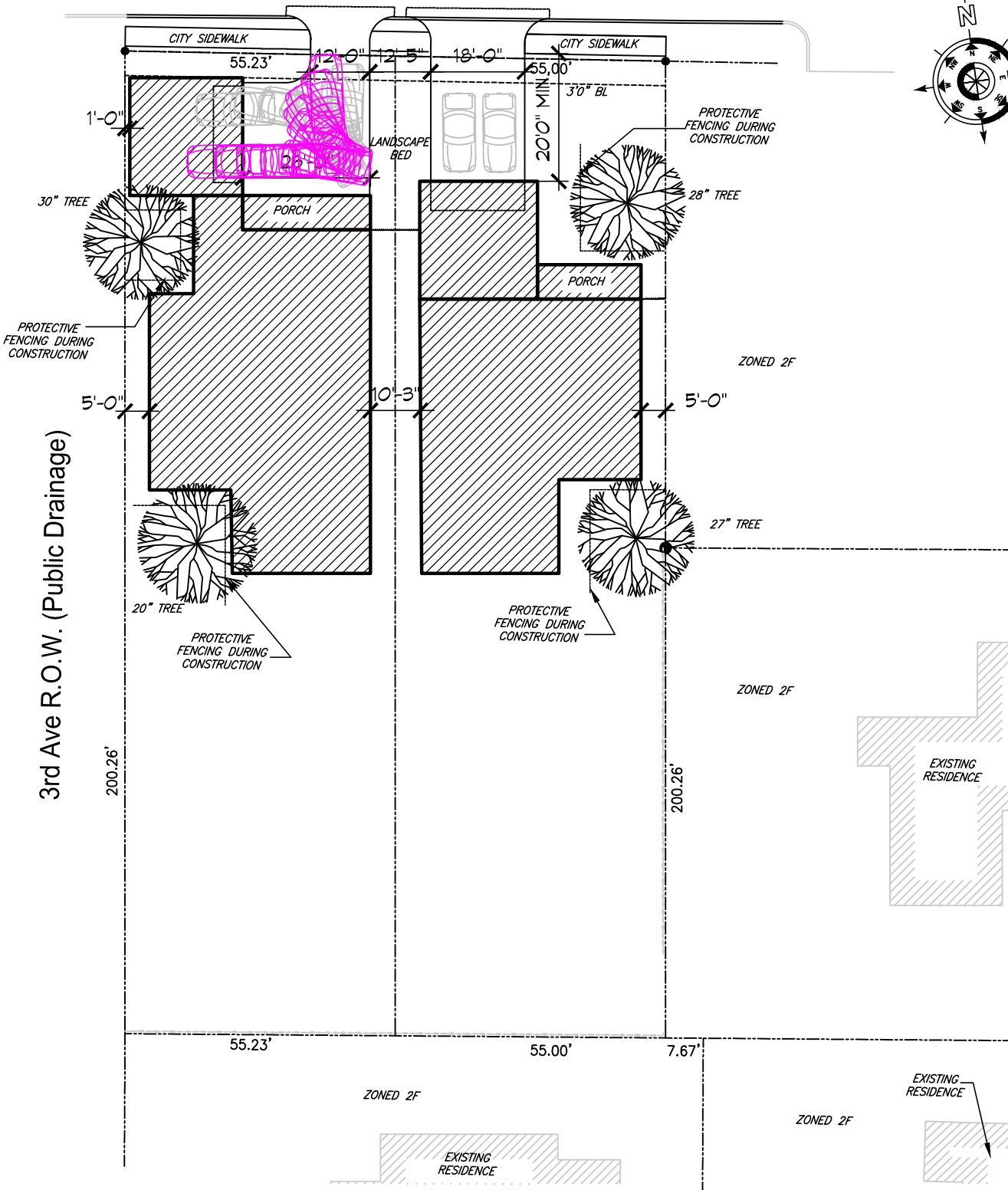
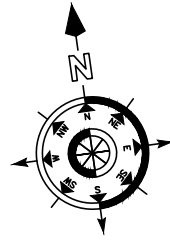


West Kimball Street

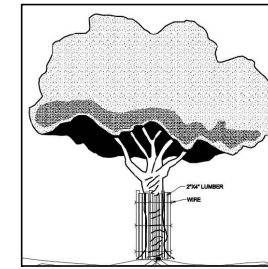


3rd Ave R.O.W. (Public Drainage)

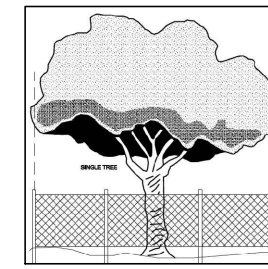
Land Use - Single family detached houses

Area and height regulations

- Minimum Lot Width - 55 ft
- Minimum Lot Depth - 199 ft
- Minimum Front Setback - 3 ft
- Minimum Rear Setback - 15 ft
- Minimum Side Setback - 5 ft, 1 ft at west side of garage
- Minimum Floor Area - 1800
- Minimum Off-Street Parking - 2 spaces per house
- Maximum Height - 2 stories plus attic
- Maximum Lot Coverage - 45%



BARK PROTECTION DURING CONSTRUCTION



PROTECTIVE FENCING DURING CONSTRUCTION

ARCHITECTURAL STANDARDS

Windows seen from the street are required to be wood, look like wood, or be wood with vinyl or aluminum cladding.
 Minimum roof pitch will be 6:12.
 Roof shingles must be three dimensional architectural shingles.
 Metal roof is limited to not more than 20% of the total roof area.
 Facade cladding may consist of 20 to 80 percent masonry.
 Any chimney on the exterior wall must be 100% brick or stone Craftsman style details like exposed rafter tails and corbels are encouraged
 Exterior elevation of the houses must vary from each another in terms of color, architectural features, roof form, and combination of cladding materials.

LANDSCAPING STANDARDS

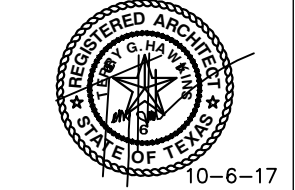
Lawns and landscaping must be irrigated with an irrigation system.

Accessory Use Standards

Accessory uses and structures shall be permitted and shall comply with the Zoning Ordinance requirements for such uses and structures in Single-Family Residential Districts.

Parking will not hang into R.O.W.

DEVELOPER:
 HARRIS COOK PROPERTIES
 309 E. BROAD ST.
 MANSFIELD, TX 76063
 (817) 473-3333



173066
EXHIBIT B
DEVELOPMENT
PLAN
ZC#17-015
PAGE 1 OF 2

305 W. KIMBALL ST.
 LOT ---- BLOCK 31
 ORIGINAL TOWN OF MANSFIELD
 MANSFIELD, TEXAS
 TARRANT COUNTY

DATE: 10-6-17
 10-16-17 REV.

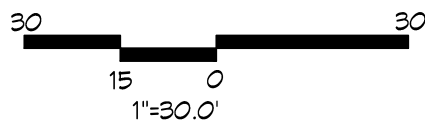
- GENERAL NOTES:**
1. CONTRACTOR TO VERIFY ALL DIMENSIONS PRIOR TO BEGINNING CONSTRUCTION. NOTIFY ARCHITECT OF ANY DISCREPANCIES IMMEDIATELY.
 2. CONTRACTOR TO OBSERVE ALL APPLICABLE STATE AND LOCAL CODES AND ORDINANCES.
 3. ALL ELECTRICAL OUTLETS AT MET AREAS (INCL GARAGE) TO BE G.F.I.
 4. ALL EXTERIOR ELECTRICAL OUTLETS TO BE WEATHER PROOF.
 5. ALL GLAZING WITHIN 20" HORIZ. DISTANCE FROM JAMB OF EXTERIOR DOORS TO BE THERMALLY GLASS.
 6. PLUMBING WALLS AT TOILETS TO BE 2X6 STUDS.
 7. ALL DIMENSIONS ARE TO FACE OF STUD OR FACE OF BRICK. ALL DIMENSIONS ARE FOR NOMINAL 4" STUD (ACTUAL 3-1/2" STUD).
 8. PROVIDE 100% PARED IN SERIES SMOKE DETECTORS OR PER LOCAL CODE REQUIREMENTS.
 9. WINDOW AND DOOR SIZES ARE AS INDICATED ON PLANS AT KEY 4 DOOR LOCATIONS.

SHEET Title:



PROPOSED CONCEPT ELEVATIONS

Compliance with PD Regulations
 The proposed development will be in complete accordance with the provisions of the approved Planned Development District and that all Development Plans recorded hereunder shall be binding upon the applicant thereof, his successors and assigns, and shall limit and control all building permits.



214 N. WALNUT CREEK DR. MANSFIELD TEXAS 76063
 817.471.1524 METRO 817.471.5933 FAX
ARCHITECTS
 © COPYRIGHT 2010 NO. 10 DESIGN GROUP
 SHEET No.:
PAGE 1 OF 2

EXHIBIT B

DEVIATIONS FROM BASED ZONING DISTRICT
ZC#17-015

Subject Property: 0.505 acres out of Block 30, Original Town of Mansfield, 305 and 307 W Kimball St

Proposed Use: Single -Family Residential Use

Deviations from based Zoning District of SF-7.5/16

Section	Requirement	Provided
4500B	Min. Lot Width 65 ft	55 ft
4500B	Min. Front Yard 25 ft	3 ft
4500B	Min. Side Yard 5 & 10 ft	5 ft for house 0 ft for garage on west side
4600C	Min. Masonry 80%	20 to 80%
4600D.8	Min. 8:12 roof pitch	6:12