

SITE PLAN NOTES

- SEE ARCHITECTURAL PLANS FOR EXACT LOCATION OF BUILDINGS, ELEVATIONS, AND LANDSCAPING.
- SEE MEP PLANS FOR ALL BUILDING UTILITY CONNECTIONS.
- ALL SIGNS, MONUMENTS DUMPSTER, AND SCREENING WALLS SHALL BE PER CITY ORDINANCE SPECIFICATION AS SHOWN ON ARCHITECTURAL DESIGN AND DETAIL PLANS BY SCHAUMBURG ARCHITECTS.
- IT SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO COORDINATE ALL DESIGN PLANS PRIOR TO CONSTRUCTION ACTIVITIES.

PLAT NOTES

- THE UTILITY AND ACCESS EASEMENTS IS FOR THE USE OF LOTS 1,2,3,4,5,6, & 7. NO IMPROVEMENTS SHALL BE MADE THAT IMPEDE INGRESS AND EGRESS ALONG THIS EASEMENT.
- THE UTILITY AND ACCESS EASEMENT SHALL BE MAINTAINED BY THE PROPERTY OWNERS.
- NO FENCE, SCREEN, FREE STANDING WALL, AND LANDSCAPING, SIGN OR VISUAL BARRIER OVER 2' IN HEIGHT SHALL BE LOCATED OR PLACED WITHIN THE VISIBILITY EASEMENT'S OR 7'X60' TRIANGLES.

BASIS OF BEARINGS:
BEARINGS SHOWN HEREON ARE GRID BEARINGS BASED ON THE TEXAS STATE PLANE COORDINATE SYSTEM, NORTH CENTRAL TEXAS ZONE (NAD 83) AS DERIVED FROM CITY OF MANSFIELD MONUMENT No. 11-07.

ELEVATIONS SHOWN HEREON ARE DERIVED FROM CITY OF MANSFIELD MONUMENT No. 11-07.

IRF DENOTES IRON ROD FOUND
IRS DENOTES IRON ROD SET

FEMA FLOOD NOTE

NO PORTION OF THIS PROPERTY LIES WITHIN A 100-YEAR FLOOD BOUNDARY LINE ACCORDING TO THE NATIONAL FLOOD INSURANCE PROGRAM'S FLOOD INSURANCE RATE MAP FOR THE CITY OF MANSFIELD, TARRANT COUNTY, TEXAS, COMMUNITY PANEL No. 48439C0480 K, MAP REVISED SEPTEMBER 25, 2009

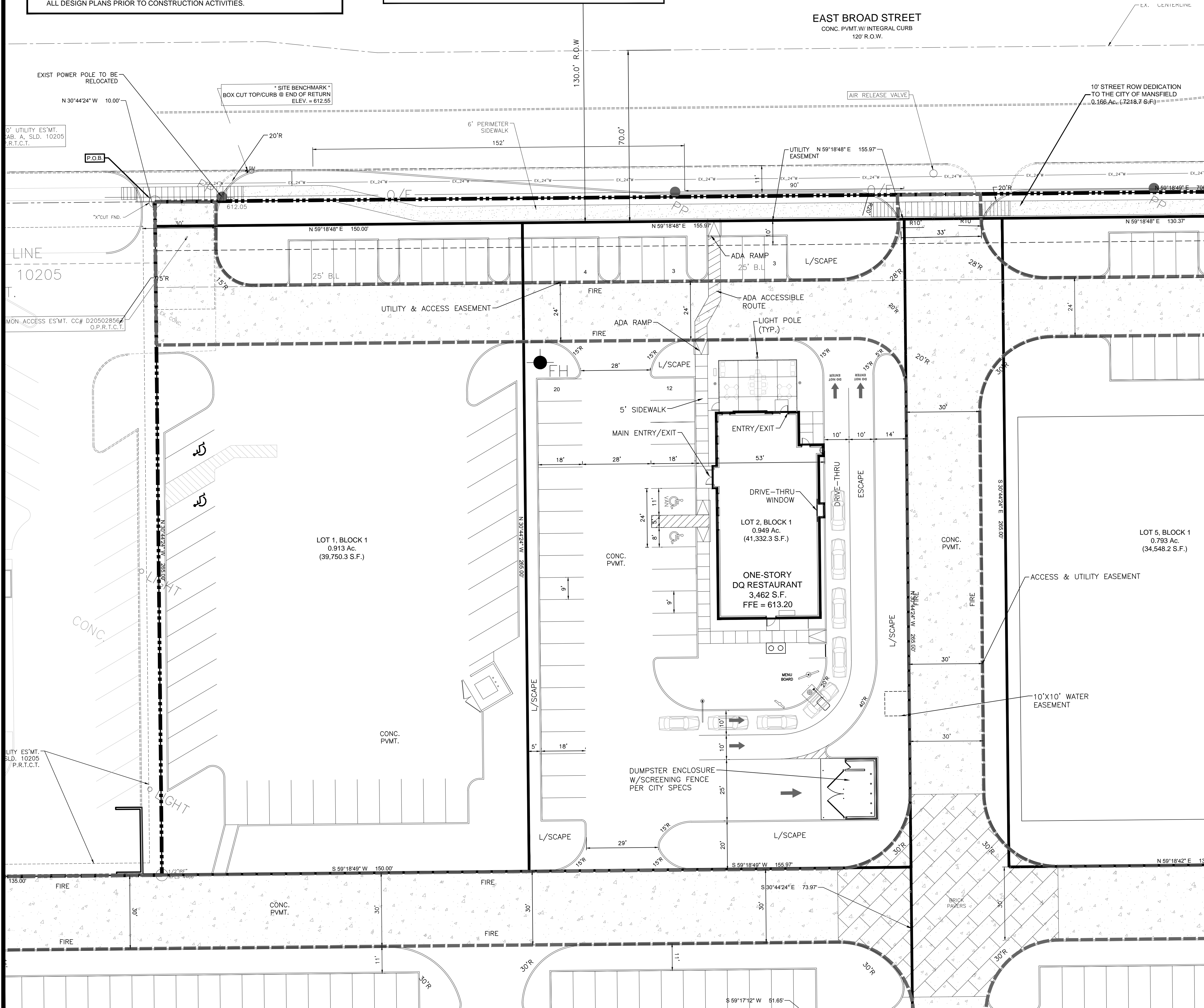
GRAPHIC SCALE

0 20' 40'

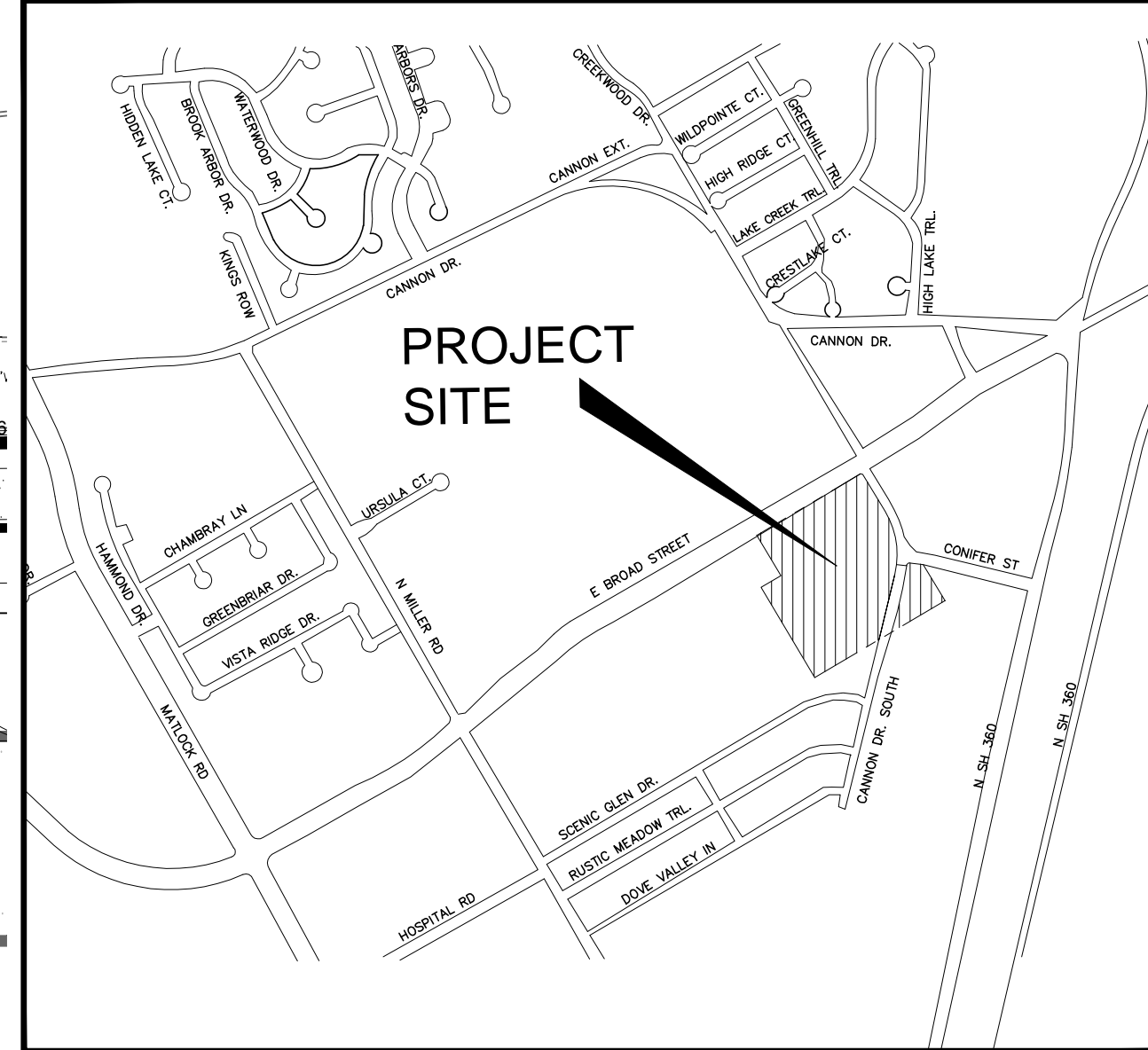
SCALE: 1" = 20'

EAST BROAD STREET

CONC. PVMT. W/ INTEGRAL CURB
120' R.O.W.



PROJECT SITE



VICINITY MAP

NTS

DQ RESTAURANT SITE DATA SUMMARY TABLE	
GENERAL SITE DATA	
ZONING	PLANNED DEVELOPMENT
LAND USE	RESTAURANT
LOT AREA	41,338.44 S.F. (0.949 ACRES)
BUILDING FOOTPRINT AREA	3,462 S.F.
TOTAL BUILDING AREA	3,462 S.F.
BUILDING HEIGHT (#STORIES)	1 STORY
BUILDING HEIGHT	PER ORDINANCE
SEATING CAPACITY	72
TOTAL OCCUPANCY	96
LOT COVERAGE (%)	3,462 S.F. (8.4%)
FLOOR AREA RATIO (X:XX:1)	0.084:1
PARKING	
PARKING RATIO (RESTAURANT)	1 PER 200 S.F.
REQ'D. PARKING	18 SPACES
PARKING PROVIDED	42 SPACES
ACCESSIBLE PARKING REQ'D.	2 SPACES
ACCESSIBLE PARKING PROVIDED	2 SPACES
LANDSCAPE AREA (INCLUDING TURF AREAS)	
LANDSCAPE EDGE AREA PROVIDED	9,250 S.F.
REQ'D. PARKING LOT LANDSCAPING	S.F.
ADDITIONAL INTERIOR LANDSCAPE	S.F.
TOTAL LANDSCAPE PROVIDED	9,250 S.F.
IMPERVIOUS AREA	
BUILDING FOOTPRINTS	3,462 S.F.
AREA OF SIDEWALKS PAVEMENT, ETC.	10,520 S.F.
OTHER IMPERVIOUS AREA	NONE
TOTAL IMPERVIOUS AREA	13,982 S.F.
SUM OF TOTAL L.S.+PERM+IMPERVIOUS	13,982 S.F.
TOTAL IMPERVIOUS AREA	13,982 S.F.
LESS BMP IMPERVIOUS AREA CREDIT	NONE
BILLABLE IMPERVIOUS AREA	13,982 S.F.

SITE PLAN

LOT 2

BEING 0.949 ACRES OUT OF W. HOWARD SURVEY, ABSTRACT NO. 690

DAIRY QUEEN (DQ) RESTAURANT

CITY OF MANSFIELD, TARRANT COUNTY, TEXAS

PLANNED COMMERCIAL DEVELOPMENT

OWNER
THE RICHESON GROUP, LLC
P.O. BOX 1299, 1711 HWY 16 SOUTH
GRAHAM, TX 76450
CONTACT: PAT DI AL
TEL: 940-549-5041
pdial@brassnet.com

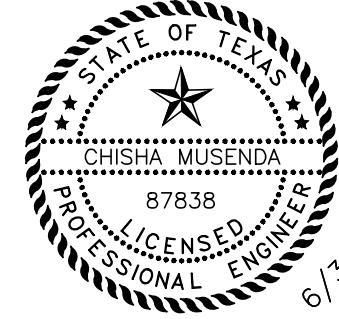
ENGINEER
SCHATZ CONSULTING ENGINEERS, INC.
7473 AIRPORT FREEWAY
FORT WORTH, TEXAS 76118
CONTACT: CHISHA MUSENDA, MSCE P.E.
TEL: (817) 590-2226

JUNE 03, 2014

CASE #: DS14-002

REVISIONS	DESCRIPTION	DATE	BY
1	FIRST SUBMITTAL TO OWNER	6/3/14	KES

SCHATZ CONSULTING ENGINEERS, INC.
"MAKING A POSITIVE DIFFERENCE IN ENGINEERING PRACTICE"
7353 AIRPORT FREEWAY, FORT WORTH TX 76118
1720 WESTMINSTER DR., DENTON TX 76205
TEL 817-590-2226; FAX 817-590-4433
WWW.SCHATZ-ENGINEERS.BIZ; E-MAIL: SCHATZ@SCHATZ-ENGINEERS.BIZ



OWNER
THE RICHESON GROUP, LLC
P.O. BOX 1299, 1711 HWY 16 SOUTH
GRAHAM, TEXAS 76450
CONTACT: PAT DI AL
TEL: (940) 549-5041
Pdial@brassnet.com

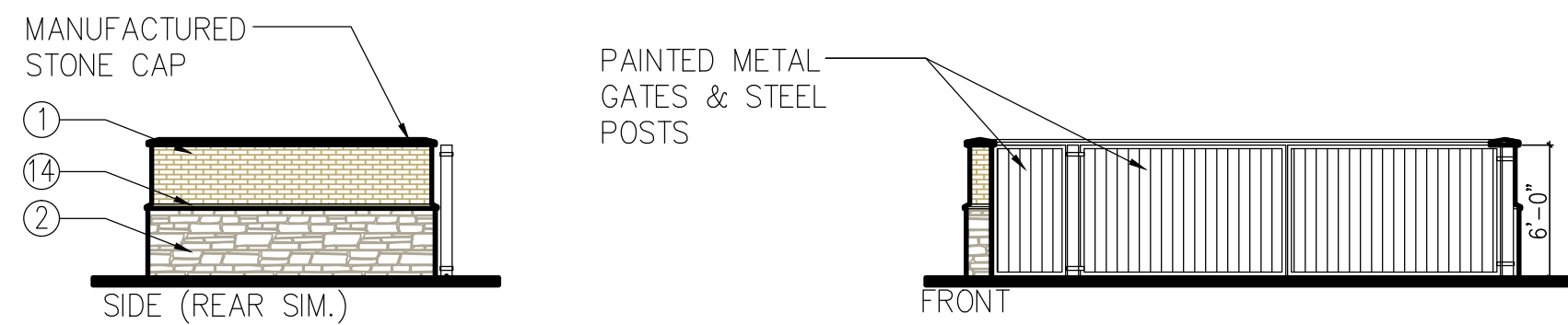
**DQ RESTAURANT
(PLANNED DEVELOPMENT)**
MANSFIELD, TARRANT COUNTY, TX
DETAILED SITE PLAN

DRAWN BY
DHA
CHECKED BY
TMS
SCHEM JOB No.
S13.018_DQ
ORIGINAL ISSUE
DATE: 04/28/2014
CONSTRUCTION SET
ISSUE DATE: TBD
SHEET

C-2.0

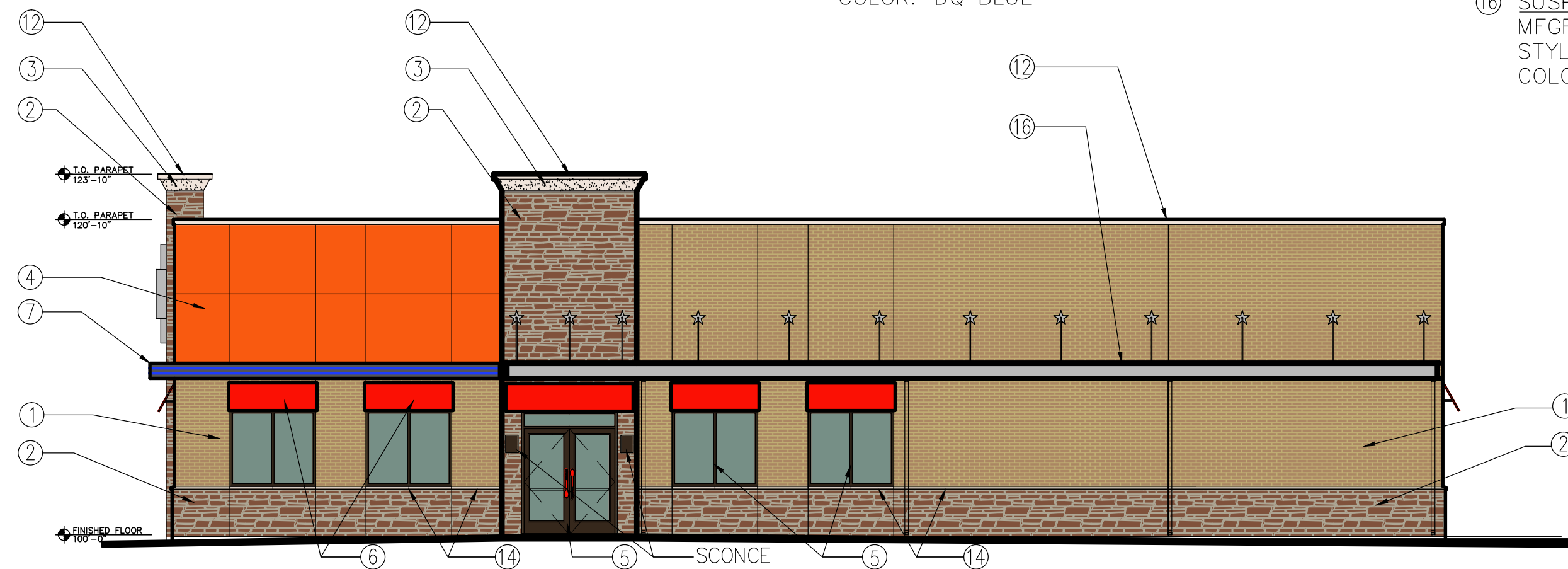
ELEVATION KEY PLAN

SCALE : 1/64"=1'-0"



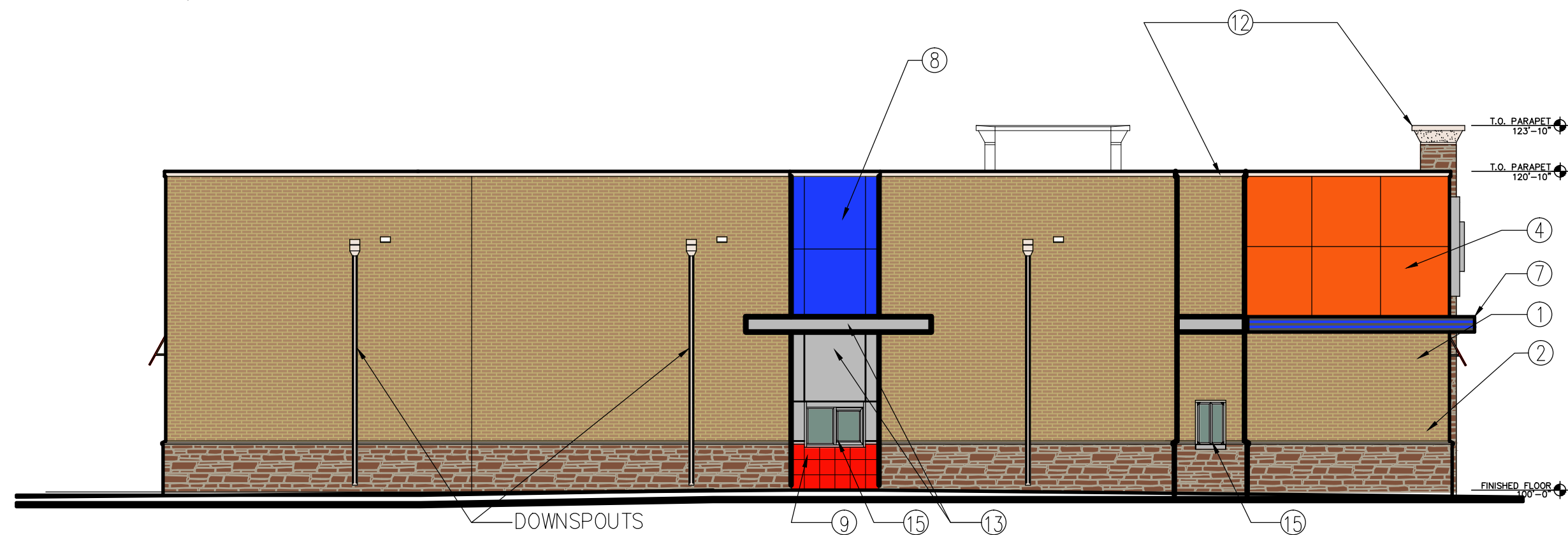
DUMPSTER FENCE ELEVATIONS

SCALE : 1/8"=1'-0"



WEST ELEVATION (SIDE - MAIN ENTRANCE)

SCALE : 1/8" = 1'-0"



EAST ELEVATION (SIDE)

SCALE : 1/8" = 1'-0"

EXTERIOR MATERIALS KEY

- BRICK (FIELD):**
MFR: TBD
COLOR: TBD
FINISH: KING SIZE
- MANUFACTURED STONE VENEER (BASE & ACCENTS):**
MFR: BORAL STONE PRODUCTS LLC
MATERIAL: COUNTRY LEDGE STONE
COLOR: CHARDONNAY
- EIFS (CORNICE):**
MFR: STO CORPORATION
COLOR: DV113 AMARILLO WHITE
FINISH: 306 STO MEDIUM SAND
- METAL PANEL:**
MFR: ALPOLIC
STYLE: 3MM
COLOR: DQ RED
NOTE: MUST BE INSTALLED HORIZONTALLY
VENDOR: NU LOOK EXTERIORS
- STOREFRONT:**
MFR: YKK AP AMERICA INC.
STYLE: 2"x4 1/2"
FINISH: DARK BRONZE SATIN ANODIZED ALUMINUM
GLAZING: CLEAR, 1" INSULATED, LOW E
- FABRIC AWNING:**
MFR: COOL PLANET AWNING
MATERIAL: WEBLON COASTLINE PLUS
COLOR: DEEP RED #CP-2726
- METAL EYEBROW W/ LED LIGHTING BANDS:**
MFR: UNA-CLAD
STYLE: .040 ALUMINUM
FINISH: KYNAR 500
COLOR: MATTE BLACK
- METAL PANEL:**
MFR: ALPOLIC
STYLE: 3MM
COLOR: DQ BLUE
- CERAMIC TILE:**
MFR: MARAZZI
SERIES: I COLORI
COLOR: CRAYONS RED LUSTRE
SIZE: 12"x12"
GROUT: "LATICRETE"
GROUT COLOR: ALMOND 85
- METAL CANOPY:**
MFR: UNA-CLAD
STYLE: .040 ALUMINUM
COLOR: CLEAR ANODIZED SATIN
- STOREFRONT:**
MFR: YKK AP AMERICA INC.
STYLE: 2"x4 1/2"
FINISH: CLEAR SATIN ANODIZED ALUMINUM
GLAZING: CLEAR, 1" INSULATED, LOW E
- COPING & SCUPPERS:**
MFR: UNA-CLAD
MATL: 24 GA. STEEL
FINISH: KYNAR 500
COLOR: ALMOND
- BREAK-METAL CANOPY & CLOSURE:**
MFR: UNA-CLAD
MATL: .040 ANODIZED ALUMINUM
FINISH: CLEAR SATIN
- MANUFACTURED STONE WATERTABLE:**
MFR: BORAL STONE PRODUCTS LLC
MATL: WATERTABLE & SILL
FINISH: TAUPE
- DRIVE-THRU WINDOW:**
MFR: QUIKSERV CORP.
MATL: STAINLESS STEEL
FINISH: STAINLESS STEEL
- SUSPENDED METAL CANOPY:**
MFR: ARCHITECTURAL FABRICATIONS, INC.
STYLE: ALUMINUM
COLOR: CLEAR ANODIZED SATIN

PROJECT DIRECTORY:

OWNER / APPLICANT:
THE RICHESON GROUP LLC
PAT DIAL
P.O. BOX 1229
GRAHAM, TX 76450
940-549-5041

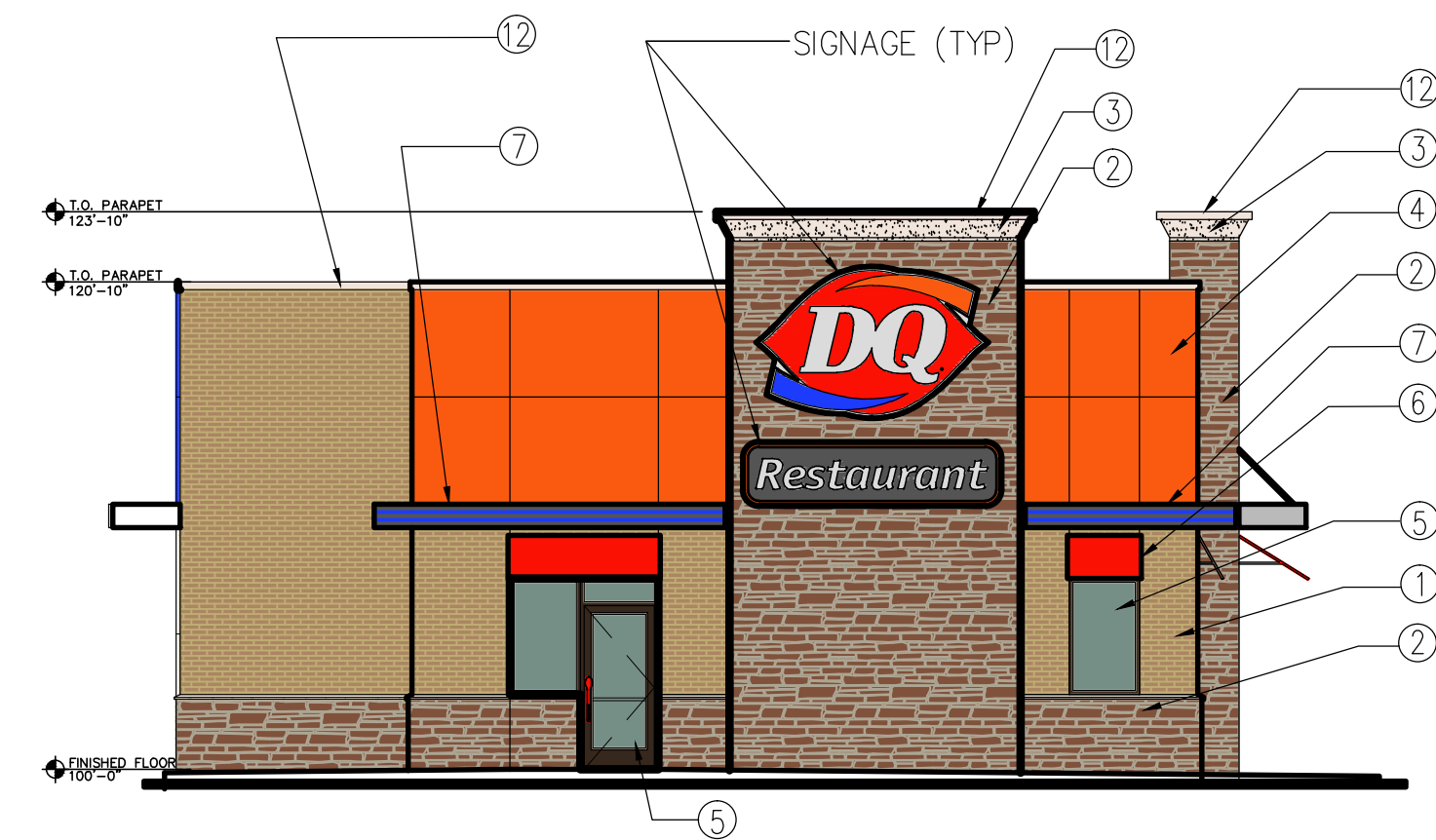
SURVEYOR:
SCHATZ CONSULTING ENGINEERS, INC.
7353 AIRPORT FREEWAY
FORT WORTH, TEXAS 76118
817-590-2226

CIVIL ENGINEER:
SCHATZ CONSULTING ENGINEERS, INC.
7353 AIRPORT FREEWAY
FORT WORTH, TEXAS 76118
817-590-2226

ARCHITECT:
PRIZM ARCHITECTS
RON BROWN
580 DECKER DRIVE, SUITE 170
IRVING, TX 75062
972-714-0420

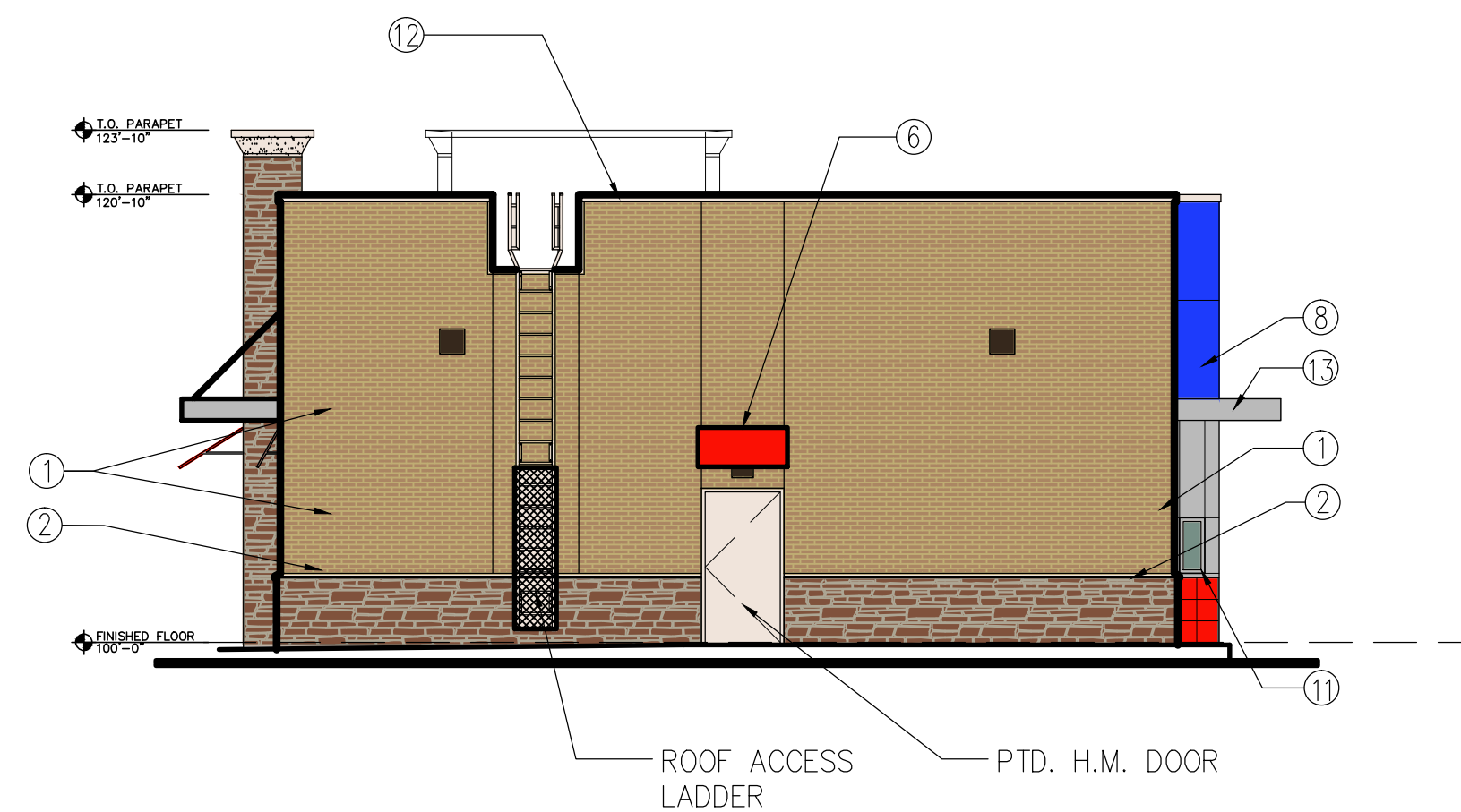
MATERIAL CALCULATIONS TABLE

WEST ELEVATION:			NORTH ELEVATION:		
BRICK:	964 SF	54%	BRICK:	274 SF	29%
MANUFACTURED STONE:	391 SF	22%	MANUFACTURED STONE:	371 SF	39%
ARCH'L METAL PANELS:	199 SF	11%	ARCH'L METAL PANELS:	193 SF	20%
DOORS & WINDOWS:	165 SF	9%	DOORS & WINDOWS:	57 SF	6%
METAL PARAPET CAP:	29 SF	2%	METAL CANOPIES:	27 SF	3%
METAL CANOPIES:	23 SF	2%	EIFS CORNICE:	15 SF	2%
EIFS CORNICE:	8 SF	1%	METAL PARAPET CAP:	13 SF	1%
1,779 SF 100%			950 SF 100%		
EAST ELEVATION:			SOUTH ELEVATION:		
BRICK:	1,200 SF	68%	BRICK:	689 SF	81%
MANUFACTURED STONE:	251 SF	14%	MANUFACTURED STONE:	122 SF	14%
ARCH'L METAL PANELS:	207 SF	12%	DOORS, WINDOW & GATE:	27 SF	3%
DOORS & WINDOWS:	18 SF	1%	METAL PARAPET CAP:	16 SF	2%
METAL PARAPET CAP:	28 SF	2%			
METAL CANOPIES:	31 SF	2%			
CERAMIC TILE:	16 SF	1%			
1,751 SF 100%			854 SF 100%		



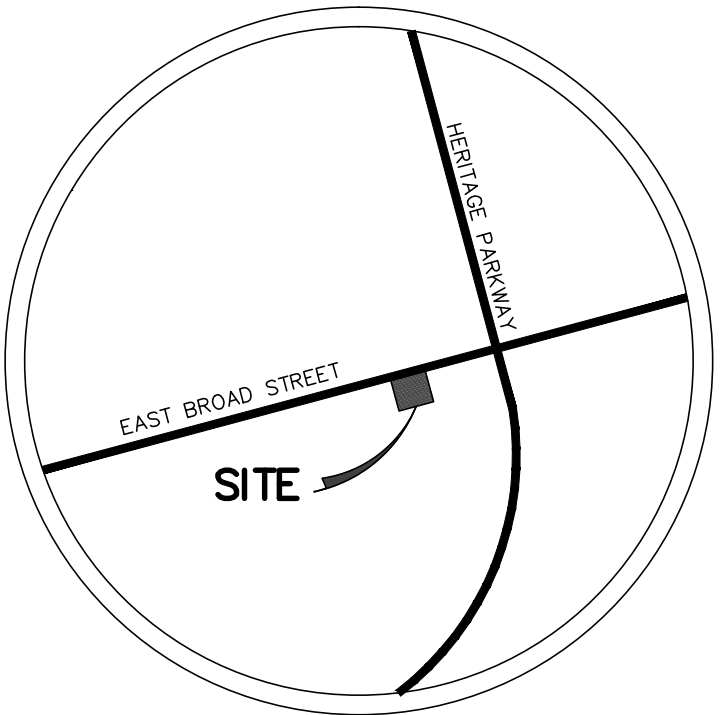
NORTH ELEVATION (FRONT)

SCALE : 1/8" = 1'-0"



SOUTH ELEVATION (REAR)

SCALE : 1/8" = 1'-0"



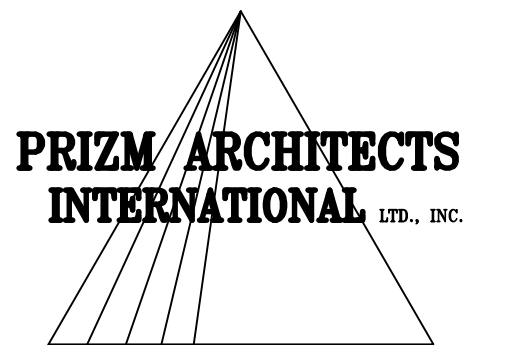
LOCATION MAP

NOT TO SCALE

PRELIMINARY INTERIM REVIEW ONLY

Document incomplete. This drawing is issued for P&Z purposes only and is NOT intended for bidding or construction.

Architect: Ron Brown, AIA
Registration No. 14293
Date: MAY 14, 2014



ARCHITECTS DESIGNERS PLANNERS

580 DECKER DRIVE, SUITE 170
IRVING, TEXAS 75062
(972) 714-0420, FAX (972) 714-0282

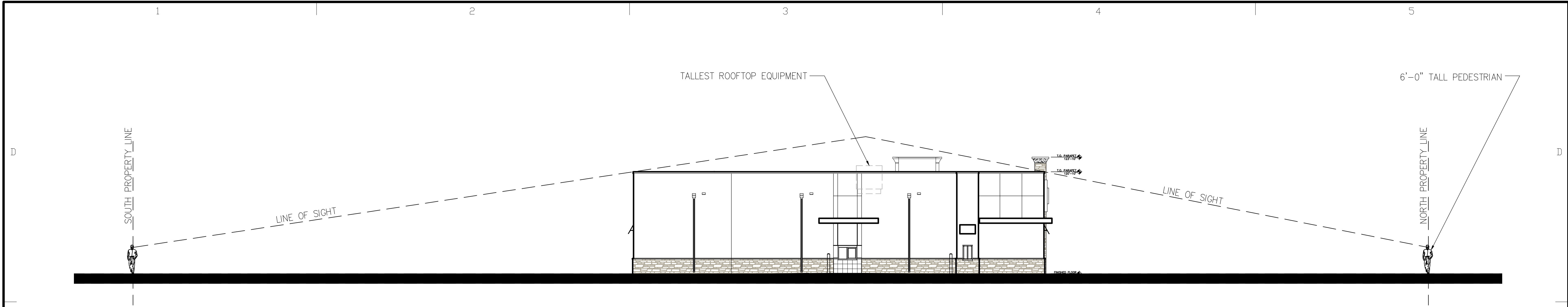
LOT 2, BLOCK 1 VILLAGES OFF BROADWAY

0.949 ACRES
MANSFIELD, TEXAS
TARRANT COUNTY
ZONING: PD

EXTERIOR ELEVATIONS

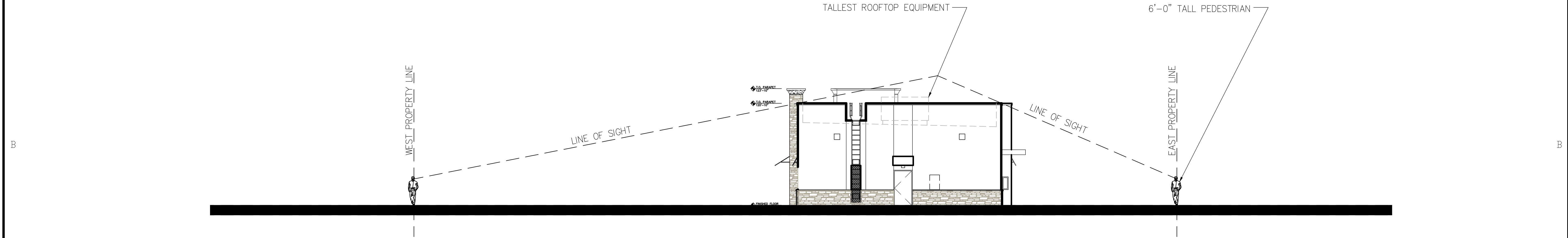
PROJECT NUMBER: 0.012.0414
ISSUED: 06/06/2014
DRAWN BY: PA
CHECKED BY: RB
FILENAME: .DWG

PZ-1



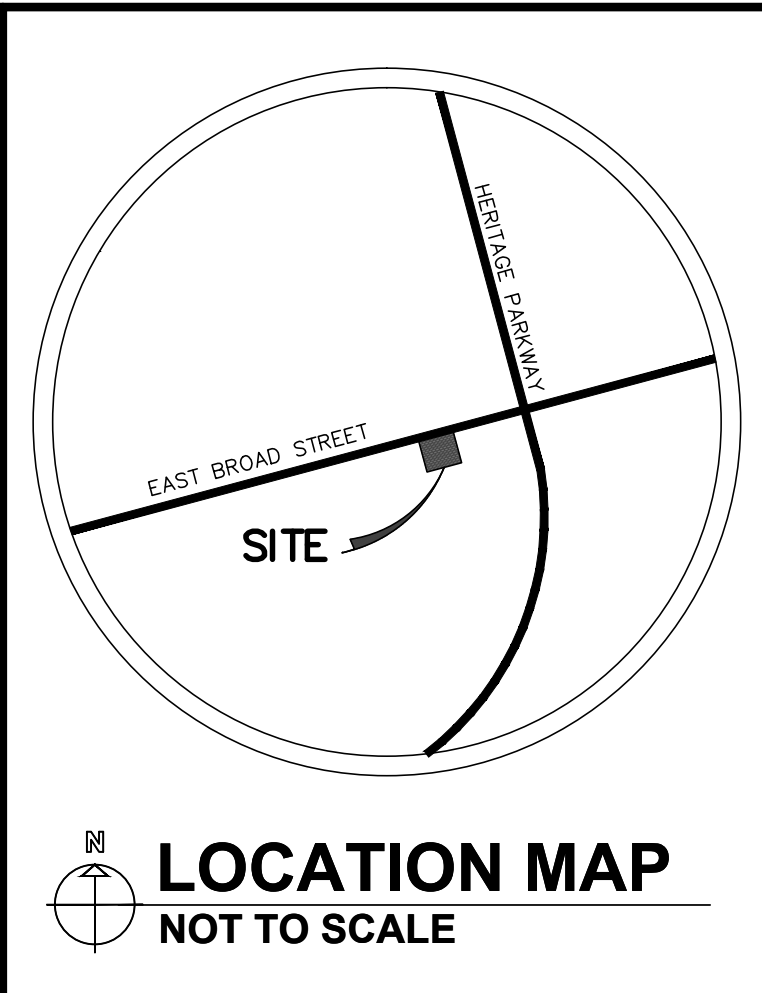
NORTH-SOUTH SIGHT LINE DIAGRAM

SCALE : 3/32" = 1'-0"



EAST-WEST SIGHT LINE DIAGRAM

SCALE : 3/32" = 1'-0"



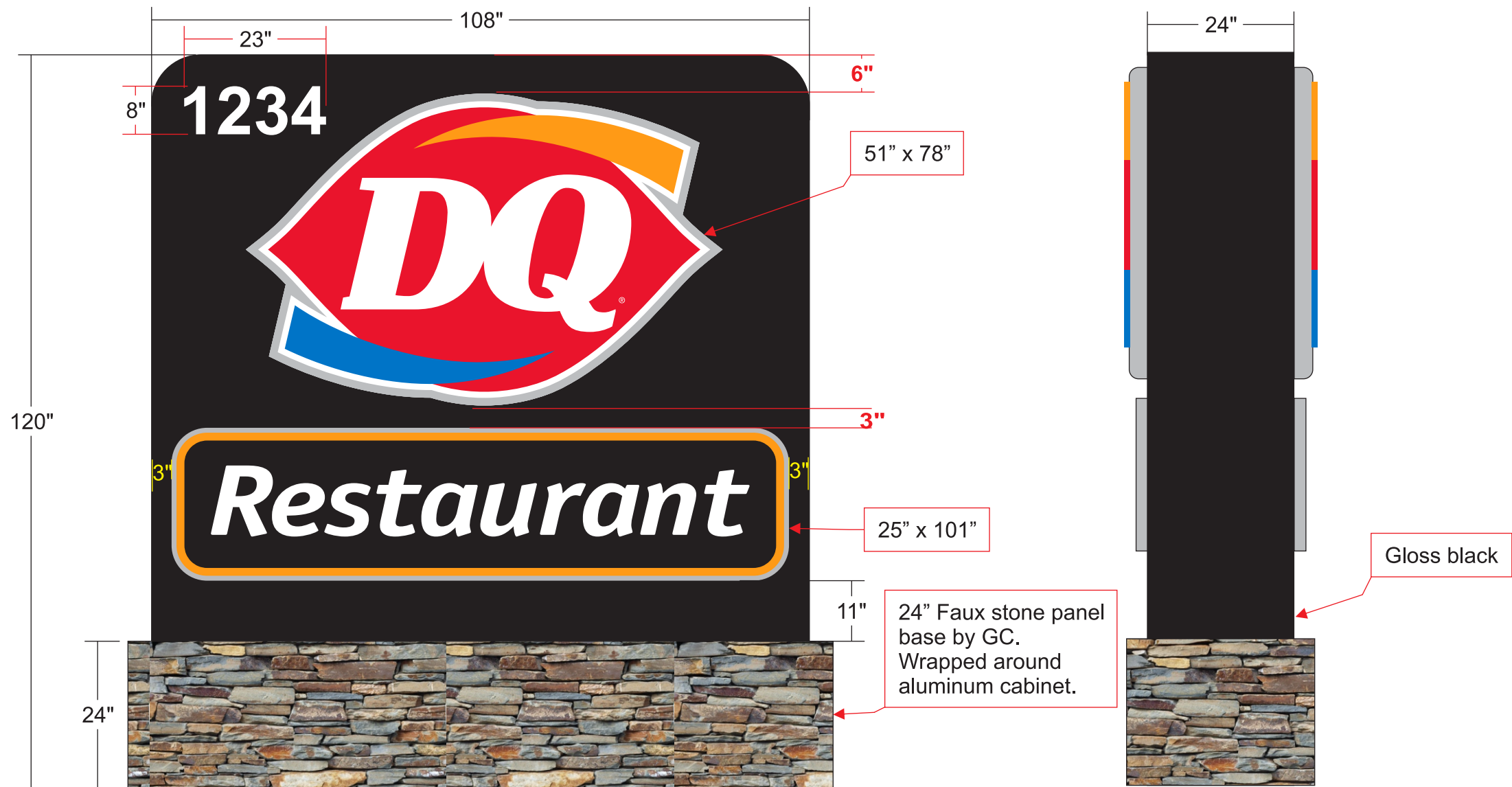
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Architect: Ron Brown, AIA
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PRIZM ARCHITECTS INTERNATIONAL LTD., INC.
ARCHITECTS DESIGNERS PLANNERS
580 DECKER DRIVE, SUITE 170
IRVING, TEXAS 75062
(972) 714-0420, FAX (972) 714-0282

**LOT 2, BLOCK 1
VILLAGES OFF BROADWAY**
0.949 ACRES
MANSFIELD, TEXAS
TARRANT COUNTY
ZONING: PD
SIGHT LINE DIAGRAMS

PROJECT NUMBER:	0.012.0414
ISSUED:	06/06/2014
DRAWN BY:	PA
CHECKED BY:	RB
FILENAME:	.DWG

PZ-2



COLORS TO MATCH VINYL		
#	COLOR	
PMS 185	LT. TOMATO RED	
PMS 1375	ORANGE	
PMS 300	INTENSE BLUE	
IMRON 3.5 HG	BRUSHED ALUMINUM (PAINT)	
3630-20	WHITE	
3630-22	BLACK	

Specifications:
Cabinet to be constructed of all aluminum angle and covered with .080 aluminum. Internal service access to be provided through removable panels located on top of cabinet. Sign to be internally illuminated with HO fluorescent lamps. All electrical components to bear U.L. label. Final connection to electrical service by project electrical contractor.

FRONT VIEW

SIDE VIEW

APPROVAL INFORMATION & CONFIRMATION

☐ Proof is approved. Proceed with production of order. ☐ Proof is approved with corrections. Make corrections as indicated and proceed with production of order

SIGNATURE _____ PRINT NAME _____ DATE _____

I have reviewed this proof in regard to: Sign type; order quantity; and accuracy of icons, symbols, and text (e.g. spelling capitalization, punctuation).

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Client: Dairy Queen

Location: _____

Drawn By: ANS Date: 6-4-14

Approved By: _____

Sheet: _____ Scale: _____

File: _____



SIGN COMPANY LLC.

731-925-4448 • 800-953-3744 • Fax 731-926-2022
www.designteam.net