



**FIELD NOTE DESCRIPTION  
OF A 10.00 ACRE TRACT OF LAND  
SITUATED IN THE JACOB BACK SURVEY, ABSTRACT NO. 126,  
CITY OF MANSFIELD, TARRANT COUNTY, TEXAS**

BEING A 10.00 ACRE TRACT OF LAND SITUATED IN THE JACOB BACK SURVEY, ABSTRACT NUMBER 126, CITY OF MANSFIELD, TARRANT COUNTY, TEXAS, BEING ALL OF A CALLED 10.00 ACRE TRACT OF LAND DESCRIBED IN A SPECIAL WARRANTY DEED WITH VENDOR'S LIEN TO CWA VISTAS, LP, RECORDED IN INSTRUMENT NUMBER D214180890, OFFICIAL PUBLIC RECORDS OF TARRANT COUNTY, TEXAS, (O.P.R.T.C.T.), SAID 10.00 ACRE TRACT OF LAND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

**BEGINNING** AT A 1/2-INCH IRON ROD WITH CAP (NOT LEGIBLE) FOUND FOR THE WEST END OF A CORNER CLIP AT THE INTERSECTION OF THE EASTERLY RIGHT-OF-WAY LINE OF CANNON STREET, (A VARIABLE WIDTH PUBLIC RIGHT-OF-WAY), WITH THE NORTHWESTERLY RIGHT-OF-WAY LINE OF BROAD STREET, (A VARIABLE WIDTH PUBLIC RIGHT-OF-WAY);

**THENCE**, ALONG THE EASTERLY RIGHT-OF-WAY LINE OF SAID CANNON STREET, THE FOLLOWING CALLS:

1. NORTH 31°21'15" WEST, A DISTANCE OF 144.93 FEET TO A 5/8-INCH IRON ROD WITH YELLOW PLASTIC CAP STAMPED "STANTEC" SET FOR THE POINT OF CURVATURE OF A CURVE TO THE RIGHT HAVING A RADIUS OF 415.00 FEET, AND FROM WHICH A 1/2-INCH IRON ROD FOUND BEARS SOUTH 04°45'11" WEST, A DISTANCE OF 0.73 FEET;
2. NORTHWESTERLY WITH SAID CURVE TO THE RIGHT THROUGH A CENTRAL ANGLE OF 19°41'28" FOR AN ARC LENGTH OF 142.62 FEET, A CHORD BEARING OF NORTH 21°30'31" WEST AND A CHORD DISTANCE OF 141.92 FEET TO A POINT FOR CORNER AND FROM WHICH A 1/2-INCH IRON ROD WITH CAP STAMPED "BRITAIN & CRAWFORD" BEARS SOUTH 02°41'38" WEST, A DISTANCE OF 0.39 FEET;
3. NORTH 01°10'52" EAST, A DISTANCE OF 50.00 FEET TO A 1/2-INCH IRON ROD FOUND FOR THE SOUTHEAST CORNER OF A 10.3-FOOT RIGHT-OF-WAY DEDICATION CREATED BY WALNUT RIDGE ADDITION, AN ADDITION TO THE CITY OF MANSFIELD, TARRANT COUNTY, TEXAS ACCORDING TO THE PLAT THEREOF RECORDED IN INSTRUMENT NUMBER D206262956, O.P.R.T.C.T.;

**THENCE**, NORTH 02°57'26" EAST ALONG THE EAST LINE OF SAID RIGHT-OF-WAY DEDICATION, AT A DISTANCE OF 10.31 FEET PASSING THE SOUTHERLY SOUTHEAST CORNER OF LOT 1, BLOCK 1 OF SAID WALNUT RIDGE ADDITION, CONTINUING ALONG AN EASTERLY LINE OF SAID LOT 1, BLOCK 1 AND THE WEST LINE OF SAID 10.00 ACRE TRACT OF LAND, IN ALL FOR A TOTAL DISTANCE OF 475.92 FEET TO A 1/2-INCH IRON ROD FOUND FOR THE NORTHWEST CORNER OF SAID 10.00 ACRE TRACT OF LAND, SAME BEING AN ANGLE POINT IN A SOUTHERLY LINE OF SAID LOT 1, BLOCK 1;

**THENCE**, SOUTH 87°02'34" EAST ALONG THE COMMON LINE OF SAID 10.00 ACRE TRACT OF LAND AND SAID LOT 1, BLOCK 1, A DISTANCE OF 779.63 FEET TO A CUT "X" SET FOR THE NORTHEAST CORNER OF SAID 10.00 ACRE TRACT OF LAND, SAME BEING THE EASTERLY SOUTHEAST CORNER OF SAID LOT 1, BLOCK 1 AND BEING IN THE NORTHWESTERLY RIGHT-OF-WAY LINE OF STATE HIGHWAY 360, (A VARIABLE WIDTH PUBLIC RIGHT-OF-WAY);

**THENCE**, ALONG THE WESTERLY RIGHT-OF-WAY LINE OF SAID STATE HIGHWAY 360, AND THE EASTERLY LINE OF SAID 10.00 ACRE TRACT OF LAND, THE FOLLOWING CALLS:

1. SOUTH 20°12'26" WEST, A DISTANCE OF 158.23 FEET TO A 5/8-INCH IRON ROD WITH YELLOW PLASTIC CAP STAMPED "STANTEC" SET FOR CORNER;



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2. SOUTH 12°39'50" WEST, A DISTANCE OF 168.69 FEET TO A 5/8-INCH IRON ROD WITH YELLOW PLASTIC CAP STAMPED "STANTEC" SET FOR CORNER;
3. SOUTH 50°58'03" WEST, A DISTANCE OF 161.89 FEET TO A POINT FOR CORNER, AND FROM WHICH A 1/2-INCH IRON ROD FOUND BEARS SOUTH 69°15'45" EAST, A DISTANCE OF 0.39 FEET;
4. SOUTH 12°03'34" WEST, A DISTANCE OF 31.43 FEET TO A 5/8-INCH IRON ROD WITH YELLOW PLASTIC CAP STAMPED "STANTEC" SET FOR CORNER;
5. SOUTH 10°52'35" WEST, A DISTANCE OF 51.24 FEET TO A 5/8-INCH IRON ROD WITH YELLOW PLASTIC CAP STAMPED "STANTEC" SET FOR CORNER;
6. SOUTH 11°30'42" WEST, A DISTANCE OF 13.24 FEET TO A 5/8-INCH IRON ROD WITH YELLOW PLASTIC CAP STAMPED "STANTEC" SET FOR THE POINT OF INTERSECTION OF THE WESTERLY RIGHT-OF-WAY LINE OF SAID STATE HIGHWAY 360, WITH THE NORTHWESTERLY RIGHT-OF-WAY LINE OF SAID BROAD STREET;

**THENCE**, ALONG THE NORTHWESTERLY RIGHT-OF-WAY LINE OF SAID BROAD STREET, THE FOLLOWING CALLS:

1. SOUTH 61°06'28" WEST A DISTANCE OF 477.96 FEET TO A 5/8-INCH IRON ROD WITH YELLOW PLASTIC CAP STAMPED "STANTEC" SET FOR THE POINT OF CURVATURE OF A CURVE TO THE RIGHT HAVING A RADIUS POINT WHICH BEARS NORTH 29°17'59" WEST, A DISTANCE OF 1,260.00 FEET, AND FROM WHICH A 1/2-INCH IRON ROD FOUND BEARS SOUTH 21°36'57" WEST, A DISTANCE OF 1.37 FEET;
2. SOUTHWESTERLY WITH SAID CURVE TO THE RIGHT THROUGH A CENTRAL ANGLE OF 00°24'27" FOR AN ARC LENGTH OF 8.96 FEET, A CHORD BEARING OF SOUTH 60°54'14" WEST AND A CHORD DISTANCE OF 8.96 FEET TO A 5/8-INCH IRON ROD WITH YELLOW PLASTIC CAP STAMPED "STANTEC" SET FOR THE EAST END OF THE AFOREMENTIONED CORNER CLIP, AND FROM WHICH A 1/2-INCH IRON ROD FOUND BEARS SOUTH 17°29'46" WEST, A DISTANCE OF 1.1 FEET;

**THENCE**, NORTH 76°10'07" WEST, ALONG SAID CORNER CLIP, A DISTANCE OF 14.59 FEET TO THE POINT OF BEGINNING;

CONTAINING A COMPUTED AREA OF 435,550 SQUARE FEET OR 10.00 ACRES OF LAND.

NOTE:

THE BEARINGS CALLED FOR HEREIN ARE REFERENCED TO THE TEXAS STATE PLANE COORDINATE SYSTEM (NORTH CENTRAL ZONE, NAD 83) BASED ON LEICA GEOSYSTEMS NORTH TEXAS SMARTNET NETWORK, DISTANCES ADJUSTED TO SURFACE USING AN AVERAGE COMBINED SCALE FACTOR OF 0.999880014.

  
MICHAEL J. MURPHY  
REGISTERED PROFESSIONAL  
LAND SURVEYOR NO. 5724

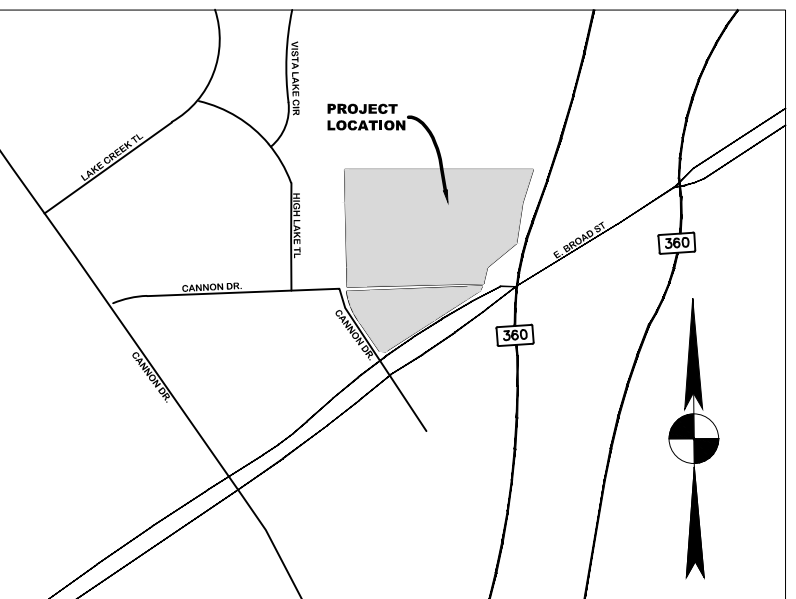
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DATE



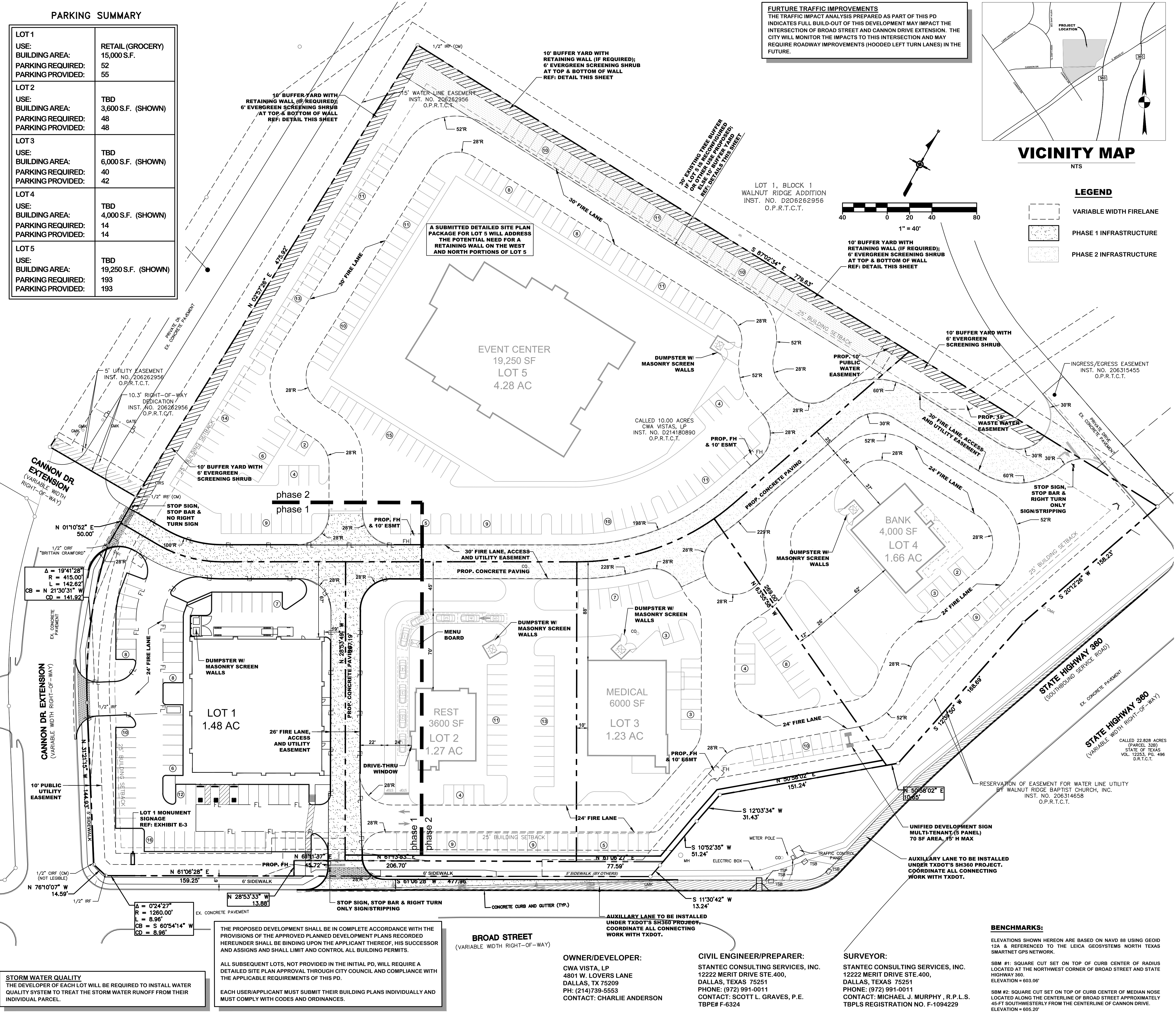
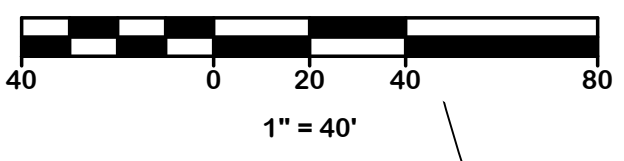
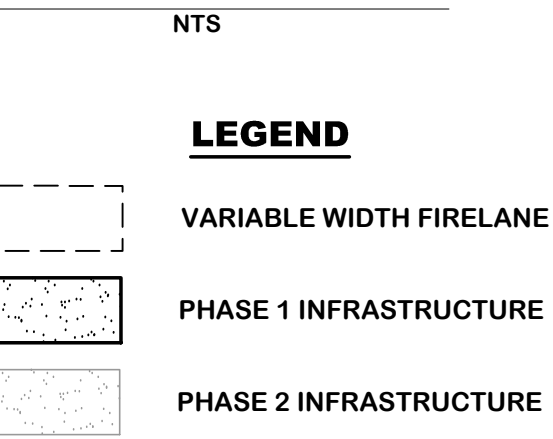
**PARKING SUMMARY**

<b>LOT 1</b>	<b>USE:</b> RETAIL (GROCERY)	<b>15,000 S.F.</b>
<b>BUILDING AREA:</b>	<b>52</b>	<b>55</b>
<b>PARKING REQUIRED:</b>		
<b>PARKING PROVIDED:</b>		
<b>LOT 2</b>	<b>USE:</b> TBD	<b>3,600 S.F. (SHOWN)</b>
<b>BUILDING AREA:</b>	<b>48</b>	<b>48</b>
<b>PARKING REQUIRED:</b>		
<b>PARKING PROVIDED:</b>		
<b>LOT 3</b>	<b>USE:</b> TBD	<b>6,000 S.F. (SHOWN)</b>
<b>BUILDING AREA:</b>	<b>40</b>	<b>42</b>
<b>PARKING REQUIRED:</b>		
<b>PARKING PROVIDED:</b>		
<b>LOT 4</b>	<b>USE:</b> TBD	<b>4,000 S.F. (SHOWN)</b>
<b>BUILDING AREA:</b>	<b>14</b>	<b>14</b>
<b>PARKING REQUIRED:</b>		
<b>PARKING PROVIDED:</b>		
<b>LOT 5</b>	<b>USE:</b> TBD	<b>19,250 S.F. (SHOWN)</b>
<b>BUILDING AREA:</b>	<b>193</b>	<b>193</b>
<b>PARKING REQUIRED:</b>		
<b>PARKING PROVIDED:</b>		

**FUTURE TRAFFIC IMPROVEMENTS**  
THE TRAFFIC IMPACT ANALYSIS PREPARED AS PART OF THIS PD INDICATES FULL BUILD-OUT OF THIS DEVELOPMENT MAY IMPACT THE INTERSECTION OF BROAD STREET AND CANNON DRIVE EXTENSION. THE CITY WILL MONITOR THE IMPACTS TO THIS INTERSECTION AND MAY REQUIRE ROADWAY IMPROVEMENTS (HOODED LEFT TURN LANES) IN THE FUTURE.



**VICINITY MAP**



**OWNERS MAINTENANCE AGREEMENT:**  
THE MAINTENANCE OF THE SHARED ACCESS EASEMENTS, SHARED PARKING AREAS AND DEVELOPMENT SIGNAGE SHALL BE GOVERNED BY A RESTRICTIVE COVENANT AGREEMENT AND THE AGREEMENT SHALL BE FILED OF RECORD WITH TARRANT COUNTY.

**DEVELOPMENT SCHEDULE**  
PHASE 1: LOT 1 HAS AN ANTICIPATED CONSTRUCTION START FOR THE THIRD QUARTER OF 2017 WITH AN ANTICIPATED COMPLETION OF SECOND QUARTER 2018. PHASE 2: LOT 2, 3, 4, AND 5 ARE CONTINGENT ON THE POTENTIAL TENANTS AND FUTURE DEMANDS.

**DEVELOPMENT DESCRIPTION:**  
VISTAS OF WALNUT RIDGE IS A 10-ACRE PLANNED DEVELOPMENT DISTRICT WITH MIXED USES THAT ARE OF CITY-WIDE AND REGIONAL SIGNIFICANCE. THIS DISTRICT SHALL BE SUBJECT TO THE DEVELOPMENT STANDARDS AND PERMITTED LAND USES, REQUIREMENTS, SCREENING AND RESTRICTIONS PERTAINING TO C-2 COMMUNITY BUSINESS DISTRICT AS DESCRIBED IN THE CITY OF MANSFIELD ZONING ORDINANCE AND AS AMENDED BY GRANTING THIS ZONING CHANGE AND ALL DEVELOPMENT PLANS RECORDED HEREUNDER.

ALL EXTERIOR SITE LIGHTING SHALL BE A MAXIMUM OF 0.3 FC AT THE PROPERTY LINE, EXCEPT MAXIMUM 0.0 FC AT GRADE IF ADJACENT TO RESIDENTIAL. SITE LIGHTING SHALL COMPLY WITH CITY OF MANSFIELD SITE LIGHTING REQUIREMENTS AND SHALL NOT EXCEED 20' 0" ABOVE GRADE, WITHIN 50' OF THE WEST PROPERTY LINE; 30' ABOVE GRADE ELSEWHERE ON SITE AND ALL SITE LIGHTING MUST BE FULL CUT OFF WITH DARK BRONZE FINISH POLES AND FIXTURES.

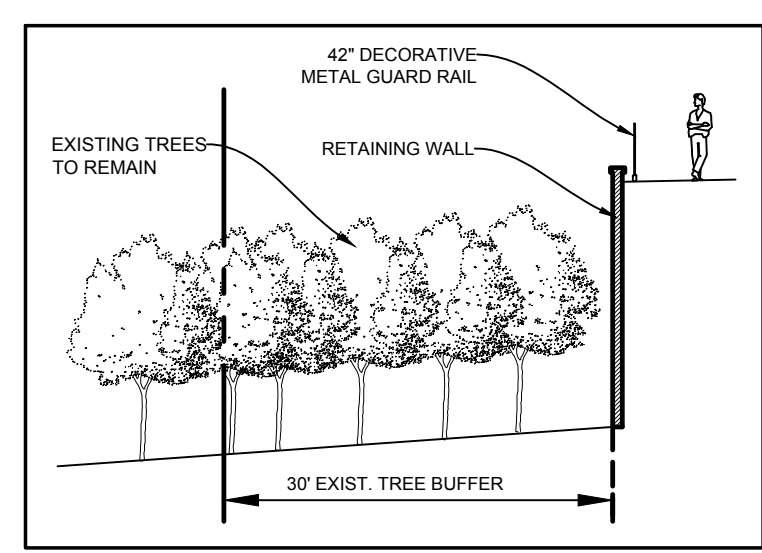
BUILDINGS SHALL INCORPORATE DETAILING SUCH AS CORNICES, ACCENTS OR TRIMS, FEATURE TOWERS AND ARCHITECTURAL ELEMENTS ARE ENCOURAGED.

BUILDINGS SHALL COMPLY WITH HEIGHTS AND SETBACKS AS SET FORTH IN SECTION 4500 OF THE CURRENT CITY OF MANSFIELD ZONING ORDINANCE FOR C-2 DEVELOPMENT DISTRICT. FOR LOT 5, MAXIMUM BUILDING HEIGHT SHALL NOT EXCEED 30' WITHIN 75' OF THE WEST PROPERTY LINE.

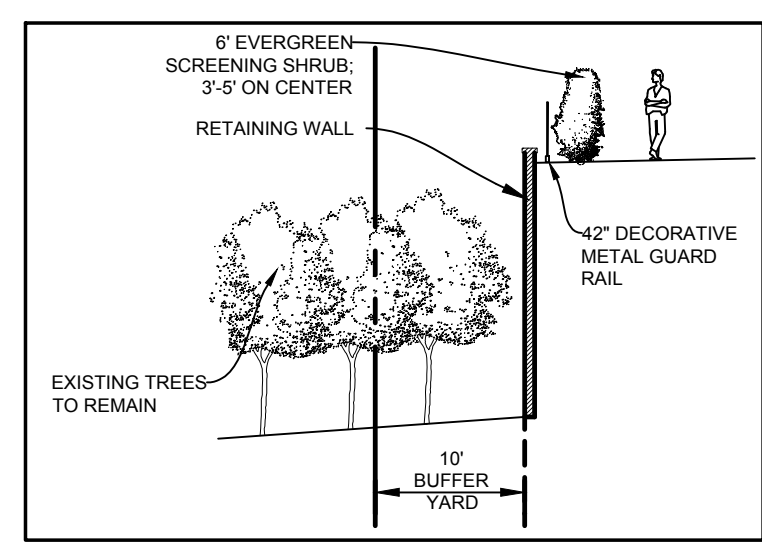
DEVELOPMENT SHALL COMPLY, EXCEPT AS PROVIDED, WITH SECTIONS 7100 SIGN STANDARDS AND 7300 LANDSCAPE AND SCREENING STANDARDS.

ALL PAVING, PARKING AND SIDEWALKS SHALL BE CONSTRUCTED OF CONCRETE. DECORATIVE PAVING TREATMENTS SHALL BE CONSTRUCTED OF ANY OF THE FOLLOWING TREATMENTS: PAVERS, AND/OR BRICKS.

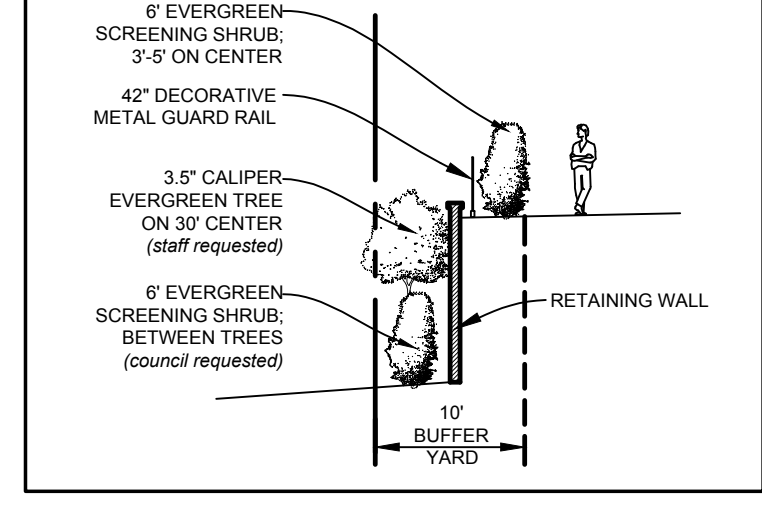
PERMITTED USES IN THIS PLANNED DEVELOPMENT WILL INCLUDE THOSE PERMITTED IN THE C-2 ZONING UNDER SECTION 4400 OF THE ZONING ORDINANCE. USES THAT REQUIRE A SPECIFIC USE PERMIT ARE NOT INCLUDED AND WILL REQUIRE A FUTURE APPLICATION FOR A SPECIFIC USE PERMIT.



**PROPERTY LINE SCREENING**  
(NORTH - LOT 5 RECONFIGURED OR OTHER USE)



**PROPERTY LINE SCREENING**  
(NORTH - AS SUBMITTED)



**PROPERTY LINE SCREENING**  
(WEST PROPERTY LINE)

**DEVELOPMENT PLAN**  
**VISTAS OF WALNUT RIDGE**

**5 LOTS BEING**  
**10.00 ACRES SITUATED IN THE**  
**J BACK SURVEY, ABSTRACT NO. 126**  
**CITY OF MANSFIELD**  
**TARRANT COUNTY, TEXAS**  
**APRIL 2017**



**DEVELOPMENT PLAN**  
**VISTAS OF WALNUT RIDGE**  
Case No. **ZC #16-024**  
CW VISTAS LP  
**TARRANT COUNTY**  
**CITY OF MANSFIELD, TEXAS**  
**EXHIBIT B**

Project Number: 222210621

VACWCJ	SLG	SLG	04/05/2017
Dwn.	Chkd.	Dsgn.	Date

SHEET **PD-1**

**STORM WATER QUALITY**  
THE DEVELOPER OF EACH LOT WILL BE REQUIRED TO INSTALL WATER QUALITY SYSTEM TO TREAT THE STORM WATER RUNOFF FROM THEIR INDIVIDUAL PARCEL.

THE PROPOSED DEVELOPMENT SHALL BE IN COMPLETE ACCORDANCE WITH THE PROVISIONS OF THE APPROVED PLANNED DEVELOPMENT PLANS RECORDED HEREUNDER SHALL BE BINDING UPON THE APPLICANT THEREOF, HIS SUCCESSOR AND ASSIGNS AND SHALL LIMIT AND CONTROL ALL BUILDING PERMITS.

ALL SUBSEQUENT LOTS, NOT PROVIDED IN THE INITIAL PD, WILL REQUIRE A DETAILED SITE PLAN APPROVAL THROUGH CITY COUNCIL AND COMPLIANCE WITH THE APPLICABLE REQUIREMENTS OF THIS PD.

EACH USER/APPLICANT MUST SUBMIT THEIR BUILDING PLANS INDIVIDUALLY AND MUST COMPLY WITH CODES AND ORDINANCES.

**BROAD STREET**  
(VARIABLE WIDTH RIGHT-OF-WAY)

**OWNER/DEVELOPER:**  
CWA VISTA, LP  
4801 W. LOVERS LANE  
DALLAS, TX 75209  
PH: (214) 739-5553  
CONTACT: CHARLIE ANDERSON

**CIVIL ENGINEER/PREPARER:**  
STANTEC CONSULTING SERVICES, INC.  
12222 MERIT DRIVE STE. 400,  
DALLAS, TEXAS 75251  
PHONE: (972) 991-0011  
CONTACT: SCOTT L. GRAVES, P.E.  
TBP# F-6324

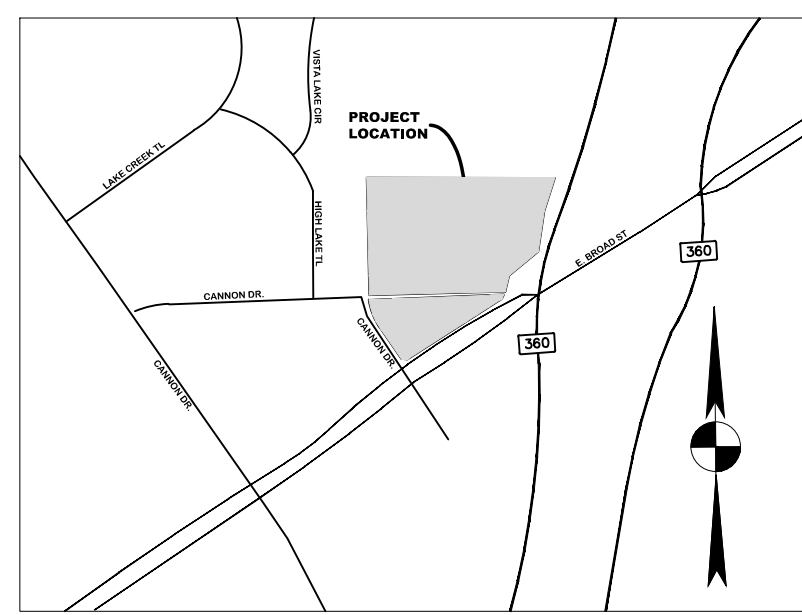
**SURVEYOR:**  
STANTEC CONSULTING SERVICES, INC.  
12222 MERIT DRIVE STE. 400,  
DALLAS, TEXAS 75251  
PHONE: (972) 991-0011  
CONTACT: MICHAEL J. MURPHY, R.P.L.S.  
TBP# F-1094229

**BENCHMARKS:**  
ELEVATIONS SHOWN HEREON ARE BASED ON NAVD 88 USING GEOID 12A & REFERENCED TO THE LEICA GEOSYSTEMS NORTH TEXAS SMARTNET GPS NETWORK.

SBM #1: SQUARE CUT SET ON TOP OF CURB CENTER OF RADIIUS LOCATED AT THE NORTHWEST CORNER OF BROAD STREET AND STATE HIGHWAY 360.  
ELEVATION = 603.06'

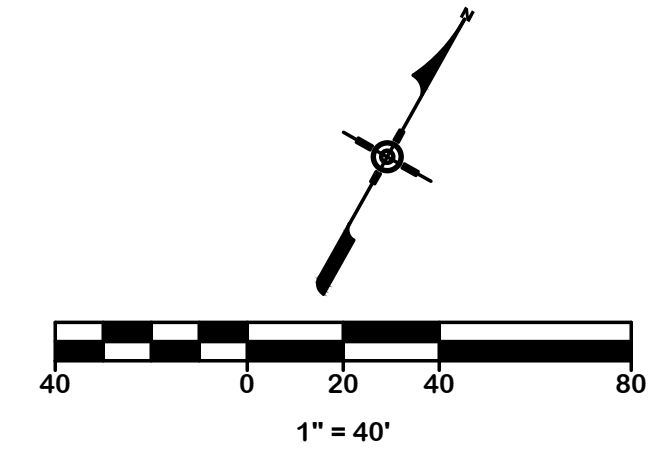
SBM #2: SQUARE CUT SET ON TOP OF CURB CENTER OF MEDIAN NOSE LOCATED ALONG THE CENTERLINE OF BROAD STREET APPROXIMATELY 45-FT SOUTHWESTERLY FROM THE CENTERLINE OF CANNON DRIVE.  
ELEVATION = 605.20'

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2017/04/05 2:08 PM By: Greene, Scott



**VICINITY MAP**  
NTS

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- LEGEND**
- VARIABLE WIDTH FIRELANE
  - PHASE 1 INFRASTRUCTURE
  - PHASE 2 INFRASTRUCTURE
  - EXISTING WATER LINE
  - PROPOSED WATER LINE
  - EXISTING WASTEWATER LINE
  - PROPOSED WASTEWATER LINE
  - PROPOSED GAS LINE
  - PROPOSED ELECTRIC LINE
  - PROPOSED TELEPHONE LINE

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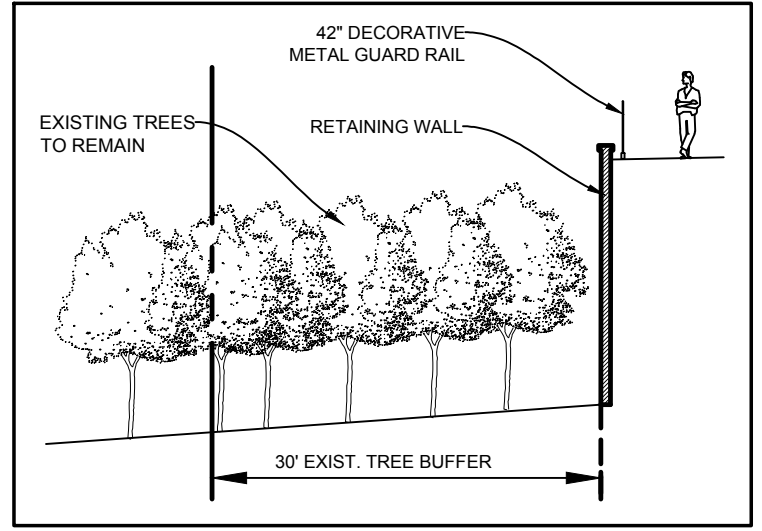
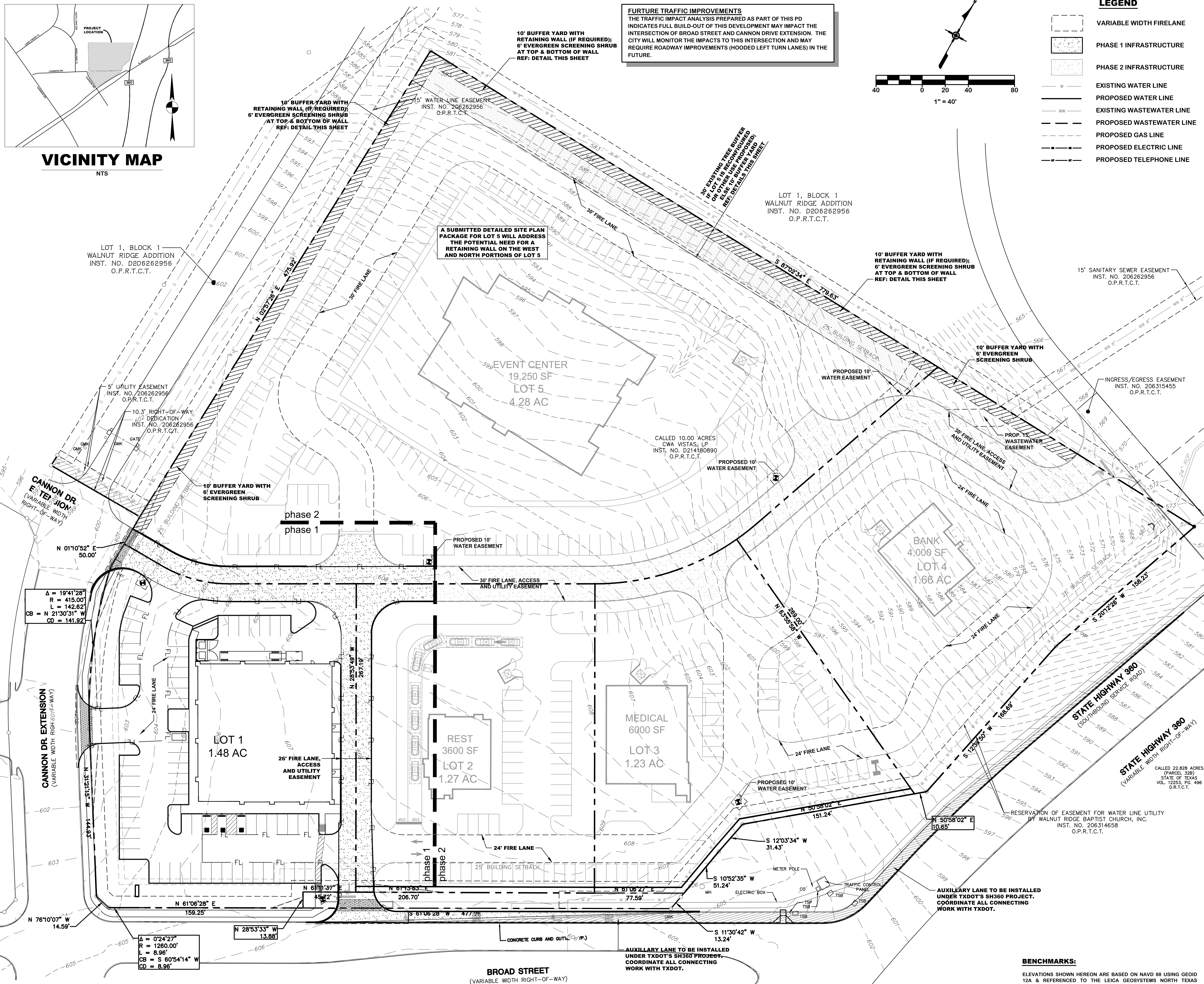
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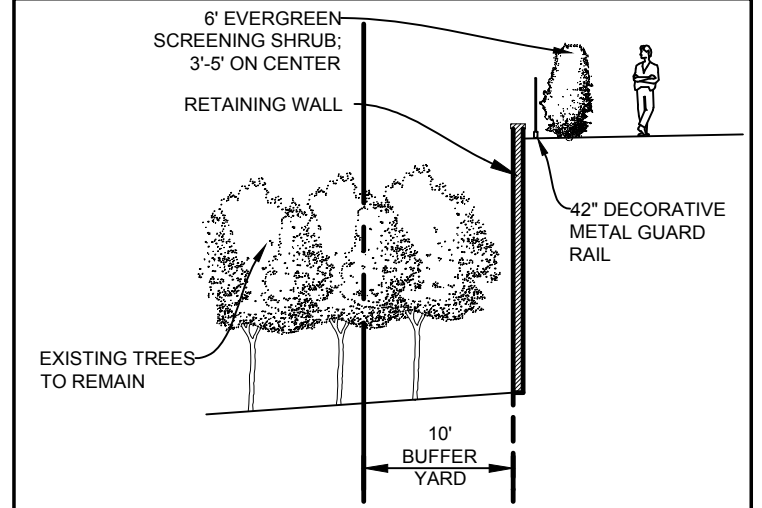
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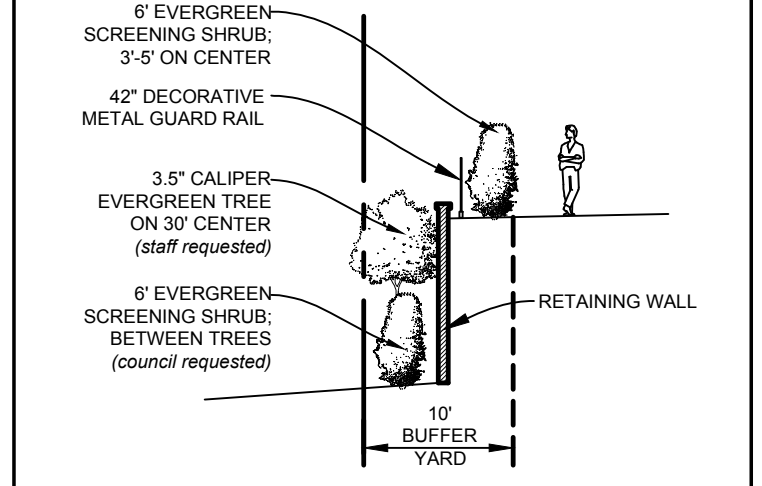
Revision	By	Appd.	Date



**PROPERTY LINE SCREENING**  
(NORTH - LOT 5 RECONFIGURED OR OTHER USE)



**PROPERTY LINE SCREENING**  
(NORTH - AS SUBMITTED)



**PROPERTY LINE SCREENING**  
(WEST PROPERTY LINE)

**BENCHMARKS:**  
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**DEVELOPMENT PLAN**  
**VISTAS OF WALNUT RIDGE**

**6 LOTS BEING**  
**10.00 ACRES SITUATED IN THE**  
**J BACK SURVEY, ABSTRACT NO. 128**  
**CITY OF MANSFIELD**  
**TARRANT COUNTY,**  
**TEXAS**  
**APRIL 2017**

**DEVELOPMENT PLAN**  
**VISTAS OF WALNUT RIDGE**  
Case No. ZC #16-024  
CW VISTAS LP  
**TARRANT COUNTY**  
**CITY OF MANSFIELD, TEXAS**  
**EXHIBIT B**

PRELIMINARY  
FOR REVIEW ONLY  
Not for Construction or Final Approval  
**Stantec**  
SCOTT L. GRAVES, PE, ENV SP  
REG. NO. 11110, STATE OF TEXAS 04892017

Project Number: 222210621

VACWCJ	SLG	SLG	04/05/2017
Dwn.	Chkd.	Dsgn.	Date

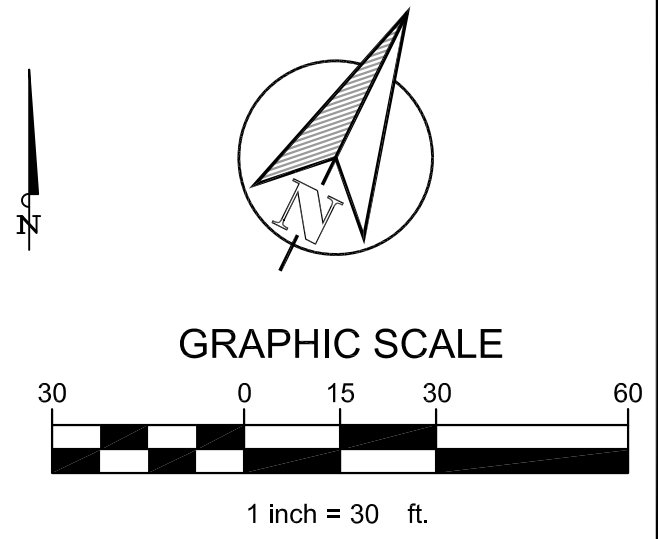
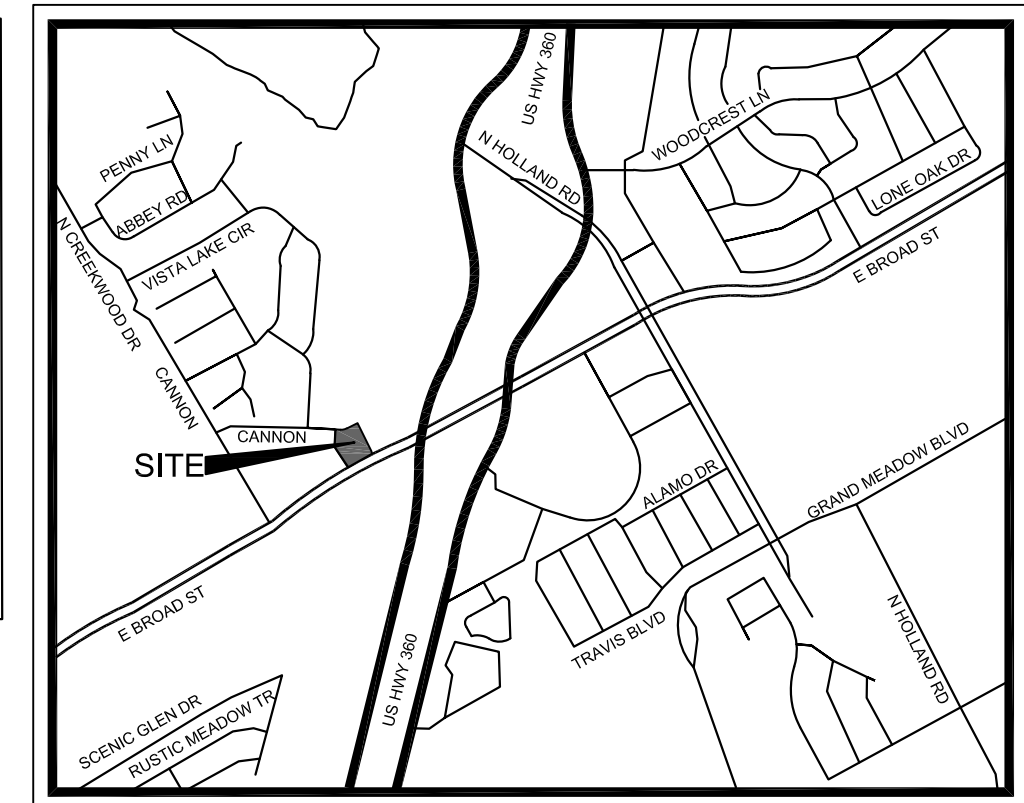
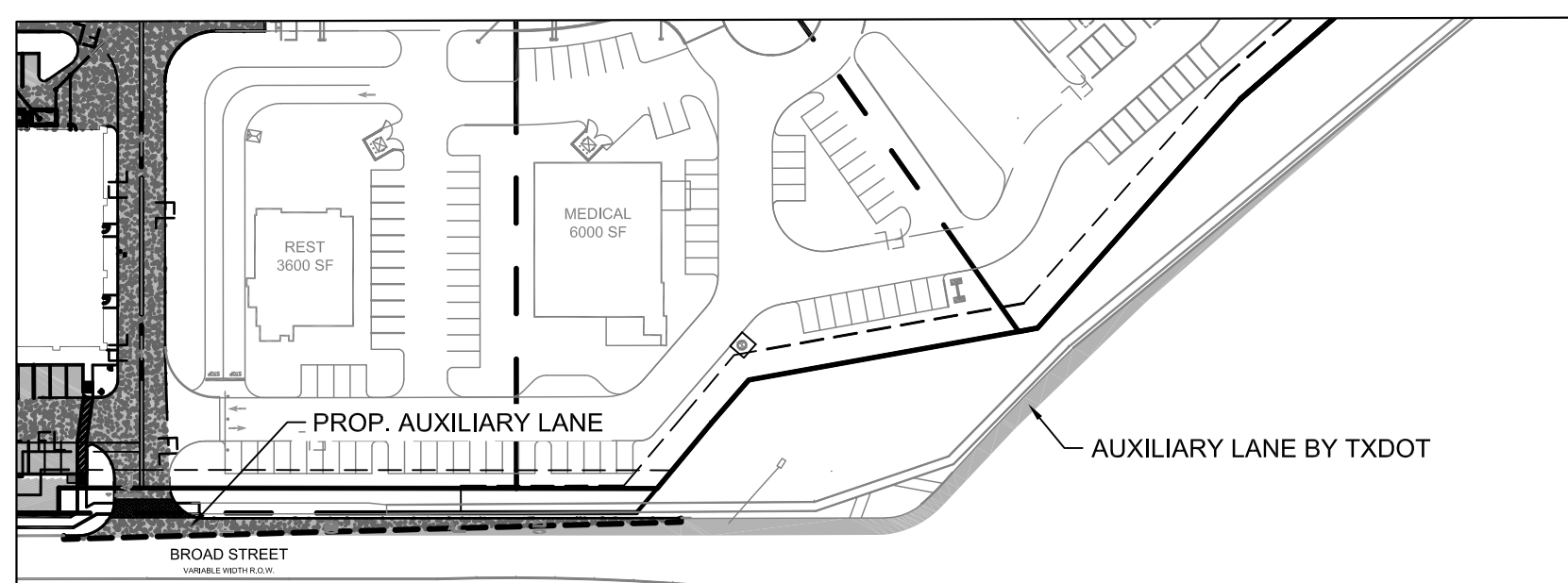
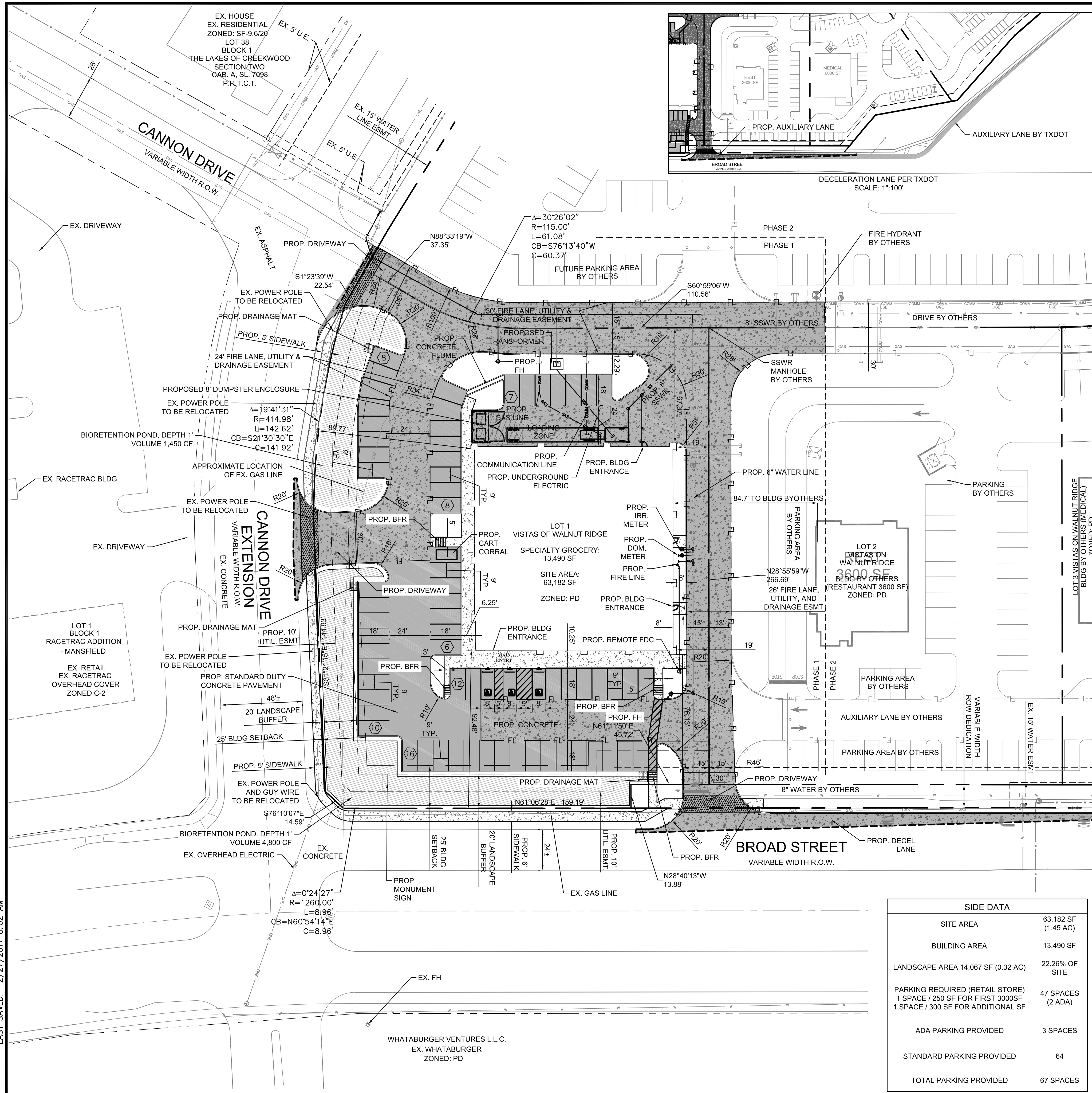
SHEET  
**PD-2**

**Stantec**  
12222 Merit Dr., Suite 400  
Dallas, Texas 75251  
www.stantec.com  
TBP#F-6324  
F-10194229

NOT SCALE THE DRAWING - ANY ERRORS OR OMISSIONS SHALL BE REPORTED TO THE PROJECT MANAGER. THE PRODUCTION OR USE FOR ANY PURPOSE OTHER THAN THAT AUTHORIZED BY STANTEC IS FORBIDDEN.

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2017/04/05 2:10 PM By: Graves, Scott

PLOTTED BY: CLAY CRISTY  
 2/27/2017 8:02 AM  
 LOCATION: Z:\PROJECTS\PROJECTS\2016-123 NATURAL GROCER MANSFIELD\CADD\SHEETS\SP-1 SITE PLAN.DWG  
 LAST SAVED: 2/27/2017 8:02 AM



- NOTES:**
- ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
  - ALL ROOF MOUNTED EQUIPMENT SHALL BE COMPLETELY SCREENED FROM ADJACENT PROPERTIES. PARAPET WALLS SHOULD HAVE MIN. 1' ABOVE THE HORIZONTAL PLANE OF HIGHEST ROOF MOUNTED EQUIPMENT.

- LIST OF SITE DEVIATIONS**
- PARKING ALONG BROAD STREET ENCLOSES INTO 20' LANDSCAPE BUFFER.
  - BUILDING ARTICULATION: THE PROPOSED DESIGN PROVIDES ARTICULATION THROUGH 4'-0" WIDE BY 2'-0" DEEP PILASTERS AT APPROXIMATELY 33'-0" TO 35'-0" +/- O.C. IN ADDITION, HORIZONTAL ARTICULATION IS PROVIDED THROUGH THE PROJECTION OF CANOPIES 4'-0" FROM THE FACE OF THE WALL AT THE SOUTH AND WEST ELEVATIONS. WE ARE REQUESTING A DEVIATION BE GRANTED ON THE REQUIRED 4'-0" DEEP HORIZONTAL ARTICULATION REQUIREMENT AT THE PILASTERS.

LEGEND	
	PROPOSED HEAVY DUTY CONCRETE PAVEMENT
	PROPOSED CONCRETE PAVEMENT
	PROPOSED CONCRETE SIDEWALK
	PROPOSED DUMPSTER CONCRETE PAVING
	PROPOSED CONCRETE CURB AND GUTTER
	PARKING COUNT
	FULL-DEPTH SAWCUT
	PROP. FIRE LANE, UTILITY & DRAINAGE ESMT

STORM WATER QUALITY	
POND AREA A	
IMPERVIOUS AREA	37,792 SF
TOTAL RETENTION VOLUME REQUIRED (1.5"/SF)	4,724 CF
TOTAL RETENTION VOLUME PROVIDED (1' OF DEPTH ACROSS AREA)	4,800 CF
POND AREA B	
IMPERVIOUS AREA	11,444 SF
TOTAL RETENTION VOLUME REQUIRED (1.5"/SF)	1,431 CF
TOTAL RETENTION VOLUME PROVIDED (1' OF DEPTH ACROSS AREA)	1,450 CF

- OWNERS ASSOCIATION NOTES:**
- A MANDATORY OWNERS ASSOCIATION WILL BE RESPONSIBLE FOR THE MAINTENANCE OF SCREENING AND LANDSCAPING
  - THE OWNERS ASSOCIATION AND ASSOCIATED DOCUMENTS SHALL BE FILED IN ACCORDANCE WITH THE CITY OF MANSFIELD POLICIES. THESE DOCUMENTS MUST BE REVIEWED BY THE CITY ATTORNEY PRIOR TO FILING THE FINAL PLAT. THE DOCUMENTS SHALL BE FILED WITH THE FINAL PLAT AT TARRANT COUNTY WHEN DEEMED NECESSARY BY THE ATTORNEY. THE DOCUMENTS SHALL BE SUBMITTED IN A TIMELY MANNER TO ALLOW FOR A MINIMUM OF 60 DAYS REVIEW. FAILURE TO SUBMIT THE DOCUMENTS OR INCOMPLETE DOCUMENTS MAY RESULT IN DELAY OF CONSTRUCTION. ACCEPTANCE OF THE SUBDIVISION OR DELAY IN APPROVAL OF A BUILDING BUILDING PERMIT. THE CITY DOES NOT ACCEPT THE RESPONSIBILITY FOR ANY DELAYS IN CONSTRUCTION, APPROVAL OR ACCEPTANCE OF THE SUBDIVISION CAUSED BY FAILURE TO SUBMIT THE ASSOCIATION DOCUMENTS OR THE INACCURACY OF THE DOCUMENTS.

SIDE DATA	
SITE AREA	63,182 SF (1.45 AC)
BUILDING AREA	13,490 SF
LANDSCAPE AREA 14,067 SF (0.32 AC)	22.26% OF SITE
PARKING REQUIRED (RETAIL STORE)	47 SPACES (2 ADA)
1 SPACE / 250 SF FOR FIRST 3000SF	
1 SPACE / 300 SF FOR ADDITIONAL SF	
ADA PARKING PROVIDED	3 SPACES
STANDARD PARKING PROVIDED	64
TOTAL PARKING PROVIDED	67 SPACES

**PROJECT BENCHMARK:**  
 ALL BEARINGS SHOWN ON THIS SURVEY WERE DERIVED FROM WESTERN DATA SYSTEMS RTK NETWORK AND ARE REFERENCED TO THE TEXAS COORDINATE SYSTEM. ELEVATIONS ARE BASED ON NAVD88, REFERENCED TO NAD83, 2011 ADJUSTMENT

**LEGAL DESCRIPTION:**  
 NWC HWY 360 MANSFIELD TEXAS  
 LOT 1 VISTAS OF WALNUT RIDGE (1.45 AC)

**DEVELOPMENT PLAN**

**DEVELOPER:**  
 EQUITY VENTURES COMMERCIAL, INC.  
 53501 SW FAIRLAWN RD SUITE 200  
 TOPEKA, KS 66614  
 785.202.1398 X 106  
 KEVIN BECK  
 KBECK@EQUITYVENTURES.COM

**DEVELOPMENT CONSULTANTS:**  
 GSO ARCHITECTS  
 5310 HARVEST HILL ROAD SUITE 226  
 DALLAS, TX 75230  
 972.385.9851  
 AMY SUMMERS  
 ASSUMNERS@GSOARCHITECTS.COM

**STANTEC**  
 12222 MERIT DRIVE #400  
 DALLAS, TX 75251-2203  
 972.991.0011  
 SCOTT GRAVES  
 SCOTT.GRAVES@STANTEC.COM

**LOT 1 DESIGN CONSULTANT**  
 ROGUE ARCHITECTURE  
 4100 WADSWORTH BLVD SUITE 300  
 WHEAT RIDGE, CO 80033  
 720.599.3330  
 SCOTT BODUCH  
 SBODUCH@ROGUEARCHITECTURE.COM

**OWNER:**  
 CWA VISTAS, LP  
 4801 W LOVERS LANE  
 DALLAS, TX 75209  
 214.739.5553 X 5059  
 CHARLIE ANDERSON  
 ANDCW@ME.COM

**APPLICANT:**  
 CLAYMOORE ENGINEERING, INC.  
 1903 CENTRAL DR., SUITE #406  
 BEDFORD, TX 75021  
 PH: 817.281.0572

**SURVEYOR:**  
 MADDOX SURVEYING & MAPPING, INC.  
 P.O. BOX 2109  
 FORNEY, TX 75126  
 PH: 972.564.4428

**ABSTRACT INFORMATION**  
 BACK J. SURVEY ABSTRACT 126 TRACT 2A01A2 1.81 ACRES  
 BACK J. SURVEY ABSTRACT 126 TRACT 2 & ABANDONED ROAD 7.95 ACRES

COUNTY: TARRANT CITY: CITY OF MANSFIELD STATE: TEXAS

TEXAS REGISTRATION #14199  
**CLAYMOORE ENGINEERING**  
 1903 CENTRAL DRIVE, SUITE #406  
 BEDFORD, TX 75021  
 WWW.CLAYMOOREENR.COM

**PRELIMINARY**  
 FOR REVIEW ONLY  
 Not for construction purposes.  
**CLAYMOORE ENGINEERING**  
 ENGINEERING AND PLANNING CONSULTANTS  
 Engineer: CLAY CRISTY  
 P.E. No. 109800 Date: 02/27/2017

**NATURAL GROCER**  
 NWC HWY 360 AND BROAD STREET  
 MANSFIELD, TEXAS

No.	DATE	REVISION	BY

**EXHIBIT E**  
**ZC# 16-024**

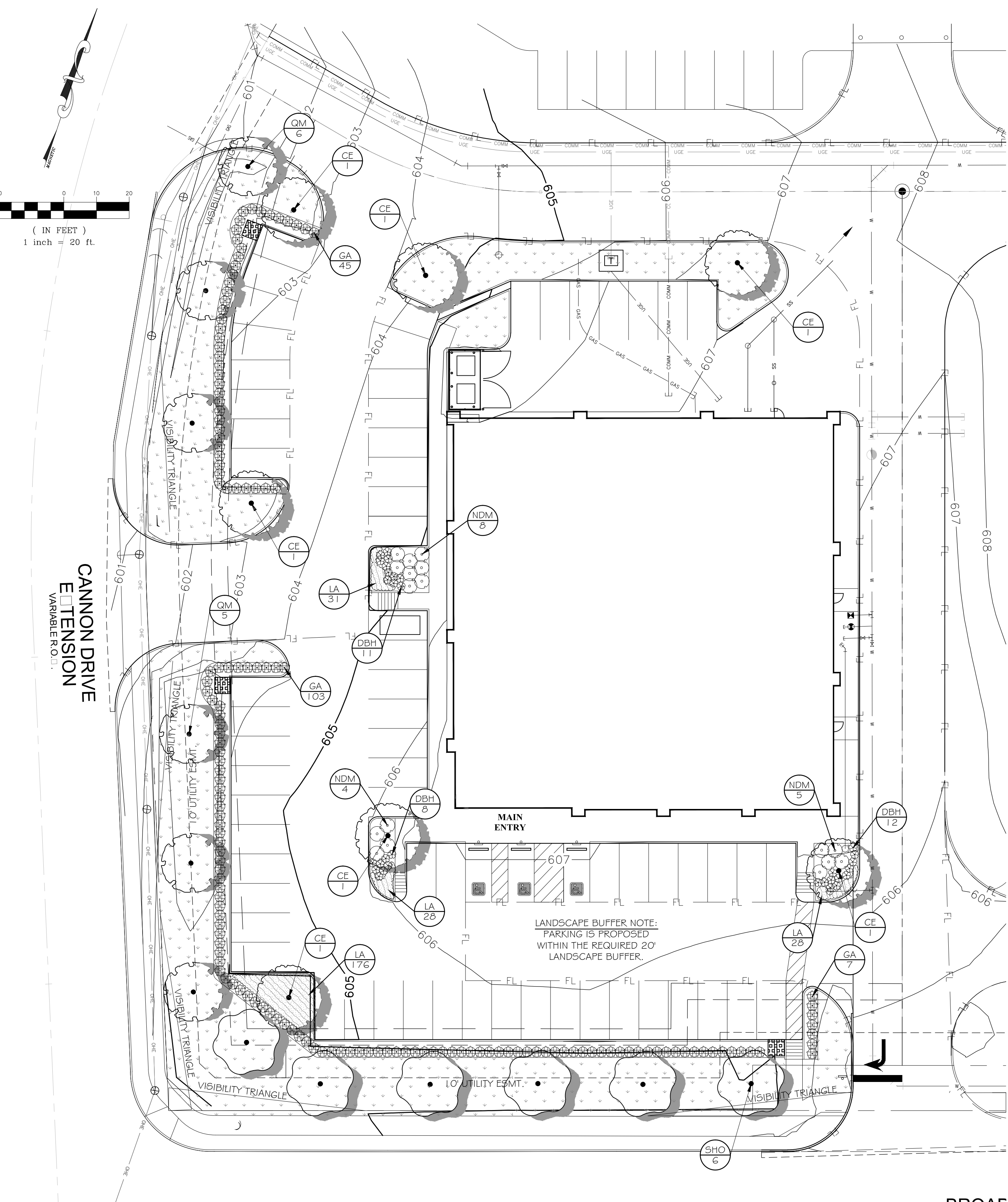
DESIGN: CLC  
 DRAWN: NMA  
 CHECKED: CLC  
 DATE: 02/27/2017

SHEET  
**E-1**

File No. 2016-123

NO.	DATE	REVISION

DESIGNER:	DR
DRAWN:	DR
CHECKED:	RM
DATE:	01.08.2017



**PLANT SCHEDULE**

TREES	CODE	COMMON NAME	BOTANICAL NAME	CONT.	CAL.	SIZE	HT.
	QM	Laurel Oak	Quercus laevis	CONT.	3.5" Ca	min. 14'	ht.
	SO	Shumard Red Oak	Quercus shumardii	CONT.	3.5" Ca	min. 14'	ht.
	CE	Cedar Elm	Ulmus crassifolia	CONT.	3.5" Ca	min. 14'	ht.
SHRUBS	CODE	COMMON NAME	BOTANICAL NAME	SIZE	HT.		
	GA	Glossy Abelia	Abelia grandiflora	7 ga	36" min. ht.		
	DB	Dwarf Laurel	Loropetalum chinensis	5 ga	24" o.c.		
	NDM	Nandina domestica	Nandina	5 ga	48" o.c.		
SHRUB AREAS	CODE	COMMON NAME	BOTANICAL NAME	CONT.	SPACING		
	LA	Atlantic Grass	Liriodendron muscari	1 ga	15" o.c.		
GROUND COVERS	CODE	COMMON NAME	BOTANICAL NAME	CONT.			
	CT	Bermuda Grass	Cynodon dactylon	Tif 419 sod	12,629 sf		

**GENERAL PLANTING NOTES**

- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL EXISTING VEGETATION EXCEPT WHERE NOTED TO REMAIN BEFORE STARTING WORK. THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE GRADE OF ALL LANDSCAPE AREAS IS WITHIN 0.1 OF FINISH GRADE. THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE OWNER IMMEDIATELY SHOULD ANY DISCREPANCIES EXIST. SEE SPECIFICATIONS FOR MORE DETAILED INSTRUCTIONS ON TERRACE AREA AND PLANTING BED PREPARATION.
- THE LANDSCAPE CONTRACTOR SHALL CONSTRUCT AND MAINTAIN FINISH GRADES AS SHOWN ON PLANS, AND CONSTRUCT AND MAINTAIN SLOPES AS RECOMMENDED BY THE GEOTECHNICAL REPORT. ALL LANDSCAPE AREAS SHALL HAVE POSITIVE DRAINAGE AWAY FROM STRUCTURES AT THE MINIMUM SLOPE SPECIFIED IN THE REPORT, AND AREAS OF POTENTIAL PONDING SHALL BE GRADED TO BLEND WITH THE SURROUNDING AREAS AND ELIMINATE POTENTIAL SOIL AND AIR QUALITY CONCERNS AND/OR DISCREPANCIES ARISING BETWEEN THE PLANS, GEOTECHNICAL REPORT, THESE NOTES, AND ACTUAL CONDITIONS. THE CONTRACTOR SHALL IMMEDIATELY BRING SUCH ITEMS TO THE ATTENTION OF THE LANDSCAPE ARCHITECT AND OWNER.
- CONTRACTOR SHALL ENSURE THAT THE GRADE IN SOD AREAS SHALL BE 1" BELOW FINISH GRADE AFTER INSTALLING SOIL AMENDMENTS, AND 2" BELOW FINISH GRADE IN SHRUB AREAS AFTER INSTALLING SOIL AMENDMENTS. M.L.C. COVER SHALL BE 6" OF CONCRETE WALKS AND CURBS SHALL NOT PROTRUDE ABOVE THE FINISH GRADE OF TERRACE AND CURBS. COVER SHALL BE 12" OF ALLS SHALL BE AT LEAST 3" LOWER THAN THE TOP OF ALL.
- INSTALL 5" COVER, NEEDLE PINE POLYPROPYLENE FABRIC UNDER ALL M.L.C. ED AREAS AND INDIVIDUAL TREE RINGS.
- INSTALL REDDED HARDWOOD M.L.C. TOPDRESSING IN ALL PLANTING BEDS 2" DEPT. AND ALL TREE RINGS 3" DEPT. DO NOT INSTALL M.L.C. COVER IN 6" OF TREE ROOT FLARE.
- INSTALL 14" GREEN STEEL EDGING BETWEEN ALL PLANTING BEDS AND TERRACE AREAS, AND BETWEEN SHRUB AREAS AND OTHER PLANTS WHERE INDICATED ON THE PLAN.
- FROM M.L.C. ED AREAS TO THE SIDE OF PROPERTY LIMITS UNLESS SHOWN AS SOD.
- ALL PLANT LOCATIONS ARE DIAGRAMMATIC. ACTUAL LOCATIONS SHALL BE VERIFIED BY THE LANDSCAPE ARCHITECT OR DESIGNER PRIOR TO PLANTING. THE LANDSCAPE CONTRACTOR SHALL ENSURE THAT ALL REQUIREMENTS OF THE PERMITTING AGENCY ARE MET I.E., MINIMUM PLANT QUANTITIES, PLANTING METHODS, TREE PROTECTION METS, ETC.
- THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR DETERMINING PLANT QUANTITIES, PLANT SPECIES, PLANT SIZES, AND CALIBERS AND CALL OUTS ARE FOR GENERAL INFORMATION ONLY. IN THE EVENT OF A DISCREPANCY BETWEEN THE PLAN AND THE PLANT LIST, THE PLANT LIST SHALL TAKE PRECEDENCE.
- NO SUBSTITUTIONS OF PLANT MATERIALS SHALL BE ALLOWED. IF SOME OF THE PLANTS ARE NOT AVAILABLE, THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE LANDSCAPE DESIGNER IN WRITING VIA PROPER CHANNELS.
- PLANTS MUST BE INSPECTED AND APPROVED OR REJECTED ON THE OBSITE BY THE OWNER OR OWNER'S REPRESENTATIVE.
- THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL WORK SHOWN ON THESE PLANS FOR 90 DAYS BEYOND FINAL ACCEPTANCE OF ALL LANDSCAPE WORK BY THE OWNER. LANDSCAPE MAINTENANCE SHALL INCLUDE WEEDING, SITE VISITS FOR TREATMENT OF FOLLOW-UP ACTIONS AS APPROPRIATE, PROPER PRUNING, RESTORATION OF TREES SETTING PLANTS AT HAVE SETTLED, MOISTURE AND AERATION OF LAWNS, BEDDING, RESEEDING AREAS, IRRIGATION (HAVE NOT TERMINATED), TREATMENT FOR INSECTS AND DISEASES, REPLACEMENT OF M.L.C., REMOVAL OF LITTER, REPAIRS TO TERRAZZO, STEM DIES TO FALTY PARTS AND/OR ORKMANSHIP, AND TREATMENT APPROPRIATE. AFTER THE END OF THE MAINTENANCE PERIOD, ALL OF THE FOLLOWING CONDITIONS MUST OCCUR:  
 A. THE LANDSCAPE SHALL BE ACTIVE, HEALTHY, AND PROPERLY MAINTAINED. IRRIGATION SHALL BE IN PROPER ORDER, ORDER, AND TREATMENT APPROPRIATE.  
 B. ALL LANDSCAPE SHALL BE CLEANED PRIOR TO FINAL ACCEPTANCE.  
 C. SODDED AREAS MUST BE ACTIVELY IRRIGATED AND MUST BE RESEEDING AS APPROPRIATE. PRIOR TO FINAL ACCEPTANCE, ALL SODDED TERRACES SHALL BE NEATLY MAINTAINED.
- SEE SPECIFICATIONS AND DETAILS FOR FURTHER REQUIREMENTS.
- LANDSCAPING MAINTENANCE OF THE PROPERTY OWNER, TENANT OR AGENT SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL IRRIGATED LANDSCAPING IN A HEALTHY, NEAT, ORDERLY AND LIVE CONDITION AT ALL TIMES. THIS SHALL INCLUDE MOISTURE, PRUNING, FERTILIZATION, IRRIGATION, WEEDING, AND OTHER SUCH ACTIVITIES COMMON TO THE MAINTENANCE OF LANDSCAPING. LANDSCAPED AREAS SHALL BE KEPT FREE OF TRASH, LITTER, WEEDS AND OTHER SUCH MATERIALS NOT A PART OF THE LANDSCAPING. PLANT MATERIALS THAT DIE SHALL BE REPLACED WITH PLANT MATERIALS OF SIMILAR VARIETY AND SIZE.
- NO TREES, BUSHES, WALLS, FENCES OR ANYTHING OVER 2' IN HEIGHT IS ALLOWED WITHIN THE VISIBILITY TRIANGLES.

**LANDSCAPE REQUIREMENTS - MANSFIELD T**

- LANDSCAPE SETBACK:**
- A 20' LANDSCAPE SETBACK IS SHOWN AT EACH STREET FRONTAGE.
  - 1' IN EACH SETBACK, 1 CANOPY TREE IS PROVIDED PER 40' STREET FRONTAGE.

**BROAD STREET - 212 LF**

REQUIRED	PROVIDED
20' BUFFER	20' BUFFER
6' 3.5" CANOPY TREES	6' 3.5" CANOPY TREES

**CANNON DRIVE - 267 LF**

REQUIRED	PROVIDED
20' BUFFER	20' BUFFER
6' 3.5" CANOPY TREES	6' 3.5" CANOPY TREES

- PARKING LOT LANDSCAPE:**
- PARKING SCREENED FROM ROAD: A 3' MIN. 3' EVERGREEN SCREEN.
  - ONE 1' TREE REQUIRED PER 10 PARKING SPACES
- |                     |                     |
|---------------------|---------------------|
| REQUIRED            | PROVIDED            |
| 3 SCREEN            | 3 SCREEN            |
| 7 3.5" CANOPY TREES | 7 3.5" CANOPY TREES |

**PLANTING AND IRRIGATION WARRANTY**

THE LANDSCAPE CONTRACTOR SHALL WARRANT THAT ALL NEWLY INSTALLED AND EXISTING PLANTS SHALL SURVIVE FOR ONE YEAR AFTER FINAL OWNER ACCEPTANCE OF THE INSTALLATION. WORK BY THE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR APPROPRIATE WATERING OF THE LANDSCAPE THROUGH INSTALLATION OF A PROPERLY DESIGNED IRRIGATION SYSTEM. THE OWNER SHALL APPROVE THE SYSTEM DESIGN BEFORE INSTALLATION OF PLANTS OR IRRIGATION.

**M.L.C. ES**

INSTALL REDDED HARDWOOD M.L.C. TOPDRESSING IN ALL PLANTING BEDS 2" DEPT. AND ALL TREE RINGS 3" DEPT. DO NOT INSTALL M.L.C. COVER IN 6" OF TREE ROOT FLARE. IN AREAS DENOTE AS "ROCK M.L.C.", INSTALL 4" DEPT. OF 1" AS-PAVED RIVER ROCK OVER 1" COVER LANDSCAPE FABRIC. APPROVED SAMPLES TO LANDSCAPE ARCHITECT AND OWNER FOR APPROVAL PRIOR TO INSTALLATION.

PLOTTED BY: DANDAN DAN  
 PLOT DATE: 2/26/2017 5:46 PM  
 LOCATION: C:\USERS\DANDAN\DROPBOX (RODNEY)\EDG - SHARED\2016\NATURAL GROCER - MANSFIELD\NATGROCER MANSFIELD\_LP\_2017-02-26.DWG  
 LAST SAVED: 2/26/2017 5:36 PM



ZC#16-024

### MATERIAL PERCENTAGE

	WEST	SOUTH	EAST	NORTH
TOTAL WALL AREA EXCL. DOORS, GLAZING, CANOPIES	2,486 SF	2,217 SF	2,787 SF	2,668 SF
TOTAL SIDING	294 SF (12%)	525 SF (24%)	667 SF (24%)	647 SF (24%)
TOTAL MASONRY (70% MINIMUM)	2,192 SF (88%)	1,692 SF (76%)	2,120 SF (76%)	2,021 SF (76%)

THE PROPOSED DEVELOPMENT SHALL BE IN COMPLETE ACCORDANCE WITH THE PROVISIONS OF THE APPROVED PLANNED DEVELOPMENT DISTRICT AND ALL DEVELOPMENT PLANS RECORDED HEREUNDER SHALL BE BINDING UPON THE APPLICANT THEREOF, HIS SUCCESSORS AND ASSIGNS, AND SHALL LIMIT AND CONTROL ALL BUILDING PERMITS.

BUILDING PLANS AND SITE LAYOUT ARE CONCEPTUAL AND SUBJECT TO CHANGE

EACH USER/APPLICANT MUST SUBMIT THEIR BUILDING PLANS INDIVIDUALLY AND MUST COMPLY WITH CODES AND ORDINANCES.

OWNER:  
CWA VISTAS, LP  
4801 W LOVERS LANE  
DALLAS, TX 75209  
214 739 5553 X 5059  
CHARLIE ANDERSON  
ANDCW@ME.COM

CONSULTANT:  
ROGUE ARCHITECTURE, INC.  
4100 WADSWORTH BLVD, SUITE 300  
WHEAT RIDGE, CO 80033  
SCOTT BODUCH  
SBODUCH@ROGUEARCHITECTURE.COM

DEVELOPER:  
EQUITY VENTURES COMMERCIAL INC.  
53501 SW FAIRLAWN ROAD, SUITE 200  
TOPEKA, KS 66614  
785 272 1398 X T106  
KEVIN BECK  
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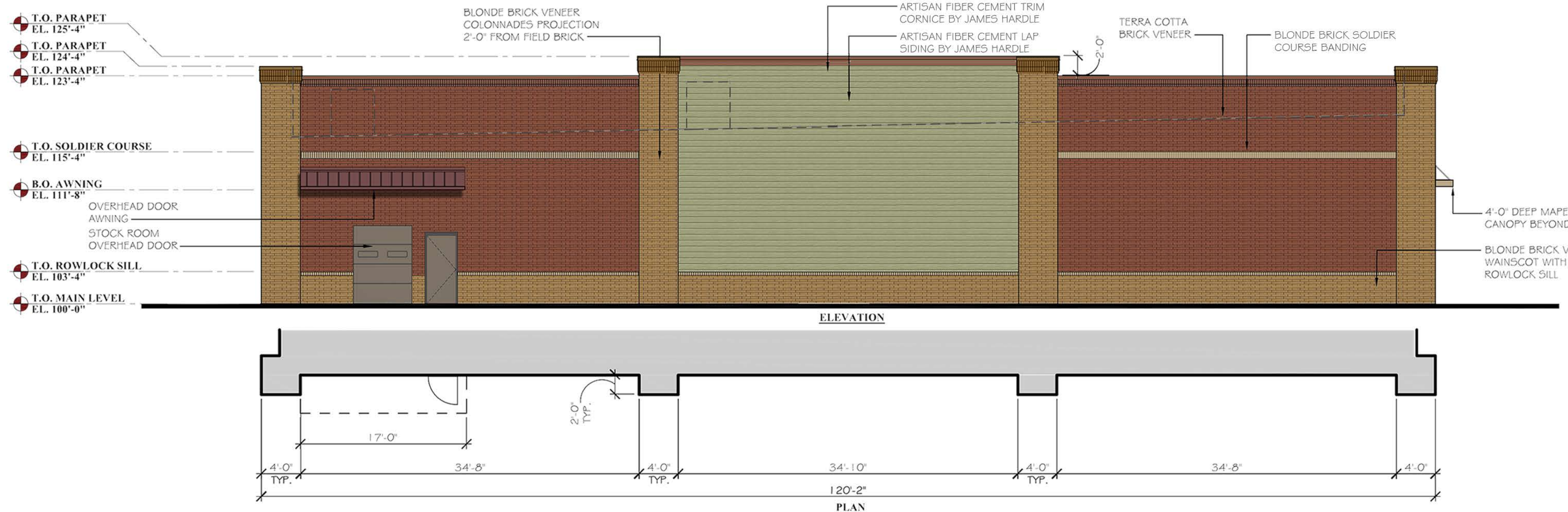
REQUESTED DEVIATIONS:

1. BUILDING ARTICULATION:

THE PROPOSED DESIGN PROVIDES ARTICULATION THROUGH 4'-0" WIDE BY 2'-0" DEEP PILASTERS AT APPROXIMATELY 33'-0" TO 35'-0" +/- O.C. In addition, HORIZONTAL ARTICULATION IS PROVIDED THROUGH THE PROJECTION OF CANOPIES 4'-0" FROM THE FACE OF THE WALL AT THE SOUTH AND WEST ELEVATIONS. WE ARE REQUESTING A DEVIATION BE GRANTED ON THE REQUIRED 4'-0" DEEP HORIZONTAL ARTICULATION REQUIREMENT AT THE PILASTERS.

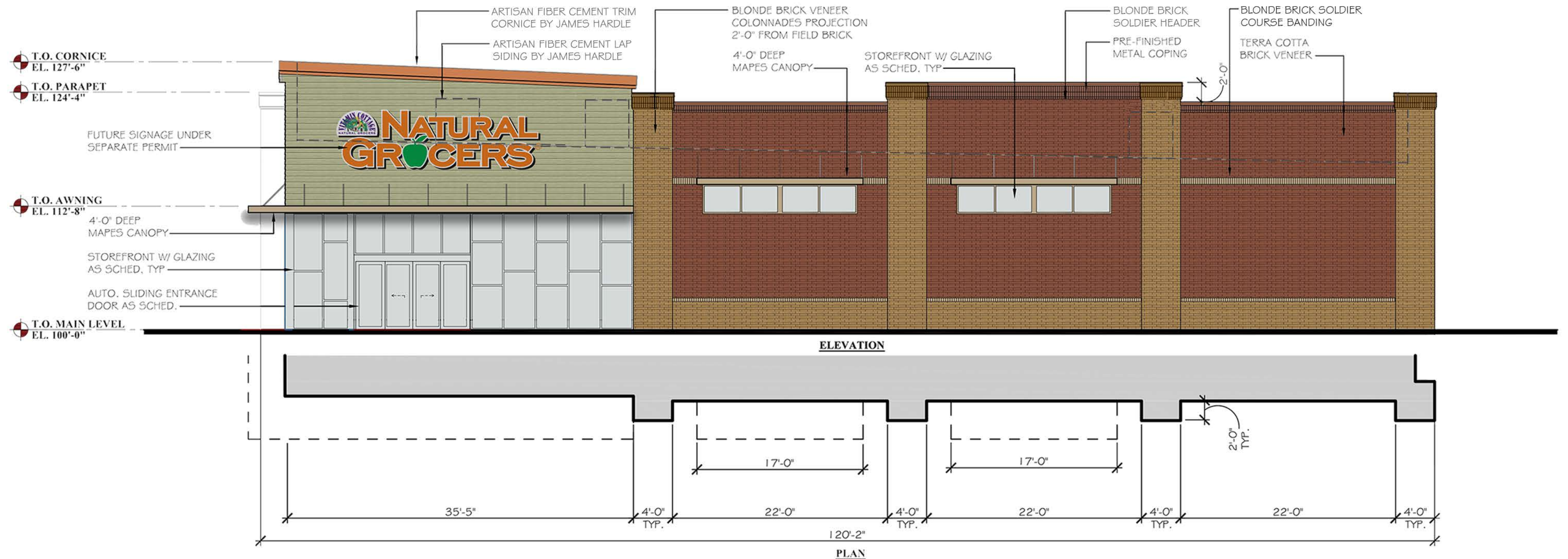
2. FOUNDATION PLANTER:

SITE CONSTRAINTS PROHIBIT THE ABILITY TO PROVIDE FOUNDATION PLANTERS WHILE MAINTAINING ADEQUATE PEDESTRIAN CIRCULATION AROUND THE BUILDING. WE ARE REQUESTING A VARIANCE BE GRANTED TO OMIT THE FOUNDATION PLANTERS FROM THIS LOT.



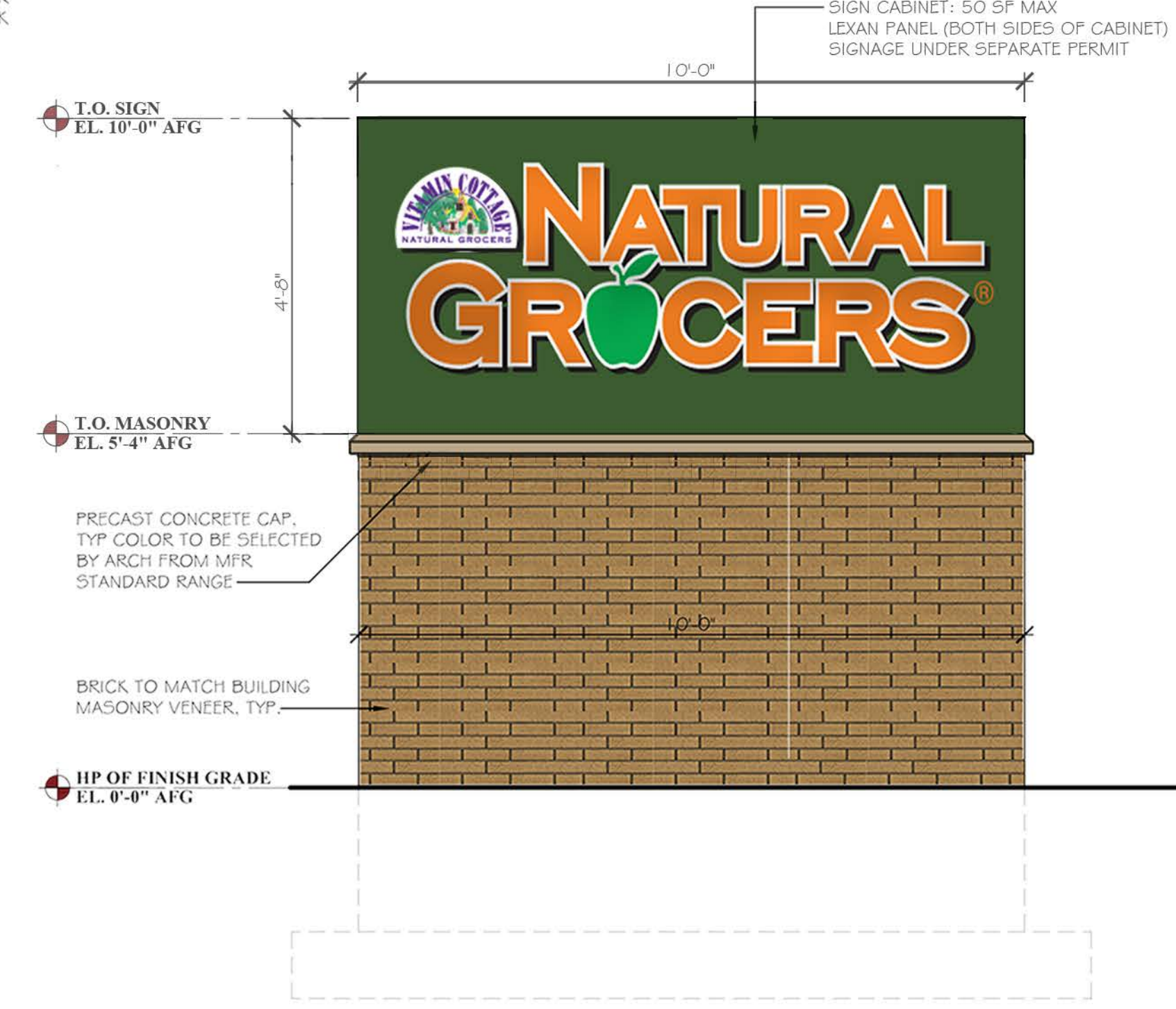
### 1 SCHEMATIC NORTH ELEVATION

E-3.0 SCALE: 1/8" = 1'-0"



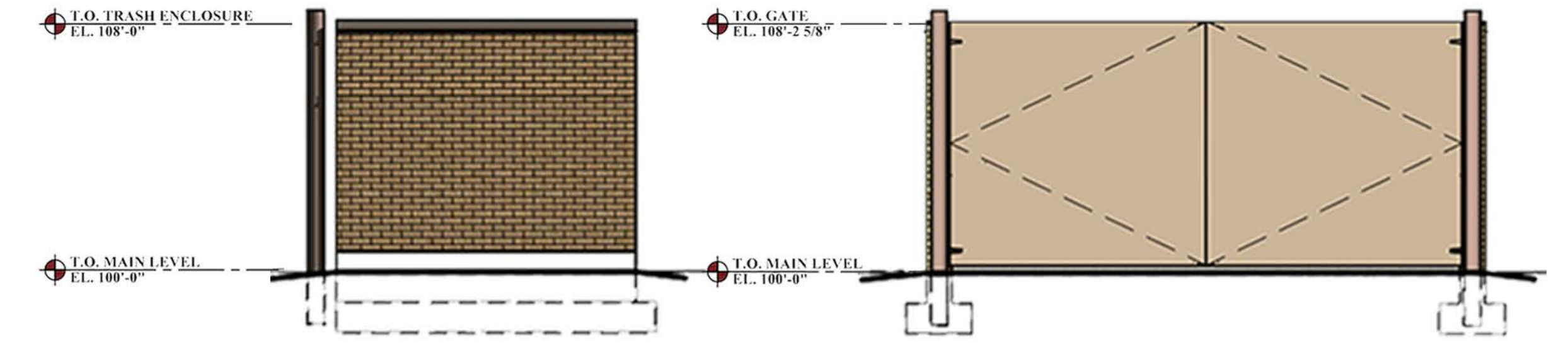
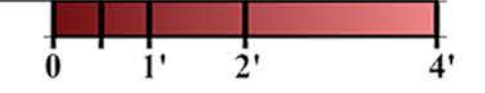
### 2 SCHEMATIC SOUTH ELEVATION

E-3.0 SCALE: 1/8" = 1'-0"



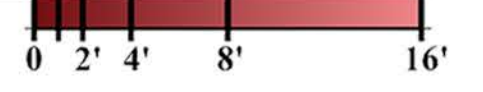
### 3 MONUMENT SIGN ELEVATION

E-3.0 SCALE: 1/2" = 1'-0"



### 4 SCHEMATIC SOUTH ELEVATION

E-3.0 SCALE: 1/4" = 1'-0"



ZC#16-024

EXHIBIT E-3 LOT 1 ELEVATIONS

A DEVELOPMENT BY  
**CWA VISTAS, LP**

JOB#: 2016.43  
ISSUE DATE: 01/13/17  
SCALE: AS NOTED

PRELIMINARY PLAN  
NOT FOR CONSTRUCTION

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MATERIAL PERCENTAGE				
	WEST	SOUTH	EAST	NORTH
TOTAL WALL AREA EXCL. DOORS, GLAZING, CANOPIES	2,486 SF	2,217 SF	2,787 SF	2,668 SF
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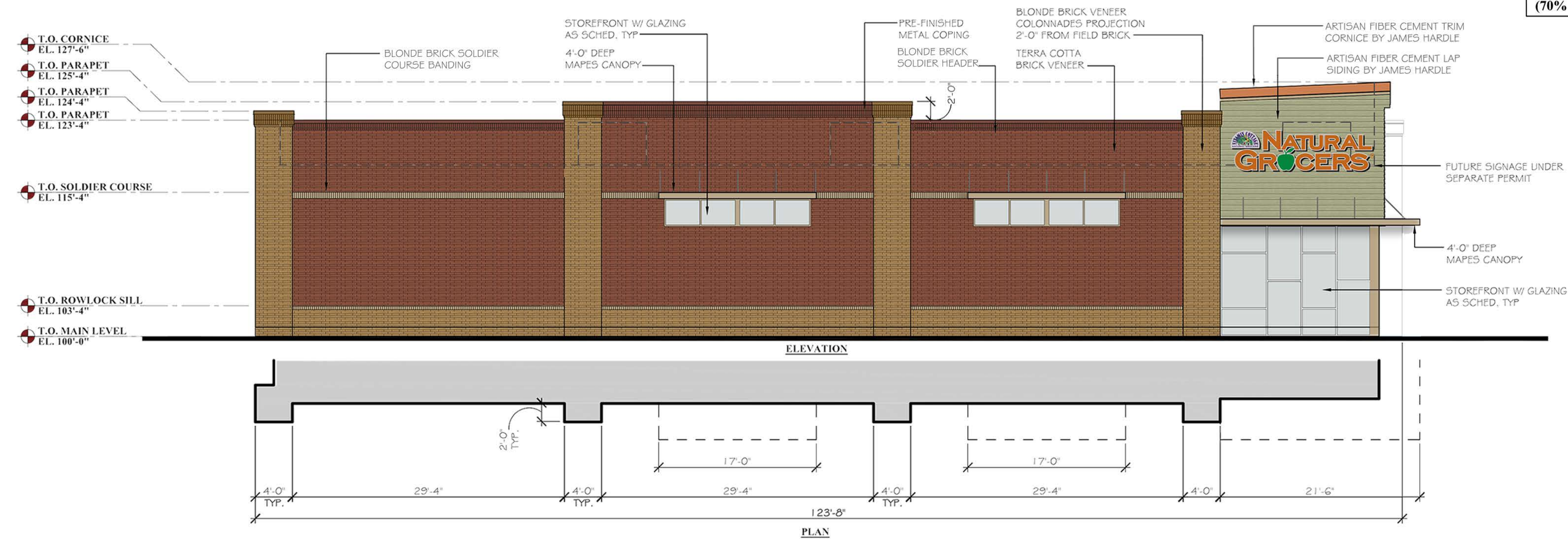
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CONSULTANT:  
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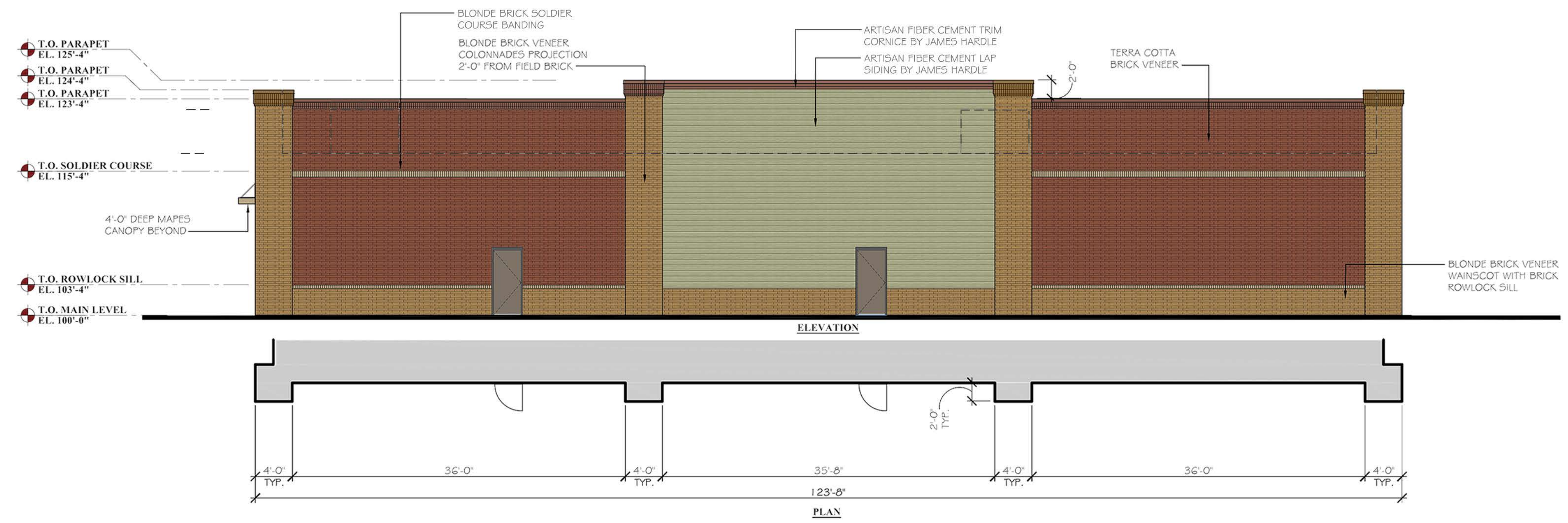
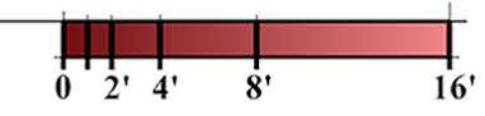
DEVELOPER:  
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53501 SW FAIRLAWN ROAD, SUITE 200  
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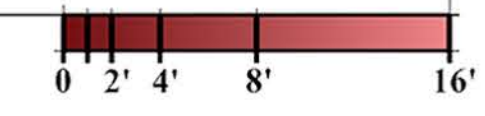
1 E-3.1 SCHEMATIC WEST ELEVATION

SCALE: 1/8" = 1'-0"



2 E-3.1 SCHEMATIC EAST ELEVATION

SCALE: 1/8" = 1'-0"



ZC#16-024  
EXHIBIT E-3.1 LOT 1 ELEVATIONS

A DEVELOPMENT BY  
**CWA VISTAS, LP**

JOB#: 2016.43  
ISSUE DATE: 01/13/17  
SCALE: AS NOTED

PRELIMINARY PLAN  
NOT FOR CONSTRUCTION

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DEVELOPMENT CONSULTANTS:  
 GSO ARCHITECTS  
 5310 HARVEST HILL ROAD SUITE 226  
 DALLAS, TX 75230  
 972 385 9651  
 AMY SUMNERS  
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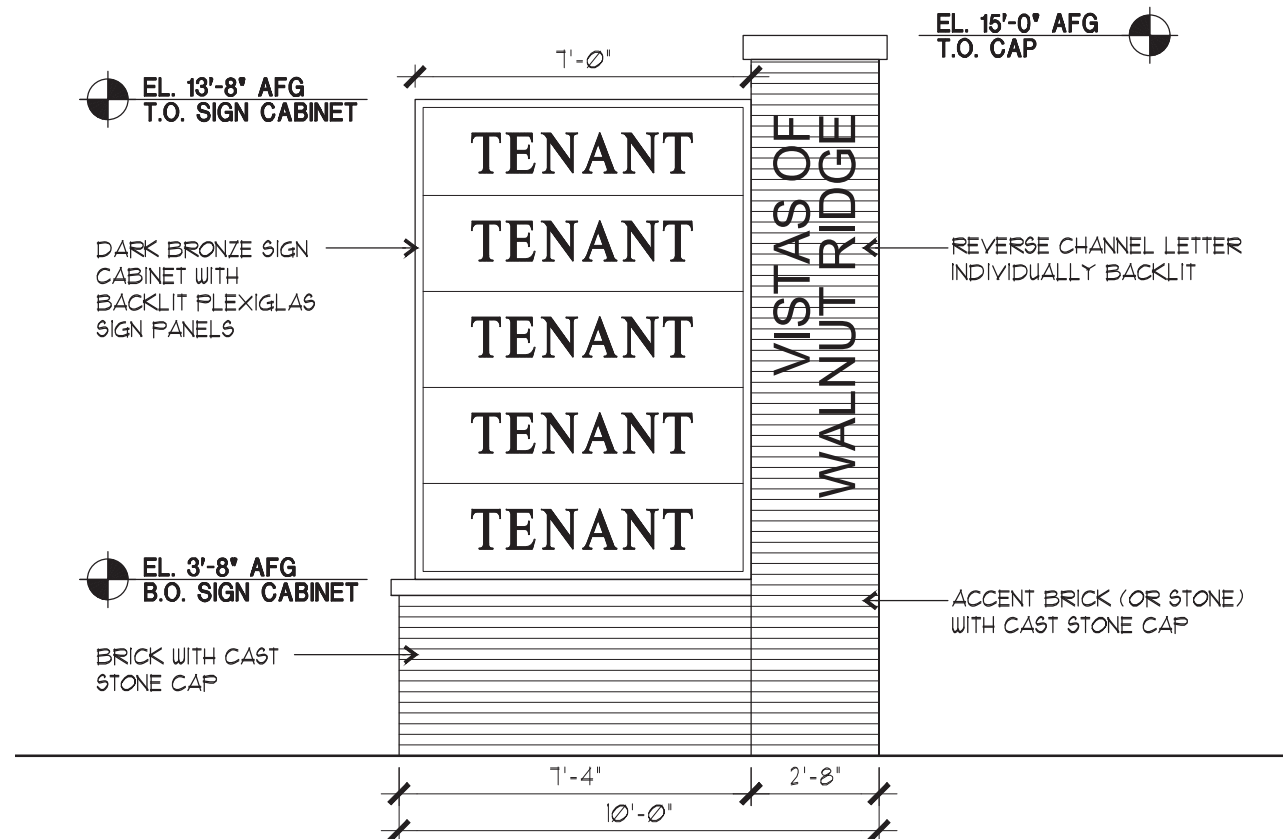
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GC SHALL COORDINATE CONSTRUCTION OF SIGN WITH LANDLORD'S SIGN COMPANY

UNIFIED DEVELOPMENT SIGN: MAX AREA 100SF AND AN ADDITIONAL MAX 50 SF DEVELOPMENT NAME SIGN AREA. MAX SIGN HEIGHT 35'



**01 UNIFIED DEVELOPMENT SIGN**

1/4"=1'-0"

**ZC#16-024**

**EXHIBIT D SIGNAGE PLAN**

A DEVELOPMENT BY  
**CWA VISTAS, LP**

**VISTAS OF WALNUT RIDGE**

MANSFIELD, TX

JOB#: 16-078  
 ISSUE DATE: 01/13/17  
 SCALE: AS NOTED

PRELIMINARY PLAN  
 NOT FOR CONSTRUCTION