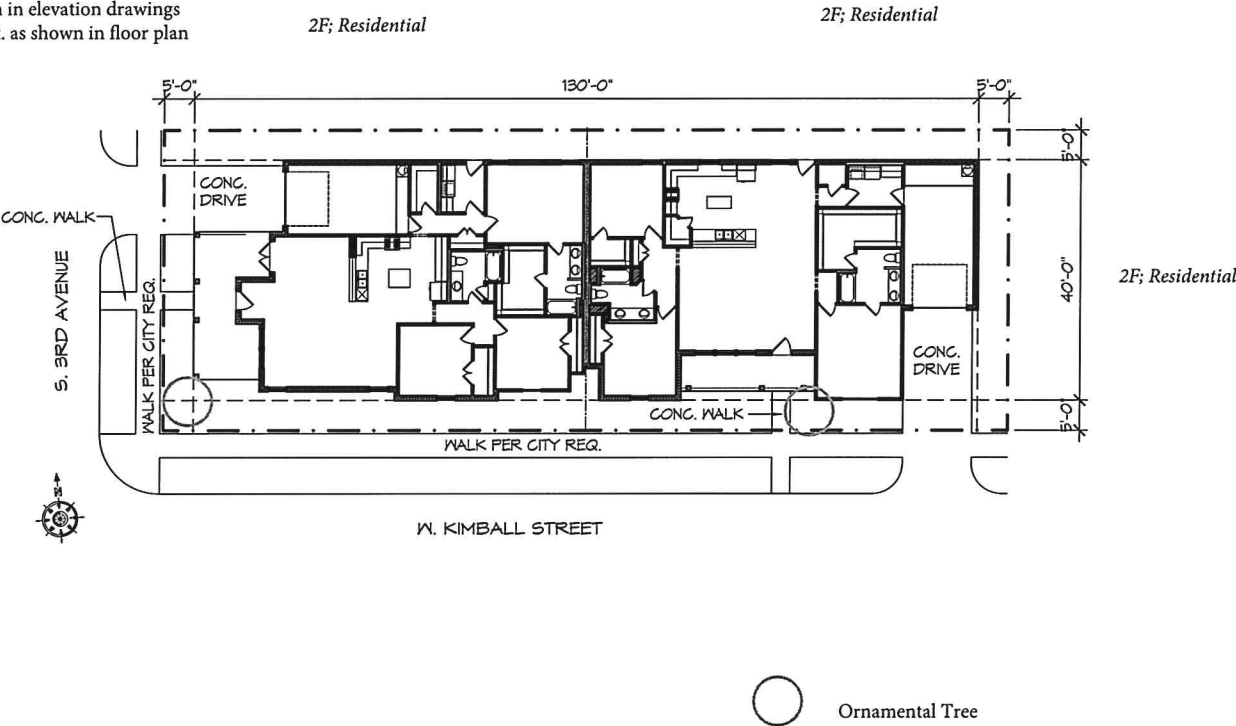




EXHIBIT B
ZC#15-023

NOTES

- 1. The proposed development will be in complete accordance with the provisions of the approved Planned Development District and that all Development Plans recorded hereunder shall be binding upon the applicant thereof, his successors and assigns, and shall limit and control all building permits.
- 2. All asphalt roof shingles shall be laminated architectural shingles with a three dimensional appearance and have a 30 yr warranty.
- 3. One ornamental tree shall be planted in the front yard.
- 4. At least 50% of the foundation facing the street shall be planted with shrubbery.
- 5. Minimum setback from property Line - 5'
- 6. Minimum Masonry Percentage - As shown in elevation drawings
- 7. Minimum Floor Area - 1,800 to 1,900 sq. ft. as shown in floor plan



ZC#15-023




151660

LOT --- BLOCK ---
--- COUNTY

DATE: 7-17-15 PD1
8-31-15 PD2
10-24-15 F/R

GENERAL NOTES:
1. CONTRACTOR TO VERIFY ALL DIMENSIONS PRIOR TO BEGINNING CONSTRUCTION. NOTIFY ARCHITECT OF ANY DISCREPANCIES IMMEDIATELY.
2. CONTRACTOR TO COMPLY WITH ALL APPLICABLE STATE AND LOCAL CODES AND ORDINANCES.
3. ALL ELECTRICAL OUTLETS AT FET AREAS (INCL. GARAGES) TO BE 20' F.
4. ALL EXTERIOR ELECTRICAL OUTLETS TO BE WEATHER PROOF.
5. ALL BUILDING OTHER THAN HOME DISTANCE FROM BUILDING TO BE 10' MINIMUM.
6. ALL EXTERIOR DOORS TO BE TYPICAL SLUGS.
7. ALL EXTERIOR WALLS TO BE 8" MIN. THICK.
8. ALL CHIMNEYS ARE TO FACE OR 8" MIN. OR FACE OF BRICK. ALL CHIMNEYS ARE FOR NORMAL 4" DIA. (ACTUAL 3 1/2" DIA).
9. PROVIDE DOWNED ROADS BRIDGE.
10. PROVIDE PER LOCAL CODE REQUIREMENTS.
11. WINDOW AND DOOR SIZES ARE AS INDICATED ON PLANS AT EACH DOOR LOCATION.

SHEET Title:
SITE PLAN
1" = 20'0"



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ARCHITECTS

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SHEET No.:
SP-1

