

PROJECT SUMMARY:

Apartments:

Type	Description	Net Area	Priv. Stor./Bldg.	Gross Area	Phase 1	Phase 2	Total
A1	One Bedroom, 1 Bath (1st flr.)	728 s.f.	77 s.f.	805 s.f.	7	7	14
A2	One Bedroom, 1 Bath (2nd & 3rd flr.)	728 s.f.	77 s.f.	805 s.f.	14	14	28
A3	One Bedroom, 1 Bath (1st flr.)	789 s.f.	56 s.f.	845 s.f.	24	24	48
A4	One Bedroom, 1 Bath (1st flr.)	816 s.f.	78 s.f.	894 s.f.	6	6	12
A5	One Bedroom, 1 Bath (2nd & 3rd flr.)	816 s.f.	78 s.f.	894 s.f.	16	16	32
A6	One Bedroom, 1 Bath (H.C. - 1st flr.)	816 s.f.	78 s.f.	894 s.f.	2	2	4
Total One Bedroom Units					69	69	138 Units

Type	Description	Net Area	Priv. Stor./Bldg.	Gross Area	Phase 1	Phase 2	Total
B1	Two Bedroom, 2 Bath (1st flr.)	1,084 s.f.	55 s.f.	1,139 s.f.	6	6	12
B2	Two Bedroom, 2 Bath (2nd & 3rd flr.)	1,084 s.f.	55 s.f.	1,139 s.f.	31	31	62
B3	Two Bedroom, 2 Bath (1st flr.)	1,150 s.f.	85 s.f.	1,235 s.f.	11	11	22
B4	Two Bedroom, 2 Bath (2nd & 3rd flr.)	1,150 s.f.	85 s.f.	1,235 s.f.	24	24	48
B5	Two Bedroom, 2 Bath (H.C. - 1st flr.)	1,150 s.f.	85 s.f.	1,235 s.f.	1	1	2
Total Two Bedroom Units					73	73	146 Units

Type	Description	Net Area	Priv. Stor./Bldg.	Gross Area	Phase 1	Phase 2	Total
C1	Three Bedroom, 2 Bath (1st flr.)	1,409 s.f.	95 s.f.	1,504 s.f.	3	3	6
C2	Three Bedroom, 2 Bath (2nd & 3rd flr.)	1,409 s.f.	95 s.f.	1,504 s.f.	8	8	16
C3	Three Bedroom, 2 Bath (H.C. - 1st flr.)	1,420 s.f.	84 s.f.	1,504 s.f.	1	1	2
Total Three Bedroom Units					12	12	24 Units

Apartment Total

Unit Density (units/acre) = 308 units / 17.20 acres = 154 units/acre

Phase 1 Apartment Area

Phase 2 Apartment Area

Total Apartment Area

Amenity Center - Phase 1

Amenity Center - Phase 2

Total Project Area

PARKING SUMMARY:

Parking Required:

2 cars / unit for just 50 units

1.75 cars / unit for 104 remaining units

Total Parking Required

Parking Provided Phase 1:

Detached Garages

Carports

Open Parking (Secured)

Total Parking (Secured)

Amenity Center Parking (Non-Secured)

Total Phase 1 Parking Provided

Parking Provided Phase 2:

Detached Garages

Carports

Open Parking (Secured)

Total Parking (Secured)

Total Project Parking Provided

BUILDINGS:

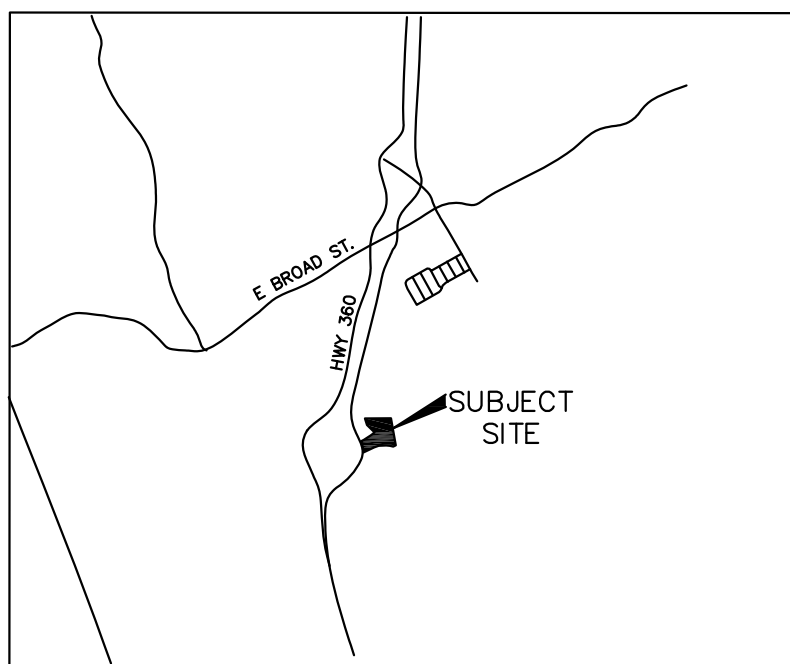
Type	Bldg. #	1st Floor	2nd Floor	3rd Floor	Total Bldg.	Quantity	Total
Building Type #1	1 & 10	12,664 s.f.	12,606 s.f.	12,277 s.f.	37,547 s.f.	2	75,094 s.f.
Building Type #2	3, 4, 11 & 13	14,958 s.f.	14,898 s.f.	14,546 s.f.	44,502 s.f.	4	178,008 s.f.
Building Type #3	5 & 9	14,958 s.f.	14,898 s.f.	13,440 s.f.	43,296 s.f.	2	86,592 s.f.
Building Type #4	2 & 12	15,533 s.f.	15,490 s.f.	15,238 s.f.	46,261 s.f.	2	92,522 s.f.
Amenity Center #1	6	7,463 s.f.			7,463 s.f.	1	7,463 s.f.
Amenity Center #2	15	3,017 s.f.			3,017 s.f.	1	3,017 s.f.
Garages	7 & 14	765 s.f.			765 s.f.	2	1,530 s.f.
Grill House	8	831 s.f.			831 s.f.	1	831 s.f.
Total Project Floor Area							445,057 s.f.
Site Area							749,232 s.f.
Floor Area Ratio							0.593867

NOTES

- THIS PLANNED DEVELOPMENT WILL ALLOW ALL USES ACCEPTABLE TO MF-2 ZONING. THE BUILDING HEIGHT IS MODIFIED FROM MF-2 TO ALLOW THREE STORY BUILDINGS.
- THE ORNAMENTAL METAL FENCING ALONG THE EASTERN PORTION OF THE PROPERTY IS MODIFIED FROM THE SOLID SCREENING WALL OF THE ZONING ORDINANCE.
- THE COVERED PARKING STRUCTURES (CARPORTS) WILL BE EXCLUDED FROM THE 80% MASONRY REQUIREMENT.
- THE SIGN ORDINANCE IS TO BE MODIFIED TO ALLOW A SIGN WIDTH OF 16' FROM A MAXIMUM OF (10) TEN FEET AS DESIGNATED IN TABLE 7100D IN THE ZONING ORDINANCE.
- ALL SIDEWALKS SHOWN ARE CONCRETE AND ARE 4' IN WIDTH.
- ALL DRIVES SHOWN ARE CONCRETE WITH A 24' FIRELANE WIDTH. ALL INSIDE FIRELANE RADII = 28' (UNLESS OTHERWISE NOTED).
- ALL SURFACE PARKING SPACES ARE 9'x16' WITH A 2' VEHICULAR OVERHANG ALLOWANCE.
- ALL ABOVEGROUND ELECTRICAL APPURTENANCES AND AC CONDENSERS ARE TO BE PROPERLY SCREENED ACCORDING TO THE SCREENING ORDINANCE.
- THE PUBLIC ACCESS AND UTILITY EASEMENTS IS FOR THE USE OF THE 17.17 ACRE EXISTING MULTIFAMILY DEVELOPMENT (UNDER CONSTRUCTION) TO THE NORTHEAST, THE UNDEVELOPED COMMERCIAL TRACT TO THE NORTH, THE UNDEVELOPED COMMERCIAL TRACT TO THE SOUTH, AND THE 17.20 ACRE PROPOSED MULTIFAMILY TRACT TO THE SOUTHEAST. NO IMPROVEMENTS SHALL BE MADE THAT IMPEDE INGRESS AND EGRESS ALONG THIS EASEMENT.
- THE PUBLIC ACCESS AND UTILITY EASEMENTS SHALL BE MAINTAINED BY THE PROPERTY OWNERS.
- THE PROPOSED DEVELOPMENT WILL BE IN COMPLETE ACCORDANCE WITH THE PROVISIONS OF THE APPROVED PLANNING DEVELOPMENT DISTRICT AND ALL DEVELOPMENT PLANS RECORDED HEREUNDER SHALL BE BINDING UPON THE APPLICANT THEREOF, HIS SUCCESSORS AND ASSIGNS, AND SHALL LIMIT AND CONTROL ALL BUILDING PERMITS.

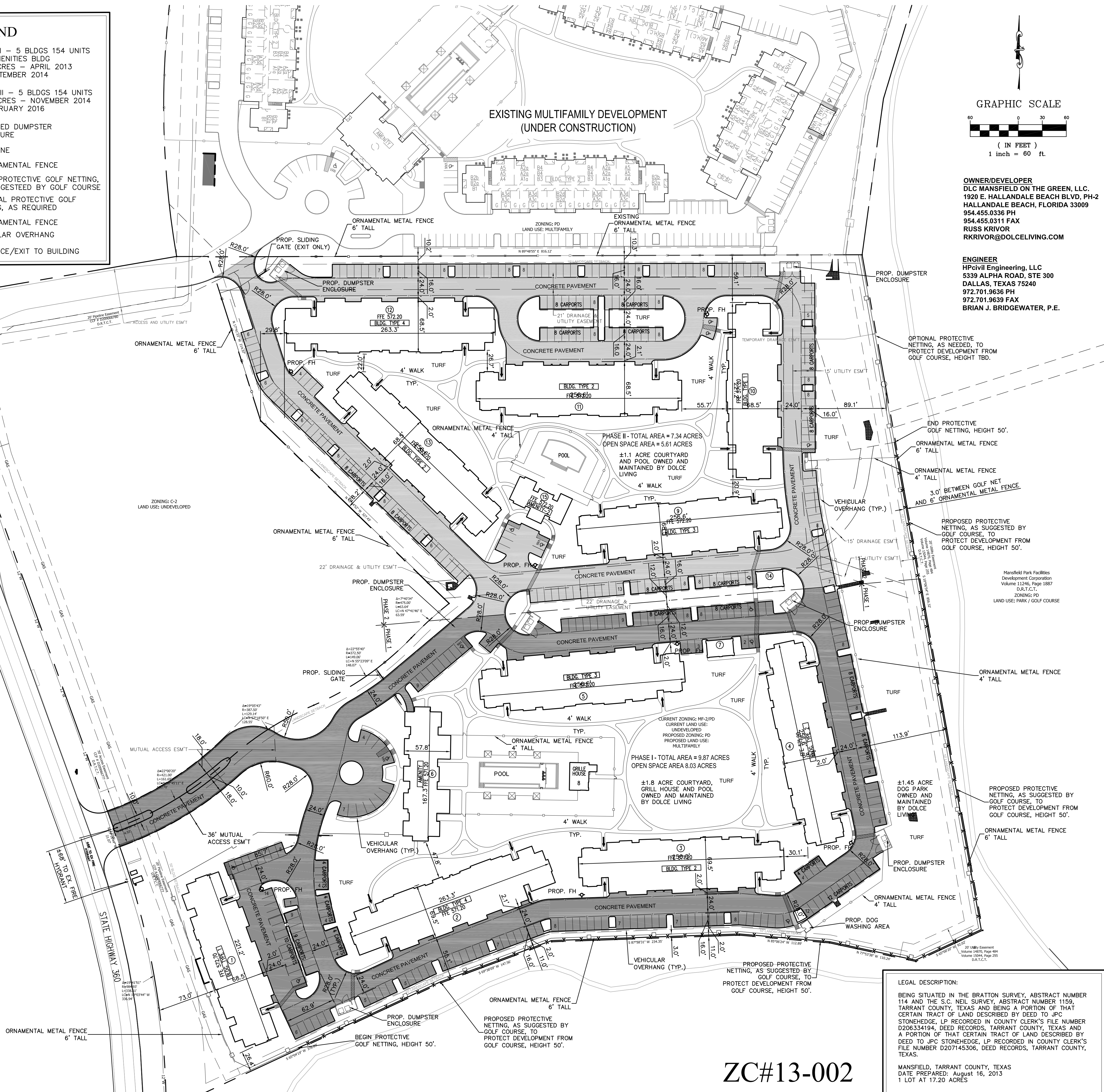
INTERIOR UNIT FINISHES:

- All unit appliances to have stainless steel fronts.
- All unit bathrooms to have ceramic tile flooring.
- All unit kitchen, bathroom, and desk countertops to be polished granite.

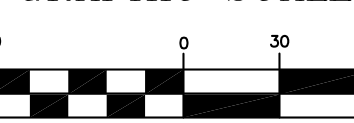
VICINITY MAP
N.T.S.

LEGEND

- PHASE I - 5 BLDGS 154 UNITS AND AMENITIES BLDG 9.87 ACRES - APRIL 2013 TO SEPTEMBER 2014
- PHASE II - 5 BLDGS 154 UNITS 7.34 ACRES - NOVEMBER 2014 TO FEBRUARY 2016
- SCREENED DUMPSTER ENCLOSURE
- FIRE LANE
- 6' ORNAMENTAL FENCE
- PROP. PROTECTIVE GOLF NETTING, AS SUGGESTED BY GOLF COURSE
- OPTIONAL PROTECTIVE GOLF NETTING, AS REQUIRED
- 4' ORNAMENTAL FENCE
- VEHICULAR OVERHANG
- ENTRANCE/EXIT TO BUILDING



GRAPHIC SCALE

(IN FEET)
1 inch = 60 ft.

OWNER/DEVELOPER
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Engineer of Record:	<u>BJB</u>
Drawn by:	<u>JTP</u>
Date Plotted:	<u>8/16/2013</u>
<hr/>	
Issue for Pricing / Bidding:	<u>XX/XX/XXXX</u>
Issue for Permit Application:	<u>XX/XX/XXXX</u>
Issue for Construction:	<u>XX/XX/XXXX</u>
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Revisions:	
DATE	COMMENTS

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DEVELOPMENT PLAN
DOLCE LIVING @ MANSFIELD ON THE GREEN
CITY OF MANSFIELD, TARRANT COUNTY, TEXAS

PRELIMINARY
[NOT FOR CONSTRUCTION]
THIS DRAWING IS RELEASED FOR THE PURPOSE OF SCHEMATIC REVIEW ONLY AND IS NOT INTENDED FOR PERMITTING, BIDDING, OR CONSTRUCTION PURPOSES.

THESE PLANS WERE PREPARED UNDER THE DIRECT SUPERVISION OF BRIAN J. BRIDGEWATER, P.E. TEXAS REG. #99334
DATE: 8/16/2013

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SHEET CONTENTS:
SITE PLAN

SHEET NO.

EX B

HPCE #12-591

ZC#13-002