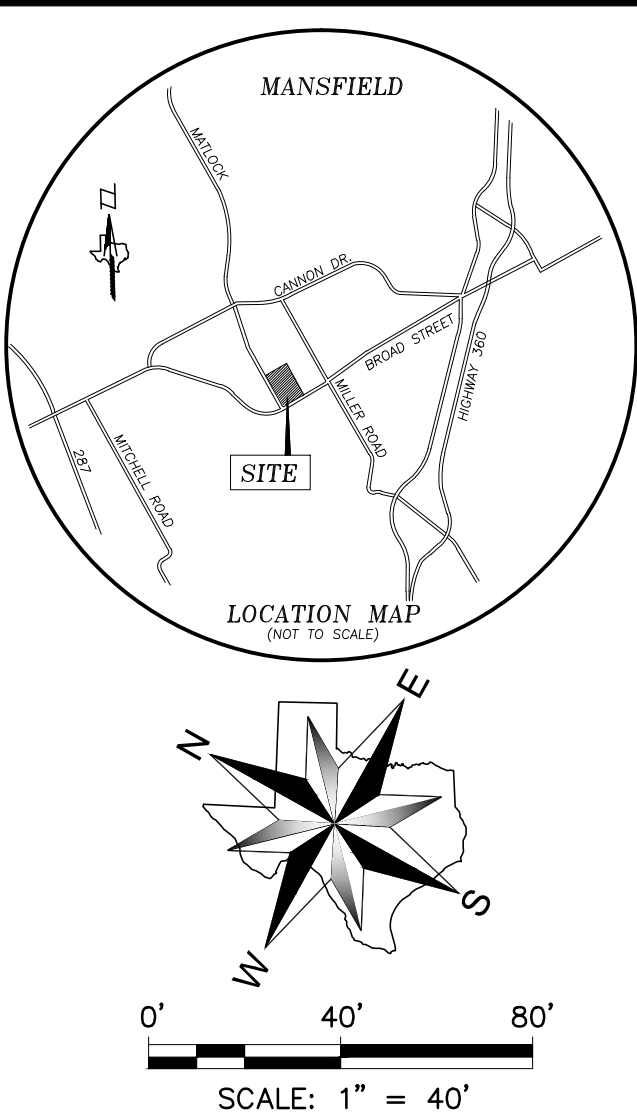
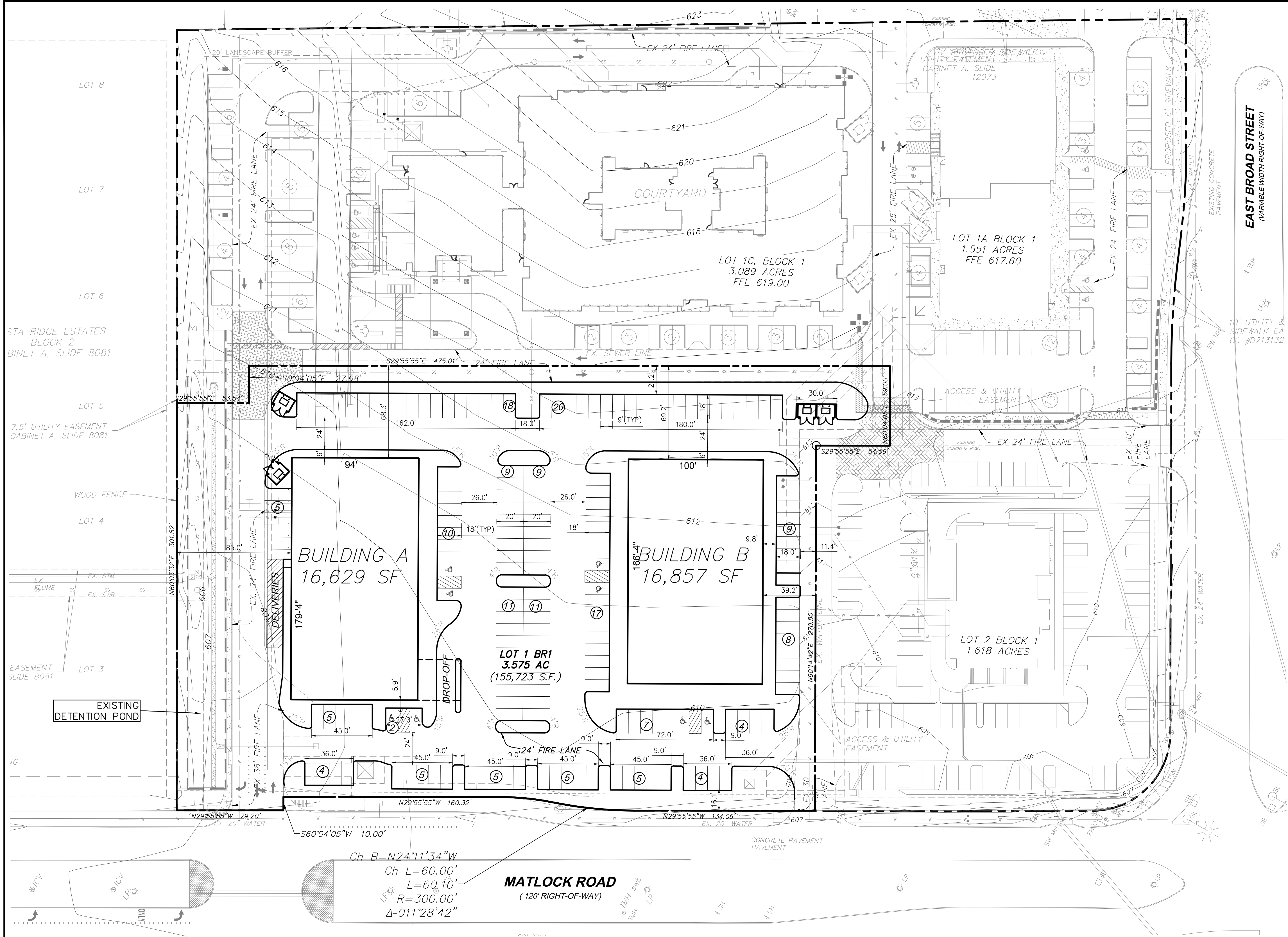




SITE DATA TABLE	
LOT #	LOT 1 BR1
SITE AREA	3.575 AC 155,723 SF
USE	MEDICAL OFFICE BUILDING
BUILDING AREA	16,857 SF
COVERAGE	21%
PARKING SPCS REQ	
PARKING SPCS PROV	175
H.C. REQUIRED	6
H.C. PROVIDED	8 (1 VAN)

SITE PLAN
BROAD STREET MEDICAL

LOT 1 BR BLOCK 1 (3.57 AC)
RICHARD BRATTON SURVEY, ABSTRACT NO. 114
COUNTY OF TARRANT
MANSFIELD, TEXAS
SEPTEMBER 15, 2014

DEVELOPER:
MTAL REALTY, L.L.C.
505 PECAN ST., STE. 101
FORT WORTH, TEXAS 76102
PHONE (817) 632-4576
FAX (817) 529-3205

ENGINEER:
WINKELMANN & ASSOCIATES, INC.
6750 HILLCREST PLAZA DR. SUITE #325
DALLAS, TEXAS 75230
PHONE (972) 490-7090
FAX (972) 490-7099

SD#- - - -

PRELIMINARY – NOT FOR CONSTRUCTION

SITE PLAN

BROAD STREET MEDICAL

MANSFIELD, TEXAS

C-1.0

Winkelmann & Associates, Inc.

CONSULTING CIVIL ENGINEERS • SURVEYORS

6750 HILLCREST PLAZA DR. SUITE 325
DALLAS, TEXAS 75230
PHONE (972) 490-7090
FAX (972) 490-7099
WWW.WINKELMANN-AND-ASSOCIATES.COM

No.	DATE	REVISION	APPROVAL

SUMMARY CHART - BUFFERYARDS/SETBACKS					
LOCATION OF BUFFERYARD OR SETBACK	REQUIRED / PROVIDED	LENGTH	BUFFERYARD OR SETBACK		SCREENING, WALL/DEVICE HEIGHT AND MATERIAL
			WIDTH / TYPE	CANDY TREES	
NORTHWEST	REQUIRED	333'	BY20	14	SW8
	PROVIDED			14	SW8
NORTHEAST	REQUIRED	474'	BY10	19	NA
	PROVIDED		BY10	19	
SOUTHEAST	REQUIRED	333'	BY10	14 OR 50%	NA
	PROVIDED		INTEGRAL TO SITE	7	
SOUTHWEST	REQUIRED	474'	BY20	19	NA
	PROVIDED		BY20 AVG	19	

SUMMARY CHART - INTERIOR LANDSCAPE			
	LOT SIZE	LANDSCAPE AREA (SF)	% OF LAND-SCAPE AREA
REQUIRED	155,785 SF	15,580	10%
PROVIDED		24,762	16%

COMMENTS
1-BUILDING > 10,000 SQFT SHALL PROVIDE 2 CENTRAL FEATURES OR COMMUNITY SPACES.

SUMMARY CHART - PARKING LOT LANDSCAPE	
TOTAL PARKING SPACES	
155/10 = 16 REQUIRED TREES	16 TREES PROVIDED
- PARKING LOT SCAVENGED FROM PUBLIC RDV. - NO MORE THAN 15 CONTIGUOUS SPACES WITHOUT TREE ISLAND. - END C&G'S INCLUDE TREE.	

SUMMARY CHART – RESERVE LANDSCAPE REQUIREMENTS		
	REQUIRED	PROVIDED
PARKING LANDSCAPE		
1 TREE PER 10 SPACE	7	7
9 X 18 PLANTING AREA MIN.	YES	YES
NO SPACE > 15 SPACES FROM TREE ISLAND	YES	YES
1 TREE/EVERGREEN SHRUBS PER PARKING ISLAND	YES	YES
PARKING LANDSCAPE		
ISLAND AT TERMINUS OF EACH RDW	YES	YES
ISLAND SHALL CONTAIN 1 TREE AND EVERGREEN SHRUBS	YES	YES
LANDSCAPE MEDIAN MIN. WIDTH 6'	NA	NA
1 TREE PER 40' MEDIAN 0/40	NA	NA
STREET TREES		
5" CALIPER TREE PER 30' STREET FRONTAGE	474' / 30= 16	16

NOTES:

- SITE WILL BE IRRIGATED BY AN AUTOMATIC, UNDERGROUND IRRIGATION SYSTEM DESIGNED BY A LICENSED IRRIGATOR, COMPLETE WITH RAIN AND FREEZE SENSORS.
- ONLY CONTAINERIZED TREES WILL BE PLANTED DURING THE MONTHS OF JUNE – AUGUST.
- "LANDSCAPE MAINTENANCE: THE PROPERTY OWNER, TENANT, OR AGENT SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL REQUIRED LANDSCAPING IN A HEALTHY, NEAT, ORDERLY AND LIVE-GROWING CONDITION AT ALL TIMES. THIS SHALL INCLUDE MOWING, EDGING, PRUNING, FERTILIZING, IRRIGATION, WEEDING, AND OTHER SUCH ACTIVITIES COMMON TO THE MAINTENANCE OF LANDSCAPED AREAS. SHALL BE KEPT FREE OF TRASH, LITTER, WEEDS AND OTHER SUCH MATERIALS NOT A PART OF THE LANDSCAPING. PLANT MATERIALS THAT DIE SHALL BE REPLACED WITH PLANT MATERIALS OF A SIMILAR VARIETY AND SIZE.

Symbol	Quantity	Code	Name	Scientific Name	Common Name	Planting Size	Comments
	18	Uler		Ulmus crassifolia	Cedar elm	3"-Cal	B & B
	30	Quvi		Quercus virginiana	Southern live oak	5" Cal	B & B
	2	Pich		Pistacia chinensis	Chinese pistache	3"-Cal	B & B
	101	Mypu		Myrica pusilla	Dwarf Wax Myrtle	5-Gel	36" O.C.
	20	Misgr		Miscanthus sinensis 'Gracillimus'	Maiden grass	5-Gel	36" O.C.
	20	Lefrsi		Leucophyllum frutescens'Silverado'	Silverado sage	5-Gel	36" O.C.
	12	Uipa		Ulmus parvifolia	Lacebark elm	3"-Cal	B & B
	146	Ilvon		Ilex vomitoria 'Nana'	Dwarf yaupon	3-Gel	36" O.C.
	123	Lochpd		Loropetalum chinense 'Plum Delight'	Chinese Fringe Flower	5-Gel	36" O.C.
	8	Pfeld		Pinus eldarica	Eldercia pine	5" Cal	B & B
	30	Iline		Ilex x 'Nellie R. Stevens'	Nelly R. Stevens holy	10 Gel	48" O.C.
	7	Yufi		Yucca filamentosa	Softleaf yucca	7-Gel.	48" O.C.
	12	Hepa		Hesperaloe parviflora	Red yucca	5-Gel	36" O.C.
	19	Muca		Muhlenbergia capillaris	Gulf muhly	5-Gel	36" O.C.
	90	Rinicl		Rhapiolepis indica 'Clara'	Indian hawthorn 'Clara'	5-Gel	48" O.C.
	8	Qush		Quercus shumardii	Shumard oak	3"-Cal	B & B
	16	JuhOB		Juniperus horizontalis 'Bar Harbor'	Bar Harbor juniper	3-Gel	48" O.C.
	19	Sagmap		Salvia greggii 'Navajo Dark Purple'	Navajo Dark Purple sage	1-Gel	24" O.C.
	19	Sagmaw		Salvia greggii 'Navajo White'	Navajo White autumn sage	1-Gel	24" O.C.
	72	Sste		Stipa tenuissima	Mexican feather grass	1-Gel	24" O.C.
	614	Ttas		Trachelospermum asiaticum	Asian jasmine	4" pot	12" O.C.
	1500	Limu		Liriope muscari	'Big Blue' liriope	4" pot	12" O.C.

PLANT LIST

No.	DATE	REVISION		APPROV.
 Winkelmann & Associates, Inc.		CONSULTING CIVIL ENGINEERS ■ SURVEYORS 6750 HILLCREST PLAZA DRIVE, SUITE 325 (972) 490-7090 DALLAS, TEXAS 75230 (972) 490-7099 FAX Texas Surveyors Registration No. 89 Expires 05/31/2010 Texas Surveyors Registration No. 100866-00 Expires 12/31/2010 COPYRIGHT © 2010, Winkelmann & Associates, Inc.		



**Winkelmann
& Associates, Inc.**

CONSULTING CIVIL ENGINEERS ■ SURVEYORS
A DRIVE, SUITE 325 (972) 490-7090
230 (972) 490-7099 FAX
Registration No. 89 Expires 05/31/2010
Registration No. 100866-00 Expires 12/31/2010
O, Winkelman & Associates, Inc.

RICHARD BRATTON SURVEY,
ABSTRACT NO. 114
CITY OF MANSFIELD
TARRANT COUNTY, TEXAS

ROCHESTER BROAD & MATLOCK
DEVELOPMENT, L.L.C.
505 PECAN ST., STE. 101
FORT WORTH, TEXAS 76102

LANDSCAPE PLAN
BROAD STREET MEDICAL
MANSFIELD, TEXAS

EXHIBIT "E"

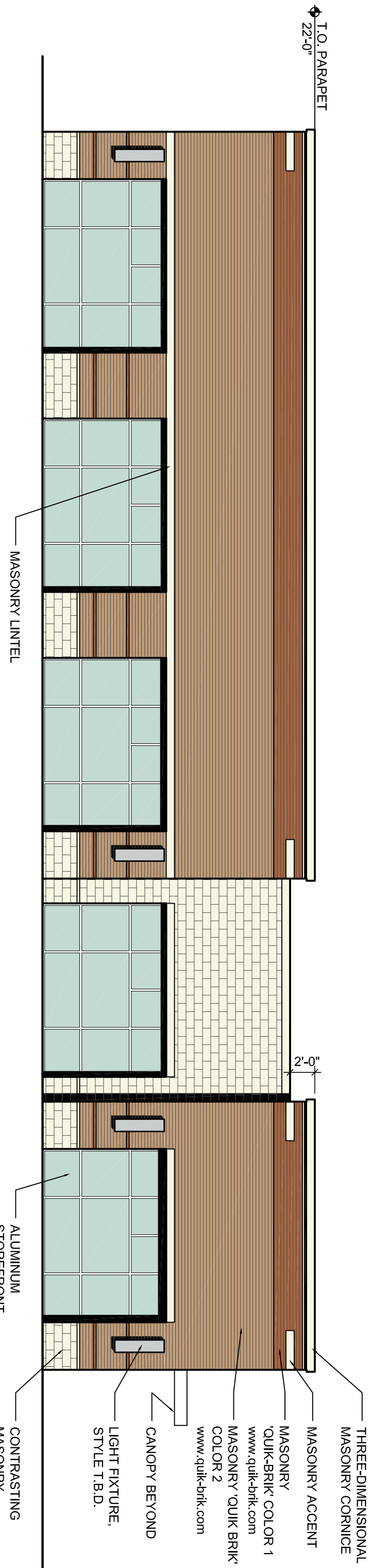


DFL Group, LLC

8233B MD CITIES BLVD, NORTH RICHLAND HILLS, TX 76180 817-479-0730

09/12/14

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NORTHEAST ELEVATION CALCULATIONS

TOTAL NORTHEAST ELEVATION = 2164 S.F.

LESS WINDOW & DOOR S.F. = 700 S.F.

FAÇADE WALL AREA = 1464 S.F.

MASONRY S.F. / PERCENTAGE: 1464 S.F. / 100%

SOUTHWEST ELEVATION CALCULATIONS

TOTAL SOUTHWEST ELEVATION = 2189 S.F.

LESS WINDOW & DOOR S.F. = 700 S.F.

FAÇADE WALL AREA = 1489 S.F.

MASONRY S.F. / PERCENTAGE: 1489 S.F. / 95%

CANOPY S.F. / PERCENTAGE: 70 S.F. / 5%

SOUTHEAST ELEVATION CALCULATIONS

TOTAL SOUTHEAST ELEVATION = 3692 S.F.

LESS WINDOW & DOOR S.F. = 468 S.F.

FAÇADE WALL AREA = 3666 S.F.

MASONRY S.F. / PERCENTAGE: 3355 S.F. / 94%

STUCCO S.F. / PERCENTAGE: 205 S.F. / 6%

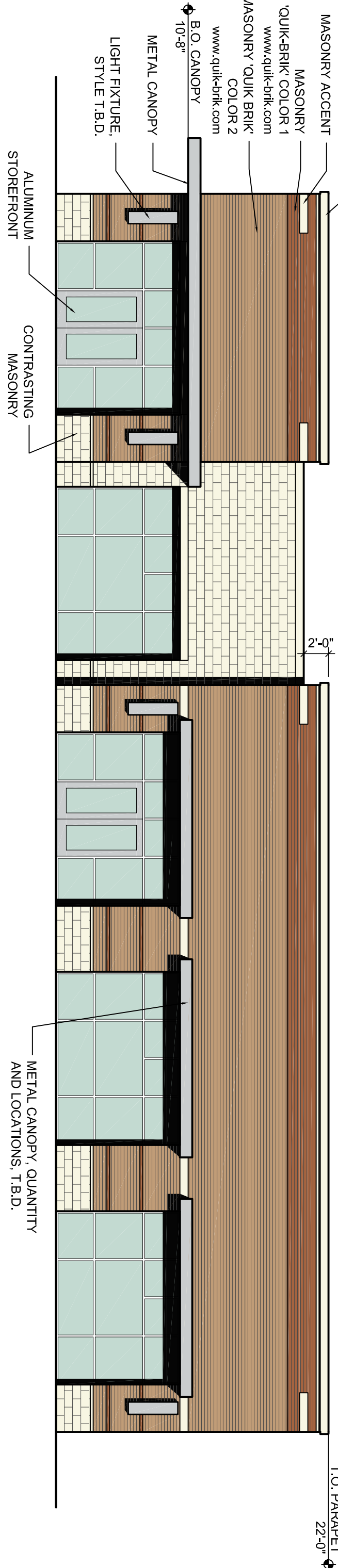
NORTHWEST ELEVATION CALCULATIONS

TOTAL NORTHWEST ELEVATION = 4100 S.F.

LESS WINDOW & DOOR S.F. = 2581 S.F.

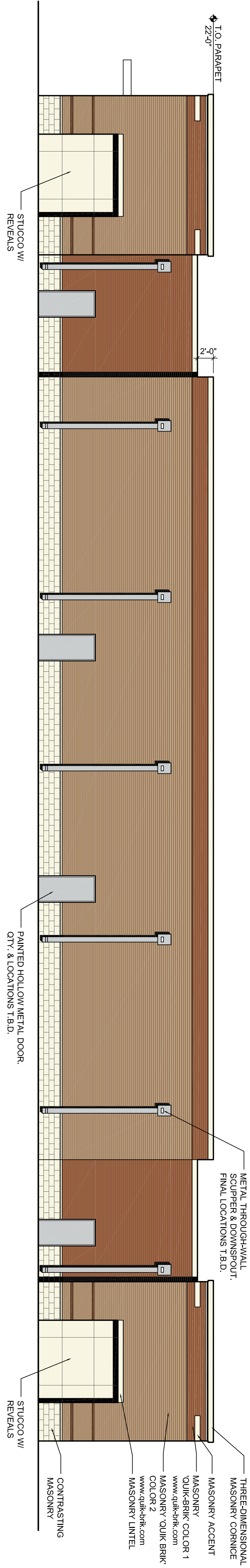
FAÇADE WALL AREA = 2480 S.F. / 98%

MASONRY S.F. / PERCENTAGE: 101 S.F. / 4%



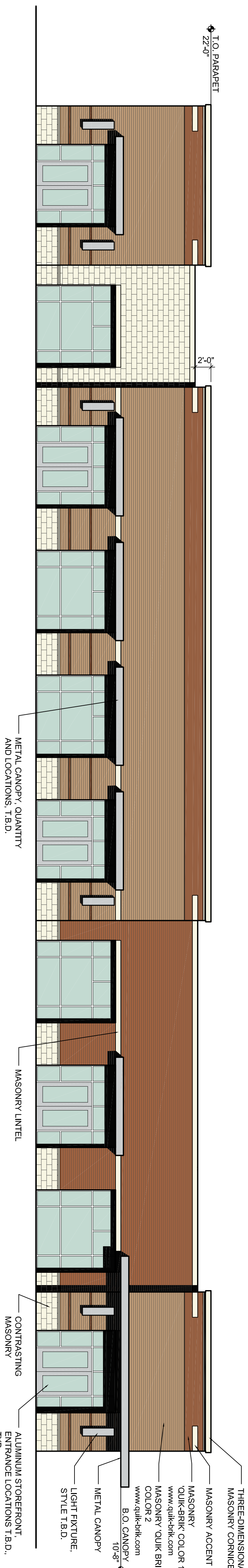
SOUTHWEST ELEVATION | 2

SCALE: 1/8" = 1'-0" | A3-B



SOUTHEAST ELEVATION | 3

SCALE: 1/8" = 1'-0" | A3-B



NORTHWEST ELEVATION | 1

SCALE: 1/8" = 1'-0" | A3-B

FORMAL DATE

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REVISIONS

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APPROVAL, PERMITTING OR
CONSTRUCTION.
SCHEMATIC DESIGN

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THARP**
ARCHITECTS

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MATLOCK STREET
MEDICAL PLAZA

EAST BROAD STREET & MATLOCK RD.
MANSFIELD, TX 76063

07.000
SEPTEMBER 15, 2014

EXTERIOR
ELEVATIONS
BUILDING 'B'

A3-B

