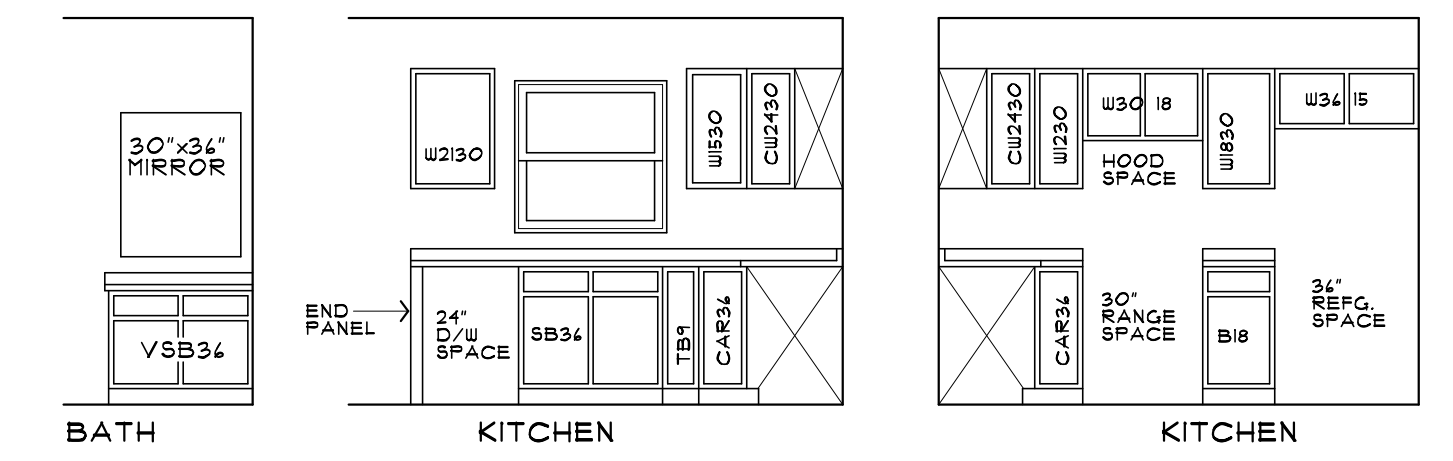
**1ST FLOOR BRACED WALL LINE, METHOD AND STRUCTURAL PLAN**  
SCALE: 1/4" = 1'-0"

RESIDENTIAL LATERAL SYSTEM LEGEND

ABBREVIATION	METHOD
WSP	WOOD STRUCTURAL PANEL
CS-WSP	CONTINUOUSLY SHEATHED WOOD STRUCTURAL PANEL
CS-PF	CONTINUOUSLY SHEATHED PORTAL FRAME
DS-GB	DOUBLE SIDED GYPSUM BOARD
PPG	PORTAL FRAME GARAGE



**A-3 HOUSE SECTION**  
SCALE: 1/4" = 1'-0"



**CABINET ELEVATIONS**  
SCALE: 1/4" = 1'-0"

**NOTE:**  
FINAL CABINET SIZES AND SELECTIONS TO BE DETERMINED BY OWNER/CONTRACTOR UPON FIELD VERIFYING ALL MEASUREMENTS PRIOR TO ORDERING CABINETS.

**RESIDENTIAL DESIGN SERVICES, INC.**  
14802 FAIRFIELD FARM DRIVE  
CHESTERFIELD, MO 63017  
314-434-1524

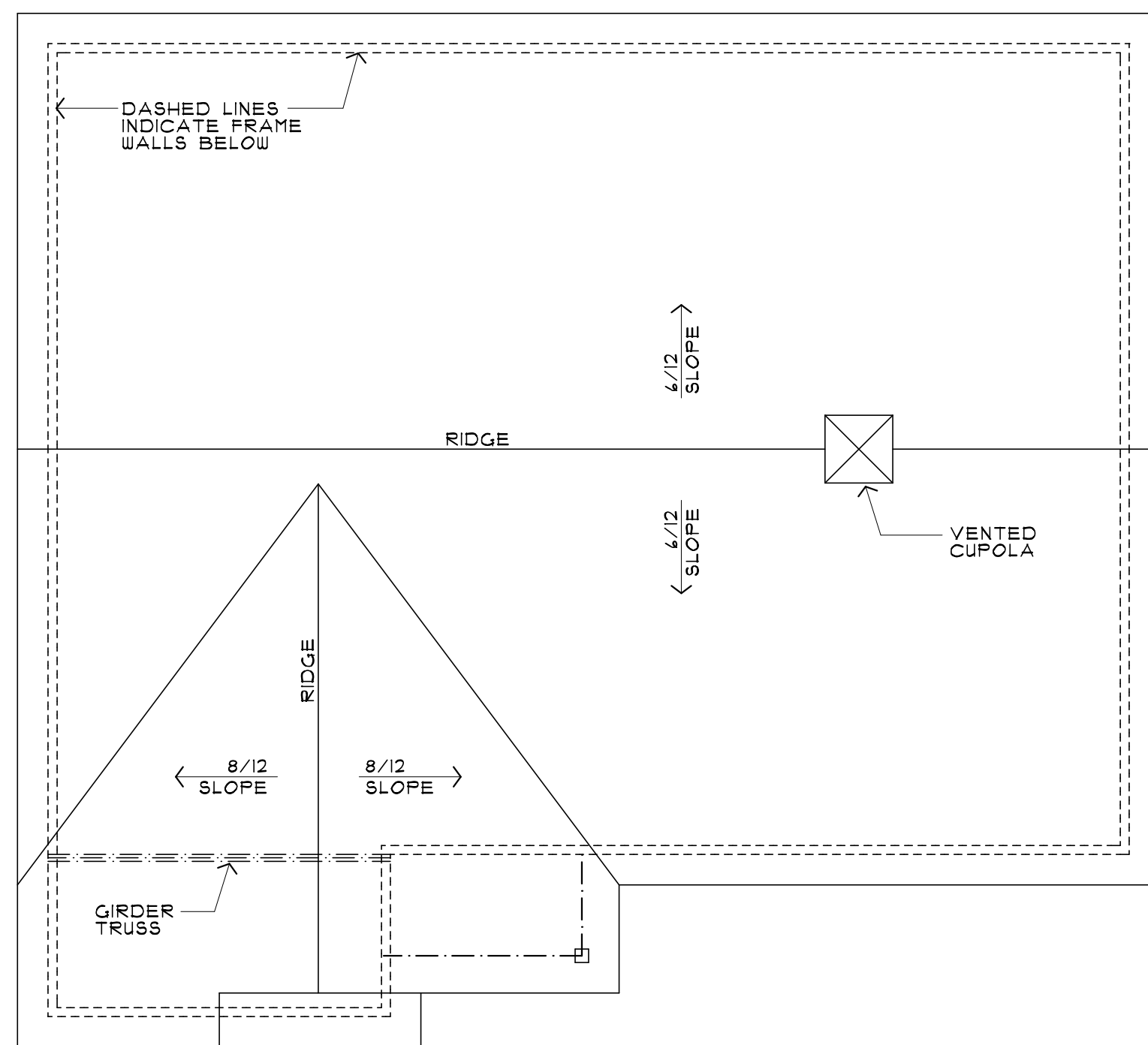
NOT A REGISTERED ARCHITECT  
www.JustSmallHousePlans.com + www.JustGaragePlans.com

PLAN NO. 2207

COPYRIGHT 2021	DATE: 1/29/20
REVISIONS	1/28/2021

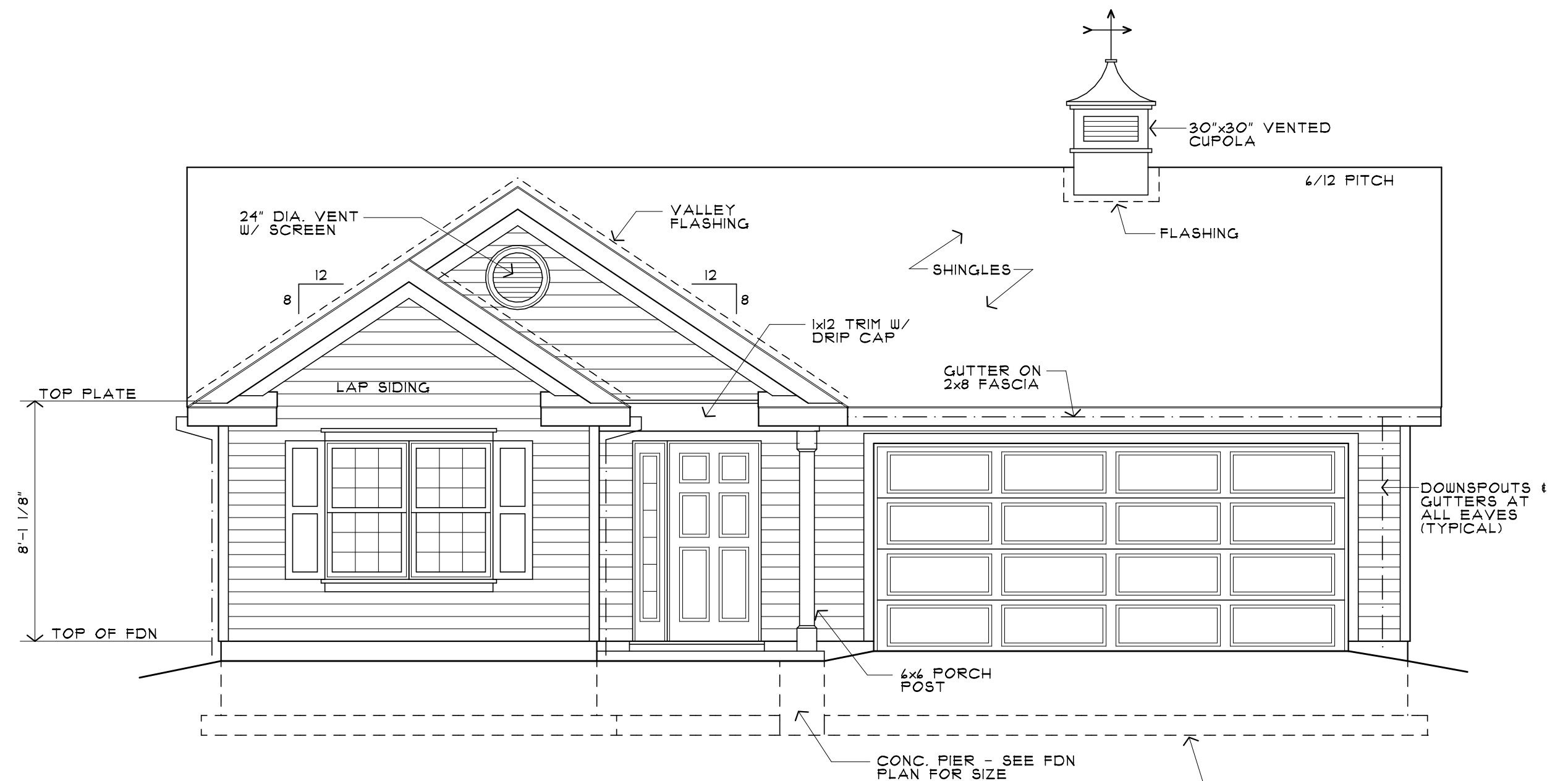
SHEET: 3 of 5

Great effort has gone into the design and engineering of these plans. However, due to the impossibility of providing any on-site supervision over the actual construction, the variance in local code requirements and other local building and weather conditions, Residential Design Services, Inc. assumes no responsibility for any damages, including structural failures, due to any deficiencies, omissions or errors in these plans. Furthermore, should soil and/or weather conditions (i.e. hurricane, earthquake, snow, etc.) cause loads other than those indicated in the Building Specifications, or for any other unusual conditions, it is recommended that you consult with local building officials and a local architect or engineer prior to beginning construction.

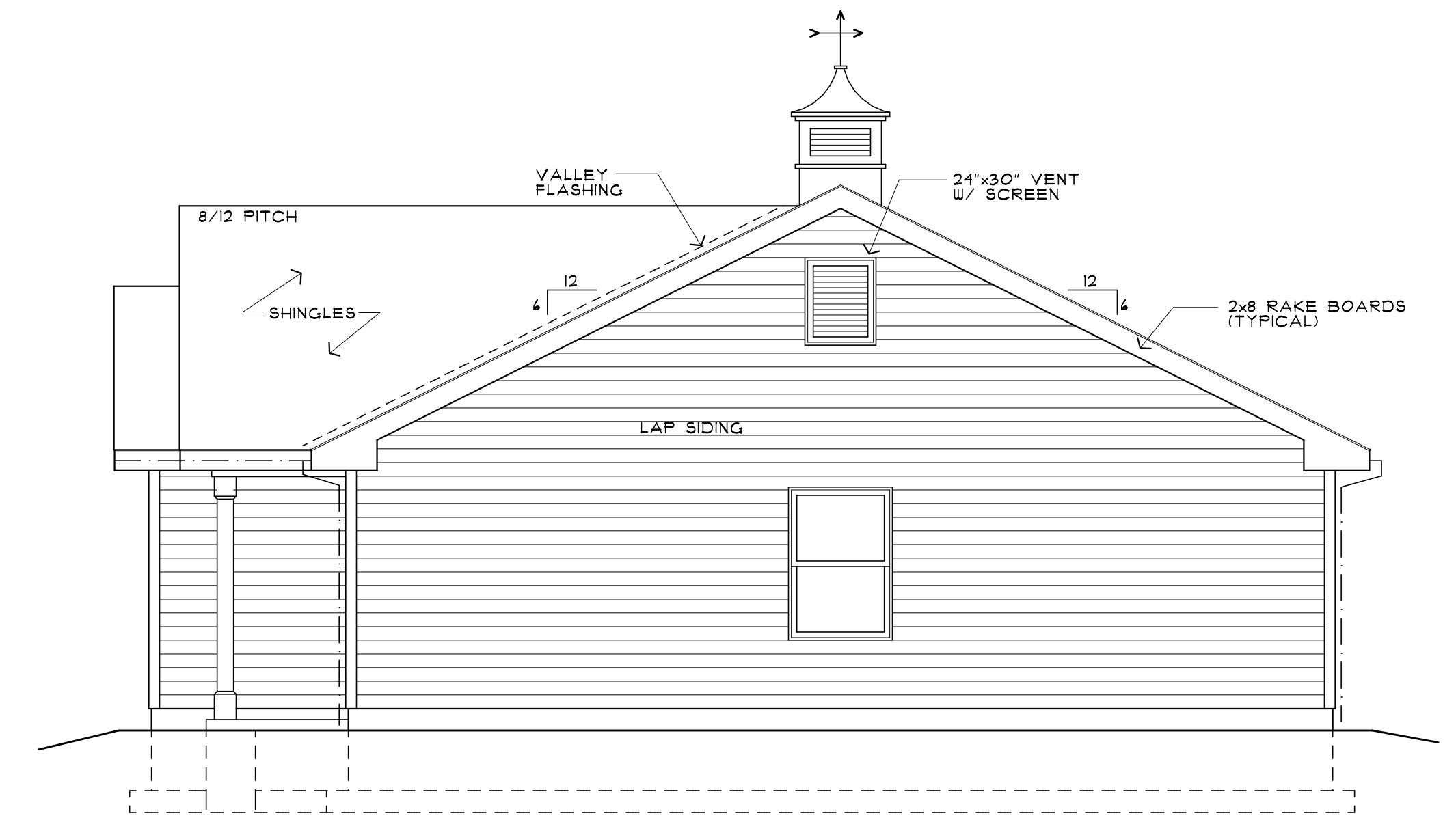


**ROOF PLAN**  
SCALE: 3/16" = 1'-0"

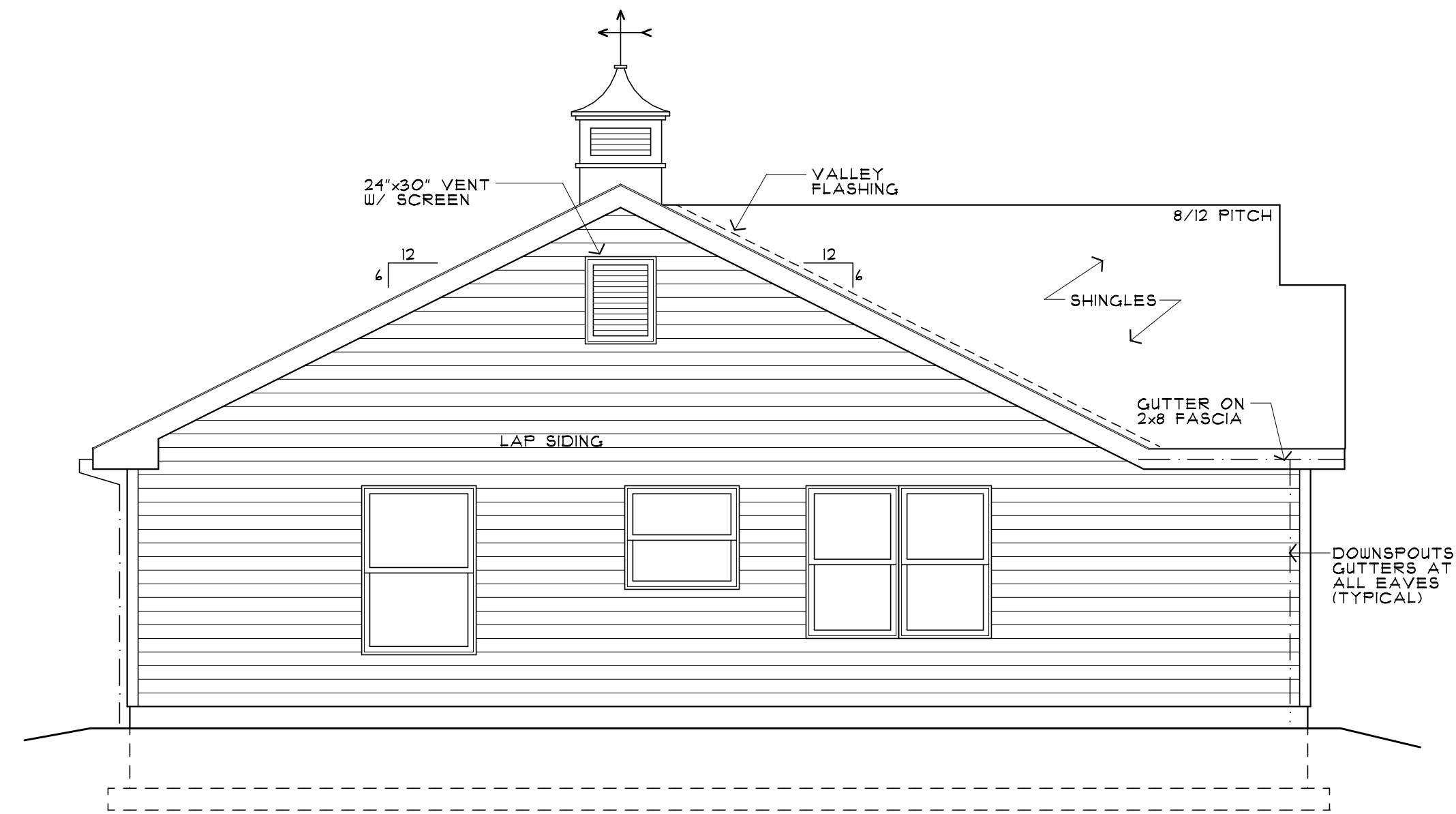
- ROOF NOTES:**
1. ALL OVERHANGS ARE 1'-0" UNLESS OTHERWISE NOTED.
  2. ALL TRUSSES TO BE IRC APPROVED AND DESIGNED BY TRUSS SUPPLIER/FABRICATOR.
  3. TRUSS MANUFACTURER TO DETERMINE TRUSS DIMENSIONS, HEEL HEIGHTS, LOCATIONS AND SPACING PRIOR TO BEGINNING CONSTRUCTION.
  4. ALL OVERFRAMING AT ROOF SYSTEM TO BE AS FOLLOWS:
    - A. MINIMUM 2x2'S AT 24" O.C. (MAX) WITH MAXIMUM SPAN OF 10'-0"
    - B. 2x4'S AT 24" O.C. (MAX) WITH MAXIMUM SPAN OF 14'-0"
    - C. 2x6'S AT 24" O.C. (MAX) WITH MAXIMUM SPAN OF 18'-0"
  5. ALL OVERFRAMING TO BEAR ON TRUSSES OR RAFTERS BELOW.



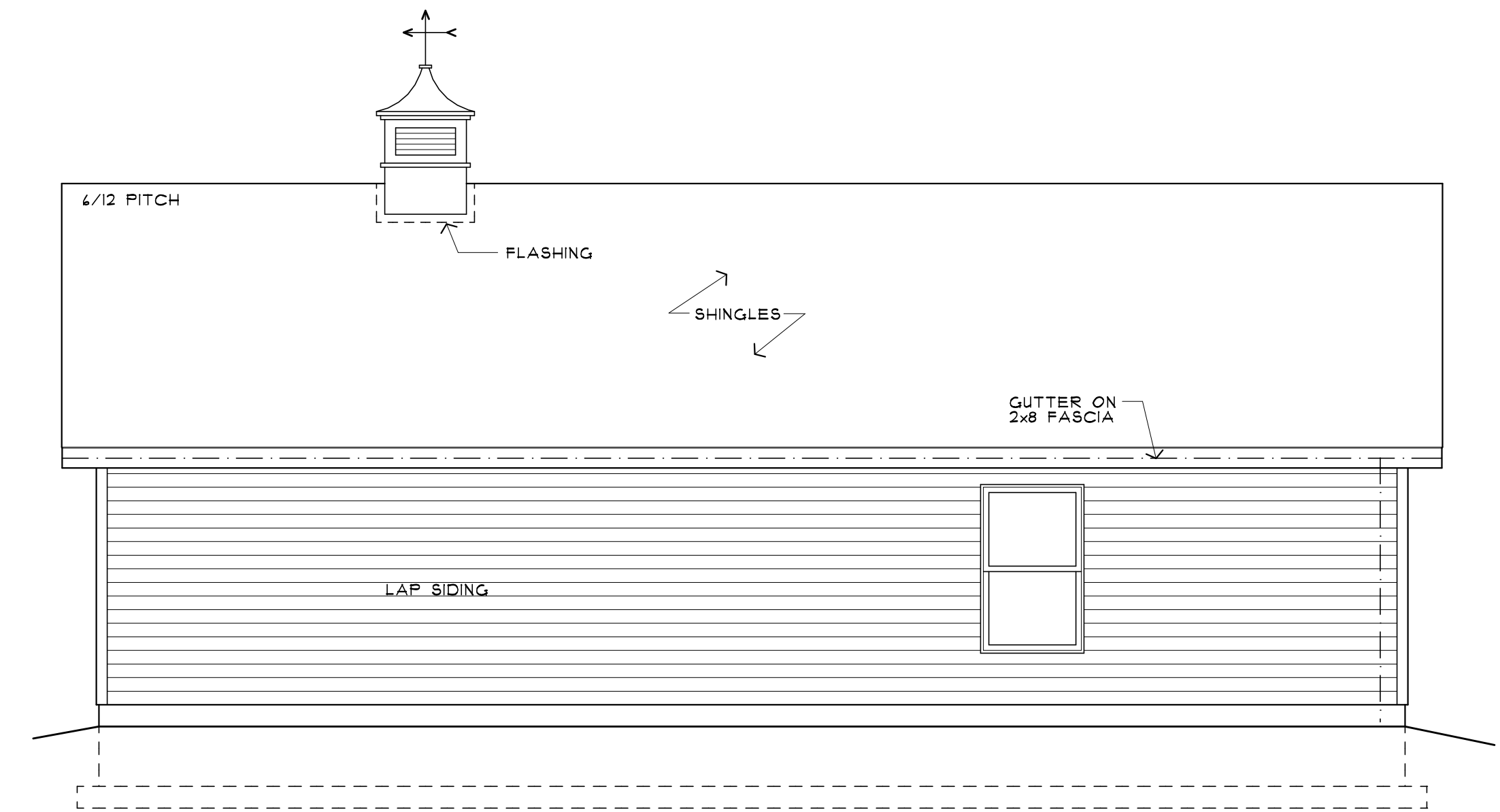
**FRONT ELEVATION**  
SCALE: 1/4" = 1'-0"



**RIGHT ELEVATION**  
SCALE: 1/4" = 1'-0"



**LEFT ELEVATION**  
SCALE: 1/4" = 1'-0"



**REAR ELEVATION**  
SCALE: 1/4" = 1'-0"

EXTEND ALL FTGS. TO BELOW FROST LINE AND TO UNDISTURBED SOIL. VERIFY LOCAL FROST DEPTH WITH CODE OFFICIALS.

CONC. PIER - SEE FDN PLAN FOR SIZE

DOWNSPOUTS & GUTTERS AT ALL EAVES (TYPICAL)

2x8 RAKE BOARDS (TYPICAL)

**RESIDENTIAL**  
DESIGN SERVICES

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PLAN NO. 2207

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REVISIONS 4/26/2021 SHEET: 4 of 5

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