

TOTAL PARKING SPACES	REQUIRED SPACES
UP TO 50	1
51 TO 100	2
OVER 100	3% OF TOTAL
TOTAL = 67	2 SPACES REQUIRED

PLAN NOTES

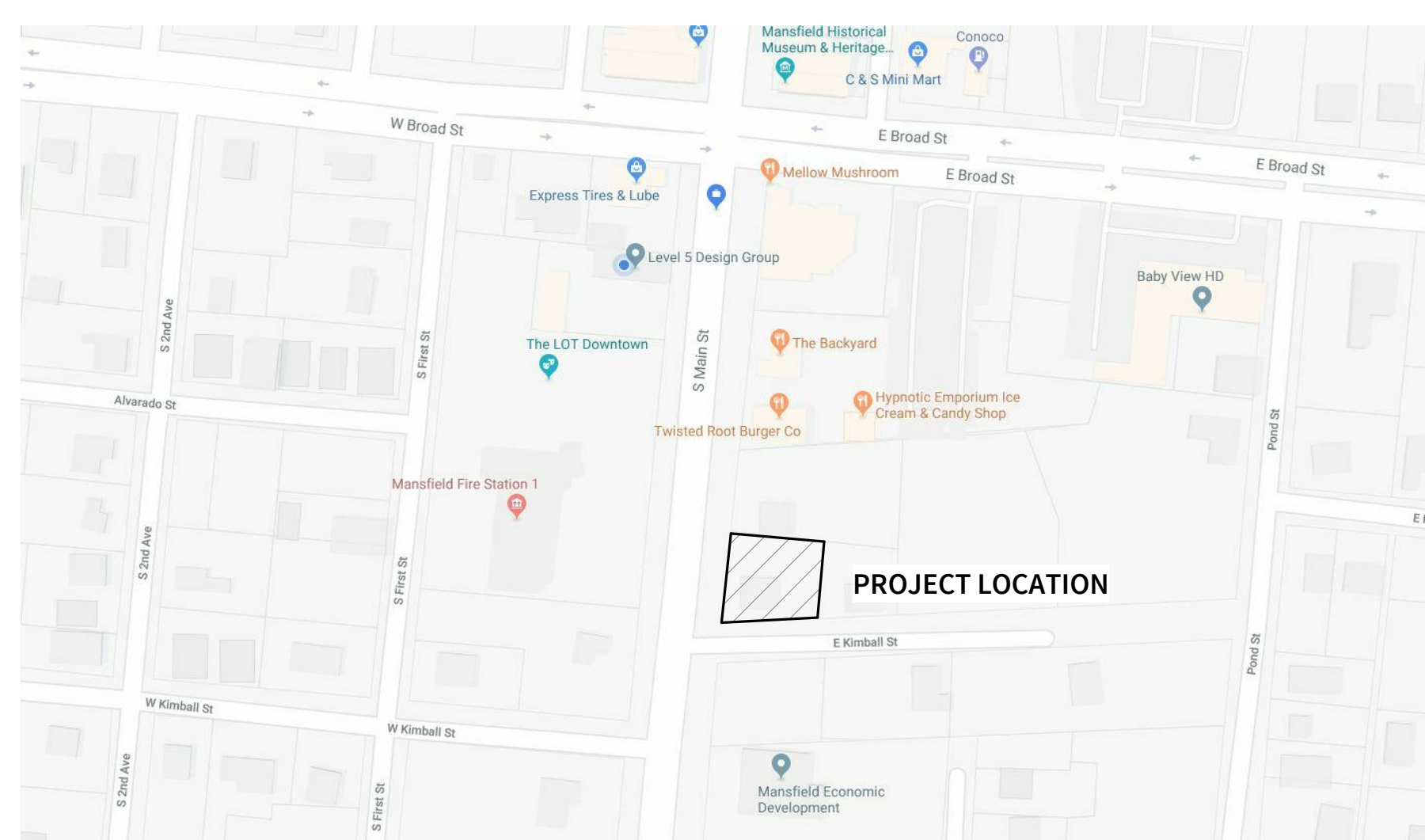
- ALL SIGNAGE WILL COMPLY WITH THE REGULATIONS FOR C-2 ZONED PROPERTY AS OUTLINED IN SECTION 7100 OF THE ZONING ORDINANCE.
- ALL EQUIPMENT SHALL BE DESIGNED AND SCREENED IN ACCORDANCE WITH THE REGULATIONS OUTLINED IN SECTION 7301.A OF THE ZONING ORDINANCE.
- THE TRASH ENCLOSURE WILL BE SCREENED IN ACCORDANCE WITH THE REGULATIONS OUTLINED IN SECTION 7301.B OF THE ZONING ORDINANCE.
- THERE WILL BE NO OUTSIDE STORAGE ON THE PROPERTY.

BUILDING	USE	PARKING SPACES
INTERIOR SPACE 1,703 SF	BAR 1 SPACE PER 75 SF	23
EXTERIOR DECK 1,532 SF	BAR 1 SPACE PER 75 SF	20
STAGE 214 SF	BAR 1 SPACE PER 75 SF	3
LAWN SPACE 1,422 SF	BAR 1 SPACE PER 75 SF	19
EXTERIOR RESTROOMS 96 SF	BAR 1 SPACE PER 75 SF	2
TOTAL		67

BUILDING ENTRANCES

- PUBLIC ENTRANCE/EMERGENCY EXIT
- MAINTENANCE
- EMPLOYEE

OWNER CONTACT
DEBI & BILLY MCGILL
 469.671.1749
 DEBI@MYCMD.COM
 2920 LAVANDA
 GRAND PRARIE, TX 75054



TRUE VICINITY MAP

LEVEL 5
 design group
 architecture interiors planning
 www.level5designgroup.com
 104 S. Main
 Mansfield, TX 76063
 tel: 817.842.0212

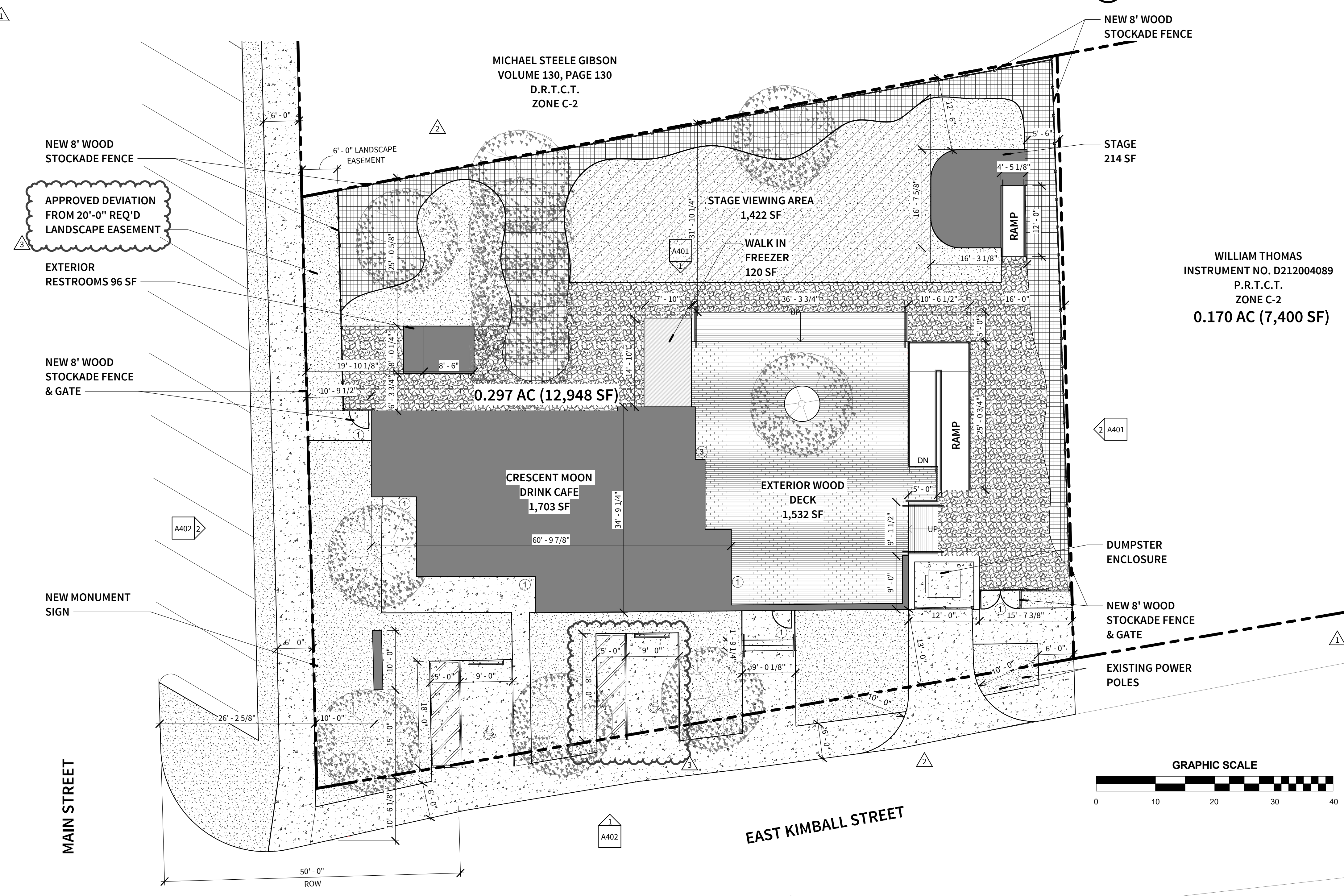
THESE DOCUMENTS ARE FOR REVIEW ONLY AND ARE NOT INTENDED FOR BIDDING, PERMITTING OR CONSTRUCTION PURPOSES
 ARCHITECT:
 JUSTIN S. GILMORE
 LEVEL 5 DESIGN GROUP

PROJECT INFORMATION:
CRESCENT MOON DRINK CAFE
 101 E. KIMBALL ST.
 MANSFIELD, TX 76063

PROJECT NUMBER: 18-16
 ISSUE DATE: 10.01.2018
 REVISIONS:
 ASI #1 10.22.2018
 ASI #2 10.31.2018
 ASI #3 11.29.2018

ZC#18-027
 SHEET NAME:
**EXHIBIT B
 DEVELOPMENT PLAN**

SHEET NUMBER:
A101



MATERIAL LEGEND

[Pattern]	CONCRETE	[Pattern]	WOOD DECK
[Pattern]	GRASS	[Pattern]	DECOMPOSED GRANITE
[Pattern]	MULCH		

PARKING TABULATION

SPACE TYPE	CNT
ACCESSIBLE - 9' x 18'	2
TOTAL	2

THE PROPOSED PLANNED DEVELOPMENT WILL BE IN COMPLETE ACCORDANCE WITH THE PROVISIONS ESTABLISHED BY THE PLANNED DEVELOPMENT PLANS RECORDED HEREUNDER SHALL BE BINDING UPON THE APPLICATION THEREOF, SUCCESSORS AND ASSIGNS, AND SHALL LIMIT AND CONTROL ALL BUILDING PERMITS.

DEVELOPMENT PLAN
 NAME OF DEVELOPMENT
 POSSE CONSTRUCTION LLC D/BA
 MANSFIELD CUSTOM HOMES
 RECORDED PLAT INFORMATION
 VOLUME 63, PAGE 53
 CITY, COUNTY, STATE & DATE OF PREPARATION
 CITY OF MANSFIELD, TARRANT COUNTY, TEXAS
 SEPTEMBER 10, 2018
 ACREAGE AND NUMBER OF LOTS
 0.297 ACRES (12,973 SF)
 PORTION OF BLOCK 5

BUILDING MATERIAL CALC.

TOTAL BUILDING MATERIAL CALCULATION FOR THE MAIN BUILDING	TOTAL BUILDING MATERIAL CALCULATION FOR THE EXTERIOR RESTROOMS
WOOD = 88%	WOOD = 87%
GLASS = 12%	METAL = 13%

MATERIAL CALCULATIONS

MAIN BUILDING	
NORTH FACADE:	SOUTH FACADE:
WOOD = 89%	WOOD = 79%
GLASS = 11%	GLASS = 21%
METAL = 0%	METAL = 0%
MASONRY = 0%	MASONRY = 0%
CMU BLOCK = 0%	CMU BLOCK = 0%
EAST FACADE:	WEST FACADE:
WOOD = 97%	WOOD = 86%
GLASS = 3%	GLASS = 14%
METAL = 0%	METAL = 0%
MASONRY = 0%	MASONRY = 0%
CMU BLOCK = 0%	CMU BLOCK = 0%

MATERIAL CALCULATIONS

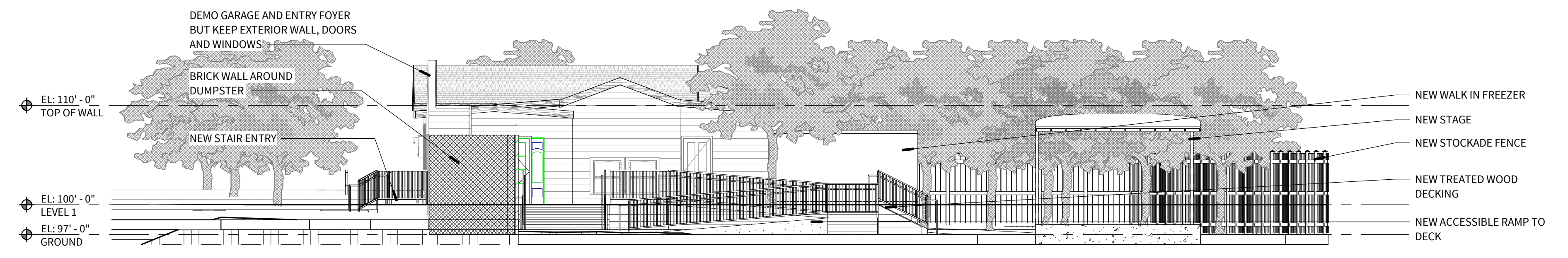
EXTERIOR RESTROOMS	
NORTH FACADE:	SOUTH FACADE:
WOOD = 74%	WOOD = 87%
GLASS = 0%	GLASS = 0%
METAL = 26%	METAL = 13%
MASONRY = 0%	MASONRY = 0%
CMU BLOCK = 0%	CMU BLOCK = 0%
EAST FACADE:	WEST FACADE:
WOOD = 93%	WOOD = 93%
GLASS = 0%	GLASS = 0%
METAL = 7%	METAL = 7%
MASONRY = 0%	MASONRY = 0%
CMU BLOCK = 0%	CMU BLOCK = 0%

ELEVATION LEGEND

	EXISTING COMPOSITE SIDING
	NEW COMPOSITE SIDING
	EXISTING ASPHALT ROOF SHINGLE
	NEW MTL ROOF MATERIAL
	EXISTING WOOD FACIA
	NON COMBUSTIBLE MTL FACIA BOARD
	CONCRETE
	NEW BRICK



1 NORTH ELEVATION
SCALE: 1/8" = 1'-0"



2 EAST ELEVATION
SCALE: 1/8" = 1'-0"



LEVEL 5
design group
architecture interiors planning
www.level5designgroup.com
104 S. Main
Mansfield, TX 76063
tel: 817.842.0212

THESE DOCUMENTS ARE FOR REVIEW ONLY AND ARE NOT INTENDED FOR BIDDING, PERMITTING OR CONSTRUCTION PURPOSES
ARCHITECT: JUSTIN S. GILMORE
LEVEL 5 DESIGN GROUP

PROJECT INFORMATION:

CRESCENT MOON DRINK CAFE

101 E. KIMBALL ST.
MANSFIELD, TX 76063

PROJECT NUMBER:	18-16
ISSUE DATE:	10.01.2018
REVISIONS:	
▲ ASI #1	10.22.2018

▲ ZC#18-027

SHEET NAME:
**EXHIBIT C
EXTERIOR
ELEVATIONS**

SHEET NUMBER:
A401

COPYRIGHT © 2018, LEVEL 5 DESIGN GROUP. EXCEPT AS MAY BE OTHERWISE PROVIDED, THESE DRAWINGS & SPECIFICATIONS ARE PROPERTY OF THE ARCHITECT AND ARE ISSUED IN STRICT CONFIDENCE & SHALL NOT BE MADE AVAILABLE, REPRODUCED, COPIED, USED FOR ANY OTHER INTENDED PURPOSES, OR AS BASIS FOR MANUFACTURE OR SALE OF APPARATUS WITHOUT WRITTEN PERMISSION. COPYRIGHT © 2018, LEVEL 5 DESIGN GROUP

BUILDING MATERIAL CALC.

TOTAL BUILDING MATERIAL CALCULATION FOR THE MAIN BUILDING	TOTAL BUILDING MATERIAL CALCULATION FOR THE EXTERIOR RESTROOMS
WOOD = 88% GLASS = 12%	WOOD = 87% METAL = 13%

MATERIAL CALCULATIONS

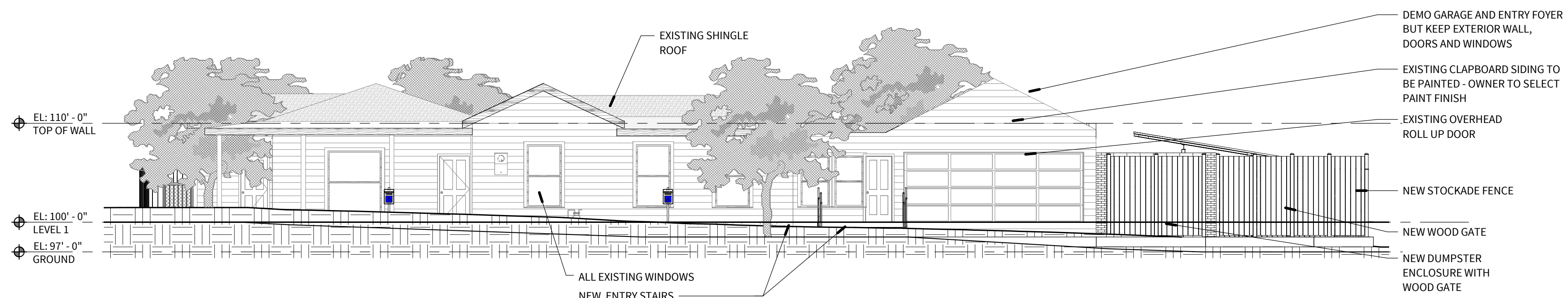
MAIN BUILDING	
NORTH FACADE: WOOD = 89% GLASS = 11% METAL = 0% MASONRY = 0% CMU BLOCK = 0%	SOUTH FACADE: WOOD = 79% GLASS = 21% METAL = 0% MASONRY = 0% CMU BLOCK = 0%
EAST FACADE: WOOD = 97% GLASS = 3% METAL = 0% MASONRY = 0% CMU BLOCK = 0%	WEST FACADE: WOOD = 86% GLASS = 14% METAL = 0% MASONRY = 0% CMU BLOCK = 0%

MATERIAL CALCULATIONS

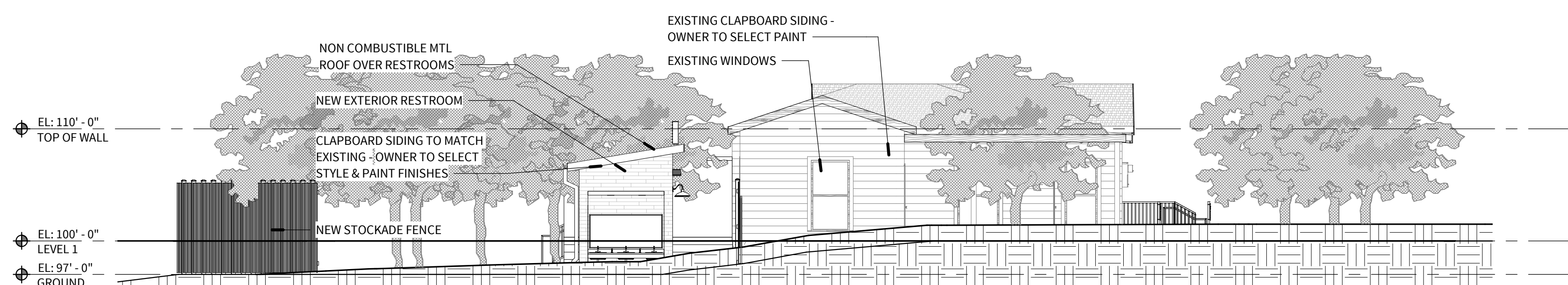
EXTERIOR RESTROOMS	
NORTH FACADE: WOOD = 74% GLASS = 0% METAL = 26% MASONRY = 0% CMU BLOCK = 0%	SOUTH FACADE: WOOD = 87% GLASS = 0% METAL = 13% MASONRY = 0% CMU BLOCK = 0%
EAST FACADE: WOOD = 93% GLASS = 0% METAL = 7% MASONRY = 0% CMU BLOCK = 0%	WEST FACADE: WOOD = 93% GLASS = 0% METAL = 7% MASONRY = 0% CMU BLOCK = 0%

ELEVATION LEGEND

	EXISTING COMPOSITE SIDING
	NEW COMPOSITE SIDING
	EXISTING ASPHALT ROOF SHINGLE
	NEW MTL ROOF MATERIAL
	EXISTING WOOD FACIA
	NON COMBUSTIBLE MTL FACIA BOARD
	CONCRETE
	NEW BRICK



① **SOUTH ELEVATION**
SCALE: 1/8" = 1'-0"



② **WEST ELEVATION**
SCALE: 1/8" = 1'-0"



LEVEL 5
design group
architecture interiors planning
www.level5designgroup.com
104 S. Main
Mansfield, TX 76063
tel: 817.842.0212

THESE DOCUMENTS ARE FOR REVIEW ONLY AND ARE NOT INTENDED FOR BIDDING, PERMITTING OR CONSTRUCTION PURPOSES
ARCHITECT:
JUSTIN S. GILMORE
LEVEL 5 DESIGN GROUP

PROJECT INFORMATION:

CRESCENT MOON DRINK CAFE

101 E. KIMBALL ST.
MANSFIELD, TX 76063

PROJECT NUMBER:	18-16
ISSUE DATE:	10.01.2018
REVISIONS:	
▲ ASI #1	10.22.2018

▲ ZC#18-027

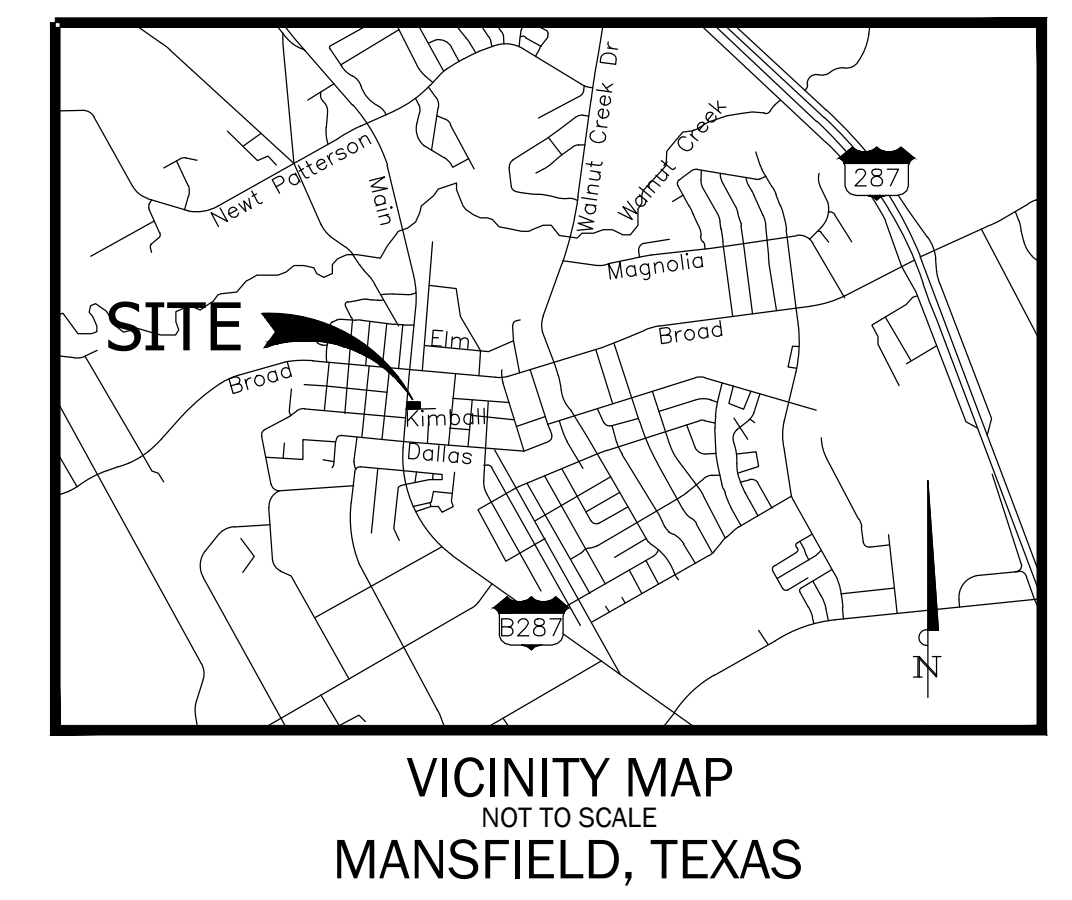
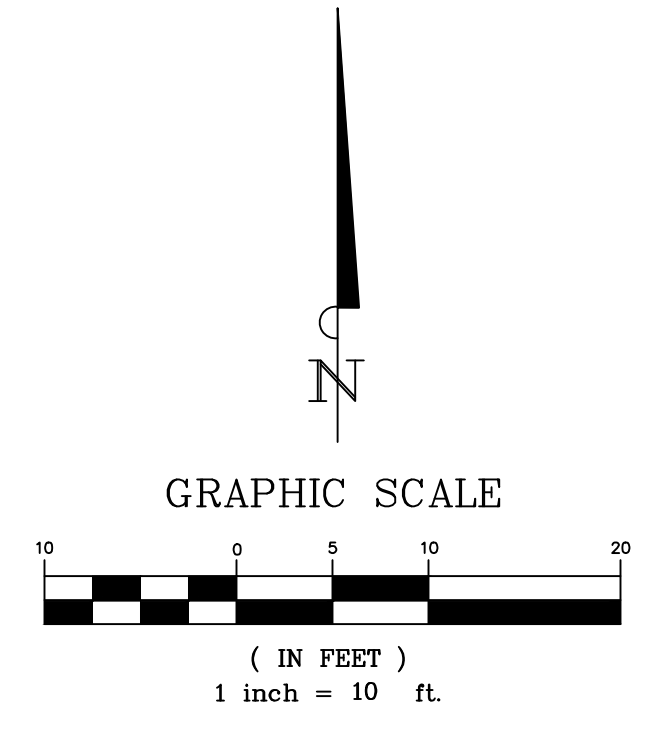
SHEET NAME:
**EXHIBIT C
EXTERIOR
ELEVATIONS**

SHEET NUMBER:
A402
▲ PAGE 2 OF 2

COPYRIGHT © 2018, LEVEL 5 DESIGN GROUP. EXCEPT AS MAY BE OTHERWISE PROVIDED, THESE DRAWINGS & SPECIFICATIONS ARE PROPERTY OF THE ARCHITECT AND ARE ISSUED IN STRICT CONFIDENCE & SHALL NOT BE MADE AVAILABLE, REPRODUCED, COPIED, USED FOR ANY OTHER INTENDED PURPOSES, OR AS BASIS FOR MANUFACTURE OR SALE OF APPARATUS WITHOUT WRITTEN PERMISSION. COPYRIGHT © 2018, LEVEL 5 DESIGN GROUP

File: B:\Clients\052 (Level 5 Design Group - Justin Gimore)\052-18-018 (Crescent Moon Drink Cafe)\Civil\Sheet Set\PL Landscape Plan.dwg || Date Plotted: 11/28/2018 10:52 AM || Plotted By: drew

MICHAEL STEELE GIBSON
VOLUME 130, PAGE 130
D.R.T.C.T.



PLANT_SCHEDULE			
TREES	QTY	BOTANICAL NAME / COMMON NAME	CAL
	11	Existing Tree To Remain	
	7	Ornamental Tree	3.5'
	2	Shade Tree	3.5'
GROUND COVERS			
	PER PLAN	Bermuda Sod	
	PER PLAN	Decomposed Granite	
	PER PLAN	Shrub Bed Area	

SUMMARY CHART - INTERIOR LANDSCAPE			
PARCEL	LOT AREA (IN SQUARE FEET)	LANDSCAPE AREA (IN SQUARE FEET)	% OF LANDSCAPE AREA
LOT 1	REQ'D 12,948	1,295	10%
LOT 1	PROV'D	7,292	56.32%

SUMMARY CHART - BUFFERYARDS / SETBACKS						
PARCEL	LOCATION OF BUFFERYARD OR SETBACK	BUFFERYARD OR SETBACK WIDTH / TYPE	LENGTH (IN FEET)	TREES REQ'D	TREES PROV'D	SCREENING DEVICES
LOT 1	NORTH	10' Bufferyard	130	5	5	8' Wood Stockade Fence
LOT 1	SOUTH	10' Bufferyard	130	5	4	-
LOT 1	EAST	10' Bufferyard	102	4	4	8' Wood Stockade Fence
LOT 1	WEST	10' Bufferyard	100	4	4	Partial 8' Wood Stockade Fence

EAST KIMBALL STREET
(50' R.O.W.)

Exhibit "D"
(Landscape Plan)
for
CRESCENT MOON DRINK CAFE
101 East Kimbal Street,
City of Mansfield
Tarrant County, Texas
Case No. ZC#18-027
Revision Date: 11/28/2018

BANNISTER
ENGINEERING
240 North Mitchell Road | Mansfield, TX 76063 | 817.842.2094 | 817.842.2095 fax
REGISTRATION # F-10599 (TEXAS)

CONTACT: MICHAEL MARTIN, RLA

NOTE

- The property owner, tenant or agent, shall be responsible for the maintenance of all required landscaping in a healthy, neat, orderly and live-growing condition at all times. This shall include mowing, edging, pruning, fertilizing, irrigation, weeding, and other such activities common to the maintenance of landscaping. Landscaped areas shall be kept free of trash, litter, weeds and other such materials not a part of the landscaping. Plant materials that die shall be replaced with plant materials of similar variety and size.
- All areas disturbed by construction shall be fine graded and re-established by sod. These areas shall be irrigated and maintained until permanent stand of grass is achieved with a minimum of 70% coverage. This is to include all areas to the back of curb around the property.

ENGINEER:
BANNISTER ENGINEERING, LLC
DEB & BILLY MCGILL
240 NORTH MITCHELL ROAD
MANSFIELD, TEXAS 76063
(817) 842-2094
CONTACT: MICHAEL MARTIN
EMAIL: MMARTIN@BANNISTERENG.COM

OWNER/DEVELOPER:
DEB & BILLY MCGILL
CRESCENT MOON DRINK CAFE
2920 LAVANDA
GRAND PRAIRIE, TEXAS 75054
PHONE: 469-671-1749

PRELIMINARY FOR REVIEW ONLY
These documents are for Design Review and not intended for Construction, Bidding or Permit Purposes. They were prepared by, or under the supervision of: Drew J. Dubocq
L.A.#3141
11/28/2018