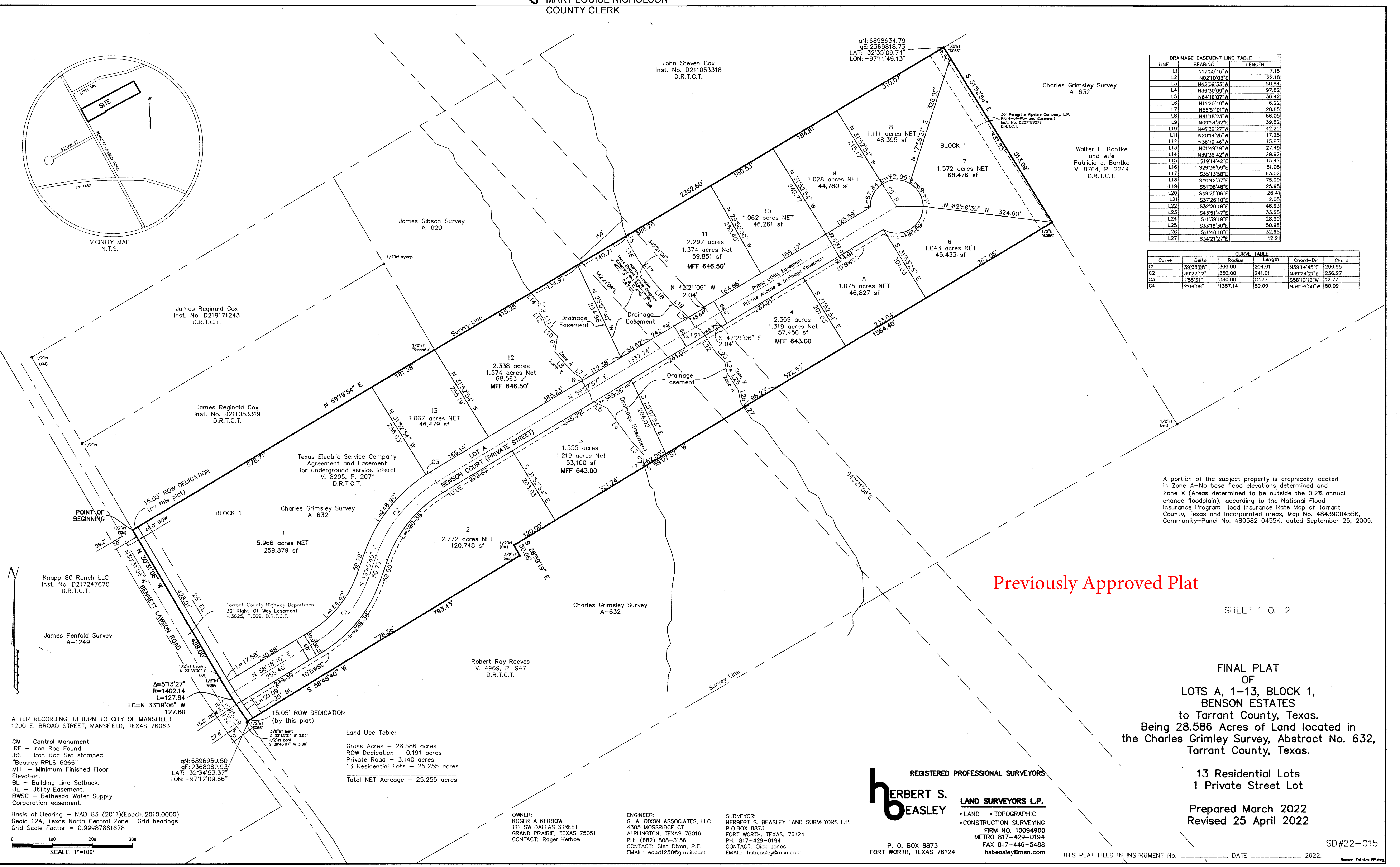
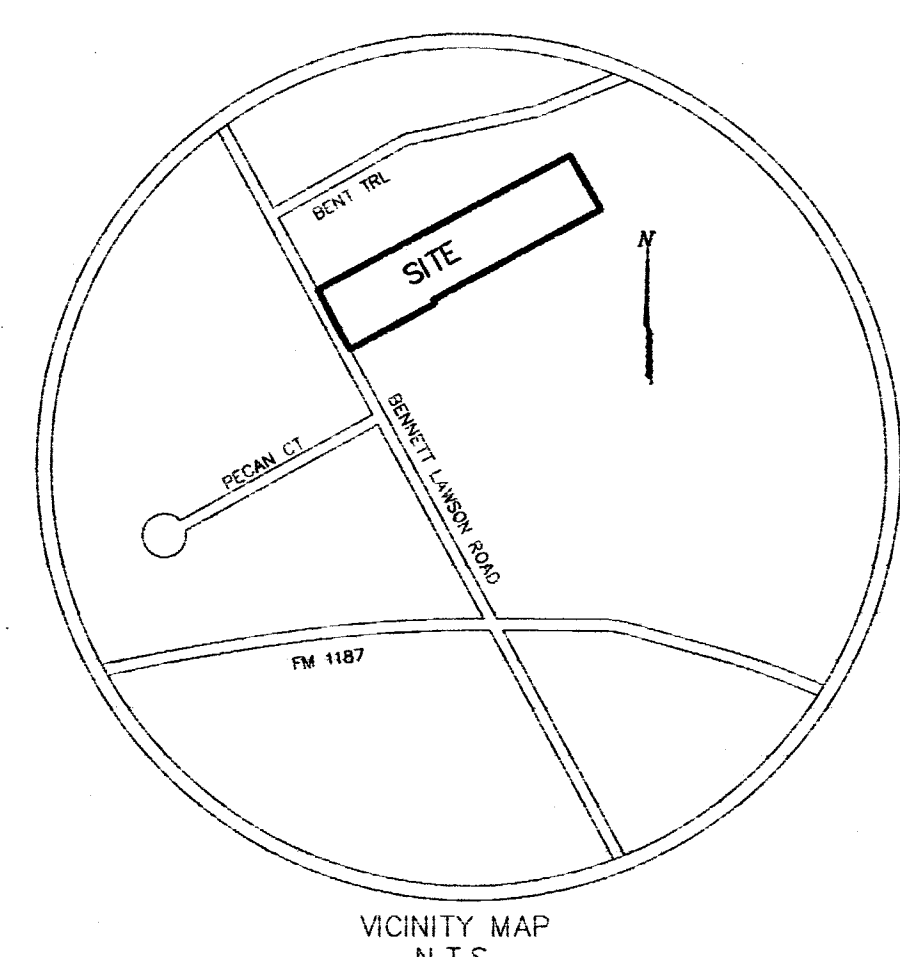


*Mary Louise Nicholson*  
MARY LOUISE NICHOLSON  
COUNTY CLERK



DRAINAGE EASEMENT LINE TABLE		
LINE	BEARING	LENGTH
L1	N17°50'46\"W	7.18
L2	N02°10'03\"E	22.18
L3	N42°09'33\"W	50.84
L4	N36°30'09\"W	97.62
L5	N64°16'07\"W	36.42
L6	N11°20'49\"W	6.22
L7	N55°51'01\"W	28.85
L8	N41°18'23\"W	66.05
L9	N09°54'32\"E	39.82
L10	N46°39'27\"W	42.25
L11	N20°14'25\"W	17.28
L12	N36°19'46\"W	15.87
L13	N01°49'19\"W	27.49
L14	N39°36'42\"W	29.92
L15	S19°14'42\"E	15.47
L16	S29°36'59\"E	51.08
L17	S35°13'58\"E	63.02
L18	S40°42'37\"E	75.90
L19	S51°08'49\"E	25.85
L20	S49°25'06\"E	26.41
L21	S37°26'10\"E	2.05
L22	S32°20'18\"E	46.93
L23	S43°51'47\"E	33.65
L24	S11°39'19\"E	28.90
L25	S33°16'30\"E	50.98
L26	S11°48'10\"E	32.65
L27	S34°21'27\"E	12.21

CURVE TABLE					
Curve	Delta	Radius	Length	Chord-Dir	Chord
C1	39°08'08\"	300.00	204.91	N39°14'45\"E	200.95
C2	39°27'12\"	350.00	241.01	N39°24'21\"E	236.27
C3	1°55'31\"	380.00	12.77	S58°10'12\"W	12.77
C4	2°04'08\"	1387.14	50.09	N34°56'50\"W	50.09

A portion of the subject property is graphically located in Zone A-No base flood elevations determined and Zone X (Areas determined to be outside the 0.2% annual chance floodplain); according to the National Flood Insurance Program Flood Insurance Rate Map of Tarrant County, Texas and Incorporated areas, Map No. 48439C0455K, Community-Panel No. 480582 0455K, dated September 25, 2009.

Previously Approved Plat

SHEET 1 OF 2

FINAL PLAT  
OF  
LOTS A, 1-13, BLOCK 1,  
BENSON ESTATES  
to Tarrant County, Texas.  
Being 28.586 Acres of Land located in  
the Charles Grimsley Survey, Abstract No. 632,  
Tarrant County, Texas.

13 Residential Lots  
1 Private Street Lot

Prepared March 2022  
Revised 25 April 2022

SD#22-015

REGISTERED PROFESSIONAL SURVEYORS  
**HERBERT S. BEASLEY**  
LAND SURVEYORS L.P.  
• LAND • TOPOGRAPHIC  
• CONSTRUCTION SURVEYING  
FIRM NO. 10094900  
METRO 817-429-0194  
FAX 817-446-5488  
hsbeasley@msn.com  
P. O. BOX 8873  
FORT WORTH, TEXAS 76124

THIS PLAT FILED IN INSTRUMENT No. \_\_\_\_\_, DATE \_\_\_\_\_, 2022.

Land Use Table:  
Gross Acres - 28.586 acres  
ROW Dedication - 0.191 acres  
Private Road - 3.140 acres  
13 Residential Lots - 25.255 acres  
Total NET Acreage - 25.255 acres

Basis of Bearing - NAD 83 (2011)(Epoch:2010.0000)  
Geoid 12A, Texas North Central Zone. Grid bearings.  
Grid Scale Factor = 0.99987861678

0 100 200 300  
SCALE 1\"=100'



TARRANT COUNTY STANDARD PLAT NOTES

1. Development in unincorporated Tarrant County shall be subject to applicable municipal regulations, the current Tarrant County Subdivision and Land Use Regulations and the Tarrant County Fire Code.
2. Tarrant County permits required prior to development within this subdivision, as applicable, include, but are not limited to, construction within the public rights-of-way, driveway access to public roads, development within a designated floodplain, salvage yards, stormwater mitigation, and on-site sewage systems.
3. All drainage easements shall be kept clear of fences, buildings, foundations, plantings, and other obstructions to the operation and maintenance of the drainage facility.
4. The siting and construction of water wells shall be subject to the regulations of the Northern Trinity Groundwater Conservation District.
5. Any existing creek, stream, river or drainage channel traversing along or across portions of this addition will remain unobstructed at all times and will be maintained by the adjacent property owner, or the Home Owners Association, if applicable. The County will not be responsible for the maintenance, erosion control, and/or operation of said drainage ways. The home owners shall keep the adjacent drainage ways traversing their property clean and free of debris, silt or other substances which would result in unsanitary conditions, and the County shall have the right of entry for the purposes of inspecting maintenance work by the property owners. The drainage ways are occasionally subject to storm water overflow damages resulting from the storm water overflow and/or bank erosion that cannot be identified. The County shall not be liable for any damages resulting from the occurrence of these phenomena, nor the failure of any structures within the drainage ways. The drainage way crossing each lot is contained within the floodplain/drainage easement line as shown on the plat.
6. Tarrant County shall not be responsible for the maintenance of private streets, drives, emergency access easements, recreation areas, and open spaces; and the owners shall be responsible for the maintenance of private streets, drives, emergency access easements, recreation areas, and open spaces, and said owners agree to indemnify and save harmless Tarrant County from all claims, damages, and losses arising out of or resulting from performance of the obligations of said owners set for in this paragraph.
7. Tarrant County does not enforce subdivision deed restrictions.
8. Land owners and subsequent owners of lots or parcels within this subdivision are encouraged to contact Tarrant County's Transportation Services Department prior to conducting any development activities.

GENERAL NOTES:

1. LOT A IS A PRIVATE STREET (BENSON COURT) THAT WILL BE MAINTAINED BY A MANDATORY HOMEOWNERS ASSOCIATION.
2. WATER SUPPLY - BETHESDA WATER SUPPLY.
3. PRIVATE ON-SITE SEWAGE FACILITIES.
4. MINIMUM FINISHED FLOOR ELEVATIONS SHOWN ON LOTS 3, 4, 11 AND 12, ARE FROM GLEN A. DIXON, P.E. CFM DRAINAGE ANALYSIS.
5. THIS GATED COMMUNITY WILL REQUIRE COORDINATION WITH THE TARRANT COUNTY FIRE MARSHALL TO ENSURE THAT ANY GATE ACCOMMODATES FIRE TRUCK AND EMERGENCY VEHICLE ACCESS.
6. THE PROPOSE RIGHT-OF-WAY DEDICATION IS CONSISTANT WITH THE RIGHT-OF-WAY WIDTH RECOMMENDED IN THE CITY'S MASTER THOROUGHFARE PLAN.
7. LOT "A" IS A VARIABLE WIDTH PRIVATE ACCESS AND DRAINAGE EASEMENT AND A PUBLIC UTILITY EASEMENT.

This is to Certify that I, Kenneth R. Rogers, a Registered Professional Land Surveyor of the State of Texas, have surveyed the above described property on the ground, and that all lot corners, angle points, and points of curve shall be set after construction and will be 1/2" iron rods capped and stamped "BEASLEY RPLS 6066". Irons that are damaged, disturbed, or not so marked shall not be considered original.



KENNETH R. ROGERS  
Registered Professional  
Land Surveyor No. 6066

APPROVED BY THE PLANNING AND ZONING COMMISSION  
OF THE CITY OF MANSFIELD, TEXAS ON May 16, 2022

BY: [Signature]  
CHAIRMAN, PLANNING AND ZONING COMMISSION

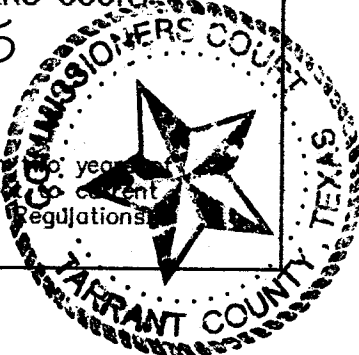
ATTEST: [Signature]  
SECRETARY, PLANNING AND ZONING COMMISSION

COMMISSIONERS COURT  
TARRANT COUNTY, TEXAS

PLAT APPROVAL DATE: May 24, 2022

[Signature]  
CLERK OF COMMISSIONERS COURT  
C.O.# 138245

NOTE:  
Construction not completed within 60 days of the recording date shall be subject to Tarrant County Subdivision Standards and Regulations.



AFTER RECORDING, RETURN TO CITY OF MANSFIELD  
1200 E. BROAD STREET, MANSFIELD, TEXAS 76063

Basis of Bearing - NAD 83 (2011)(Epoch:2010.0000)  
Geoid 12A, Texas North Central Zone. Grid bearings.  
Grid Scale Factor = 0.99987861678



OWNER:  
ROGER A KERBOW  
111 SW DALLAS STREET  
GRAND PRAIRIE, TEXAS 75051  
CONTACT: Roger Kerbow

ENGINEER:  
G. A. DIXON ASSOCIATES, LLC  
4305 MOSSBRIDGE CT  
ARLINGTON, TEXAS 76016  
PH: (682) 808-3156  
CONTACT: Glen Dixon, P.E.  
EMAIL: eoad1258@gmail.com

SURVEYOR:  
HERBERT S. BEASLEY LAND SURVEYORS L.P.  
P.O.BOX 8873  
FORT WORTH, TEXAS, 76124  
PH: 817-429-0194  
CONTACT: Dick Jones  
EMAIL: hsbeasley@msn.com

REGISTERED PROFESSIONAL SURVEYORS  
**HERBERT S. BEASLEY**  
**LAND SURVEYORS L.P.**  
• LAND • TOPOGRAPHIC  
• CONSTRUCTION SURVEYING  
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hsbeasley@msn.com  
P. O. BOX 8873  
FORT WORTH, TEXAS 76124

STATE OF TEXAS §

COUNTY OF TARRANT §

WHEREAS, Roger A. Kerbow, is the sole owner of all that certain tract, parcel, or lot of land located in the Charles Grimsley Survey, Abstract No. 632, Tarrant County, Texas and being all of Tracts 1 and 2 as described in the deed to Roger A. Kerbow, recorded in County Clerk's Instrument Number D205261032, Deed Records, Tarrant County, Texas and being more particularly described as follows:

BEGINNING at a 1/2" iron rod found at the west corner of said Tract 2, being the south corner of a tract of land described in the deed to James Reginald Cox, recorded in County Clerk's Instrument No. D211053319, Deed Records, Tarrant County, Texas;

THENCE N59°19'54"E, along the north line of said Kerbow tracts and the south line of said Cox tract, at a distance of 875.69 feet passing a 1/2" iron rod stamped "Geodata" found at the east corner of said Cox tract, being the south corner of a tract of land described in the deed to John Steven Cox, recorded in County Clerk's Instrument No. D211053318, Deed Records, Tarrant County, Texas, continuing along said north line and the south line of said John Steven Cox tract in all a distance of 2,352.60 feet to a 1/2" iron rod stamped "Beasley RPLS 6066" set at the north corner of said Tract 1, being the west corner of a tract of land described in the deed to Walter E. Bontke and wife, Patricia J. Bontke, recorded in Volume 8764, Page 2244, Deed Records, Tarrant County, Texas;

THENCE S31°52'54"E, along the east line of said Tract 1 and the west line of said Bontke tract, a distance of 513.09 feet to a 1/2" iron rod stamped "Beasley RPLS 6066" found at the east corner of said Tract 1 and the south corner of said Bontke tract, being the north corner of a tract of land described in the deed to Robert Ray Reeves, recorded in Volume 4969, Page 947, Deed Records, Tarrant County, Texas;

THENCE along the south line of said Tract 1 and the north line of said Reeves tract as follows:

1. S59°07'57"W, a distance of 1,564.40 feet to a 1/2" iron rod found;
2. S28°59'19"E, a distance of 30.05 feet to a bent 3/8" iron rod found;
3. S58°48'40"W, a distance of 793.43 feet to a 1/2" iron rod stamped "Beasley RPLS 6066" found at the south corner of said Tract 1 and at the west corner of said Reeves tract, from which a 1/2" iron rod found bears S29°40'07"W 3.86 feet and a bent 3/8" iron rod found bears S33°45'31"W 3.59 feet;

THENCE along the south lines of said Tracts 1 and 2 as follows:

1. Northwesterly, 127.85 feet along a non tangent curve to the right, having a radius of 1,402.14 feet, a central angle of 05°13'27" and a chord bearing N33°19'06"W, 127.80 feet to a 1/2" iron rod stamped "Beasley RPLS 6066" found, from which a 1/2" iron rod found bears N23°28'30"E 1.01 feet;

2. N30°31'06"W, a distance of 428.00 feet to the point of beginning, containing 28.586 acres of land.

The bearings recited hereon are oriented to NAD83 Texas North Central Zone.

NOW, THEREFORE KNOW ALL MEN BY THESE PRESENTS:

THAT, ROGER A. KERBOW, being the sole owner of the above described parcel, does hereby adopt this plat designating the herein above described real property as LOTS A, 1-13, BENSON ESTATES, an addition to Tarrant County, Texas, and does hereby dedicate to the public's use forever, without reservation the streets, easements, drainage areas and rights-of-way shown thereon. All parties with an interest in the title of this property have joined in any dedication. Tarrant County will not accept the dedication without proof of clear title to those roads.

WITNESS MY HAND AT Fort Worth, Tarrant County, Texas, this the 9th day of May 2022.

By: [Signature]  
By: ROGER A. KERBOW, Owner

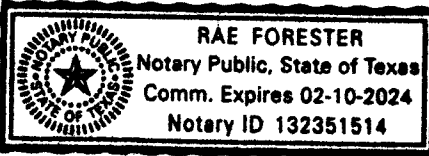
STATE OF TEXAS §

COUNTY OF TARRANT §

BEFORE ME, the undersigned authority, on this day personally appeared Roger A. Kerbow, Owner, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and consideration therein expressed.

GIVEN UNDER MY HAND AND SEAL OF OFFICE on the 9th day of May 2022

[Signature]  
NOTARY PUBLIC TARRANT COUNTY, TEXAS



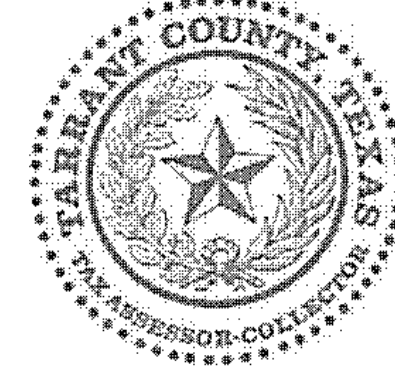
FINAL PLAT  
OF  
LOTS A, 1-13, BLOCK 1,  
BENSON ESTATES  
to Tarrant County, Texas.  
Being 28.586 Acres of Land located in  
the Charles Grimsley Survey, Abstract No. 632,  
Tarrant County, Texas.

13 Residential Lots  
1 Private Street Lot

Prepared March 2022  
Revised 25 April 2022

THIS PLAT FILED IN INSTRUMENT No. \_\_\_\_\_, DATE \_\_\_\_\_ 2022.

SD#22-015

**TARRANT COUNTY TAX OFFICE**

100 E. Weatherford, Room 105 • Fort Worth, Texas 76196-0301 • 817-884-1100  
taxoffice@tarrantcounty.com  
In God We Trust

WENDY BURGESS  
Tax Assessor-Collector

TAX CERTIFICATE FOR ACCOUNT : 00003912213  
AD NUMBER: A 632 1B  
CERTIFICATE NO : 87040037  
COLLECTING AGENCY  
WENDY BURGESS  
PO BOX 961018  
FORT WORTH TX 76161-0018

REQUESTED BY  
KERBOW ROGER A

111 SW DALLAS ST  
GRAND PRAIRIE TX 750511735

DATE : 5/17/2022  
FEE : \$10.00

PAGE 1 OF 1

PROPERTY DESCRIPTION  
GRIMSLEY, CHARLES SURVEY ABS  
TRACT 632 TRACT 1B

0006519 BENNETT LAWSON RD  
3 ACRES

PROPERTY OWNER  
KERBOW ROGER A

111 SW DALLAS ST  
GRAND PRAIRIE TX 750511735

YEAR	TAX UNIT	AMOUNT DUE
2021	Tarrant County	\$0.00
2021	JPS HEALTH NETWORK	\$0.00
2021	TARRANT COUNTY COLLEGE	\$0.00
2021	EMERGENCY SERVICE DISTRICT #1	\$0.00
2021	MANSFIELD ISD	\$0.00
TOTAL		\$0.00

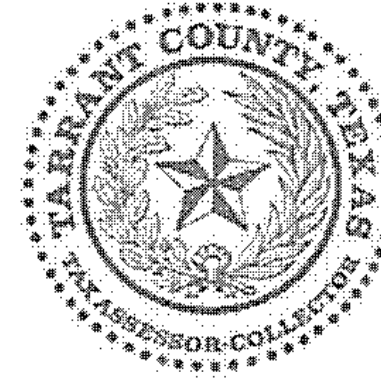
ISSUED TO : KERBOW ROGER A  
ACCOUNT NUMBER: 00003912213  
TOTAL CERTIFIED TAX: \$0.00

As Deputy Tax Assessor/Collector for Tarrant County, I do hereby certify pursuant to Texas Property Tax Code Section 31.08 that the delinquent taxes, penalties and attorney fees due for only the above described property are as listed below according to the current tax records. Additional taxes may become due on the described property, which are not reflected herein, if the said described property has or is receiving any special statutory valuations that may trigger tax rollback provisions and other changes to the appraisal roll made subsequent to the issuance of this certificate.

This certificate applies to ad valorem taxes only and does not apply to any special assessment levies.

Deputy





# TARRANT COUNTY TAX OFFICE

100 E. Weatherford, Room 105 • Fort Worth, Texas 76196-0301 • 817-884-1100  
 taxoffice@tarrantcounty.com  
 In God We Trust

WENDY BURGESS  
 Tax Assessor-Collector

TAX CERTIFICATE FOR ACCOUNT : 00006028616  
 AD NUMBER: A 632 1B01  
 CERTIFICATE NO : 87040038

COLLECTING AGENCY

WENDY BURGESS  
 PO BOX 961018  
 FORT WORTH TX 76161-0018

REQUESTED BY

KERBOW ROGER A

111 SW DALLAS ST  
 GRAND PRAIRIE TX 750511735

DATE : 5/17/2022  
 FEE : \$10.00

PAGE 1 OF 1

PROPERTY DESCRIPTION

GRIMSLEY, CHARLES SURVEY ABS  
 TRACT 632 TRACT 1B01

0006565 BENNETT LAWSON RD  
 7.218 ACRES

PROPERTY OWNER

KERBOW ROGER A

111 SW DALLAS ST  
 GRAND PRAIRIE TX 750511735

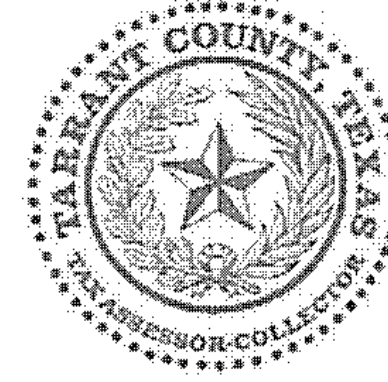
YEAR	TAX UNIT	AMOUNT DUE
2021	Tarrant County	\$0.00
2021	JPS HEALTH NETWORK	\$0.00
2021	TARRANT COUNTY COLLEGE	\$0.00
2021	EMERGENCY SERVICE DISTRICT #1	\$0.00
2021	MANSFIELD ISD	\$0.00
TOTAL		\$0.00

ISSUED TO : KERBOW ROGER A  
 ACCOUNT NUMBER: 00006028616  
 TOTAL CERTIFIED TAX: \$0.00

As Deputy Tax Assessor/Collector for Tarrant County, I do hereby certify pursuant to Texas Property Tax Code Section 31.08 that the delinquent taxes, penalties and attorney fees due for only the above described property are as listed below according to the current tax records. Additional taxes may become due on the described property, which are not reflected herein, if the said described property has or is receiving any special statutory valuations that may trigger tax rollback provisions and other changes to the appraisal roll made subsequent to the issuance of this certificate.

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Deputy



# TARRANT COUNTY TAX OFFICE

100 E. Weatherford, Room 105 • Fort Worth, Texas 76196-0301 • 817-884-1100  
 taxoffice@tarrantcounty.com  
 In God We Trust

WENDY BURGESS  
 Tax Assessor-Collector

TAX CERTIFICATE FOR ACCOUNT : 00003912221  
 AD NUMBER: A 632 1C  
 CERTIFICATE NO : 87040041

COLLECTING AGENCY

WENDY BURGESS  
 PO BOX 961018  
 FORT WORTH TX 76161-0018

REQUESTED BY

KERBOW ROGER A

111 SW DALLAS ST  
 GRAND PRAIRIE TX 750511735

DATE : 5/17/2022  
 FEE : \$10.00

PAGE 1 OF 1

PROPERTY DESCRIPTION

GRIMSLEY, CHARLES SURVEY ABS  
 TRACT 632 TRACT 1C

0006565 BENNETT LAWSON RD  
 11.173 ACRES

PROPERTY OWNER

KERBOW ROGER A

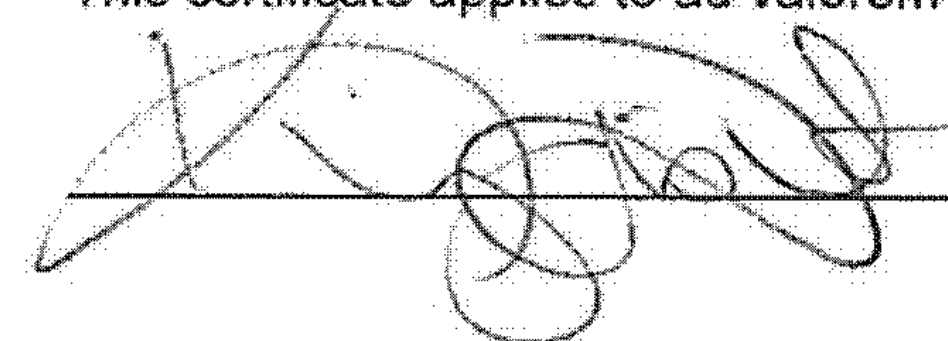
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 GRAND PRAIRIE TX 750511735

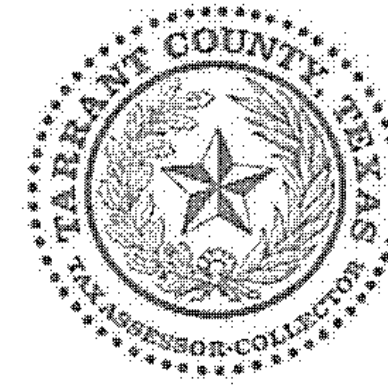
YEAR	TAX UNIT	AMOUNT DUE
2021	Tarrant County	\$0.00
2021	JPS HEALTH NETWORK	\$0.00
2021	TARRANT COUNTY COLLEGE	\$0.00
2021	EMERGENCY SERVICE DISTRICT #1	\$0.00
2021	MANSFIELD ISD	\$0.00
TOTAL		\$0.00

ISSUED TO : KERBOW ROGER A  
 ACCOUNT NUMBER: 00003912221  
 TOTAL CERTIFIED TAX: \$0.00

As Deputy Tax Assessor/Collector for Tarrant County , I do hereby certify pursuant to Texas Property Tax Code Section 31.08 that the delinquent taxes, penalties and attorney fees due for only the above described property are as listed below according to the current tax records. Additional taxes may become due on the described property, which are not reflected herein, if the said described property has or is receiving any special statutory valuations that may trigger tax rollback provisions and other changes to the appraisal roll made subsequent to the issuance of this certificate.

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 Deputy



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100 E. Weatherford, Room 105 • Fort Worth, Texas 76196-0301 • 817-884-1100  
 taxoffice@tarrantcounty.com  
 In God We Trust

WENDY BURGESS  
 Tax Assessor-Collector

TAX CERTIFICATE FOR ACCOUNT : 00003912043  
 AD NUMBER: A 632 1  
 CERTIFICATE NO : 87040043

## COLLECTING AGENCY

WENDY BURGESS  
 PO BOX 961018  
 FORT WORTH TX 76161-0018

## REQUESTED BY

KERBOW ROGER A

111 SW DALLAS ST  
 GRAND PRAIRIE TX 750511735

DATE : 5/17/2022

PAGE 1 OF 1

FEE : \$10.00

## PROPERTY DESCRIPTION

GRIMSLEY, CHARLES SURVEY ABS  
 TRACT 632 TRACT 1

0006565 BENNETT LAWSON RD  
 7.28 ACRES

## PROPERTY OWNER

KERBOW ROGER A

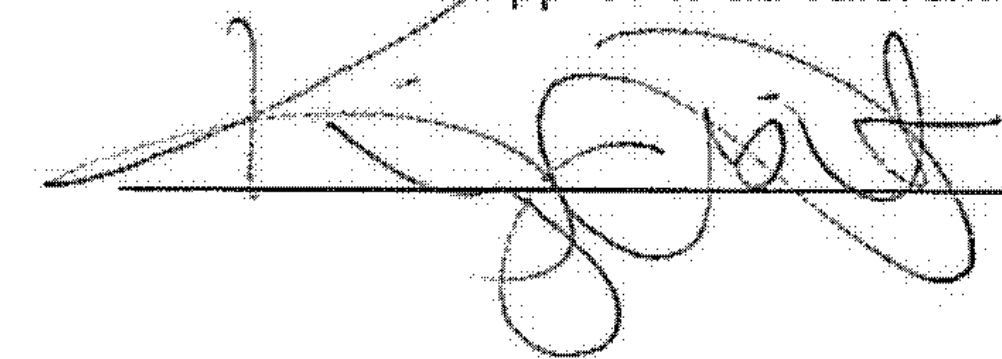
111 SW DALLAS ST  
 GRAND PRAIRIE TX 750511735

YEAR	TAX UNIT	AMOUNT DUE
2021	Tarrant County	\$0.00
2021	JPS HEALTH NETWORK	\$0.00
2021	TARRANT COUNTY COLLEGE	\$0.00
2021	EMERGENCY SERVICE DISTRICT #1	\$0.00
2021	MANSFIELD ISD	\$0.00
TOTAL		\$0.00

ISSUED TO : KERBOW ROGER A  
 ACCOUNT NUMBER: 00003912043  
 TOTAL CERTIFIED TAX: \$0.00

As Deputy Tax Assessor/Collector for Tarrant County , I do hereby certify pursuant to Texas Property Tax Code Section 31.08 that the delinquent taxes, penalties and attorney fees due for only the above described property are as listed below according to the current tax records. Additional taxes may become due on the described property, which are not reflected herein, if the said described property has or is receiving any special statutory valuations that may trigger tax rollback provisions and other changes to the appraisal roll made subsequent to the issuance of this certificate.

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 Deputy