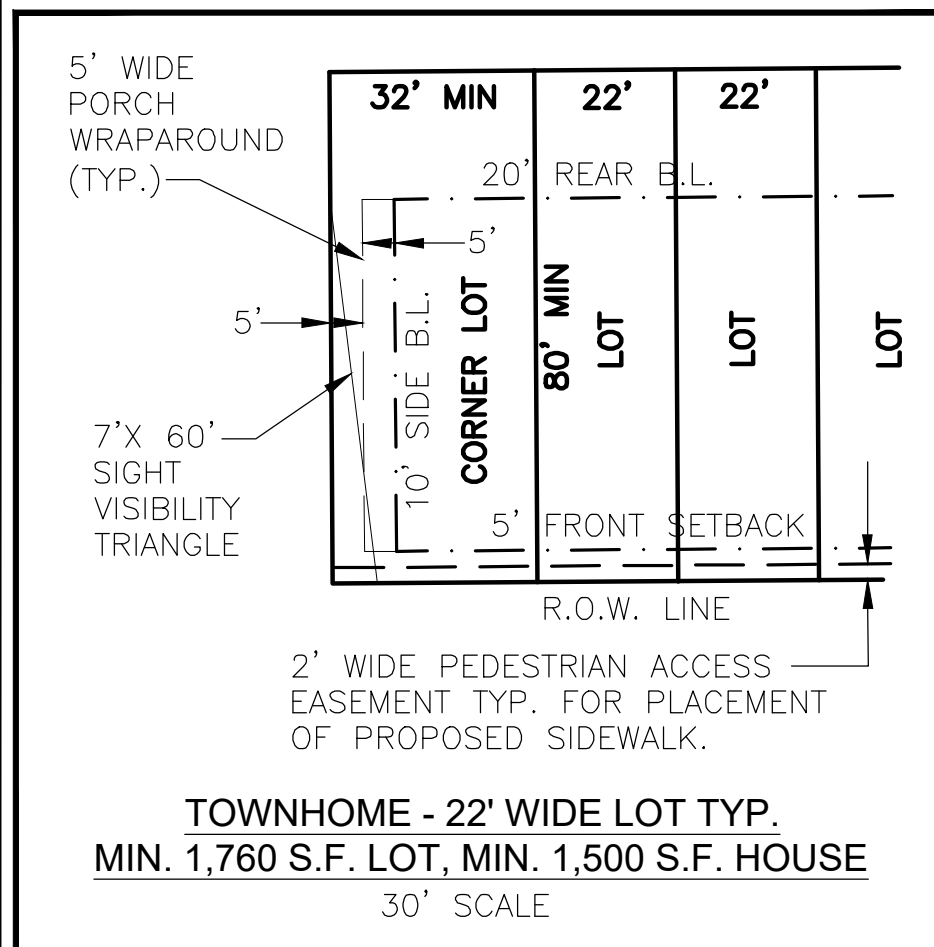
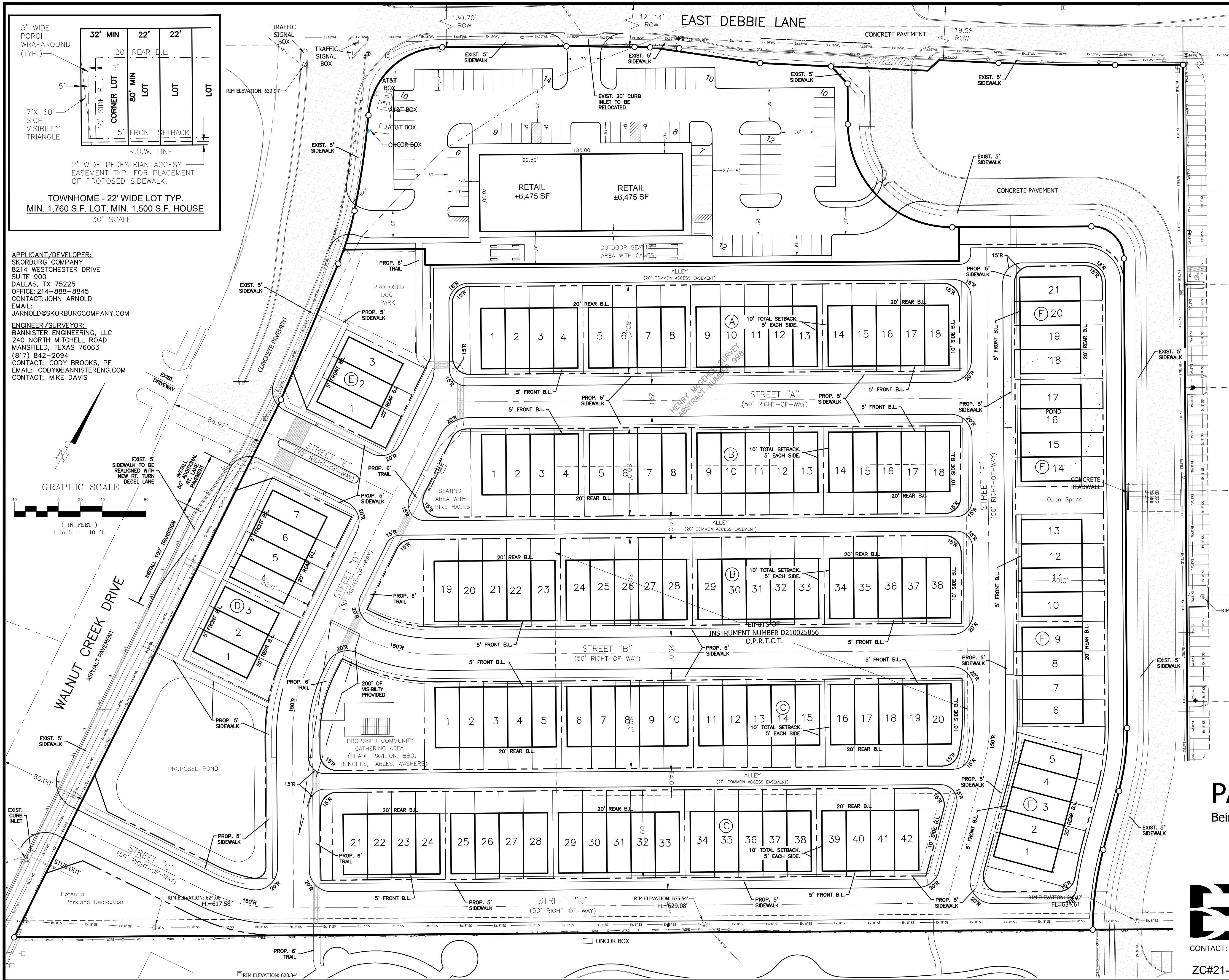
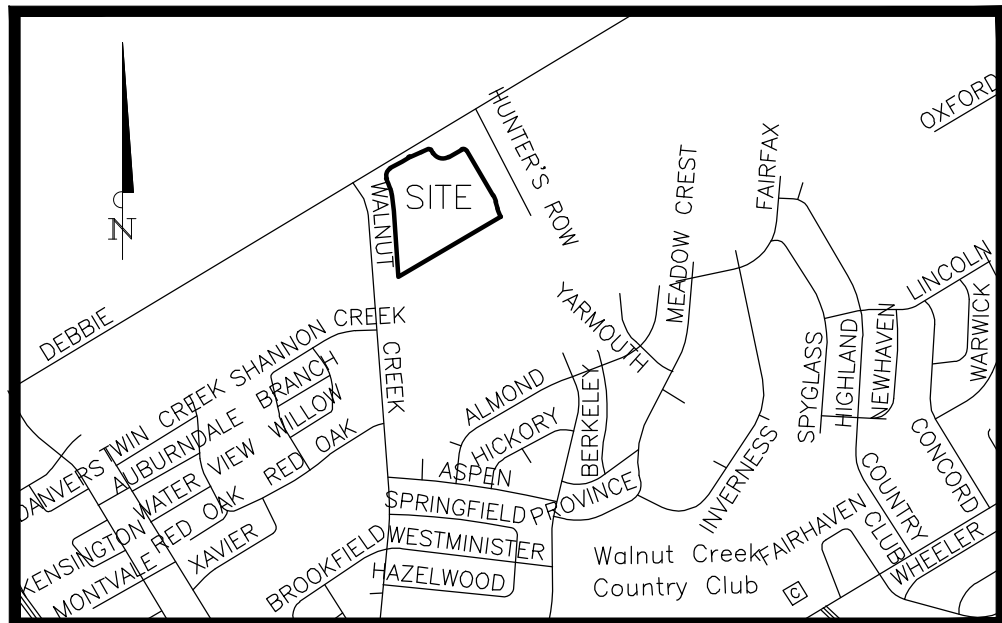
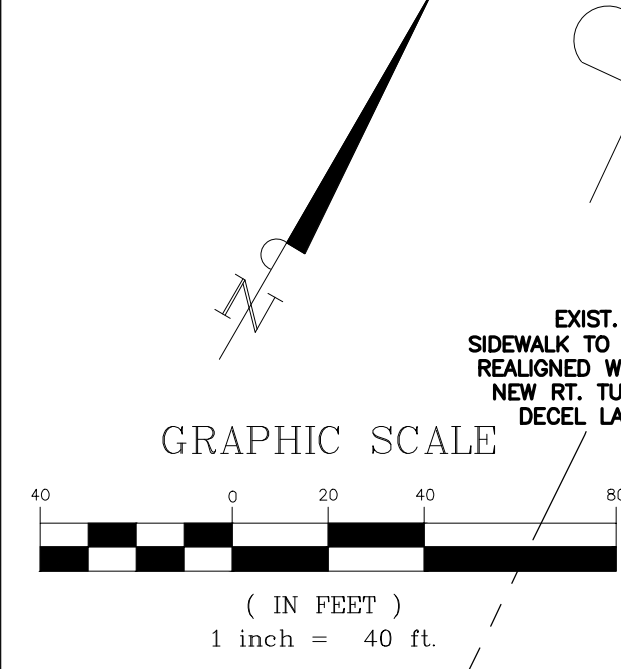




APPLICANT/DEVELOPER:
SKORBURG COMPANY
8214 WESTCHESTER DRIVE
SUITE 900
DALLAS, TX 75225
OFFICE: 214-888-8845
CONTACT: JOHN ARNOLD
EMAIL: JARNOLD@SKORBURGCOMPANY.COM

ENGINEER/SURVEYOR:
BANNISTER ENGINEERING, LLC
240 NORTH MITCHELL ROAD
MANSFIELD, TEXAS 76063
(817) 842-2094
CONTACT: CODY BROOKS, P.E.
EMAIL: CODY@BANNISTERENG.COM
CONTACT: MIKE DAVIS



VICINITY MAP
NOT TO SCALE
MANSFIELD, TEXAS

RESIDENTIAL SITE DATA SUMMARY (528,189 S.F. - 12.13 AC)	
LOT DENSITY:	10.64 UNITS / AC
MAXIMUM HOME HEIGHT:	40'
MIN. HOME S.F.:	1500 S.F.
REQUIRED PARKING:	2 SPACES
PROVIDED PARKING:	4 SPACES (2 GARAGE, 2 DRIVE)
LOT SIZE:	22' X 80'
BUILDING PADS:	22' X 55'
TOTAL UNITS:	129
STREETS:	50' R.O.W.
PAVEMENT:	29' BACK TO BACK
OPEN SPACE LOTS:	63,556 S.F. (1.46 AC)
COMMERCIAL SITE DATA SUMMARY (88,432 S.F. - 2.03 AC)	
BUILDING AREA:	12,950 S.F.
FLOOR AREA RATIO:	0.15
REQUIRED PARKING (4b):	46 SPACES
PROVIDED PARKING:	98 SPACES

PLANNED DEVELOPMENT REGULATIONS:

1. SIDEWALKS WILL BE INSTALLED IN THIS DEVELOPMENT AS SHOWN
2. RESIDENTIAL LOT LANDSCAPE STANDARDS SHALL BE IN ACCORDANCE WITH CITY ORDINANCE.
3. ALL AC UNITS SHALL BE SCREENED FROM PUBLIC VIEW
4. ALL IRRIGATION OF OPEN SPACE LOTS SHALL BE MAINTAINED BY THE HOA.
5. ALL LANDSCAPE AREAS, INCLUDING LANDSCAPE BUFFERS, SETBACKS AREAS, OPEN SPACE LOTS AND FRONT YARDS SHALL BE IRRIGATED.
6. STREET SIGNS SHALL BE ENHANCED WITH DECORATIVE POLE AND MOUNTS WITH STANDARD STREET SIGNS ATTACHABLE AND SHALL BE MAINTAINED BY THE H.O.A.
7. A HOME OWNERS ASSOCIATION (HOA) SHALL BE ESTABLISHED TO OVERSEE THE CODES AND COVENANTS OUTLINE WITHIN THIS PLANNED DEVELOPMENT. REFER TO SEPARATE NOTES THIS SHEET.
8. THIS PROPOSED PLANNED DEVELOPMENT WILL BE IN COMPLETE ACCORDANCE WITH PROVISIONS OF THE APPROVED DEVELOPMENT DISTRICT AND THAT ALL DEVELOPMENT PLANS RECORDED HEREUNDER SHALL BE BINDING UPON APPLICANT THEREOF, HIS SUCCESSORS AND ASSIGNS, AND SHALL LIMIT AND CONTROL ALL BUILDING PERMITS.
9. THE HOA IS RESPONSIBLE FOR THE MAINTENANCE OF ALLEYS (COMMON ACCESS EASEMENTS).

HOME OWNERS ASSOCIATION NOTES:

1. A MANDATORY HOMEOWNERS ASSOCIATION WILL BE RESPONSIBLE FOR THE MAINTENANCE OF THE MASONRY SCREENING WALL WITH MASONRY COLUMNS; THE WOOD FENCE WITH MASONRY COLUMNS; THE DECORATIVE METAL FENCE; THE WOOD FENCE ALONG THE NORTHERN AND WESTERN PERIMETER OF THE DEVELOPMENT; THE DECORATIVE STREET SIGN AND STREET LIGHT POLES AND MOUNTS; THE OPEN SPACE LOTS AND ALL LANDSCAPING AND IMPROVEMENTS THEREON; AND THE ENHANCED ENTRYWAY FEATURES, INCLUDING BUT NOT LIMITED TO, THE MEDIAN, LANDSCAPING, ANY NON-STANDARD PAVEMENT, THE ENTRANCE MASONRY WALLS AND SIGNAGE, AND THE DECORATIVE LIGHT FIXTURES.
2. THE OWNERS ASSOCIATION AND ASSOCIATED DOCUMENTS SHALL BE FILED IN ACCORDANCE WITH CITY OF MANSFIELD POLICIES. THESE DOCUMENTS MUST BE REVIEWED BY THE CITY ATTORNEY PRIOR TO FILING THE FINAL PLAT. THE DOCUMENTS SHALL BE FILED WITH THE FINAL PLAT AT TARRANT COUNTY WHEN DEEMED NECESSARY BY THE ATTORNEY. THE DOCUMENTS SHALL BE SUBMITTED IN TIMELY MANNER TO ALLOW FOR A MINIMUM OF 60 DAY REVIEW. FAILURE TO SUBMIT THE DOCUMENTS OR INCOMPLETE DOCUMENTS MAY RESULT IN A DELAY OF CONSTRUCTION, ACCEPTANCE OF THE SUBDIVISION OR DELAY IN APPROVAL OF A BUILDING PERMIT. THE CITY DOES NOT ACCEPT THE RESPONSIBILITY FOR ANY DELAYS IN CONSTRUCTION, APPROVAL OR ACCEPTANCE OF THE SUBDIVISION CAUSED BY FAILURE TO SUBMIT THE ASSOCIATION DOCUMENTS OR INACCURACY OF THE DOCUMENTS.

EXHIBIT "B" DEVELOPMENT PLAN PARKSIDE ADDITION

Being approximately 14 Acres of land situated in
the Henry McGehee Survey,
Abstract No. 998,
City of Mansfield, Tarrant County, Texas

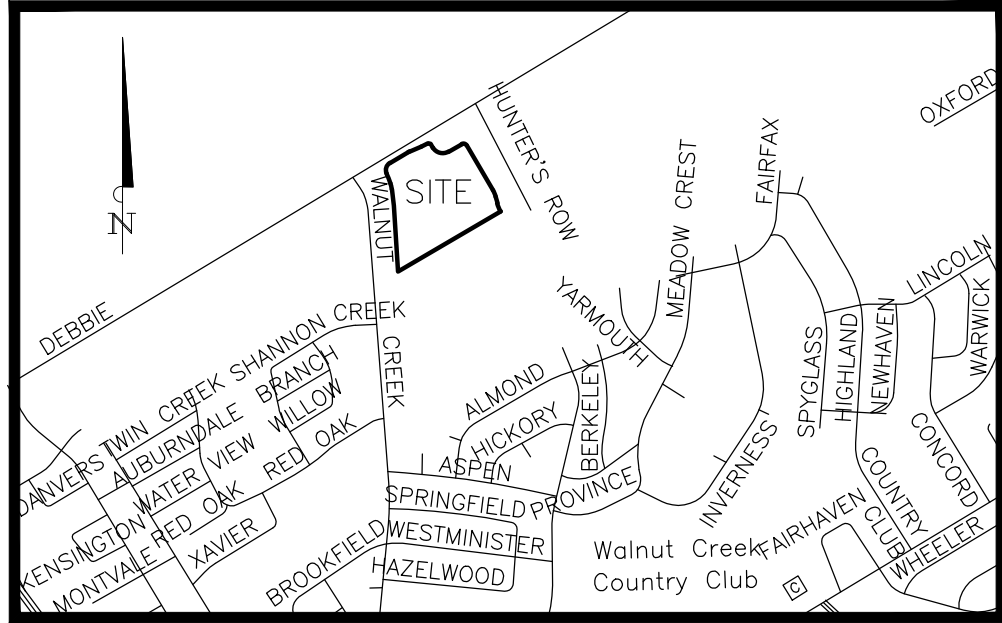
BANNISTER
ENGINEERING
240 North Mitchell Road | Mansfield, TX 76063 | 817.842.2094 | 817.842.2095 fax
REGISTRATION # F-10599 (TEXAS)

CONTACT: CODY BROOKS, P.E.

Date Prepared: 12/17/2021

Date Revised: 2/16/2022

ZC#21-023



RESIDENTIAL SITE DATA SUMMARY (528,189 S.F. - 12.13 AC)	
LOT DENSITY:	10.64 UNITS / AC
MAXIMUM HOME HEIGHT:	40'
MIN. HOME S.F.	1500 S.F.
REQUIRED PARKING	20 SPACES
PROVIDED PARKING	46 SPACES (2 GARAGE, 2 DRIVE)
LOT SIZE:	22' X 80'
BUILDING PADS	22' X 55'
TOTAL UNITS	129
STREETS:	50' R.O.W.
PAVEMENT:	29' BACK TO BACK
OPEN SPACE LOTS:	
COMMERCIAL SITE DATA SUMMARY (88,432 S.F. - 2.03 AC)	
BUILDING AREA:	12,950 S.F.
FLOOR AREA RATIO:	0.15
REQUIRED PARKING (4b)	46 SPACES
PROVIDED PARKING	98 SPACES

PLANNED DEVELOPMENT REGULATIONS:

1. SIDEWALKS WILL BE INSTALLED IN THIS DEVELOPMENT AS SHOWN
2. RESIDENTIAL LOT LANDSCAPE STANDARDS SHALL BE IN ACCORDANCE WITH CITY ORDINANCE.
3. ALL AC UNITS SHALL BE SCREENED FROM PUBLIC VIEW
4. ALL IRRIGATION OF OPEN SPACE LOTS SHALL BE MAINTAINED BY THE HOA.
5. ALL LANDSCAPE AREAS, INCLUDING LANDSCAPE BUFFERS, SETBACKS AREAS, OPEN SPACE LOTS AND FRONT YARDS SHALL BE IRRIGATED.
6. STREET SIGNS SHALL BE ENHANCED WITH DECORATIVE POLE AND MOUNTS WITH STANDARD STREET SIGNS ATTACHABLE AND SHALL BE MAINTAINED BY THE H.O.A.
7. A HOME OWNERS ASSOCIATION (HOA) SHALL BE ESTABLISHED TO OVERSEE THE CODES AND Covenants OUTLINE WITHIN THIS PLANNED DEVELOPMENT. REFER TO SEPARATE NOTES ON THIS SHEET.
8. THIS PROPOSED PLANNED DEVELOPMENT WILL BE IN COMPLETE ACCORDANCE WITH PROVISIONS OF THE APPROVED DEVELOPMENT DISTRICT AND THAT ALL DEVELOPMENT PLANS RECORDED HEREUNDER SHALL BE BINDING UPON APPLICANT THEREOF, HIS SUCCESSORS AND ASSIGNS, AND SHALL LIMIT AND CONTROL ALL BUILDING PERMITS.
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2. THE OWNERS ASSOCIATION AND ASSOCIATED DOCUMENTS SHALL BE FILED IN ACCORDANCE WITH CITY OF MANFIELD POLICIES. THESE DOCUMENTS MUST BE REVIEWED BY THE CITY ATTORNEY PRIOR TO FILING THE FINAL PLAT. THE DOCUMENTS SHALL BE FILED WITH THE FINAL PLAT AT TARRANT COUNTY WHEN DEEMED NECESSARY BY THE ATTORNEY. THE DOCUMENTS SHALL BE SUBMITTED IN TIMELY MANNER TO ALLOW FOR A MINIMUM OF 60 DAY REVIEW. FAILURE TO SUBMIT THE DOCUMENTS OR INCOMPLETE DOCUMENTS MAY RESULT IN A DELAY OF CONSTRUCTION, ACCEPTANCE OF THE SUBDIVISION OR DELAY IN RECEIVING A BUILDING PERMIT. THE CITY DOES NOT ACCEPT THE RESPONSIBILITY FOR ANY DELAYS IN CONSTRUCTION, APPROVAL OR ACCEPTANCE OF THE SUBDIVISION CAUSED BY FAILURE TO SUBMIT THE ASSOCIATION DOCUMENTS OR INACCURACY OF THE DOCUMENTS.

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Date Prepared: 12/17/2021

Date Revised: 3/15/2022

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