



CITY OF MANSFIELD

1200 E. Broad St.
Mansfield, TX 76063
mansfieldtexas.gov

Meeting Agenda

Planning and Zoning Commission

Monday, July 1, 2024

6:00 PM

City Hall Council Chambers

1. **CALL TO ORDER**

2. **INVOCATION**

3. **PLEDGE OF ALLEGIANCE**

4. **TEXAS PLEDGE**

5. **APPROVAL OF MINUTES**

[24-6080](#)

Minutes - Approval of the June 17, 2024, Planning and Zoning Commission Meeting Minutes

Attachments: [6-17-24 DRAFT Minutes](#)

6. **CITIZENS COMMENTS**

Citizens wishing to address the Commission on non-public hearing agenda items and items not on the agenda may do so at this time. Once the business portion of the meeting begins, only comments related to public hearings will be heard. All comments are limited to 5 minutes.

In order to be recognized during the "Citizens Comments" or during a public hearing (applicants included), please complete a blue "Appearance Card" located at the entry to the Chambers and present it to the Planning Secretary.

7. **PUBLIC HEARINGS**

[24-6054](#)

Public Hearing on a Change of Zoning from SF-12/22 Single-Family Residential District to PD Planned Development District for commercial and attached single-family residential (rowhouse) uses on approximately 10.574 acres described as Block 1, Lots 1 and 2R of the RW Roberts Addition, Tarrant County, TX, located at 650 and 700 N. Holland Rd. 1020 Ventures LLC, Developer (ZC#23-019)

Attachments: [Maps and Supporting Information](#)

[Exhibits](#)

[Exhibit B-1, Proposed PD, Planned Development District Standards](#)

8. **SUMMARY OF CITY COUNCIL ACTIONS**

9. **COMMISSION ANNOUNCEMENTS**
10. **STAFF ANNOUNCEMENTS**
11. **ADJOURNMENT OF MEETING**
12. **NEXT MEETING DATE: Monday, July 15, 2024**

I certify that the above agenda was posted on the bulletin board next to the main entrance of City Hall on June 27, 2024, prior to 5:00 p.m. in accordance with Chapter 551 of the Texas Government Code.

Clarissa Carrasco, Administrative Assistant II

* This building is wheelchair accessible. Disabled parking spaces are available. Request for sign interpreter services must be made 48 hours ahead of meeting to make arrangements. Call 817 473-0211 or TDD 1-800-RELAY TX,

* In deciding a zoning change application, the Planning & Zoning Commission and City Council are required to determine the highest and best use of the property in question. The Commission may recommend and the Council may approve a change in zoning to the category or district requested by the applicant or to any zoning category or district of lesser intensity. Notice is presumed sufficient for every District up to the intensity set forth in the zoning change application.



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STAFF REPORT

File Number: 24-6080

Agenda Date: 7/1/2024

Version: 1

Status: Approval of Minutes

In Control: Planning and Zoning Commission

File Type: Meeting Minutes

Title

Minutes - Approval of the June 17, 2024, Planning and Zoning Commission Meeting Minutes



CITY OF MANSFIELD

1200 E. Broad St.
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Meeting Minutes - Draft

Planning and Zoning Commission

Monday, June 17, 2024

6:00 PM

City Hall Council Chambers

IMMEDIATELY FOLLOWING THE CAPITAL IMPROVEMENTS ADVISORY COMMITTEE MEETING

1. CALL TO ORDER

Chair Mainer called the meeting to order at 6:27 p.m. in the City Council Chambers of City Hall, 1200 East Broad Street, with the meeting being open to the public and notice of said meeting, giving the date, place, and subject thereof, having been posted as prescribed by Chapter 551, Texas Government Code.

Staff present:

Director of Planning and Development Services Jason Alexander

Assistant Director of Planning Arty Wheaton-Rodriguez

Planning Manager Katasha Smithers

Administrative Assistant II Clarissa Carrasco

Commissioners:

Present 7 - Blake Axen; Jennifer Thompson; Brandon Shaw; David Goodwin; Michael Mainer; Michael Bennett and Patrick Moses

2. INVOCATION

Vice Chair Axen gave the invocation.

3. PLEDGE OF ALLEGIANCE

4. TEXAS PLEDGE

5. APPROVAL OF MINUTES

[24-6066](#)

Minutes - Approval of the June 3, 2024, Planning and Zoning Commission Meeting Minutes

Commissioner Bennett made a motion to approve the meeting minutes as presented. Commissioner Shaw seconded the motion which carried by the following vote:

Aye: 6 - Jennifer Thompson; Brandon Shaw; David Goodwin; Michael Mainer; Michael Bennett and Patrick Moses

Nay: 0

Abstain: 1 - Blake Axen

6. CITIZENS COMMENTS

There were no citizen comments.

7. PUBLIC HEARINGS

[24-5847](#)

Public Hearing on a Change of Zoning from PD, Planned Development District for Single-Family to PD, Planned Development District, for detached and attached single-family residential (row house) uses on approximately 11.621 acres out of the T. Hanks Survey, Abstract No. 644 and the M. Dickey Survey Abstract No. 1986 Tarrant County, TX, located at 801 Lillian Rd. and 1340 W. Broad St. Josephdam Real Estate, Developer (ZC#23-016)

Mr. Wheaton-Rodriguez gave a presentation on the case and was available to answer any questions.

Chair Mainer opened the public hearing at 6:45 p.m. and called for anyone wishing to speak to come forward.

Seeing no one come forward to speak, Chair Mainer closed the public hearing at 6:45 p.m.

Commissioner Moses made a motion to approve the zoning case as presented. Commissioner Thompson seconded the motion which carried by the following vote:

Aye: 7 - Blake Axen; Jennifer Thompson; Brandon Shaw; David Goodwin; Michael Mainer; Michael Bennett and Patrick Moses

Nay: 0

Abstain: 0

[24-6053](#)

Public Hearing on a Change of Zoning from C2, Community Business District to PD, Planned Development District for C-2, Community Business District uses including Flex-Office Warehouse on approx. 1.998 acres out of the William Lynn Survey, Abstract No. 984, Tarrant Co., TX, located on property addressed at 2480 North U.S. Highway 287. (ZC#23-008)

Ms. Smithers presented the case, mentioned the applicant's request to table the case indefinitely, and was available to answer any questions.

Chair Mainer opened the public hearing at 6:49 p.m. and called for anyone wishing to speak to come forward.

Seeing no one come forward to speak, Chair Mainer closed the public hearing at 6:49 p.m.

Vice Chair Axen made a motion to table the zoning case indefinitely.

Commissioner Shaw seconded the motion which carried by the following vote:

Aye: 7 - Blake Axen; Jennifer Thompson; Brandon Shaw; David Goodwin; Michael Mainer; Michael Bennett and Patrick Moses

Nay: 0

Abstain: 0

[24-6055](#)

Public Hearing on a Change of Zoning from PD, Planned Development District to S, South Mansfield Form Based Development District on Approximately 57.95 Acres of land in the John Robertson Survey, Abstract No. 1317, City of Mansfield, Tarrant County, Texas, Generally Located east of U.S. Highway 287, east and west of N. Mitchell Road, and north of the Union Pacific railroad right-of-way on property addressed at 101 S. U.S. Highway 287 and at 20 and 24 North Mitchell Road; BV Mitchell LLC and the City of Mansfield, applicants (ZC#24-008)

Mr. Alexander gave a presentation on the case and was available to answer any questions.

Chair Mainer opened the public hearing at 6:57 p.m. and called for anyone wishing to speak to come forward.

Seeing no one come forward to speak, Chair Mainer closed the public hearing at 6:58 p.m.

Commissioner Goodwin made a motion to approve the zoning case as presented. Commissioner Shaw seconded the motion which carried by the following vote:

Aye: 7 - Blake Axen; Jennifer Thompson; Brandon Shaw; David Goodwin; Michael Mainer; Michael Bennett and Patrick Moses

Nay: 0

Abstain: 0

[24-6056](#)

Public Hearing on a Change of Zoning from PR, Pre-Development District to S, South Mansfield Form-Based Development District on Approximately 19.974 Acres, Generally Located East of State Highway 360, West of the Tarrant Regional Water District Pipeline Tract, and Approximately 800 feet South of Lone Star Road; City of Mansfield, Applicant (ZC#24-010)

Mr. Alexander gave a presentation on the case and was available to answer any questions.

Chair Mainer opened the public hearing at 7:06 p.m. and called for anyone wishing to speak to come forward.

Seeing no one come forward to speak, Chair Mainer closed the public hearing at 7:07 p.m.

Commissioner Shaw made a motion to approve the zoning case as presented.

Commissioner Moses seconded the motion which carried by the following vote:

Aye: 7 - Blake Axen; Jennifer Thompson; Brandon Shaw; David Goodwin; Michael Mainer; Michael Bennett and Patrick Moses

Nay: 0

Abstain: 0

8. SUMMARY OF CITY COUNCIL ACTIONS

Mr. Wheaton-Rodriguez summarized the actions that took place at the last City Council meeting.

9. COMMISSION ANNOUNCEMENTS

Commissioner Thompson encouraged attendance at the City's upcoming Fourth of July events.

Vice Chair Axen mentioned the transition of The Lot in downtown as well as lane closures occurring near the city.

Commissioner Moses and Chair Mainer commended the city for their Juneteenth celebration.

Chair Mainer emphasized safety when interacting with crowds and large events.

10. STAFF ANNOUNCEMENTS

Mr. Wheaton-Rodriguez mentioned the next meeting date of July 1, 2024. Mr. Wheaton-Rodriguez also mentioned different training opportunities coming up for the commission.

11. WORK SESSION

Discussion for Review and Approval of Zoning Cases

This work session has been postponed.

12. ADJOURNMENT OF MEETING

Commissioner Shaw made a motion to adjourn the meeting. Commissioner Thompson seconded the motion which carried by the following vote:

Aye: 7 - Blake Axen; Jennifer Thompson; Brandon Shaw; David Goodwin; Michael Mainer; Michael Bennett and Patrick Moses

Nay: 0

Abstain: 0

With no further business, Chair Mainer adjourned the meeting at 7:19 p.m.

Michael Mainer, Chair

Clarissa Carrasco, Administrative Assistant II



CITY OF MANSFIELD

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STAFF REPORT

File Number: 24-6054

Agenda Date: 7/1/2024

Version: 1

Status: Public Hearing

In Control: Planning and Zoning Commission

File Type: Zoning Case

Agenda Number:

Title

Public Hearing on a Change of Zoning from SF-12/22 Single-Family Residential District to PD Planned Development District for commercial and attached single-family residential (rowhouse) uses on approximately 10.574 acres described as Block 1, Lots 1 and 2R of the RW Roberts Addition, Tarrant County, TX, located at 650 and 700 N. Holland Rd. 1020 Ventures LLC, Developer (ZC#23-019)

Requested Action:

To consider the subject zoning change request.

Recommendation:

Although there are multiple elements to this zoning change request that are positive, there are some elements that may have an unintended impact on the surrounding properties and the cohesiveness of the existing urban fabric. To that end, if the change of zoning request is recommended for approval, the Department of Planning and Development Services would recommend approval with the following conditions:

1. That the total number of dwelling units (e.g., row houses and single-family residential, detached) that may be designed and constructed pursuant to the provisions of this PD, Planned Development District shall be limited to a maximum of 21;
2. That the additional rules and regulations proposed for a corner market be revised to reflect a minimum of 50 percent of its total retail sales area and display area shall be dedicated exclusively to the sale of perishable goods;
3. That medical clinics (including urgent care) be prohibited;
4. That the hours of operation for all non-residential uses be limited to 7:00 a.m. to 10:00 p.m.;
5. That, where provided in accordance with the Mansfield Zoning Ordinance and the Mansfield Subdivision Control Ordinance, that screening walls be constructed of brick or stone (or faced in brick or stone veneer) or fencing functioning as a screening wall be board-on-board; and
6. That, the minimum floor area for each detached single-family residence be a minimum of 2,200 square feet.

Description/History

Existing Use: Vacant

Existing Zoning: SF-12/22, Single-Family Residential District

Mansfield 2040 Land Use Designation: Mixed-Use Local

Surrounding Land Use & Zoning:

- North: Existing, Commercial Development (PD, Planned Development District based on C-2, Community Business District) and Two Existing Single-Family Homes
- South: Right-of-Way (ROW)
- East: Existing Holland Road Extension Right-of-Way (ROW) and Meadow Glen Neighborhood
- West: Existing Holland Road Right-of-Way (ROW) and Waterford Park Neighborhood

..Synopsis

The requested zoning for this property --- PD, Planned Development District --- is generally consistent with the vision and recommendations found in the recently adopted Mansfield 2040 Plan. The subject property is designated as Mixed-Use Local. As such, the development intends to deliver commercial uses on the western portion of the development and attached single-family dwelling units on the eastern half of the development. The two horizontally mixed-uses are connected via pedestrian paths.

The Mansfield 2040 Plan recommends that residential and non-residential uses be horizontally incorporated next to one another in separate or shared structures. Residential uses should be designed to support non-residential functions, and vice versa; site access and circulation conditions should promote the shared use of utilities, parking and common areas.

Development within this category should promote walkability and pedestrian mobility through reduced front and side setbacks, implementation of plazas and public gathering spaces, and reduced emphasis on parking and vehicular circulation.

Mansfield 2040 Plan Goals and Strategies (Supporting Action):

- NH.1: Encourage Inclusive Housing Options (*Allow inclusive housing options (duplexes, townhomes, smaller multi-dwelling buildings) by right in denser residential areas*).
- NH.3: Plan for Livable Neighborhoods (*Implement block breaks through pedestrian improvements, such as pathways*).
- PP.1: Foster a Sense of Place (*Use trails and parks to link community gathering spaces*).
- RE.2: Expand Local Employment Opportunities (*Integrate small-scale offices and businesses within proximity to residential developments*).
- RE.3: Increase Neighborhood-Centered Retail (*Remove barriers to infill neighborhood-serving retail and commercial establishments within residential areas*).

..Analysis

The subject property consists of two (2) lots of record in Tarrant County totaling approximately 10.574 acres.

A portion of the property under contemplation for a change of zoning request --- the western 2.9 acres of the property --- was the subject of an unsuccessful rezoning attempt in March 2023. At that time, the zoning change request was for a single commercial building intended for neighborhood commercial uses. The remaining 7.6 acres of the contiguous property was to intended to be developed under the existing SF-12/22, Single-Family Residential District, or was not under the control of the developer. The main concern surrounding the previous rezoning attempt was that the development was fragmented; and it would unintentionally hinder efforts to realize and to achieve a cohesive, coherent and well-connected development pattern.

Currently, after receiving additional guidance and direction vis-à-vis public hearings, the developer is proposing to build a horizontally mixed-use development with approximately 30,000 square feet of neighborhood-oriented commercial uses adjacent to 48 attached single-family attached residential units (row houses). The development is just south of Grand Meadow Boulevard and bounded by North Holland Road on the west and Holland Road Extension on the east.

Since then, the developer has acquired additional property to create horizontally mixed-use development. Initially, the developer provided the Department of Planning and Development Services with a development plan for review that included 31 rowhouses. Other iterations went up to 62 row houses.

As currently presented, the proposal includes 46 row houses. Although the site is in relative proximity to the Entertainment District, the Mansfield 2040 Plan envisions an appropriate transition in high intensity development patterns to lower intensity development patterns in order to preserve and enhance the existing urban fabric. Moreover, the proposed intensity of the residential portion of the development is not entirely congruent with the existing development intensity for residential use.

Although the Mansfield 2040 Plan categorizes the property as Mixed-Use Local and recommends densities that average 12-36 dwelling units per acre, it should be noted that: (i) “the Future Land Use Map and categories are not regulatory” and that “[t]hey alone do not permit or prohibit land uses on any particular property-the official Zoning Map of the City governs the land uses on a parcel-by-parcel basis”. Accordingly, the Department of Planning and Development Services conducted an analysis of surrounding residential intensities --- densities --- and found the following:

- Meadow Glen Subdivision (east of site)
 - 8,400 minimum sf (lot)
 - 2,200 sf minimum floor area
 - 3.24 dwelling units per acre
- Waterford Park Subdivision (west of site)
 - 8,400 minimum sf (lot, average lot is 9,515 sf)
 - 2,400 sf minimum floor area
 - 2.32 dwelling units per acre
- North Holland Row Houses (proposed project)
 - No minimum sf (lot, 1,675 - 2,058 sf shown)

- 1,800 sf minimum building area
- 9.98 dwelling units per acre

Further, the Department of Planning and Development Services believes the recommended densities for the Mixed-Use Local category should be reserved for vertically mixed-use developments with complementary multi-family residential or more intense commercial developments (i.e., 2-4 stories in building height). Summarily, the Mansfield 2040 Plan is not a zoning document, rather it is a document that is intended to assist with making “sound land-use and growth decisions when facing site-specific development inquiries”.

The intensity of the density with the proposed project is a concern, as the development is near the existing detached single-family development (i.e., larger homes, that on average, have a minimum floor area of 2,200 square feet) and, contextually, development of this intensity does not create the best transition to the existing single-family residential development based on the current proposal.

Although the Mixed-use Local category encourages multi-family residential development at various intensities, it is important to note that single-family residential (detached and attached) are also considered to be somewhat appropriate. Additionally, as the Mansfield 2040 Plan also encourages careful consideration of specific sites based on existing land development patterns, it is important to note that this site is located within an urban fabric that is void of multi-family residential. The absence of multi-family residential should be preserved and continued; however, the presence of single-family residential (detached and attached) should be encouraged and designed and constructed in a manner that reinforces the human-scale, context-sensitive architecture, and other elements and features that reinforce principles and practices of complete neighborhoods. As proposed, any mix of attached and detached single-family residential units are appropriate and should be paired with local businesses. The mix of uses proposed under this PD, Planned Development District may require additional conditions to ensure present and future compatibility with the development patterns in the immediate vicinity.

Attached single-family residential within the development are shown to be on lots that range in size from 1,675 square feet to 2,058 square feet. The PD, Planned Development District standards for this development do not provide minimum standards for lot sizes, but does provide for a minimum building area of 1,800 square feet and a maximum of lot coverage of 80 percent. Frontage requirements (e.g., dooryard or stoop) have been proposed for all row houses and all detached single-family residential units are required to meet porch frontage standards.

The attached residential portion of the development is accessed via an alley at the rear of the units with all units fronting on either Holland Road Extension or the existing 50-foot gas pipeline easement that runs between the residential and commercial halves of the development. Three (3) green space pass throughs that run perpendicular to Holland Road Extension allow for access through the development to the proposed commercial development. These connections provide pedestrian permeability through the development so that adjacent single-family neighborhoods have direct connections into

the new neighborhood commercial.

The commercial portion of the proposed development consists of up to four (4) separate buildings and approximately 30,000 square feet of leasable space. As part the City of Mansfield's commitment to provide for a horizontal mix of uses, this development does provide for a phasing plan that requires that a minimum of 10,000 square feet of commercial be designed and constructed prior to the acceptance of an application for any residential development. Of the required 10,000 square feet of commercial space to be designed and constructed, at least 2,500 square feet of the commercial space must be permanently dedicated to the operation of at least one (1) food service establishment. As the proposed commercial development is directly adjacent to existing and proposed residential development, the Department of Planning and Development Services has worked closely with the developer to craft a list of approved neighborhood-serving uses; a list of uses requiring a Specific Use Permit; and a list of uses otherwise prohibited on the site. To that end, the Department of Planning and Development Services believes that certain uses should maintain neighborhood appropriate hours of operation and that the developer should prohibit medical clinics, including urgent care, from the development. These items are included within the Department of Planning and Development Services recommendations above.

Plat Review Committee (PRC):

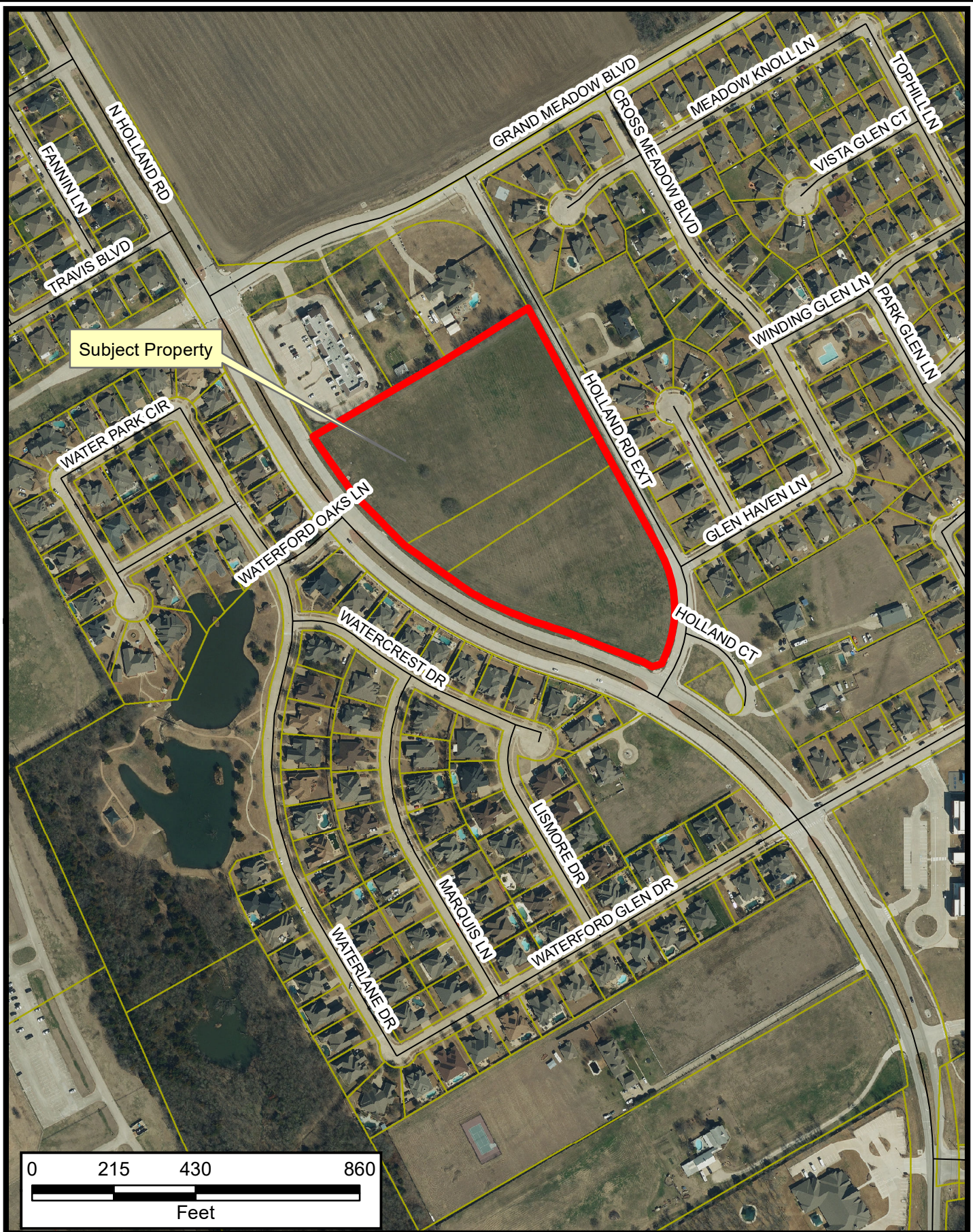
The PRC is comprised of representatives from various departments with permitting jurisdiction over applications for development. The PRC verifies application completeness, compliance with city ordinances, and appropriate application of all design criteria. All departments have reviewed and approved the following attachments.

Attachments:

Maps and Supporting Information

Exhibits

Exhibit B-1, Proposed PD, Planned Development District Standards



ZC#23-019

This information is for illustrative purposes only. Not for design or development purposes. Site-specific studies may be required to obtain accurate feature locations. Every effort is made to ensure the information displayed here is accurate; however, the City of Mansfield makes no claims to its accuracy or completeness.

6/4/2024



ZC#23-019

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6/4/2024

Property Owner Notification for ZC#23-019

LEGAL DESC 1	LEGAL DESC 2	OWNER NAME	OWNER ADDRESS	CITY	ZIP
			*** NO ADDRESS ***	*** NO CITY ***	* NO ZIP *
			*** NO ADDRESS ***	*** NO CITY ***	* NO ZIP *
LOWE, WILLIAM C ADDITION	LOT 1R1	CORINTHIAN REAL ESTATE INVESTM	28651 WESTERN CT	EVERGREEN, CO	80439
LOWE, WILLIAM C ADDITION	LOT 1R2	SAFE, REZA	3820 GRAND MEADOW BLVD	MANSFIELD, TX	76063
LOWE, WILLIAM C ADDITION	LOT 2	BONNER, MICHAEL	3850 GRAND MEADOW BLVD	MANSFIELD, TX	76063
MEADOW GLEN	BLK 2	HOWE, DEBORAH SUE	702 N HOLLAND RD	MANSFIELD, TX	76063-5509
MEADOW GLEN	BLK 2	RUSH, GRETCHEN	600 ARBOR GLEN CT	MANSFIELD, TX	76063
MEADOW GLEN	BLK 2	MORGAN, DAVID F	602 ARBOR GLEN CT	MANSFIELD, TX	76063-8699
MEADOW GLEN	BLK 2	HALL, J R	604 ARBOR GLEN CT	MANSFIELD, TX	76063-8699
MEADOW GLEN	BLK 2	NGUYEN, QUOC	1716 RICHLLEN WAY	DESOTO, TX	75115
MEADOW GLEN	BLK 2	BELTRAN, NESTOR	15014 LUIS ST	POWAY, CA	92064-2625
MEADOW GLEN	BLK 2	SALVADOR-SILVA, MERCEDES	610 ARBOR GLEN CT	MANSFIELD, TX	76063
MEADOW GLEN	BLK 2	RICHARDS, THOMAS	612 ARBOR GLEN CT	MANSFIELD, TX	76063-8699
MEADOW GLEN	BLK 2	AYER, SCOTT F	4306 MEADOW BEND CT	MANSFIELD, TX	76063-8694
MEADOW GLEN	BLK 2	HARPER, JUSTIN	4304 MEADOW BEND CT	MANSFIELD, TX	76063
MEADOW GLEN	BLK 2	MITCHUM KEVIUS	4307 MEADOW BEND CT	MANSFIELD, TX	76063-8694
MEADOW GLEN	BLK 5	ARMENDARIZ, ALFREDO	400 HOLLAND CT	MANSFIELD, TX	76063
MEADOW GLEN	BLK 5	JEDETSKI, MICHAEL	4302 GLEN HAVEN LN	MANSFIELD, TX	76063
MEADOW GLEN	BLK 5	BARNES, NATHAN	4300 GLEN HAVEN LN	MANSFIELD, TX	76063

Property Owner Notification for ZC#23-019

LEGAL DESC 1	LEGAL DESC 2	OWNER NAME	OWNER ADDRESS	CITY	ZIP
ROBERTS, R W ADDN	BLK 1	BM SMART INVESTMENTS LLC	7615 RED STAG ST	ARLINGTON, TX	76002
ROBERTS, R W ADDN	BLK 1	BM SMART INVESTMENTS LLC	7615 RED STAG ST	ARLINGTON, TX	76002
WATERFORD PARK - MANSFIELD	BLK 1	MAYO, CHERYL	PO BOX 226841	DALLAS, TX	75222
WATERFORD PARK - MANSFIELD	BLK 1	JONES, DEWAYNE K	707 WATERLANE DR	MANSFIELD, TX	76063
WATERFORD PARK - MANSFIELD	BLK 1	SAMUEL, TOM	701 WATERLANE DR	MANSFIELD, TX	76063
WATERFORD PARK - MANSFIELD	BLK 1	MCCOY, JESSICA	705 WATERLANE DR	MANSFIELD, TX	76063-9107
WATERFORD PARK - MANSFIELD	BLK 1	FULLER, JEFFERY	703 WATERLANE DR	MANSFIELD, TX	76063
WATERFORD PARK - MANSFIELD	BLK 3	DANDRIDGE, CHUCK	4103 WATERCREST DR	MANSFIELD, TX	76063
WATERFORD PARK - MANSFIELD	BLK 3	FROST NATIONAL BANK	PO BOX 2127	AUSTIN, TX	78768-2127
WATERFORD PARK - MANSFIELD	BLK 3	GEORGE, DEVONA	4205 WATERCREST DR	MANSFIELD, TX	76063-9115
WATERFORD PARK - MANSFIELD	BLK 3	GROOMS, DORIS	4203 WATERCREST DR	MANSFIELD, TX	76063
WATERFORD PARK - MANSFIELD	BLK 3	SKINNER, LEAVEIL	4201 WATERCREST DR	MANSFIELD, TX	76063-9115
WATERFORD PARK - MANSFIELD	BLK 3	GARCIA, MA ELIZABETH	4109 WATERCREST DR	MANSFIELD, TX	76063
WATERFORD PARK - MANSFIELD	BLK 3	BOLANOS VILLANUEVA, JAVIER	4107 WATERCREST DR	MANSFIELD, TX	76063
WATERFORD PARK - MANSFIELD	BLK 3	BOLANOS VILLANUEVA, JAVIER	4105 WATERCREST DR	MANSFIELD, TX	76063
WATERFORD PARK - MANSFIELD	BLK 3	KOLDAN, JUSTIN	4207 WATERCREST DR	MANSFIELD, TX	76063-9115
WATERFORD PARK - MANSFIELD	BLK 3	RIDDLE, KANDAL	4209 WATERCREST DR	MANSFIELD, TX	76063
WATERFORD PARK - MANSFIELD	BLK 3	ETTE, EDDIE	551 N HOLLAND RD	MANSFIELD, TX	76063-5516
WATERFORD PARK - MANSFIELD	BLK 3	MANSFIELD WATERFORD PARK HOA	2331 GUS THOMASSON RD STE 126	DALLAS, TX	75228-3097

Tuesday, June 4, 2024

Page 2 of 3

Property Owner Notification for ZC#23-019

LEGAL DESC 1	LEGAL DESC 2	OWNER NAME	OWNER ADDRESS	CITY	ZIP
WATERFORD PARK - MANSFIELD	BLK 8	MANSFIELD WATERFORD PARK HOA	2331 GUS THOMASSON RD STE 126	DALLAS, TX	75228-3097

EXHIBIT A: LEGAL DESCRIPTION ZC#23-019

PRELIMINARY CONSTRUCTION PLANS FOR :Mixed Used Addition 700 N HOLLAND RD, MANSFIELD, TEXAS

Record Owner:
Badee Rahhal
Address: 7615 Red Stag St, Arlington, TX 76002, United States
Phone: (817) 917-4524

Engineer/Architect:
Alejandro bosch

Surveyor:
Rodney Martinez L-R Surveying, LLC

SITE INFORMATION

CURRENT SITE AS EXISTING: (10.574 TOTAL ACRES)

ZONING: SF 12/22 – SINGLE FAMILY RESIDENTIAL DISTRICT
USE: UNDEVELOPED LAND

LOT 1: 5.436 ACRES (236,787 SF)
LOT 2: 5.138 ACRES (223,829 SF)

PROPOSED DEVELOPMENT: (10.574 TOTAL ACRES)

NEW ZONING: PLANNED DEVELOPMENT
NEW USE(S): RETAIL, COMMERCIAL, RESIDENTIAL SINGLE FAMILY – ROW HOUSES, RESIDENTIAL SINGLE FAMILY – HOME

LOT 1: 7.971 AC. (347,246 SF.)	LOT 13: 0.045 AC. (1973 SF.)
LOT 2: 0.667 AC. (29,070 SF.)	LOT 14: 0.045 AC. (1978 SF.)
LOT 3: 0.046 AC. (1996 SF.)	LOT 15: 0.046 AC. (1983 SF.)
LOT 4: 0.046 AC. (2001 SF.)	LOT 16: 0.046 AC. (1991 SF.)
LOT 5: 0.046 AC. (2007 SF.)	LOT 17: 0.046 AC. (2000 SF.)
LOT 6: 0.046 AC. (2024 SF.)	LOT 18: 0.046 AC. (2005 SF.)
LOT 7: 0.047 AC. (2029 SF.)	LOT 19: 0.046 AC. (2014 SF.)
LOT 8: 0.047 AC. (2033 SF.)	LOT 20: 0.046 AC. (2018 SF.)
LOT 9: 0.047 AC. (2041 SF.)	LOT 21: 0.046 AC. (2023 SF.)
LOT 10: 0.047 AC. (2046 SF.)	LOT 22: 0.047 AC. (2040 SF.)
LOT 11: 0.047 AC. (2050 SF.)	LOT 23: 0.047 AC. (2046 SF.)
LOT 12: 0.047 AC. (2058 SF.)	LOT 24: 0.047 AC. (2054 SF.)

LOT 26: 0.038 AC. (1648 SF.)	LOT 41: 0.038 AC. (1648 SF.)
LOT 27: 0.038 AC. (1648 SF.)	LOT 42: 0.038 AC. (1648 SF.)
LOT 28: 0.038 AC. (1648 SF.)	LOT 43: 0.038 AC. (1648 SF.)
LOT 29: 0.038 AC. (1648 SF.)	LOT 44: 0.038 AC. (1648 SF.)
LOT 30: 0.038 AC. (1648 SF.)	LOT 45: 0.038 AC. (1648 SF.)
LOT 31: 0.038 AC. (1648 SF.)	LOT 46: 0.038 AC. (1648 SF.)
LOT 32: 0.038 AC. (1648 SF.)	LOT 47: 0.038 AC. (1648 SF.)
LOT 33: 0.038 AC. (1647 SF.)	LOT 48: 0.038 AC. (1648 SF.)
LOT 34: 0.038 AC. (1648 SF.)	
LOT 35: 0.038 AC. (1642 SF.)	
LOT 36: 0.038 AC. (1648 SF.)	
LOT 37: 0.038 AC. (1648 SF.)	
LOT 38: 0.038 AC. (1648 SF.)	
LOT 39: 0.038 AC. (1648 SF.)	
LOT 40: 0.038 AC. (1648 SF.)	

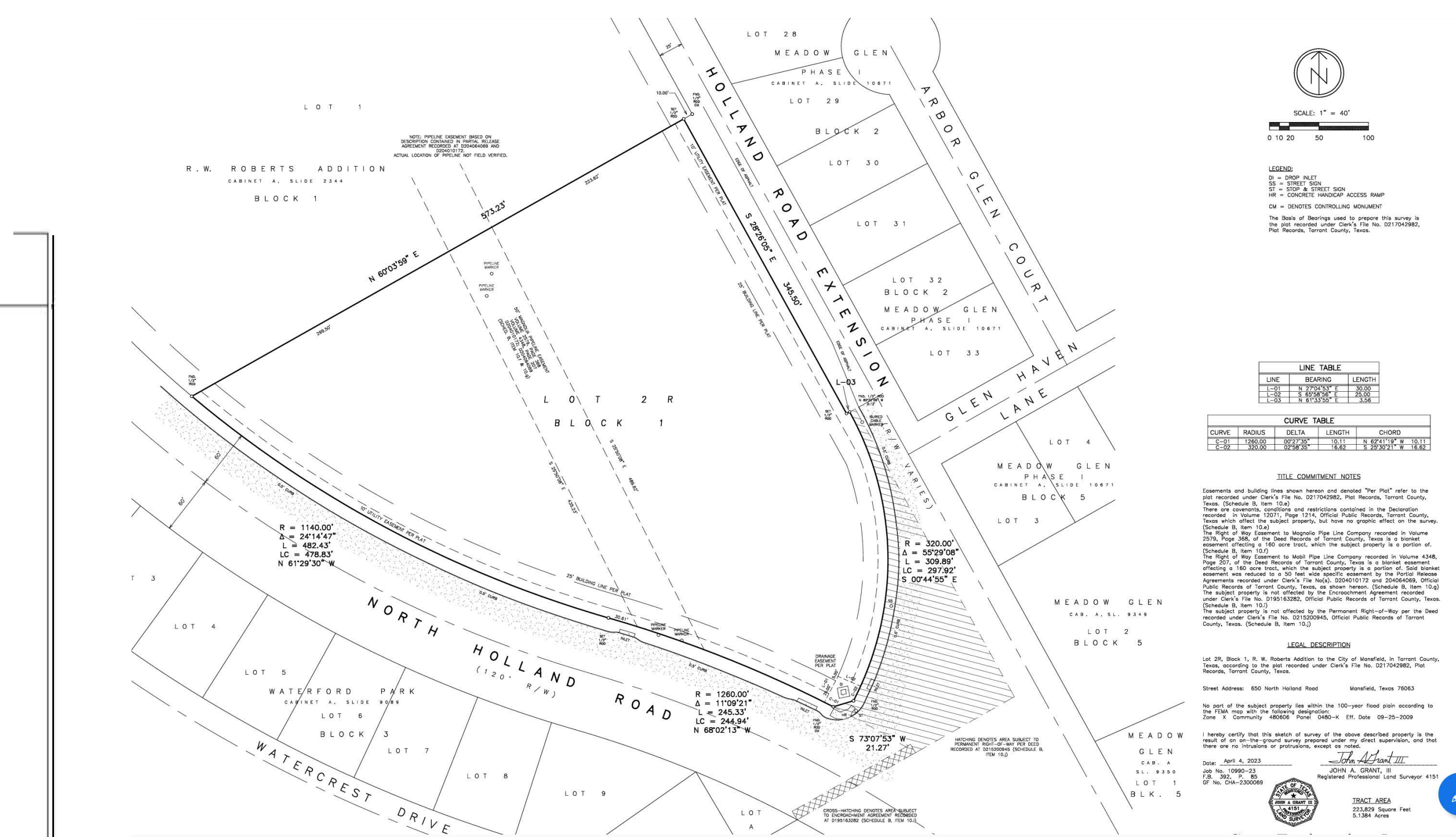
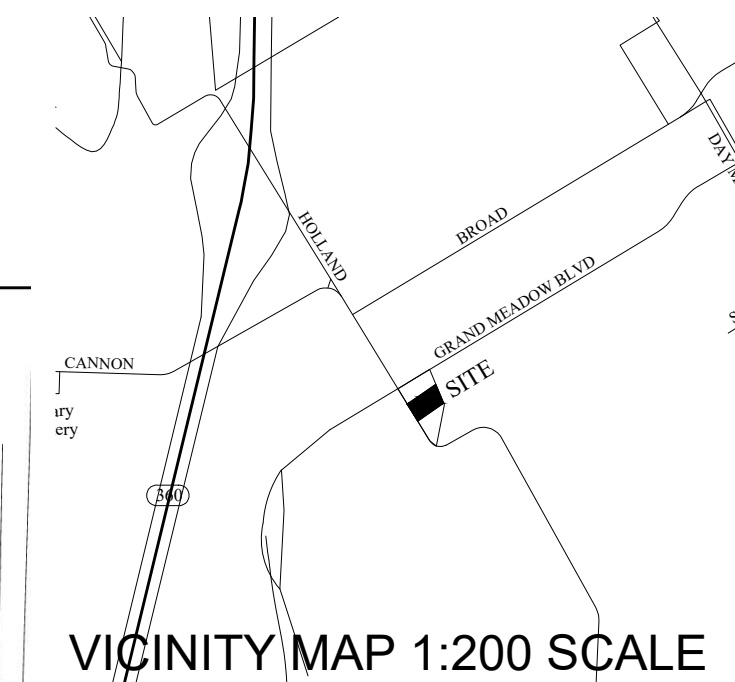
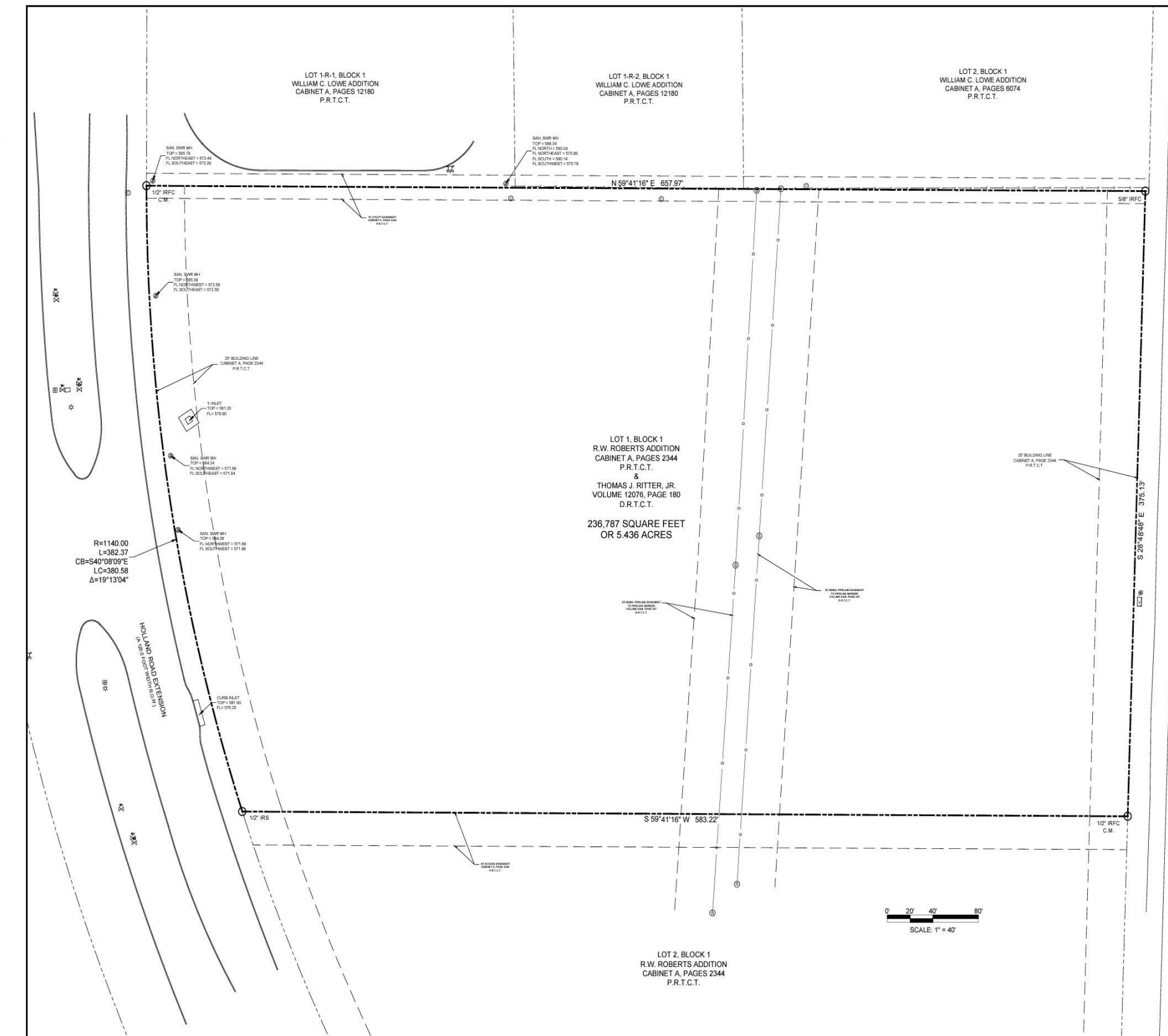
PARKING

RESIDENTIAL	PARKING REQUIREMENTS
SINGLE-FAMILY DWELLING	2 PER DWELLING UNIT
TOWNHOUSE	2 PER DWELLING UNIT
TOWNHOUSE GUEST	1 PER DWELLING UNIT
PROPOSED	PARKING PROVIDED
2,000 SF (ROW HOMES - EA.)	92 GARAGE STALLS
92,000 SF (TOTAL 46 R.H.)	92 DRIVEWAY STALLS
COMMERCIAL PROPOSED	PARKING PROVIDED
9,000 SF (RESTAURANT)	4 PER 1,000 SF (36)
5,000 SF (OFFICE)	3 PER 1,000 SF (15)
16,020 SF (RETAIL)	4 PER 1,000 SF (65)
30,020 SF (TOTAL BUILDINGS)	94 OF 116

REQUIRED PARKING: ALL COMMERCIAL USES SHALL REQUIRE A MINIMUM OF 4.0 ASSIGNED PARKING SPACES PER 1,000 SQUARE FEET OF GROSS LEASABLE SPACE, EXCEPT AS PROVIDED BELOW:
ALL COMMERCIAL SPACES UNDER 1,500 SQUARE FEET OF NET LEASABLE AREA SHALL BE EXEMPT FROM PARKING REQUIREMENTS.

GENERAL NOTES

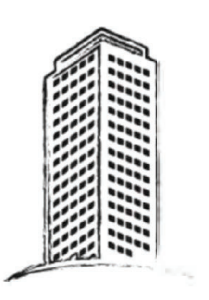
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- OUTDOOR SEATING AND SERVING AREA: OUTDOOR SEATING AND SERVING AREAS SHALL BE PROVIDED ARCHITECTURAL STANDARDS:
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- WITH THE EXCEPTION OF OPENINGS FOR DOORS AND WINDOWS ONLY, A MINIMUM OF 80 PERCENT OF EACH BUILDING WALL SHALL BE FIRED-CLAY BRICK, CAST STONE, STONE OR STUCCO. IN ADDITION:
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TRANSOM WINDOWS SHALL BE INSTALLED ABOVE THE BULKHEAD AND DISPLAY WINDOWS AND SHALL BE BETWEEN TWO AND FOUR FEET IN HEIGHT.
ALL ROOFTOP MECHANICAL EQUIPMENT SHALL BE FULLY SCREENED FROM ALL SIDES BY PARAPET WALLS OF WHICH SHALL BE AT LEAST 12 INCHES GREATER IN HEIGHT THAN THE EQUIPMENT.
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- LANDSCAPE BUFFER BETWEEN TOWNHOME AND EXISTING SF REQUESTED TO BE 20' AS TO REMAIN CONTIGUOUS W/ THE REST OF THE DEVELOPMENT. SCREENING WALL TO REMAIN AT B'. STRUCTURES TO REMAIN OUTSIDE ORIGINAL 50' BUFFER.



NO.	DATE	REVISIONS
7		
6		
5		
4		
3		
2		
1		

DESIGNED BY: Omid Esmaili	DEVELOPER:
DRAWN BY: Omid Esmaili	SOIL ENGINEER:
CHECKED BY: Omid Esmaili	REPORT #:
DATE:	DATE:
SCALE: SEE PLAN	LICENSE NO. EXP. DATE:

PLANS PREPARED BY: 1020 Ventures Group	700 N HOLLAND RD, MANSFIELD, TX LEGAL DESCRIPTION RAHHAL ESTATES COMMERCIAL 10.574 Acres CITY OF MANSFIELD, TARRANT COUNTY, TEXAS DATE OF PREPARATION: 2022-12-14
1020 Ventures Group	
713 W Park Row Drive, Arlington, TX 76010	
682-703-2424	
ARCHITECT:	PLAN CHECK:
	PERMIT:
	SHEET NO
	LD-1



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REVISIONS:

ISSUE DATE:
23 MAY 2024

PROJECT No.:
21027.100

SHEET TITLE:

PRELIMINARY ARCHITECTURAL SITE PLAN

SHEET No.:
A1.01

SITE INFORMATION

CURRENT SITE AS EXISTING: (10.574 TOTAL ACRES)
ZONING: SF 12/22 – SINGLE FAMILY RESIDENTIAL DISTRICT
USE: UNDEVELOPED LAND

LOT 1: 5.436 ACRES (236,787 SF)
LOT 2: 5.138 ACRES (223,829 SF)

PROPOSED DEVELOPMENT: (10.574 TOTAL ACRES)

NEW ZONING: PLANNED DEVELOPMENT
NEW USE(S): RETAIL, COMMERCIAL, RESIDENTIAL SINGLE FAMILY – ROW HOUSES, RESIDENTIAL SINGLE FAMILY – HOME

LOT 1: 7.971 AC. (347,246 SF.)	LOT 13: 0.045 AC. (1973 SF.)
LOT 2: 0.667 AC. (29,070 SF.)	LOT 14: 0.045 AC. (1978 SF.)
LOT 3: 0.046 AC. (1996 SF.)	LOT 15: 0.046 AC. (1983 SF.)
LOT 4: 0.046 AC. (2001 SF.)	LOT 16: 0.046 AC. (1991 SF.)
LOT 5: 0.046 AC. (2007 SF.)	LOT 17: 0.046 AC. (1995 SF.)
LOT 6: 0.046 AC. (2024 SF.)	LOT 18: 0.046 AC. (2000 SF.)
LOT 7: 0.047 AC. (2029 SF.)	LOT 19: 0.046 AC. (2005 SF.)
LOT 8: 0.047 AC. (2033 SF.)	LOT 20: 0.046 AC. (2014 SF.)
LOT 9: 0.047 AC. (2041 SF.)	LOT 21: 0.046 AC. (2018 SF.)
LOT 10: 0.047 AC. (2046 SF.)	LOT 22: 0.046 AC. (2023 SF.)
LOT 11: 0.047 AC. (2050 SF.)	LOT 23: 0.047 AC. (2040 SF.)
LOT 12: 0.047 AC. (2058 SF.)	LOT 24: 0.047 AC. (2046 SF.)
	LOT 25: 0.047 AC. (2054 SF.)

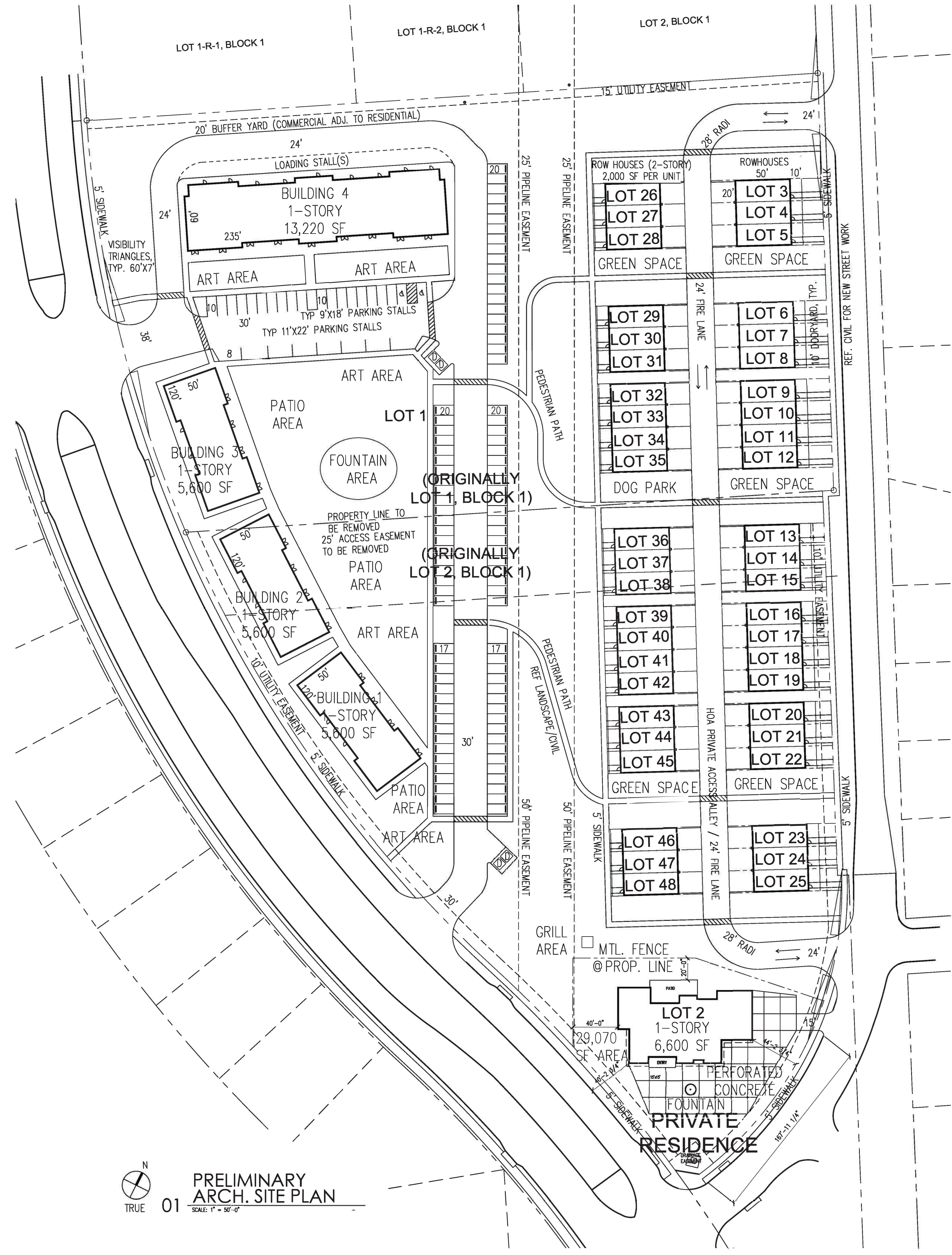
LOT 26: 0.038 AC. (1648 SF.)	LOT 41: 0.038 AC. (1648 SF.)
LOT 27: 0.038 AC. (1648 SF.)	LOT 42: 0.038 AC. (1648 SF.)
LOT 28: 0.038 AC. (1648 SF.)	LOT 43: 0.038 AC. (1648 SF.)
LOT 29: 0.038 AC. (1648 SF.)	LOT 44: 0.038 AC. (1648 SF.)
LOT 30: 0.038 AC. (1648 SF.)	LOT 45: 0.038 AC. (1648 SF.)
LOT 31: 0.038 AC. (1648 SF.)	LOT 46: 0.038 AC. (1648 SF.)
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REF. LANDSCAPE FOR OUTSIDE PATIO AND SITE LIGHTING, EQUIPMENT AND FURNISHINGS

SITE PLAN FOR GENERAL BUILDING, PARKING LAYOUT AND INFORMATION PURPOSES ONLY. REFER TO CIVIL ENGINEERING DRAWINGS FOR DIMENSIONS AND DETAILED LOCATIONS OF BUILDINGS, PARKING, UTILITIES AND OTHER INFORMATION.



PRELIMINARY ARCH. SITE PLAN
SCALE: 1" = 50'-0"



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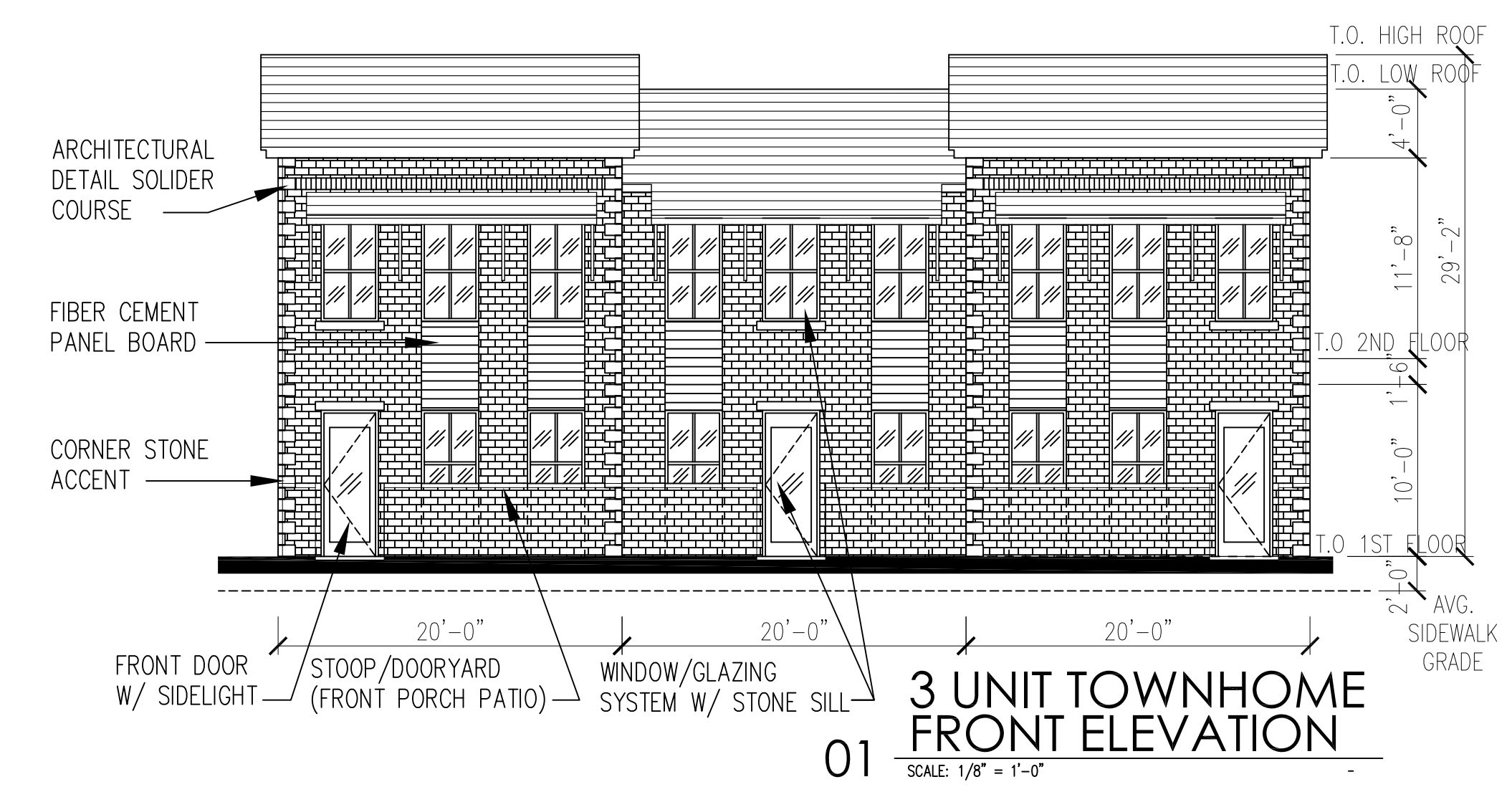
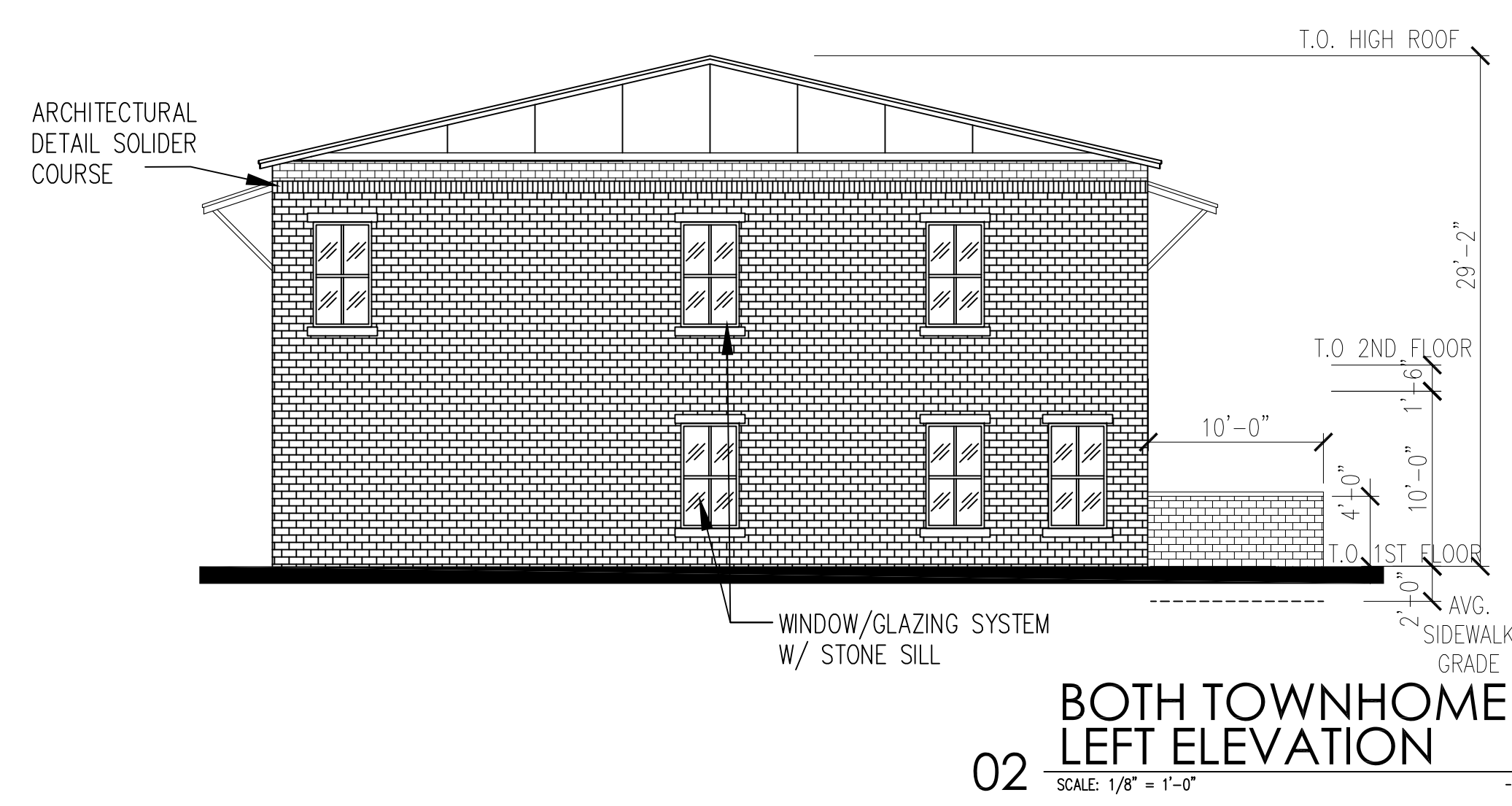
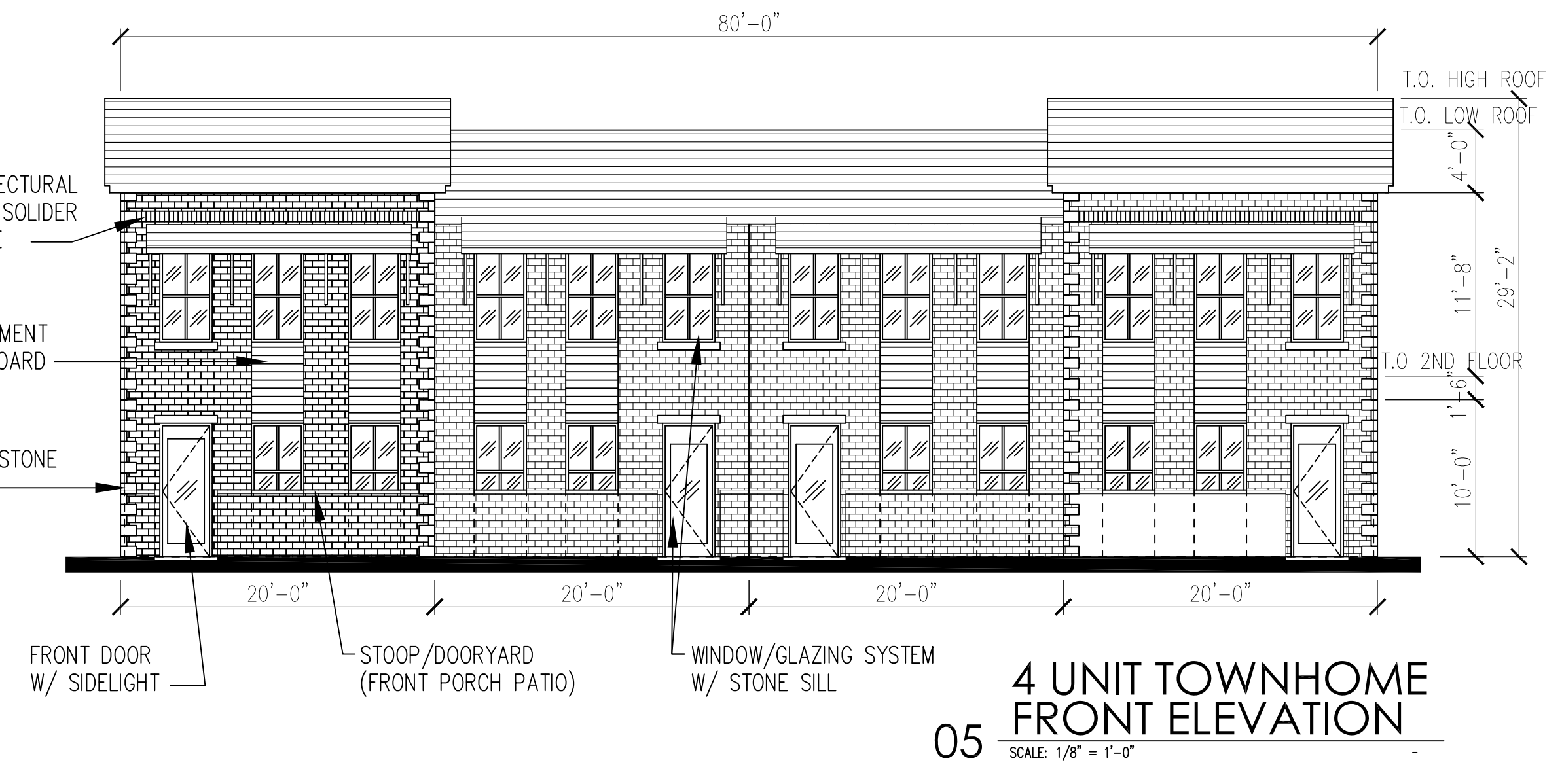
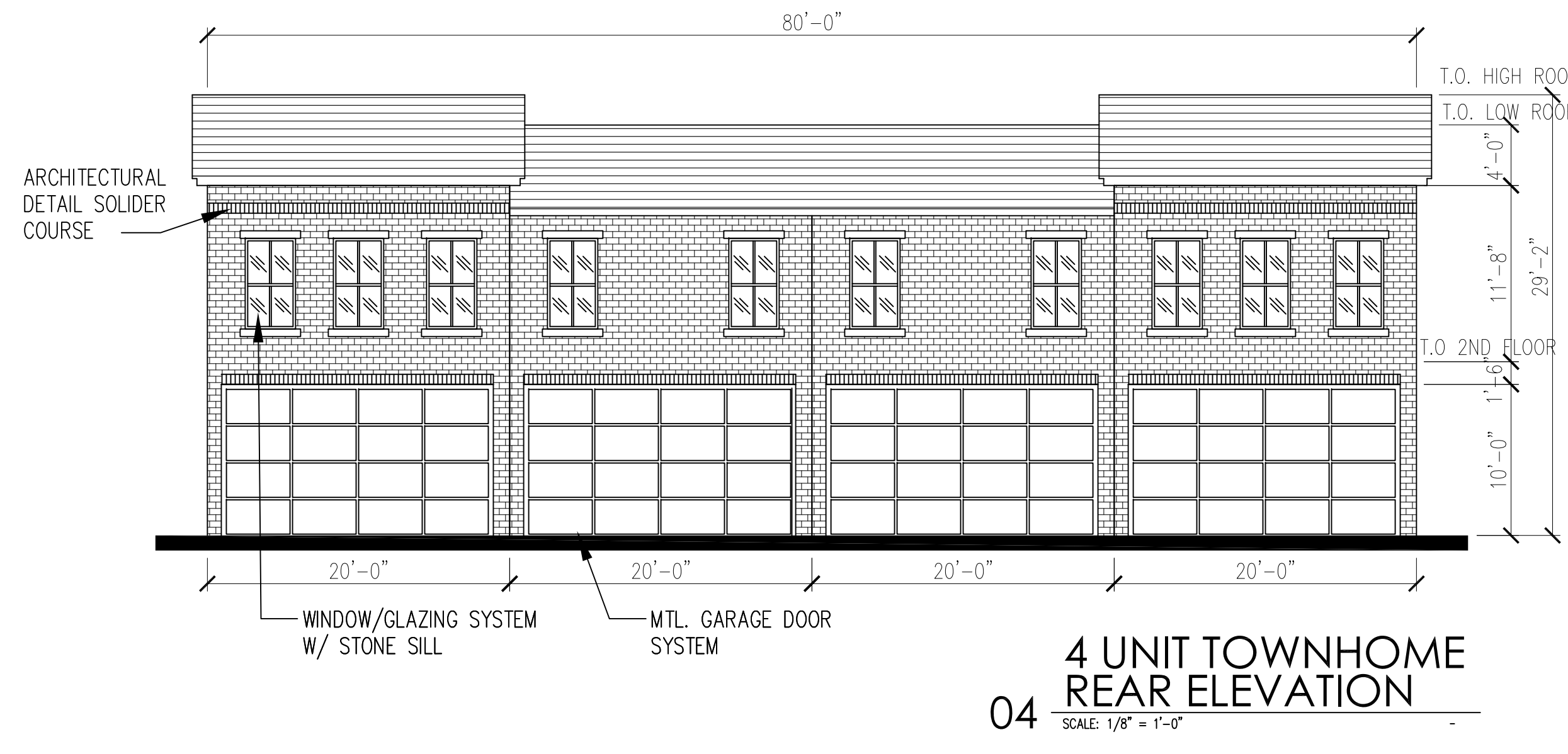
REVISIONS:

ISSUE DATE:
23 MAY 2024
PROJECT No.:
21027.100
SHEET TITLE:
PRELIMINARY ELEVATIONS

SHEET No.:
A4.01

MATERIAL LEGEND					
	BRICK STANDARD COLOR 1		BRICK STANDARD COLOR 2		BRICK ACCENT STANDARD COLOR 3
	BRICK SOLIDER COURSE ROWLOCK		FIBER CEMENT BOARD & TRIM HARDIE BOARD COLOR 1,2,3		

FACADE MASONRY REQUIREMENT MET: MIN. 80% MASONRY (BRICK) & MAX. MASONRY-LIKE (20% FIBER CEMENT BOARD)





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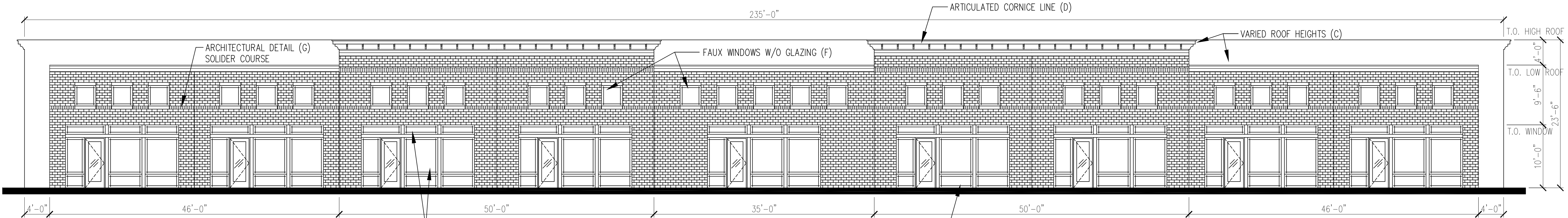
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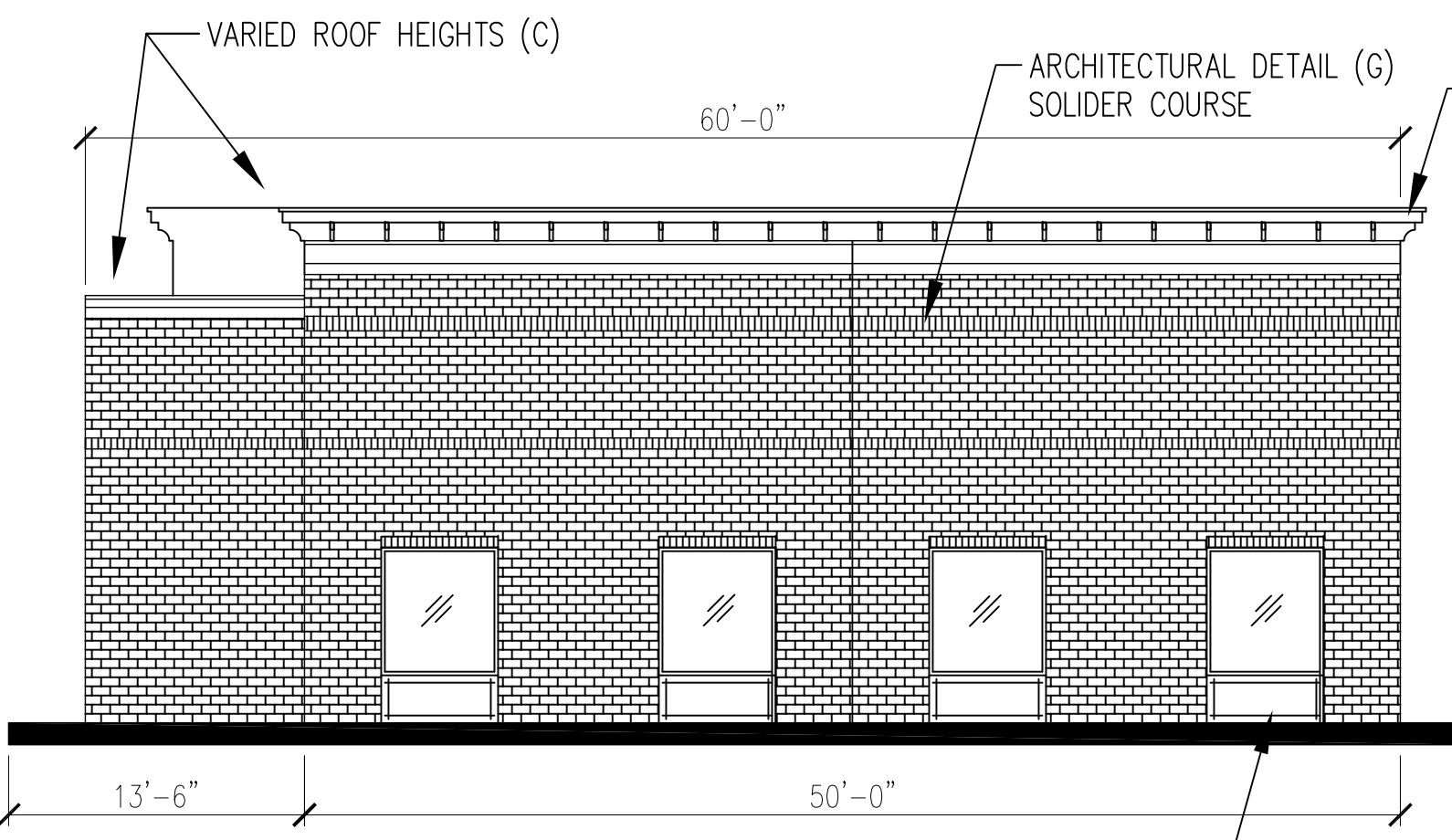
PROJECT No.:
21027.100

SHEET TITLE:
PRELIMINARY ELEVATIONS

SHEET No.:
A4.02



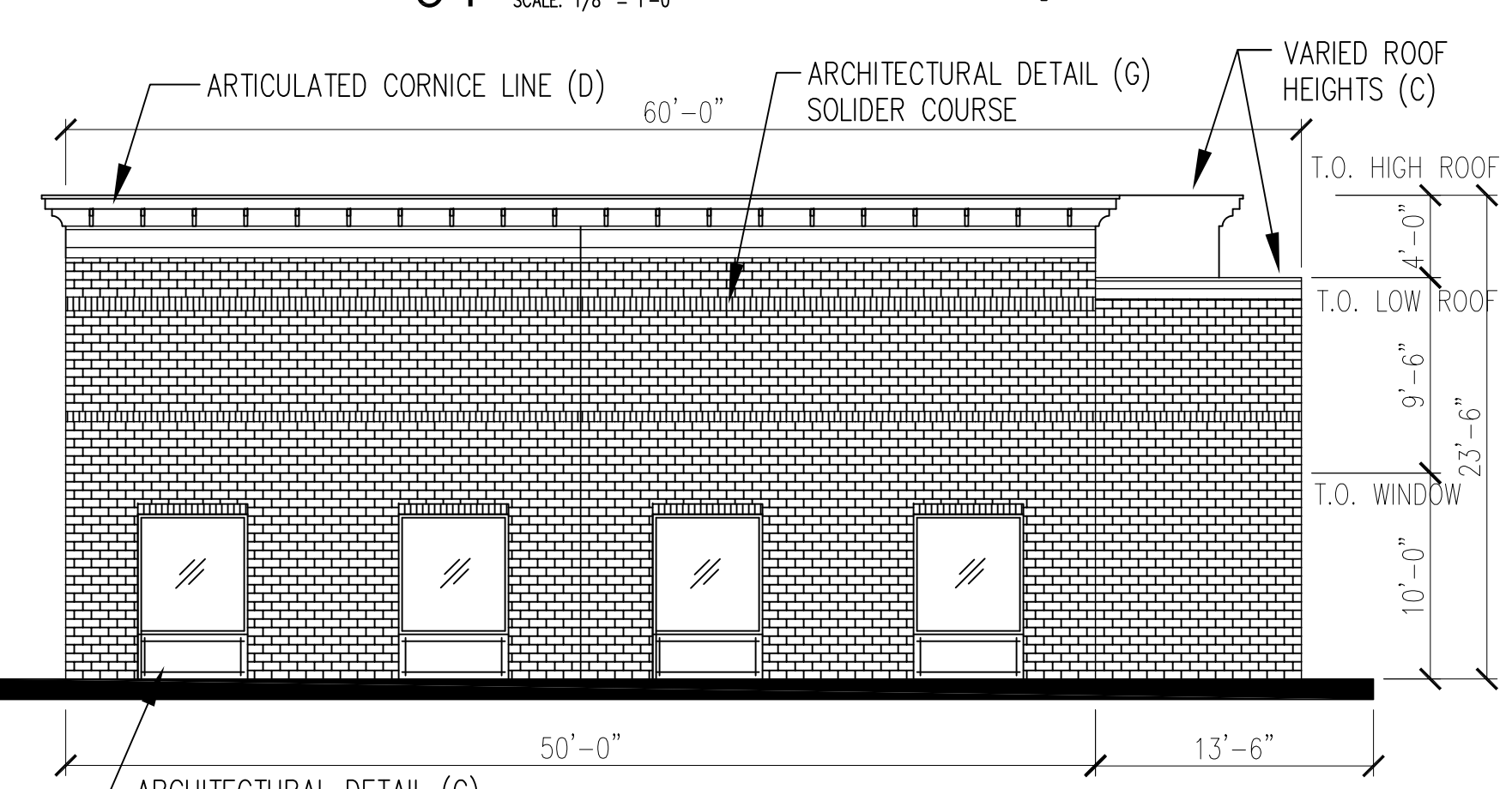
04 BUILDING 4 REAR ELEVATION
SCALE: 1/8" = 1'-0"



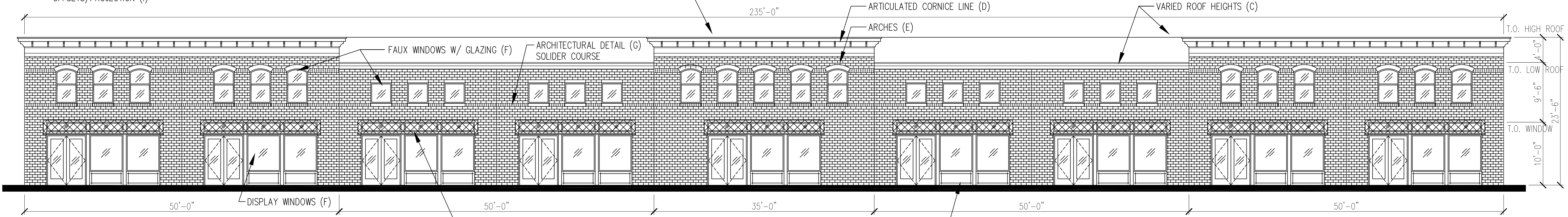
03 BUILDING 4 LEFT ELEVATION
SCALE: 1/8" = 1'-0"

MATERIAL LEGEND			
	BRICK STANDARD COLOR 1		BRICK STANDARD COLOR 2
	BRICK SOLIDIER COURSE ROWLOCK		FIBER CEMENT BOARD & TRIM HARDIE BOARD COLOR 1,2,3

FACADE MASONRY REQUIREMENT MET: MIN. 80% MASONRY (BRICK) & MAX. MASONRY-LIKE (20% FIBER CEMENT BOARD)



02 BUILDING 4 RIGHT ELEVATION
SCALE: 1/8" = 1'-0"



01 BUILDING 4 FRONT ELEVATION
SCALE: 1/8" = 1'-0"



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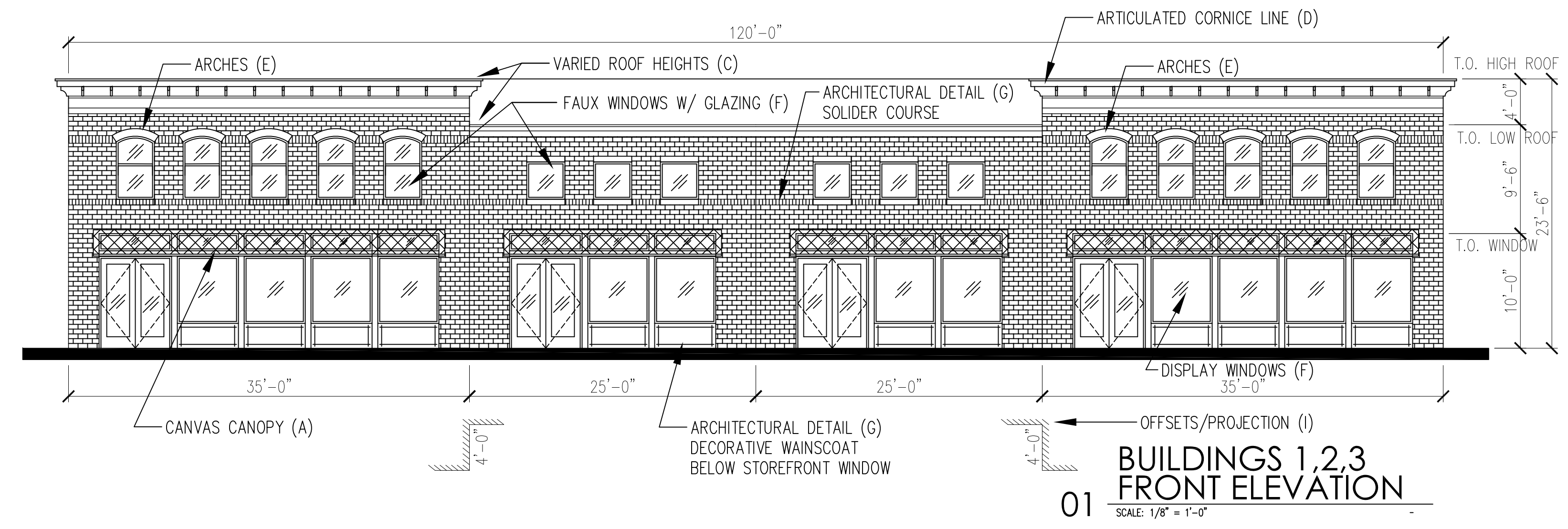
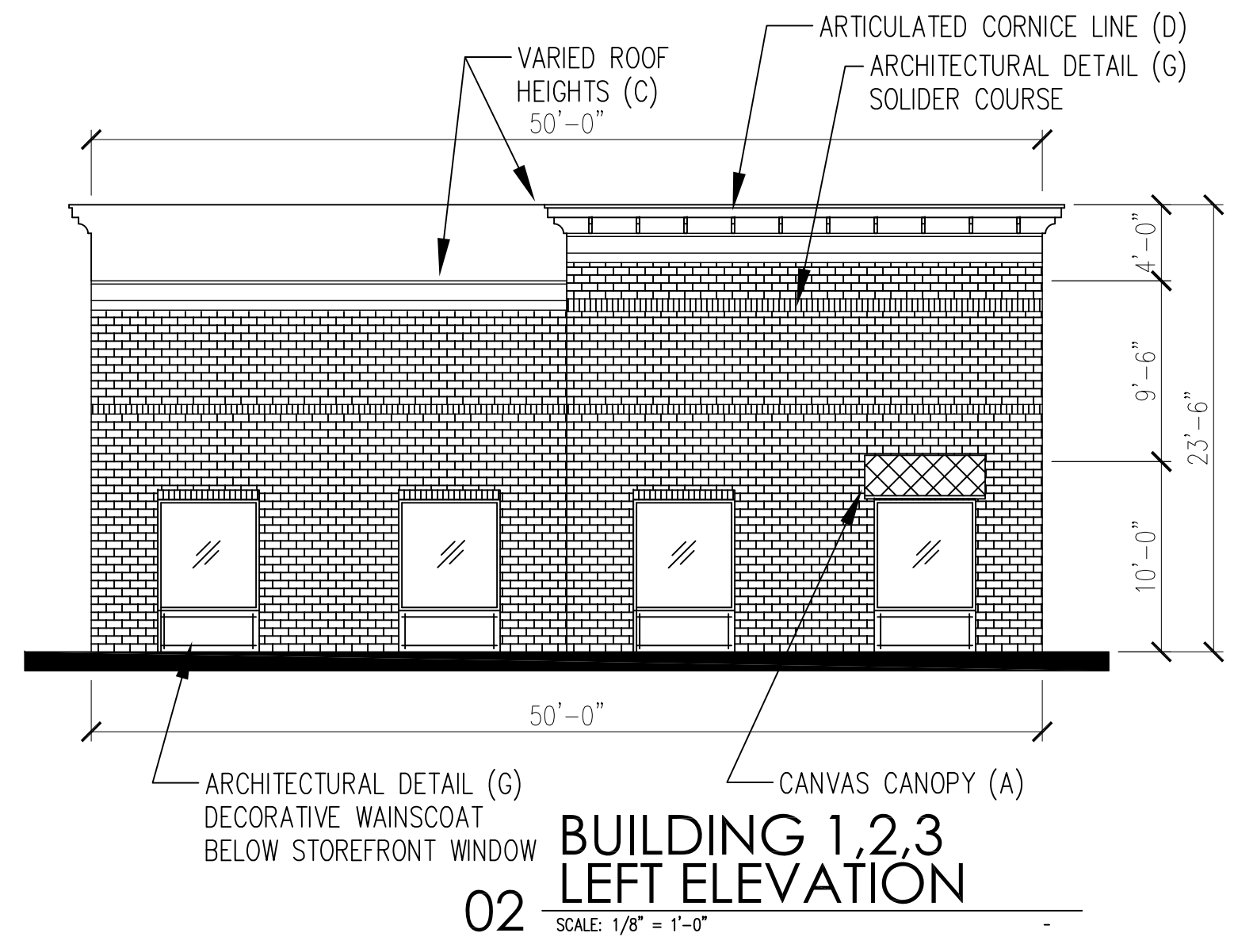
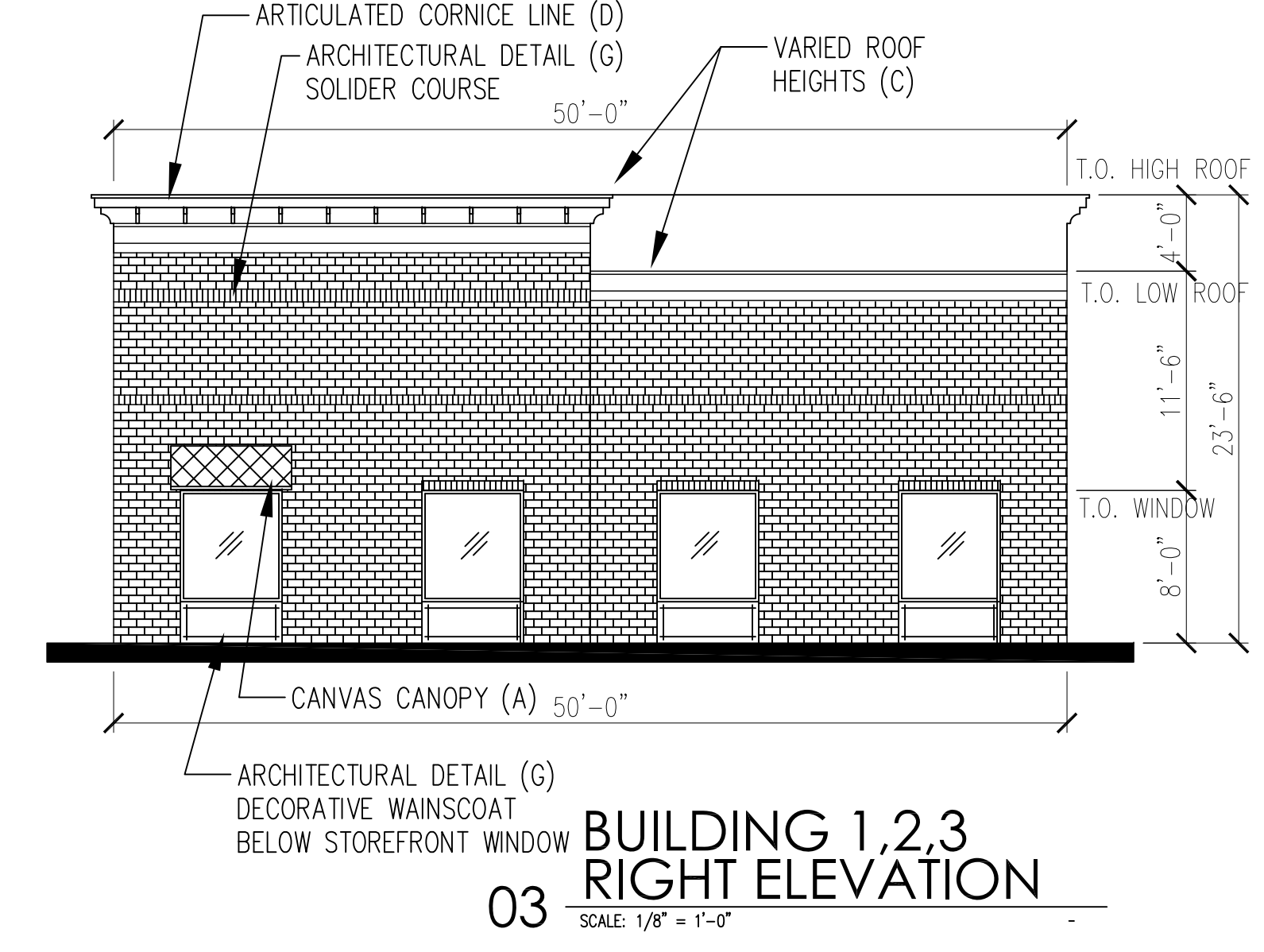
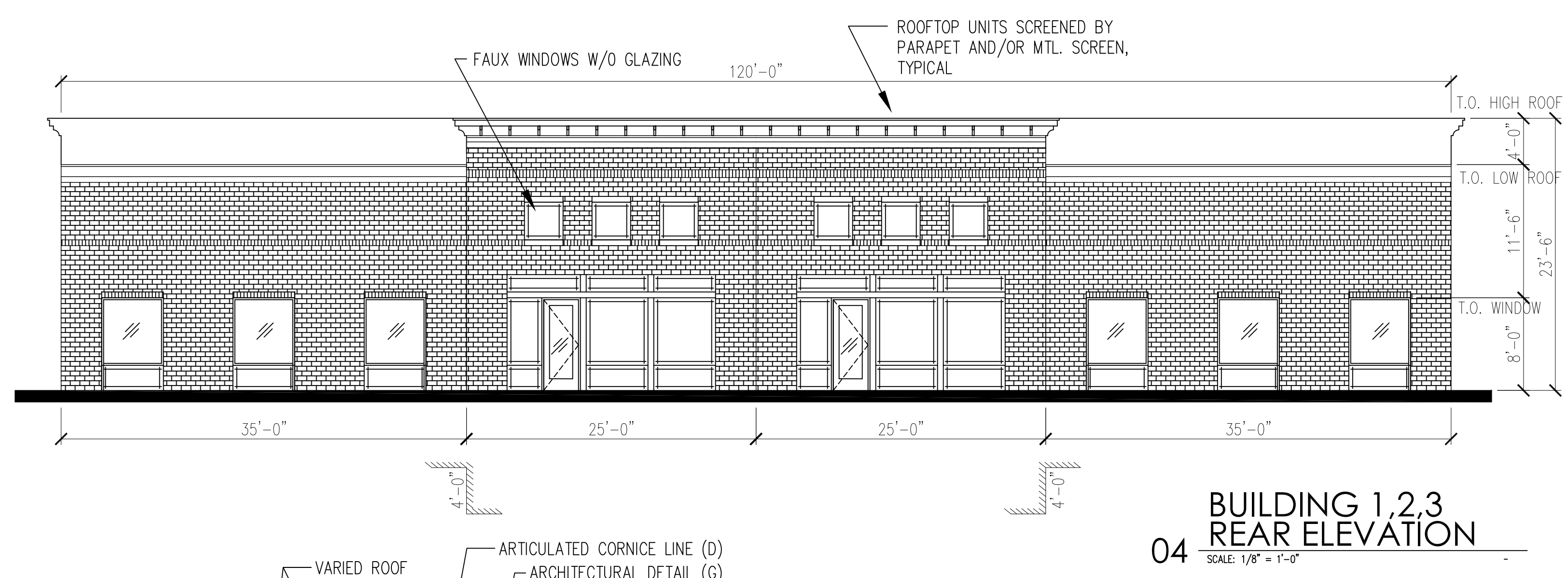
PROJECT No.:
21027.100

SHEET TITLE:
PRELIMINARY ELEVATIONS

SHEET No.:
A4.03

MATERIAL LEGEND			
	BRICK STANDARD COLOR 1		BRICK STANDARD COLOR 2
	BRICK SOLIDER COURSE ROWLOCK		FIBER CEMENT BOARD & TRIM HARDIE BOARD COLOR 1,2,3

FACADE MASONRY REQUIREMENT MET: MIN. 80% MASONRY (BRICK) & MAX. MASONRY-LIKE (20% FIBER CEMENT BOARD)





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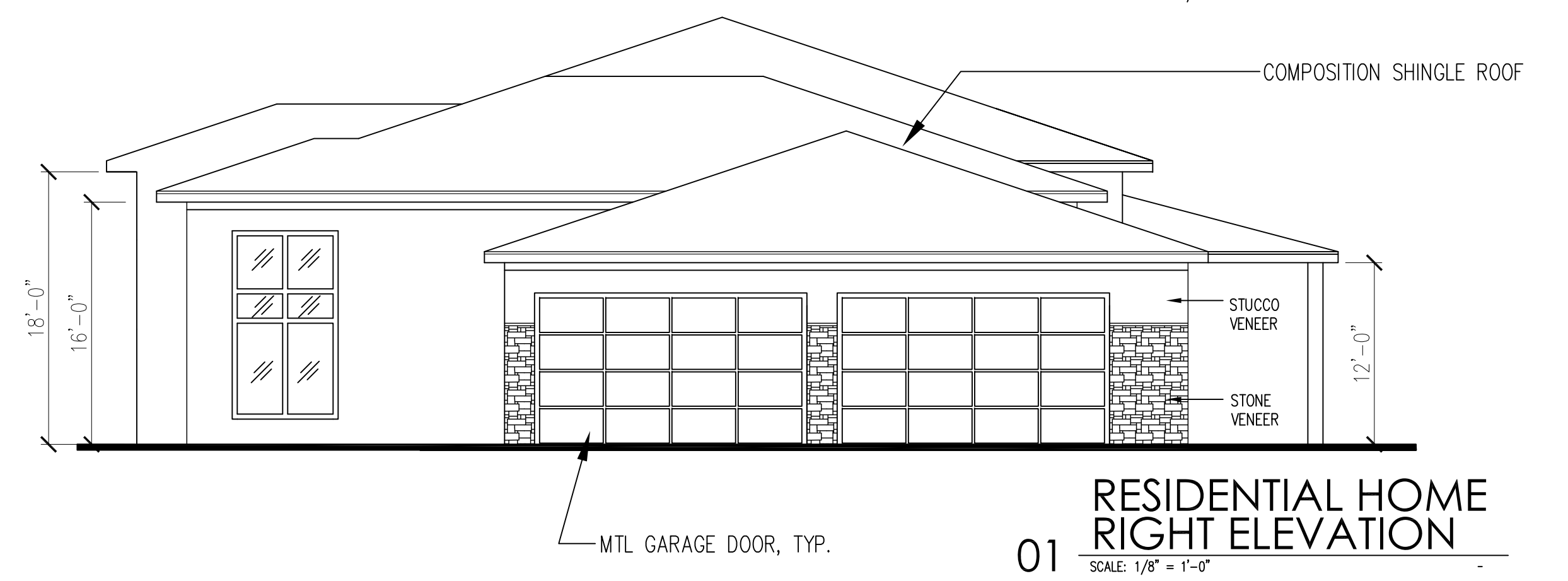
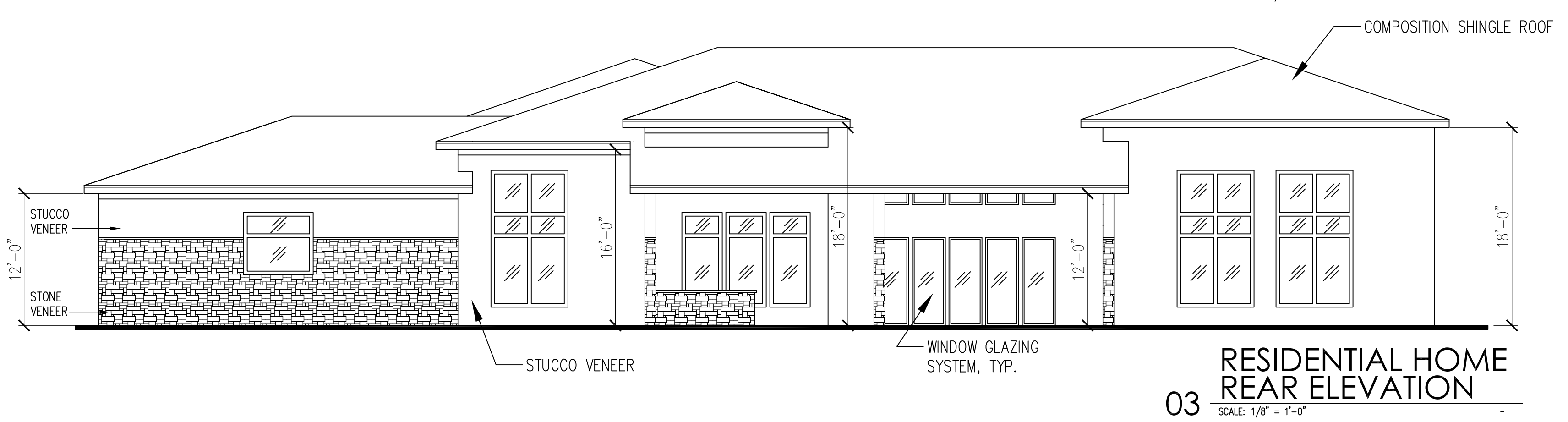
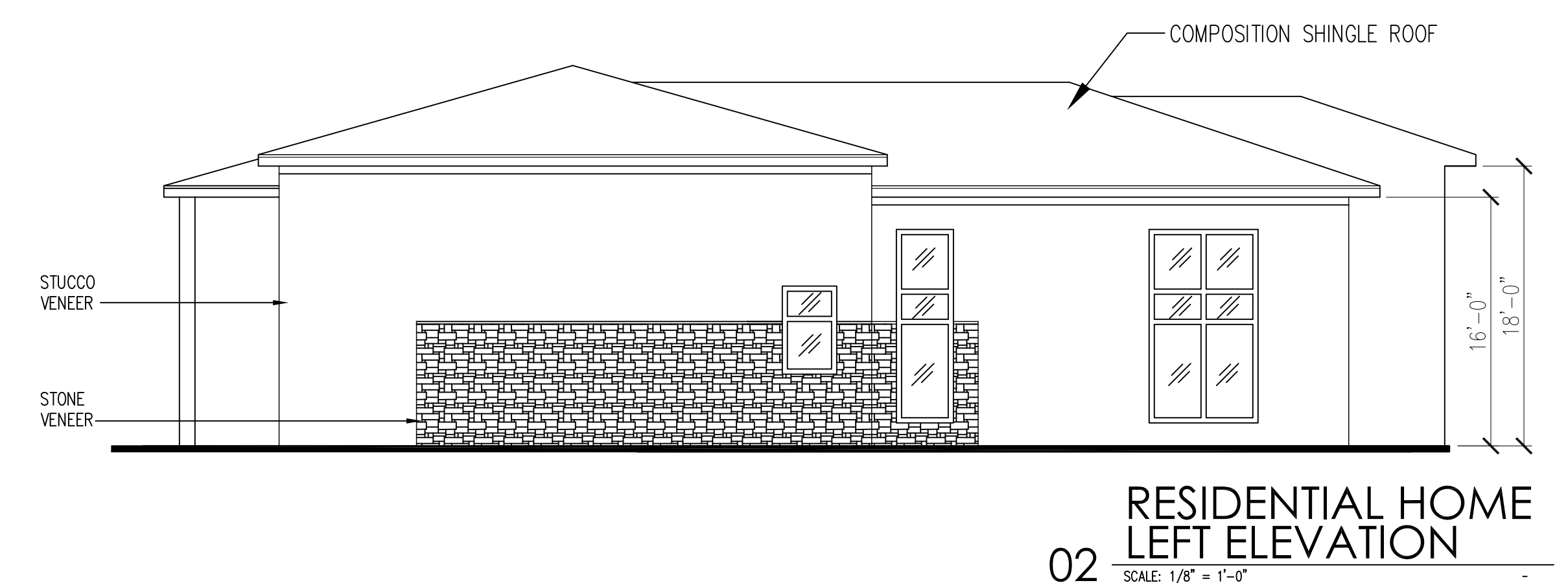
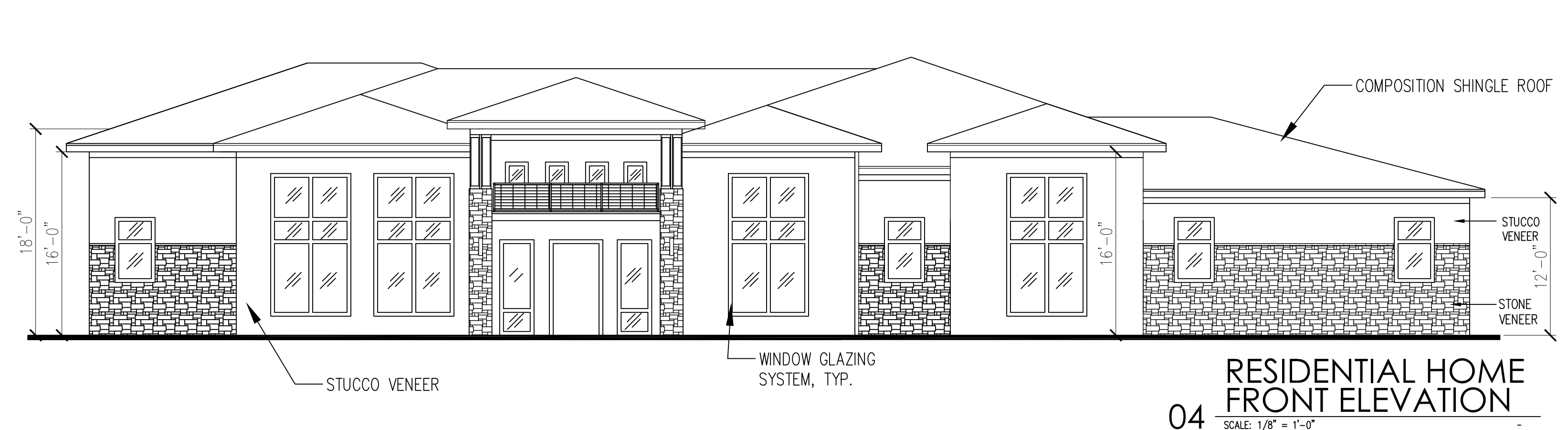
ISSUE DATE:
23 MAY 2024

PROJECT No.:
21027.100

SHEET TITLE:
PRELIMINARY ELEVATIONS

SHEET No.:
A4.04

MATERIAL LEGEND			
	STACK STONE COLOR 6		STUCCO COLOR 5
	FIBER CEMENT BOARD & TRIM HARDIE BOARD COLOR 2,4,5		



MASONRY SCREENING FENCE PER CITY ORDINANCE

VARIANCE TO ALLOW CRUSHED GRAVEL ON THIS AREA 10' LANDSCAPE BUFFER DUE TO UTILITY AND PROXIMITY OF COMMERCIAL BUILDING

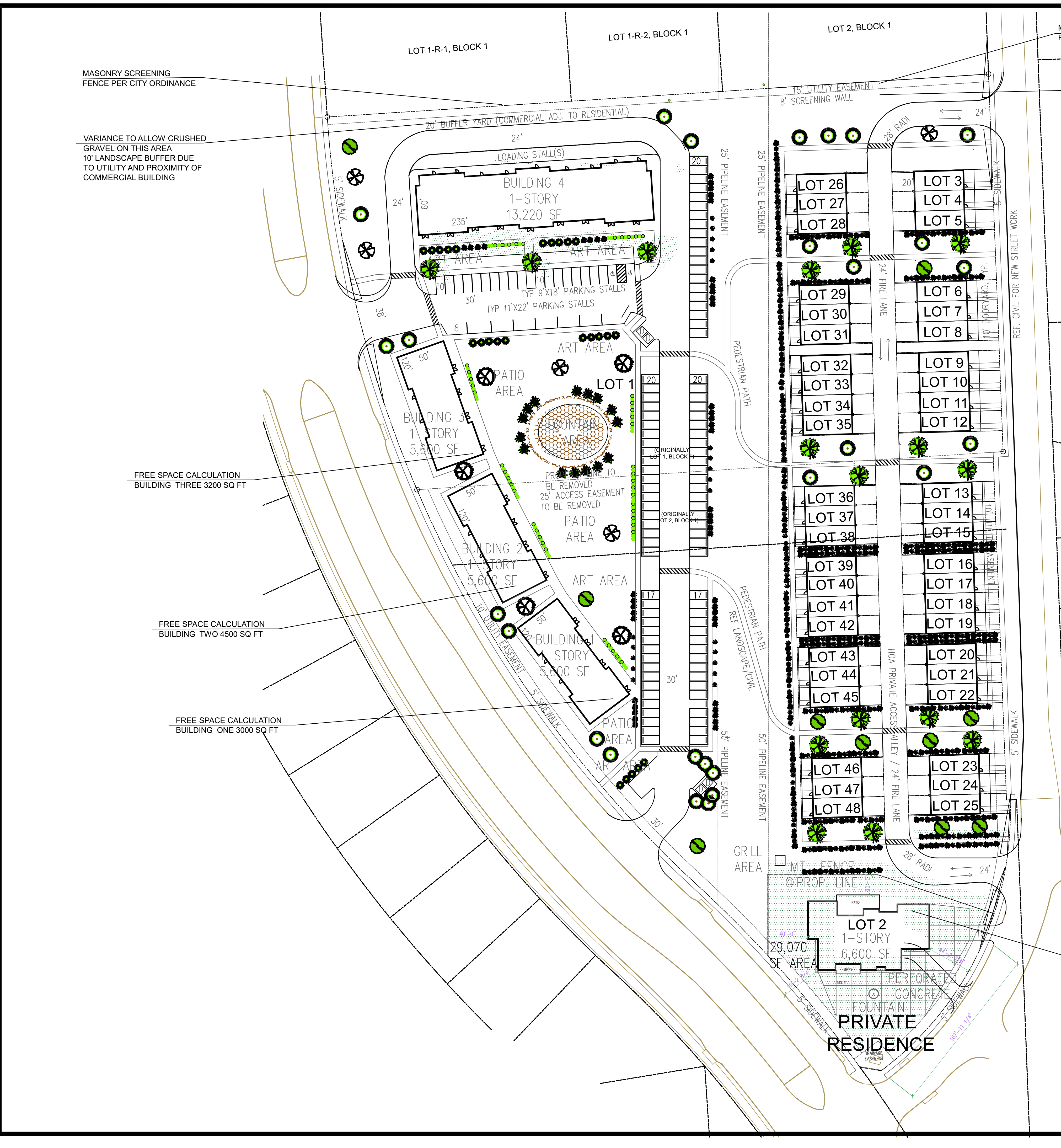
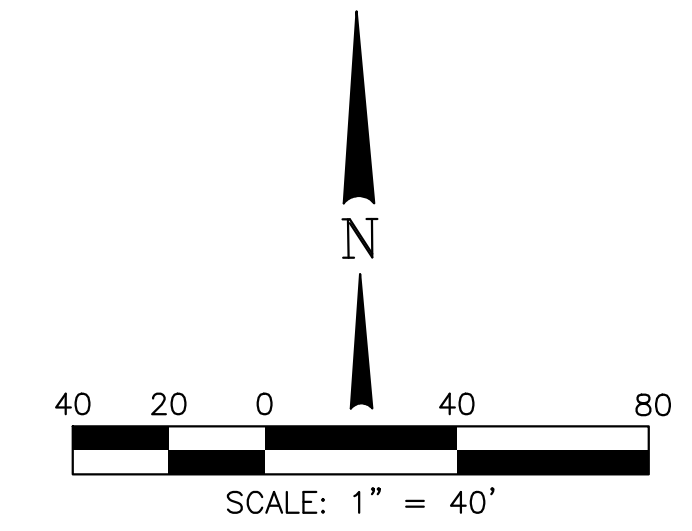
FREE SPACE CALCULATION BUILDING THREE 3200 SQ FT

FREE SPACE CALCULATION BUILDING TWO 4500 SQ FT

FREE SPACE CALCULATION BUILDING ONE 3000 SQ FT

MASONRY SCREENING FENCE PER CITY ORDINANCE

VARIANCE TO ALLOW CRUSHED GRAVEL ON THIS AREA 10' LANDSCAPE BUFFER DUE TO UTILITY FIBER OPTIC CROSSING



CANOPY TREES LEGEND

SYMBOL	KEY	QTY.	COMMON NAME SCIENTIFIC NAME	SIZE	SPACING
	CE	16	CEDAR ELM <i>ULMUS CRASSIFOLIA</i>	4"	AS SHOWN
	BO	5	BUR OAK <i>QUERCUS MACROCARPA</i>	4"	AS SHOWN
	LB	5	LACE BARK ELM <i>ULMUS PARVIFOLIA</i>	4"	AS SHOWN
	ST	10	SAWTOOTH OAK <i>QUERCUS ACCUTISIMA</i>	4"	AS SHOWN
	BC	27	BALD CYPRESS <i>TAXODIUM DISTICHUM</i>	4"	AS SHOWN

PLANT & SHRUB LEGEND

SYMBOL	KEY	QTY.	COMMON NAME SCIENTIFIC NAME	SIZE	SPACING
	EL	327	ELEAGNUS <i>ELEAGNUS EBBENH</i>	5 GAL.	AS SHOWN
	NH	40	NELLIE STEVENS HOLLY <i>ILLEX 'NELLIE R. STEVENS'</i>	3 GAL.	AS SHOWN
	TS	327	TEXAS SAGE <i>LEUCOPHYLLUM FRUTESCENS</i>	5 GAL.	AS SHOWN
	RY	90	RED YUCCA <i>HESPERALOE PARVIFOLIA</i>	5 GAL.	AS SHOWN
	TJ	135	TAM JUNIPER <i>JUNIPERUS SABINA</i>	3GAL.	AS SHOWN

City of Mansfield Approved Plant List

LANDSCAPE LEGEND

SYMBOL	DESCRIPTION
	BERMUDA GRASS
	MULCH
	CRUSHED GRAVEL
	RUBBER PADDING BASE (AS PER NATIONAL RECREATION & PARK ASSOCIATION STANDARDS)
	DECORATIVE GRAVEL
	CONCRETE SIDEWALK

LANDSCAPE PLAN TO BE SUBMITTED WITH RESIDENTIAL BUILDING PERMIT TO COMPLY WITH SECTION 115.192 OF THE ZONING ORDINANCE

Plant Material/Protected Tree Notes:

Approved Plant Material

Approved plant material consists of plant species native to and/or adaptable to the North Central Texas environment and the particular project site, as determined by the Director of Planning and Community Development or his/her designee

Definitions

Protected Tree: A tree with a trunk measuring 8" caliper at DBH (four and one-half feet above ground) or greater that is determined by the Director of Parks and Recreation or designee not to be an invasive species. If a tree splits into multiple trunks below four and one-half feet, the tree shall be measured in two places, the narrowest point beneath the split and one-half the sum of the calipers of the trunks immediately above the split. If there is no single trunk above ground level, the measurement shall be the sum of the main trunk, plus one-half the sum of the calipers of all the other various trunks at four and one-half feet above ground.

Replacement Tree: A tree that is used as mitigation for the removal of protected trees and has a trunk measuring 4" caliper at 12" above root ball, per industry standards, that is not listed on the Prohibited Plant Material list. Replacement/mitigation of protected trees will be calculated at each caliper inch removed will be replaced with 1 caliper inch. Replacement trees must be a minimum of 4" caliper.

Credit for Saved Trees: For every one caliper inch that is saved, the developer shall receive a credit of one caliper inch that does not have to be replaced.

700 N HOLLAND RD
MANSFIELD, TX 76060

REVISIONS

LANDSCAPE PLAN

-1

EXHIBIT B-1 FOR ZC#23-019

PLANNED DEVELOPMENT DISTRICT REGULATIONS

PURPOSE AND INTENT:

The purpose and the intent of this PD, Planned Development District (this “PD, PLANNED DEVELOPMENT DISTRICT”), is to provide a distinct set of regulations that will deliver and sustain a traditional neighborhood that will deliver opportunities for neighborhood-focused goods and services that are necessary for the ordinary activities of daily life and increase the number of rooftops necessary to nurture and sustain new businesses in an aesthetically pleasing, compact, and walkable setting. These regulations will also allow room for exploration and experimentation in architecture and urban design to create iconic designs that positively contribute to a harmonious whole.

APPLICABILITY:

- A. All development shall be in accordance with the provisions of this PD, PLANNED DEVELOPMENT DISTRICT, and the Development Plans recorded hereunder, if any, shall be binding upon the applicant thereof, his and all successors and assigns, and shall limit and control all applications for building permits.
- B. The provisions of Chapter 155 of the Mansfield Code of Ordinances (i.e., the “MANSFIELD ZONING ORDINANCE”) shall continue to be applicable to all those issues not covered by the rules and the regulations found in this PD, PLANNED DEVELOPMENT DISTRICT.
- C. The provisions of the Mansfield Subdivision Control Ordinance (i.e., the “SUBDIVISION CONTROL ORDINANCE”) shall continue to be applicable all those issues not covered by

the rules and the regulations found in this PD, PLANNED DEVELOPMENT DISTRICT.

- D. In the event of a conflict between these PD, PLANNED DEVELOPMENT DISTRICT standards and any of its illustrations, photographs, and other exhibits including but not limited to the development plan, that are attached thereto, and that are specified elsewhere in text, the standards that are set forth herein in the text shall prevail.
- E. In the event of a conflict between these rules and these regulations of this PD, PLANNED DEVELOPMENT DISTRICT and the MANSFIELD ZONING ORDINANCE, as amended, the standards that are set forth herein shall prevail.
- F. In the event of a conflict between these rules and these regulations of this PD, PLANNED DEVELOPMENT DISTRICT and the standards that are specified elsewhere in text and tables, the standards that are set forth herein shall prevail.
- G. In the event of a conflict between these PD, PLANNED DEVELOPMENT DISTRICT standards and any other codes, ordinances, regulations, or standards as adopted by the City of Mansfield, Texas, the standards that are set forth herein shall prevail.
- H. A mandatory Homeowners Association (the “HOA”) will be responsible for the maintenance of the lots owned by the HOA and all entryway features, screening walls (if any), fences, canopy trees, and landscaping.
- I. The HOA documents and any associated documents shall be filed in accordance with the City of Mansfield, Texas regulations and procedures. The documents shall be filed with the final plat at Tarrant County.

DESCRIPTIONS OF DEVELOPMENT TRACTS:

Development pursuant to the provisions of this PD, PLANNED DEVELOPMENT DISTRICT, is regulated in accordance with the intensity of the residential and commercial uses permitted. The property is intended to be developed for community retail and single-family townhome residential dwellings on approximately 10.574 acres of land.

DEVELOPMENT PLAN:

For the purpose of this PD, PLANNED DEVELOPMENT DISTRICT, a site plan and illustrative renderings of the non-residential uses and dwelling unit types are attached hereto, respectively, as “EXHIBIT B — 1” (collectively the “DEVELOPMENT PLAN”) to achieve the following:

- A. To establish all required setbacks and buffers for the property in the locations identified on the Development Plan; AND
- B. To set forth a general plan of development for the property as identified under the rules and the regulations of this PD, PLANNED DEVELOPMENT DISTRICT.

PHASING PLAN:

Development under this PD, PLANNED DEVELOPMENT DISTRICT, may occur as a single phase, or multiple phases, provided that no application for a building permit for residential construction may be made by the Developer (or their successors) prior to the design and the construction of a minimum

of 10,000 square feet of the mandatory commercial space pursuant to the provisions that are set forth in this PD, PLANNED DEVELOPMENT DISTRICT.

DEVELOPMENT INTENSITY:

A. General.

1. No more than 49 dwellings may be designed and constructed.
2. No more than 48 dwellings may be designed and constructed as row houses.
3. There shall be no limitation on the total number of single-family residences (detached) that may be designed and constructed.

B. Residential construction.

1. Only two (2) buildings may be designed and constructed on each lot; one (1) principal building and one (1) accessory building.

C. Commercial construction.

1. A maximum of four (4) principal buildings designed and constructed for commercial use may be on a single lot or on multiple lots pursuant to the rules and the regulations of this PD, PLANNED DEVELOPMENT DISTRICT.

DEFINITIONS:

The following provides definitions for terms that are used in this PD, PLANNED DEVELOPMENT DISTRICT, that are either technical in nature, or otherwise may not reflect a common usage of the term. Where terms are not defined in this PD, PLANNED DEVELOPMENT DISTRICT, and are defined in Section 155.012 of the MANSFIELD ZONING ORDINANCE, such terms shall have the meanings ascribed to them as found in that Section. Where terms are not defined in this PD,

PLANNED DEVELOPMENT DISTRICT or in Section 155.012 of the MANSFIELD ZONING ORDINANCE, such terms shall have ordinarily accepted meanings such as the context applies.

ANCILLARY ROOF: A secondary structure attached to the principal structure, typically in the form of a one-story structure attached to a two-story structure.

ARCH: A curved symmetrical structure spanning an opening and typically supporting the weight of a bridge, roof, or wall above it.

ATTIC: The interior part of a building contained within a pitched roof structure.

AWNING: A fixed or movable shading structure, cantilevered or otherwise entirely supported from a building, used to protect outdoor spaces from sun, rain, and other natural conditions. Awnings are typically used to cover outdoor seating for cafés and restaurants.

BUILDING FAÇADE: An exterior wall of a building.

BUILDING FRONTAGE: The area between a building elevation and the public right-of-way, it is inclusive of its built and planted components.

BUILDING HEIGHT: The vertical extent of a building measured in stories.

CORNER MARKET: A single small-scale retail business, that may be standalone or a part of a mixed-use building, typically supplying a limited selection of fresh or preserved food and sundries. It may or may not be accompanied by a food service establishment or a mail center (SYNONYM: CORNER STORE).

DOORYARD BUILDING FRONTAGE: A building frontage type with a shallow setback and a front garden or a patio, usually with a low wall or hedge at the lot line (VARIANT: LIGHTWELL, LIGHT COURT). *SEE DIAGRAM NO. 1*

DRIVEWAY: A vehicular lane within a lot, often leading to a garage.

GLAZING: The portion of a building elevation that is comprised of transparent glass, and that is

usually set in doors and windows.

LOT: A parcel of land accommodating a building or buildings under single ownership.

LOT COVERAGE: The percentage of any lot that may be covered by buildings and other roofed structures.

LOT LINE: The boundary that legally and geometrically demarcates a lot.

OPEN SPACE: The land that is open to the sky and is specifically set aside for areas of structured or unstructured recreation and the enhancement of the urban environment (i.e., landscaped areas and hardscaped areas).

PIER: A solid support that is designed to sustain vertical pressure.

PORCH: An open-air room appended to a building, with floor and roof, but no walls on at least two (2) sides. *SEE DIAGRAM NO. 2*

PRINCIPAL ENTRANCE: The main point of access for pedestrians into a building.

SHOPFRONT BUILDING FRONTAGE: A building frontage that is most conventional for retail use with substantial glazing, wherein the building façade is aligned close to the front lot line with the building entrance at sidewalk grade. *SEE DIAGRAM NO. 3*

STOOP BUILDING FRONTAGE: A building frontage wherein the building elevation is aligned close to the front lot line with the first story elevated from the sidewalk for privacy, and with an exterior stair and a landing at an entrance.

STORY: A habitable level within a building, excluding an attic or a raised basement.

GENERAL SITE AND BUILDING STANDARDS:

The site and building standards provided below shall be specific to all construction on the property.

A. CONSIDERATIONS FOR UTILITIES.

1. Utilities shall be placed underground.
2. Utility services may require easements at the front, side, or rear lot lines for meters, pedestals, and other equipment requirements.

B. CONSIDERATIONS FOR LANDSCAPING.

1. All landscaping plans shall require approval by the Director of Planning.
2. All topographic transitions between improvements and existing grades or between lots shall appear to be natural slopes or to be garden terraces. In the event natural slopes or garden terraces are not possible, retaining walls may be used, subject to review and approval by the Director of Planning. Retaining walls are limited to a maximum height of four (4) feet and shall be made of brick, brick veneer, local stone or local stone veneer and be capped.

C. CONSIDERATIONS FOR LIGHTING.

1. Exterior light fixtures shall be compatible with the architectural style of the building to which they are attached.

D. ARCHITECTURAL STANDARDS:

1. General.
 - a. All building elevations shall exhibit design continuity (i.e., exterior finish) and contain exterior accent materials that exhibit quality and durability.
 - b. All building elevations of a single architectural composition shall maintain a uniform level of quality in materials and detailing.
2. Walls.
 - a. No more than two (2) building wall materials shall be used on the exterior of any principal building or any outbuilding, excluding balconies, bay windows,

patios, porches, exterior shutters, trim, and other such architectural features.

- b. With the exception of openings for doors and windows only, all building walls shall be finished in brick, cast stone, stone and / or stucco. Cementitious fiber board and wood may only be used as an accent material and, where used on a single building, shall not exceed 20 percent of the total building wall area with each building façade being calculated independently.
 - i. All stucco shall be masonry.
 - ii. All stucco shall have a smooth sand finish.
 - iii. All exposed exterior wood shall be painted or stained.
 - iv. Exterior insulation and finishing systems (E.I.F.S.) and vinyl siding are prohibited.

3. Roofs.

- a. Principal roofs, where sloped, shall be symmetrical gable or hip and angled no less than 6:12. Sloped roofs shall only be clad in asphalt shingle, slate, or terra cotta tile. Sloped roof cladding may include metal, provided it complements an architectural style and it minimizes glare.
- b. Principal roofs where low-slope (i.e., flat), shall be surrounded by a horizontal parapet wall no less than 42 inches high where the roof deck meets the parapet wall on all sides.
- c. Ancillary roofs may be sheds angled no less than 3:12.

4. Openings.

- a. All windows openings shall be vertically proportioned and shall be rectangular in shape where visible from thoroughfares and civic spaces.
- b. All windows shall use vertically proportioned panes, excluding any transom

windows above door openings visible from thoroughfares and civic spaces.

- c. All door and window openings shall reveal their thickness within the building wall, and where appropriate to the building material that is used. Doors and windows in building walls made of brick, stone, and stucco shall be recessed a minimum of three (3) inches in depth.
 - i. Flush-mounted windows are prohibited.
- d. Door and window header heights shall be consistent on building walls fronting a thoroughfare or a civic space.
- e. Door and window openings in building walls that are set along a thoroughfare, or a civic space shall be evenly spaced to create a harmonious composition.
- f. Doors and windows that operate as sliders (i.e., not hinged) are prohibited.
- g. Garage doors shall be made of wood or composite wood and may have glass or framed panels.
- h. Garage doors shall not exceed 18 feet in width.
- i. A single carriage light shall be installed directly above each garage door.

5. Attachments.

- a. All flooring at stoops (e.g., the exterior stair and the landing) shall be made of brick, concrete, or stone to match the building wall finish.
- b. All flooring at balconies and at porches shall be made of brick, concrete, or stone.
- c. All chimneys, where visible, shall be clad in brick, cast stone, stone, or stucco.
 - i. Chimneys shall extend to the ground and shall provide a projecting cap on top.
- d. Flues may be painted black or galvanized.

- e. Any part of a balcony projecting beyond a building wall shall be structurally supported by brackets of appropriate scale.
 - f. Gutters, where provided, shall be made of copper, galvanized steel, aluminum, or painted if fronting a thoroughfare or open space.
6. Specific to residential construction.
- a. All principal dwelling units shall have a limit for door and window openings in building façades that are set along a thoroughfare or a civic space. No less than 15 percent and no more than 40 percent of the total building wall area shall be used for door and window openings.
 - b. All principal dwelling units constructed as row houses shall include enhanced details to enhance the distinctiveness of each dwelling unit. This may include changes in color, material, height, trim, entry portico, stoops, railings and / or other similar architectural features.
 - c. A maximum of four (4) rowhouse dwellings may be attached under the same roof structure.
7. Specific to fences and walls:
- a. Fences along front lot lines shall be made of metal or wrought iron.
 - i. All metal and wrought iron shall be black.
 - ii. All wood shall be painted or stained.
 - iii. All gates shall be made of metal or wood.
 - b. Walls along lot lines shall be made of brick or stone (or brick or stone veneer).
 - i. All gates shall be made of metal or wood.
 - c. Unless otherwise noted in this PD, PLANNED DEVELOPMENT DISTRICT, all fencing and walls shall comply with the requirements as set forth in Section

155.094 of the MANSFIELD ZONING ORDINANCE and the MANSFIELD
SUBDIVISION CONTROL ORDINANCE.

8. Screening.

- a. Rooftop mechanical equipment shall be fully screened from view on all sides by parapet walls of which shall be at least 12 inches greater in height than the equipment.
- b. Ground mounted equipment, where practicable, shall be oriented to the rear or the side of lots. Ground mounted equipment located along a building frontage shall be visually screened by a screening structure or by landscaping, either of which shall be equal to or greater than the height of the equipment.
 - i. All landscaping shall be at least three (3) feet in height at the time of planting.
- c. Outdoor refuse / recycling collection receptacles shall not be located along any building frontage and shall be located towards the rear or the side of buildings and lots. Outdoor refuse / recycling collection receptacles shall be located off a rear alley where available. All outdoor refuse / recycling receptacles shall be visually screened on three (3) sides by opaque walls made of brick, cast stone, or stone, and at least six (6) feet in height. Access doors into the outdoor refuse / recycling receptacle shall be constructed of opaque metal matching the height of the wall. All walls and access doors shall screen the outdoor receptacle from view on all sides. Lids are required on all outdoor receptacles that are not in a roofed enclosure.
- d. Loading docks and service areas shall be visually screened, shall not be located along building frontages, and shall be located towards the rear of the building

and its lot.

DEVELOPMENT STANDARDS:

A. LOT STANDARDS.

1. There are no minimum lot widths.
2. There is no minimum lot size.
3. Lot coverage shall not exceed 80 percent for all construction.
4. All platted lots shall front on a thoroughfare or a civic space (i.e., the front lot line).

B. BUILDING SETBACKS.

All buildings shall be setback from the boundaries of their lots according to the following:

1. Front building setbacks for principal buildings:
 - a. 20 feet maximum adjacent to public streets.
2. Side building setbacks for principal buildings:
 - a. 0 feet minimum for attached principal buildings; AND
 - b. five (5) feet minimum from side lot lines for detached principal buildings.
3. Rear building setbacks for principal buildings:
 - a. 15 feet minimum, as measured from the centerline of the rear alley; AND
 - b. in the absence of rear alley, five (5) feet minimum.
4. Setbacks for accessory buildings and accessory structures shall be in accordance with the applicable provisions set forth in the MANSFIELD ZONING ORDINANCE.

C. BUILDING HEIGHT.

1. Building height shall be measured in stories for each habitable level above-ground, as provided below:

- a. Stories are measured from finished floor to finished ceiling.
- b. For residential construction (e.g., row houses and single-family detached), all ground floors shall have a minimum story height of 10 feet.
- c. For commercial construction, ground floors shall have a minimum story height of 11 feet and a maximum story height of 18 feet.
- d. For residential construction and commercial construction, second stories shall not exceed 14 feet in height.
- e. Building height measurement shall not include the following:
 - i. attics;
 - ii. belfries;
 - iii. chimneys;
 - iv. clock towers;
 - v. vents; AND
 - vi. other uninhabited accessory elements.

2. Principal buildings.

- a. Principal building height for all construction shall be limited to two (2) stories.

3. Accessory dwelling units and accessory structures.

- a. Accessory dwelling units and accessory structure building height shall comply with applicable rules and regulations for building height in the MANSFIELD ZONING ORDINANCE.

D. BUILDING ORIENTATION.

- 1. Principal buildings shall be designed and constructed to have their principal pedestrian entrance along a thoroughfare or an open space with the exception of entrances off of a courtyard, that are visible from public rights-of-way.

E. BUILDING FRONTAGES.

1. General.

- a. The front building façade (and front building setback) shall have the required building frontage.
- b. The front building façade (and front building setback) of each row house shall provide a dooryard building frontage or a stoop building frontage.
- c. The front building façade (and front building setback) of each detached single-family residence shall provide a porch building frontage.
- d. The front building façade of each principal building designed and constructed for commercial use shall provide a shopfront building frontage.
- e. Design inspiration for the building frontages shall be as shown in DIAGRAM NO. 1, DIAGRAM NO. 2, DIAGRAM NO. 3, and DIAGRAM NO. 4.

2. Specific to porch (and fence) building frontages:

- a. Porches shall be no less than six (6) feet deep.
- b. Porches shall be permitted to encroach to within five (5) feet of a front lot line.
 - i. Stairs to porches may encroach up to the front lot line, but not into the public right-of-way (i.e., thoroughfare).
- c. Fences and hedges at the front lot lines shall be limited to a maximum height of four (4) feet.

3. Specific to dooryard building frontages:

- a. Dooryards may encroach into the front setback up to 100 percent of its depth.
- b. Dooryards shall be no less than 10 feet deep.
- c. Dooryards shall be bound by walls three (3) feet in height on three (3) sides.
 - i. Walls for dooryard building frontages shall be constructed of brick or

stone (or shall be faced with brick veneer or stone veneer) and shall match the adjacent building elevation.

4. Specific to stoop building frontages:
 - a. Stoops shall be no less than four (4) feet deep.
 - b. Stoops shall be between four (4) and six (6) feet in width.
 - c. Stoops may encroach into the setback up to 100 percent of its depth.
 - i. Stairs to stoops may encroach up to setback, but not into a public right-of-way (i.e., thoroughfare) or civic space.
 - d. Stoops shall be raised a minimum of two (2) feet from the average sidewalk grade at the building frontage.
5. Specific to shopfront building frontages:
 - a. A minimum of 70 percent of the front building façade between two (2) and 12 feet above the adjacent sidewalk shall be glazed in clear glass. A minimum of 50 percent of any building façade facing any open space or other area provided for structured or unstructured recreation shall be glazed in clear glass between two (2) and 12 feet above the adjacent sidewalk.
 - i. Where appropriate, sliding doors and / or folding doors that allow the activity of the business to open adjacent to and onto the sidewalk may be installed for food service establishments. Design inspiration for all such sliding doors and folding doors shall be as shown in DIAGRAM NO. 5 — A and DIAGRAM NO. 5 — B.
 - b. A shopfront building frontage may include awnings, provided that all awnings shall project horizontally from the building façade a minimum of six (6) feet in depth.

- i. Awnings may encroach to within two (2) feet of the front lot line.
- c. A shopfront shall be subject to the following design requirements:
 - i. Bulkheads shall be between 24 and 36 inches in height.
 - ii. Bulkheads shall be made of brick, cast stone, stone, or stucco.
 - iii. Transom windows shall be installed above the bulkhead and display windows and shall be a minimum of four (4) feet in height.
- d. A commercial use may utilize the building frontage, the adjacent sidewalk, or a combination of both for outdoor display of merchandise, for outdoor seating, for outdoor serving, and for other business-related activities provided that a minimum 6-foot contiguous path for pedestrians be maintained.
 - i. Outdoor seating and outdoor serving areas shall be separated from all thoroughfares, sidewalks, and pedestrian paths using any combination of wrought-iron railings, metal fencing, planters, and landscaping.
 - ii. Outdoor display of merchandise shall not be left outdoors past business hours.

F. BUILDING AREA.

1. Residential construction.

- a. The minimum building area for each row house shall be 1,800 square feet.
- b. The minimum building area for each single-family residence (detached) shall be 3,000 square feet.

2. Commercial construction.

- a. There shall be no minimum building area for commercial construction.
- b. The maximum building area for a single tenant space or a single building shall not exceed 10,000 square feet.

G. GENERAL TO ALL ALLOWABLE PRINCIPAL USES AND ACCESSORY USES.

1. Residential buildings and their lots are restricted to one (1) principal use and may have more than one (1) accessory use.
2. Commercial buildings and their lots may have more than one (1) principal use.

H. SPECIFIC TO ALL ALLOWABLE PRINCIPAL USES.

The allowable principal uses for all buildings and their lots shall be limited to the following:

1. Artist studio.
2. Bank.
3. Fitness studio.
4. Food service establishment, provided the specific use shall be further restricted to the following:
 - a. bakery;
 - b. bistro;
 - c. café;
 - d. coffee bar;
 - e. ice cream shop; AND
 - f. restaurant.
5. Mobile Food Vendor Park.
6. Office.
7. Open-air Farmers Market.
8. Personal Service, provided the specific use shall be further restricted to following:
 - a. alterations;
 - b. barber;
 - c. day spa;

- d. dry cleaner;
 - e. hairdresser; AND
 - f. salon.
9. Retail, provided the specific use shall be further restricted to the following:
- a. arts and crafts store;
 - b. book store;
 - c. clothing store;
 - d. commercial kitchen;
 - e. corner market;
 - f. cosmetics store;
 - g. dairy goods store;
 - h. eyewear store;
 - i. gift store;
 - j. hardware goods store;
 - k. home décor store;
 - l. jewelry store;
 - m. office supplies store;
 - n. pet supplies store; AND
 - o. pharmacy.
10. Row house.
11. Single-family residential (detached).
12. Veterinary clinic (no outdoor kennels).

I. GENERAL TO ALL ALLOWABLE ACCESSORY USES AND STRUCTURES.

The allowable accessory uses and structures for all buildings and their lots shall be limited to

the following:

1. Accessory dwelling unit.
 2. Accessory uses and structures as permitted in the 2F, TWO FAMILY RESIDENTIAL DISTRICT in the MANSFIELD ZONING ORDINANCE.
- J. SPECIFIC USE PERMITS. Consideration for all specific use permits shall be in accordance with the standards and procedures set forth in Section 155.080 of the MANSFIELD ZONING ORDINANCE. The following uses require review and approval of a specific use permit:
1. Childcare center.
- K. PROHIBITED USES AND STRUCTURES. Any use that is not allowed by-right or approved by a specific use permit in accordance with the standards and procedures set forth in Section 155.080 are not allowed within this PD, PLANNED DEVELOPMENT DISTRICT. The following specific uses of buildings and their lots are additionally not allowed within this PD, PLANNED DEVELOPMENT DISTRICT:
1. Body piercing parlor or tattoo parlor;
 2. Check cashing;
 3. Drive-through facility;
 4. Outside storage of retail goods and merchandise;
 5. Pawn shop, second hand shop, or thrift store; AND
 6. Retail sales of guns or weapons.
- L. ADDITIONAL RULES AND REGULATIONS.
1. Corner market.
 - a. a minimum of 50 percent of the total retail sales area and display area shall be dedicated exclusively to the sale of food and beverages that are intended for home preparation and consumption;

- b. a minimum of 15 percent of its total retail sales area and display area shall be dedicated exclusively to the sale of perishable goods including but not limited to: dairy; fish; fruits; grains; meat; poultry; and vegetables;
 - c. a maximum 15 percent of its total retail sales area and display area shall only be dedicated to the sale of alcohol, exclusively for off-site consumption;
 - d. the retail sale of discount and used merchandise is prohibited; AND
 - e. the hours of operation shall be limited from 6:00 A.M. to 10:00 P.M.
2. Food service establishment.
- a. the hours of operation shall be limited from 6:00 A.M. to 10:00 P.M.
3. Retail.
- a. the retail sale of discount and used merchandise is prohibited; AND
 - b. the hours of operation shall be limited from 7:00 A.M. to 9:00 P.M.

M. MANDATORY COMMERCIAL.

- 1. The Developer shall design and construct (or the Developer shall cause to be designed and constructed) a minimum of 10,000 square feet of the mandatory commercial space prior to submitting any application for any building permit for residential construction pursuant to the provisions of this PD, PLANNED DEVELOPMENT DISTRICT.
- 2. The Developer shall (or shall cause) a minimum of 2,500 square feet of the mandatory commercial space to be permanently dedicated to the operation of at least one (1) food service establishment in accordance with applicable rules and regulations of this PD, PLANNED DEVELOPMENT DISTRICT and all other applicable codes, ordinances, and standards of the MANSFIELD CODE OF ORDINANCES. For purposes of this PD, PLANNED DEVELOPMENT DISTRICT, the 2,500 square feet of permanently dedicated commercial space to the operation of a food service establishment shall be

designed and constructed as part of the required 10,000 square feet of the mandatory commercial space.

N. PARKING STANDARDS.

1. General.

- a. Parking provided shall include the actual parking spaces provided within the private lot and along the parking lane corresponding to the private lot.
- b. Unless otherwise noted below, all applicable provisions of Section 155.091 of the MANSFIELD ZONING ORDINANCE shall apply.

2. Parking requirements. There are no minimum parking requirements for commercial uses; and maximum parking requirements shall be as provided below for commercial uses. Maximum parking requirements for all commercial uses shall include the actual parking spaces that are provided within the private lot and along the parking lane (i.e., on-street parking) corresponding to the private lot. There shall be a minimum parking requirement as provided below for residential uses:

- a. Residential: 2.0 assigned parking spaces per dwelling unit
 - i. The minimum required parking shall be located within a garage.
- b. Office: 4.0 assigned parking spaces per 1,000 square feet (maximum).
- c. Retail: 10.0 assigned parking spaces per 1,000 square feet (maximum).
- d. All other uses: 4.0 assigned parking spaces per 1,000 square feet (maximum).

3. PARKING ACCESS.

- a. Garages shall be accessed by driveways from the rear alley.
- b. Vehicular entrances to parking lots shall be no wider than 24 feet at the front lot line.

4. PARKING LOCATION.

- a. Carports and garages shall be located at the rear of the lot.
- b. Garages may be attached to or detached from dwellings.
- c. Parking lots shall be oriented to the rear or the side of the lot.

5. PHYSICAL REQUIREMENTS.

- a. Parking lots shall be visually screened from thoroughfares and civic spaces by hedges that are between three (3) and four (4) feet in height, and with openings no larger than necessary to allow for automobile and pedestrian access.
- b. Parking lots are not allowed between any building façade and a thoroughfare or a civic space.
- c. All on-street parking spaces shall be paved in brick, cobble, or stone.
 - i. Other materials are also permitted, provided they have the appearance of the paving materials noted above, subject to review and approval by the Director of Planning.
- d. A minimum of one (1) bicycle rack shall be provided within the private lot for every 20 vehicular parking spaces.

O. LANDSCAPING STANDARDS. Unless otherwise noted within the rules and regulations of this PD, PLANNED DEVELOPMENT DISTRICT, all provisions of Section 155.092 of the MANSFIELD ZONING ORDINANCE shall apply to property developed in accordance this PD, PLANNED DEVELOPMENT DISTRICT.

- 1. The landscape buffer between row houses and existing single-family residential (detached) dwellings shall be 20 feet with an 8 foot tall screen. In addition screening shall be constructed of an 8 foot tall ornamental iron fence with brick or stone columns every 8-12 feet, and comply with the provisions of the MANSFIELD SUBDIVISION CONTROL ORDINANCE.

2. Buildings and structures are prohibited within the existing 50-foot easement buffer in the location shown on the DEVELOPMENT PLAN.
- P. OPEN SPACE STANDARDS. Unless otherwise noted within the rules and regulations of this PD, PLANNED DEVELOPMENT DISTRICT, all provisions of Section 155.073 of the MANSFIELD ZONING ORDINANCE shall apply to property developed in accordance this PD, PLANNED DEVELOPMENT DISTRICT. Inspiration for the design, the landscape, and the programming for the open space providing structured and / or unstructured recreation for the commercial buildings shall be in accordance with DIAGRAM NO. 6 included within the standards of this PD, PLANNED DEVELOPMENT DISTRICT.
- Q. RETENTION POND AREA. If required, the retention pond area shall be wet, and shall also be well-landscaped and integrated into the design of the site, subject to review and approval by the Director of Planning. Inspiration for the design and landscaping of the retention pond area shall be in accordance with EXHIBIT “B — 3” included within the standards of this PD, PLANNED DEVELOPMENT DISTRICT.

DIAGRAM NO. 1

DESIGN INSPIRATION FOR DOORYARD BUILDING FRONTAGE



EXHIBIT B-1 FOR ZC#-23-019

DIAGRAM NO. 2

DESIGN INSPIRATION FOR PORCH



DIAGRAM NO. 3

DESIGN INSPIRATION FOR SHOPFRONT BUILDING FRONTAGE



EXHIBIT B-1 FOR ZC#-23-019

DIAGRAM NO. 4

DESIGN INSPIRATION FOR STOOP BUILDING FRONTAGE



DIAGRAM NO. 5 — A

DESIGN INSPIRATION FOR SLIDING DOORS AND FOLDING DOORS



EXHIBIT B — 1 FOR ZC#-22-019

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DIAGRAM NO. 5 — B

DESIGN INSPIRATION FOR SLIDING DOORS AND FOLDING DOORS



DIAGRAM NO. 6

DESIGN INSPIRATION FOR COMMERCIAL OPEN SPACE

