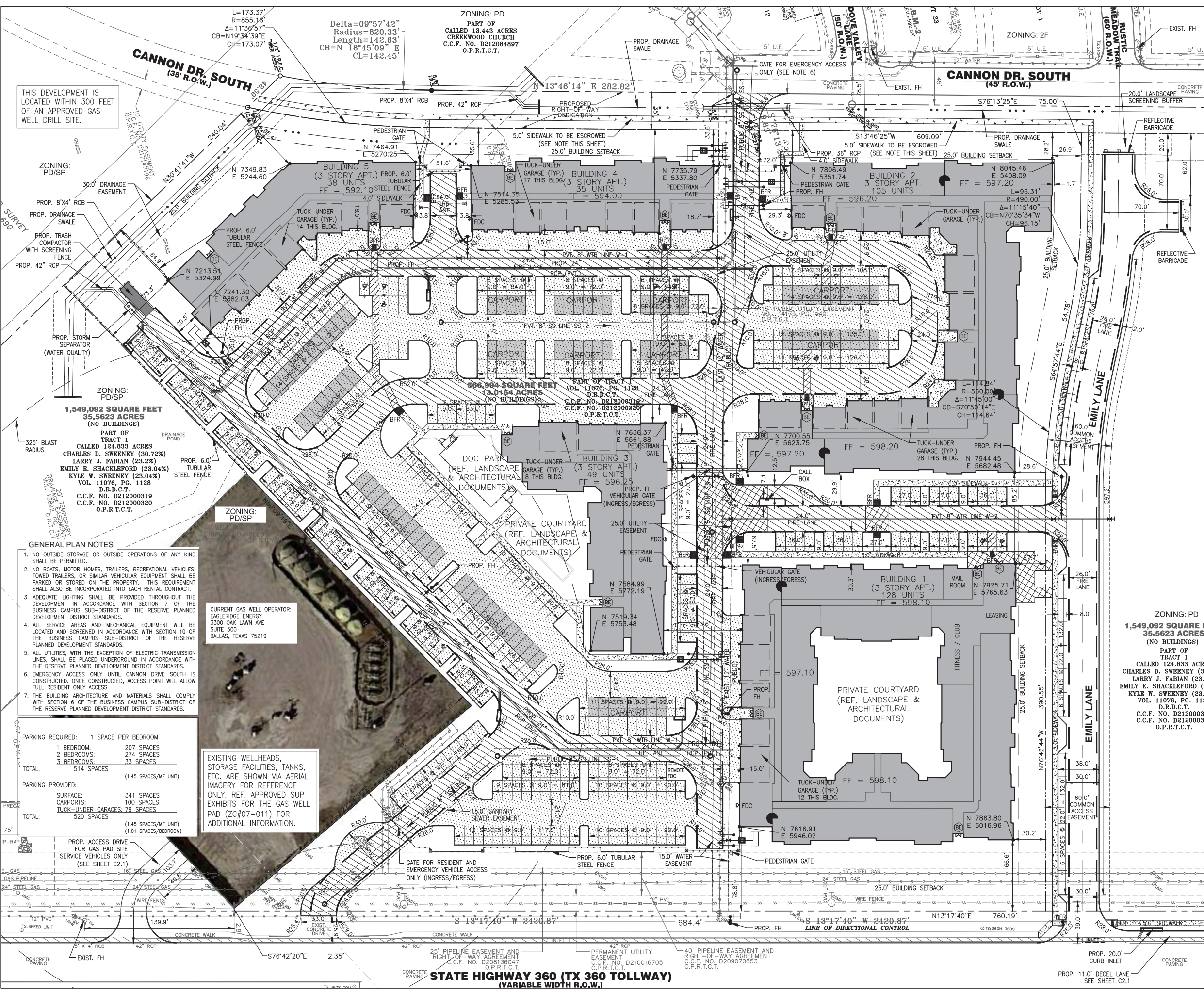


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 Plotted by: mark taylor Plot Date: 1/2/2020 6:37 AM



Legend

- BFR BARRIER FREE RAMP (SEE MANSFIELD STD. CONST. DETAILS SHEET P-6)
- BE BUILDING ENTRANCE
- FL FIRE LANE
- 4" REINFORCED CONCRETE SIDEWALK (SEE MANSFIELD STD. CONST. DETAILS SHEET P-6)
- 4" REINFORCED CONCRETE SIDEWALK TO BE ESCROWED (SEE NOTE BELOW)
- LIGHT DUTY PAVEMENT 5" REINFORCED CONCRETE (SEE DETAIL 01/C12.1)
- HEAVY DUTY PAVEMENT 6" REINFORCED CONCRETE (SEE DETAIL 01/C12.1)
- PAVER OVER CONCRETE (SEE DETAIL 02/C12.1)
- DUMPSTER TRAFFIC PAVEMENT 7" REINFORCED CONCRETE (SEE DETAIL 01/C12.1)
- OHE EXISTING OVERHEAD ELECTRIC
- E EXISTING UNDERGROUND ELECTRIC
- BSL EXISTING BURIED SIGNAL CABLE
- T EXISTING UNDERGROUND TELECOM
- G EXISTING GAS MAIN
- SS EXISTING SANITARY SEWER MAIN
- W EXISTING WATER MAIN
- EXISTING STORM MAIN
- PROPOSED WATER
- PROPOSED SANITARY SEWER
- PROPOSED STORM MAIN
- PROPOSED 6.0" TUBULAR STEEL FENCE
- PROPOSED BRICK ACCENT COLUMN

Legend

ESCROW NOTE:
PRIOR TO ISSUANCE OF BUILDING PERMIT, DEVELOPER SHALL ESCROW FUNDS FOR SIDEWALK ALONG CANNON DRIVE SOUTH TO BE INSTALLED AS PART OF THE CANNON DRIVE SOUTH ROADWAY IMPROVEMENTS.

PRELIMINARY
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FAISAL S. SYED 84833
NAME PE. NO.
DATE 1/2/2020

NOTE:
CONTRACTOR TO COORDINATE CIVIL AND ARCHITECTURAL DIMENSIONAL CONTROL TO LOCATE BUILDING. NOTIFY ARCHITECT OF ANY DISCREPANCY.

Legend

1,549,092 SQUARE FEET
35.5623 ACRES
(NO BUILDINGS)
PART OF TRACT 1
CALLED 124.833 ACRES
CHARLES D. SWEENEY (30.72%)
LARRY J. FABIAN (23.2%)
EMILY E. SHACKLEFORD (23.04%)
KYLE W. SWEENEY (23.04%)
VOL. 11076, PG. 1128
D.R.D.C.T.
C.C.F. NO. D212000319
C.C.F. NO. D212000320
O.P.R.T.C.T.

ZONING: PD
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35.5623 ACRES
(NO BUILDINGS)
PART OF TRACT 1
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VOL. 11076, PG. 1128
D.R.D.C.T.
C.C.F. NO. D212000319
C.C.F. NO. D212000320
O.P.R.T.C.T.

GENERAL PLAN NOTES

- NO OUTSIDE STORAGE OR OUTSIDE OPERATIONS OF ANY KIND SHALL BE PERMITTED.
- NO BOATS, MOTOR HOMES, TRAILERS, RECREATIONAL VEHICLES, TOWED TRAILERS, OR SIMILAR VEHICULAR EQUIPMENT SHALL BE PARKED OR STORED ON THE PROPERTY. THIS REQUIREMENT SHALL ALSO BE INCORPORATED INTO EACH RENTAL CONTRACT.
- ADEQUATE LIGHTING SHALL BE PROVIDED THROUGHOUT THE DEVELOPMENT IN ACCORDANCE WITH SECTION 6 OF THE BUSINESS CAMPUS SUB-DISTRICT OF THE RESERVE PLANNED DEVELOPMENT DISTRICT STANDARDS.
- ALL SERVICE AREAS AND MECHANICAL EQUIPMENT WILL BE LOCATED AND SCREENED IN ACCORDANCE WITH SECTION 10 OF THE BUSINESS CAMPUS SUB-DISTRICT OF THE RESERVE PLANNED DEVELOPMENT DISTRICT STANDARDS.
- ALL UTILITIES, WITH THE EXCEPTION OF ELECTRIC TRANSMISSION LINES, SHALL BE PLACED UNDERGROUND IN ACCORDANCE WITH THE RESERVE PLANNED DEVELOPMENT DISTRICT STANDARDS.
- EMERGENCY ACCESS ONLY UNTIL CANNON DRIVE SOUTH IS CONSTRUCTED. ONCE CONSTRUCTED, ACCESS POINT WILL ALLOW FULL RESIDENT ONLY ACCESS.
- THE BUILDING ARCHITECTURE AND MATERIALS SHALL COMPLY WITH SECTION 6 OF THE BUSINESS CAMPUS SUB-DISTRICT OF THE RESERVE PLANNED DEVELOPMENT DISTRICT STANDARDS.

PARKING REQUIRED: 1 SPACE PER BEDROOM

1 BEDROOM:	207 SPACES
2 BEDROOMS:	274 SPACES
3 BEDROOMS:	33 SPACES
TOTAL:	514 SPACES

(1.45 SPACES/MF UNIT)

PARKING PROVIDED:

SURFACE:	341 SPACES
CARPPOITS:	100 SPACES
TUCK-UNDER GARAGES:	79 SPACES
TOTAL:	520 SPACES

(1.45 SPACES/MF UNIT)
(1.01 SPACES/BEDROOM)

EXISTING WELLHEADS, STORAGE FACILITIES, TANKS, ETC. ARE SHOWN VIA AERIAL IMAGERY FOR REFERENCE ONLY. REF. APPROVED SUP EXHIBITS FOR THE GAS WELL PAD (ZC07-011) FOR ADDITIONAL INFORMATION.

CURRENT GAS WELL OPERATOR:
EAGLERIDGE ENERGY
3300 OAK LAWN AVE
SUITE 500
DALLAS, TEXAS 75219

THE SYDNEY

PROPERTY DEVELOPER: CAPSTAR
REAL ESTATE ADVISORS
14881 QUORUM DR., STE 920
DALLAS, TX 75254
P: 214-399-1100

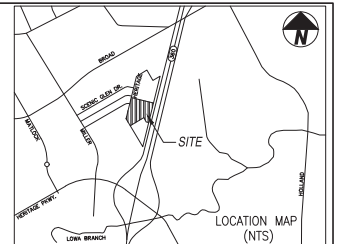
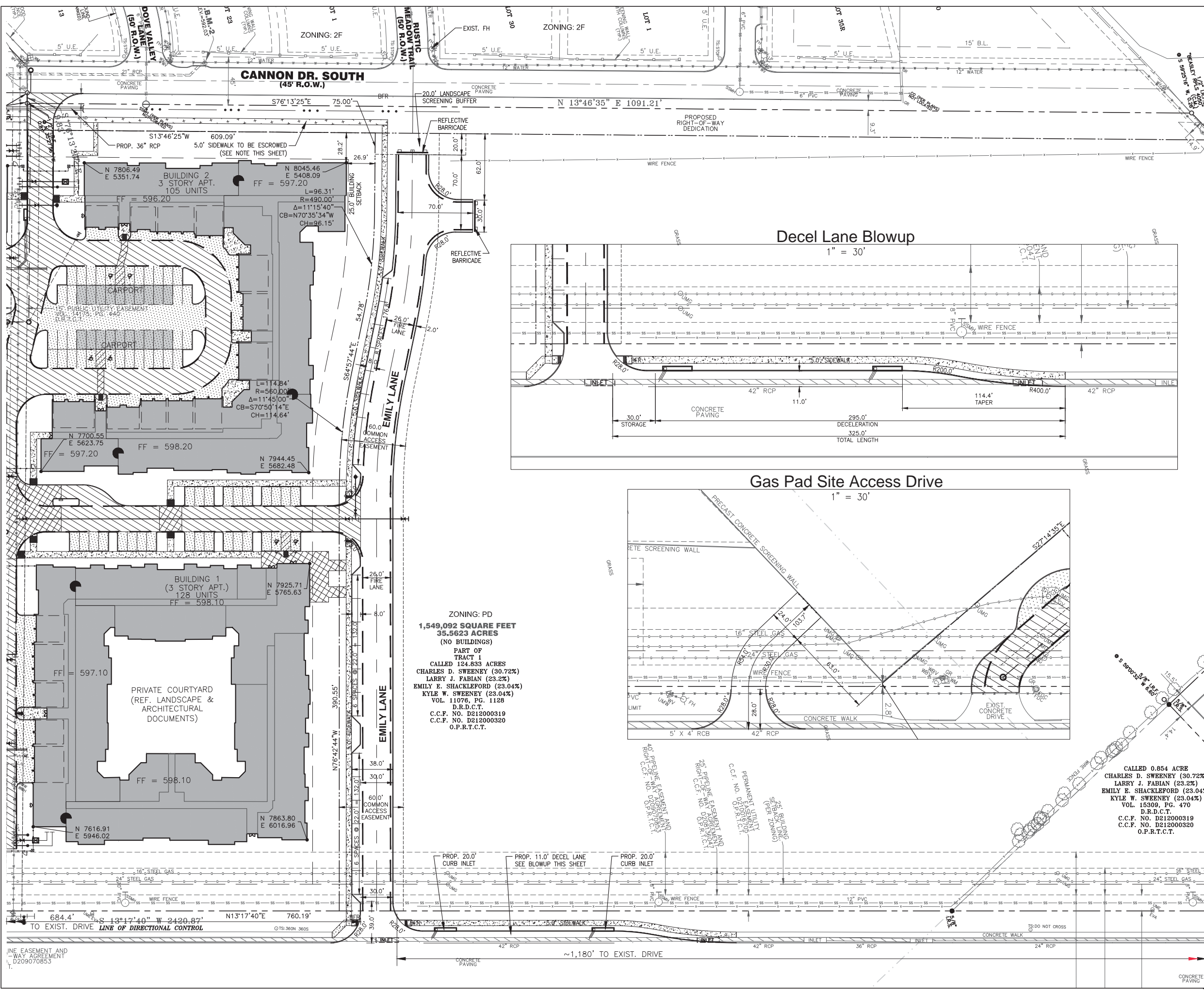
PROPERTY OWNER: KYLE W. SWEENEY
3959 SARITA PARK
FORT WORTH, TX 76109
76063
P: 817-308-3349
F: 817-457-7246

PROPERTY ADDRESS: 400 N. MILLER ROAD
CITY OF MANSFIELD
TARRANT COUNTY, TEXAS
76063
WILLIAM HOWARD SURVEY
ABSTRACT NO. 690

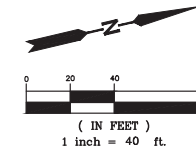
DESIGN	DRAWN	DATE	SCALE	SHEET NO.	CASE NO.	EXHIBIT
UEGi	UEGi	Jan 2019	1"=40'	1 OF 3	ZC19-009	B

THE SYDNEY - MANSFIELD, TEXAS

Drawing: P:\UEG\DESIGN\2019\19-03 CSR-MANSFIELD 360\CAD\Sheets\C3.0 - Site Plan.dwg Saved By: mark taylor Save Time: 12/31/2019 10:57 AM Plotted by: mark taylor Plot Date: 1/2/2020 6:41 AM



CALL BEFORE YOU DIG!
 TEXAS ONE CALL PARTICIPANTS REQUEST
 48 HOURS NOTICE BEFORE YOU DIG, DRILL,
 OR BLAST - STOP CALL
Texas One Call System
 1-800-DIG-TESS



UTILITY LOCATION NOTE:
 THE LOCATION OF EXISTING UTILITIES SHOWN ON
 THESE PLANS ARE APPROXIMATE AND BASED ON
 EXISTING PLANS AND DATA FURNISHED BY UTILITY
 COMPANIES. IT IS THE RESPONSIBILITY OF THE
 CONTRACTOR TO VERIFY THE LOCATION AND DEPTH
 OF ALL EXISTING UTILITIES THAT MAY CONFLICT WITH
 CONSTRUCTION. CALL 1-800-544-8377 TWO
 WORKING DAYS PRIOR TO CONSTRUCTION FOR
 ON-SITE LOCATIONS. ANY DAMAGE TO EXISTING
 UTILITIES SHALL BE REPAIRED AT CONTRACTOR'S
 EXPENSE, AT NO ADDITIONAL COST.

Legend

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 NAME PE. NO.
 DATE 1/2/2020

NOTE:
 CONTRACTOR TO COORDINATE CIVIL AND ARCHITECTURAL DIMENSIONAL CONTROL TO LOCATE BUILDING. NOTIFY ARCHITECT OF ANY DISCREPANCY.

C3.1

UEG urban | engineers | group inc.
 167 turtle creek Blvd., ste a dallas, texas 75207
 FIRM REGISTRATION NO: F5332 (214) 252-1600 p (214) 252-1612 f

SITE PLAN

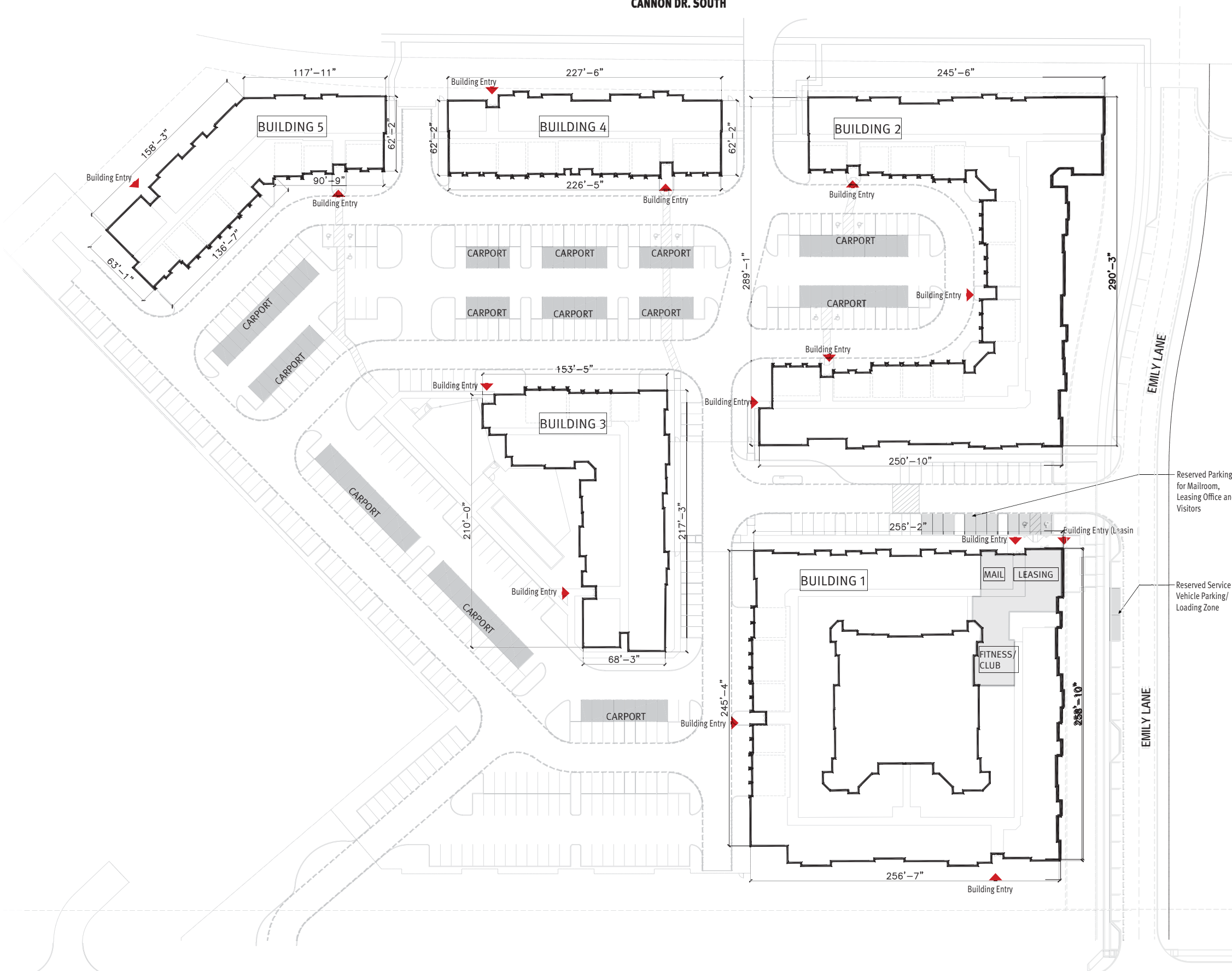
THE SYDNEY

PROPERTY DEVELOPER: CAPSTAR REAL ESTATE ADVISORS 14881 QUORUM DR., STE 920 DALLAS, TX 75254 P: 214-399-1100	PROPERTY OWNER: KYLE W. SWEENEY 3959 SARITA PARK FORT WORTH, TX 76109 P: 817-308-3349 F: 817-457-7246	PROPERTY ADDRESS: 400 N. MILLER ROAD CITY OF MANSFIELD TARRANT COUNTY, TEXAS 76063 WILLIAM HOWARD SURVEY ABSTRACT NO. 690
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DESIGN	DRAWN	DATE	SCALE	SHEET NO.	CASE NO.	EXHIBIT
UEGi	UEGi	Jan 2019	1"=40'	2 OF 3	ZC#19-009	B

THE SYDNEY - MANSFIELD, TEXAS

CANNON DR. SOUTH



PROJECT DATA

- MF Minimum Residential Floor area:
 - Efficiency: 690 sf
 - 1-bedroom: 750 sf
 - 2-bedroom: 1070 sf
 - 3-bedroom: 1400 sf
- Site Area: 13.0164 ac.
- Gross Building Area: 392,399 sf
- Floor Area Ratio: 0.70
- Site Density: 27.27 Units per Acre
- Total MF Units (avg. 948 s.f/unit): 355 Units
- Leasing/Amenty : 5298 sf
- Parking Required 1 sp per Bedroom:
 - Efficiency (14 Units): 14 sps
 - 1-bedroom (193 Units): 193 sps
 - 2-bedroom (137 Units): 274 sps
 - 3-bedroom (11 Units): 33 sps
 - Total: 514 sps (1.45 sps/ MF unit)
- Parking Provided:
 - Surface: 341 sps
 - Carports: 100 sps
 - Tuck-Under Garage: 79 sps
 - Total: 520 sps (1.46 sps/ MF unit)

Site Summary Table Per Building

	Building 1	Building 2	Building 3	Building 4	Building 5
Gross Building Area (sf)	146,387	113,108	54,186	36,468	42,250
Building Footprint (sf)	50,339	41,375	18,971	14,283	16,225
Building Height (ft)	45'-6"	45'-6"	45'-6"	45'-6"	45'-6"
Building Stories	3	3	3	3	3
Number of Units	128	105	49	35	38
	E: 0 1-br: 73 2-br: 49 3-br: 6	E: 9 1-br: 56 2-br: 37 3-br: 3	E: 3 1-br: 25 2-br: 19 3-br: 2	E: 0 1-br: 23 2-br: 12 3-br: 0	E: 2 1-br: 16 2-br: 20 3-br: 0
Tuck-Under Garage (sps)	12	28	8	17	14

- Adequate lighting shall be provided throughout the development in accordance with Section 7 of the Business Campus Sub-District of The Reserve Planned Development District Standards.
- All service areas and mechanical equipment will be located and screened in accordance with the Section 10 of the Business Campus Sub-District of The Reserve Planned Development Standards.

01 Site Plan

STATE HIGHWAY 360



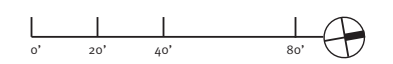
The Sydney
Mansfield, TX

PROPERTY DEVELOPER:
CAPSTAR Real Estate Advisors
REAL ESTATE ADVISORS
14881 QUORUM DR., STE 200, DALLAS, TX 75254
P: 817-308-3349
F: 817-457-7246

PROPERTY OWNER:
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TARRANT COUNTY, TEXAS 76063
WILLIAM HOWARD SURVEY
ABSTRACT NO. 690

Site Plan-Details
Scale 1" = 40' - 0"



ZC # 19-009 EXHIBIT B

11.07.2019	2018081.00	KM
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01 Building I - East Elevation

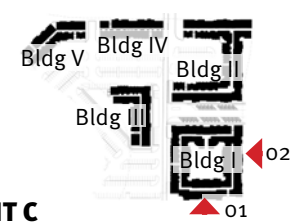
Building Material Percentage: Brick 44% Stucco 25% Cementitious Panel 24% Cementitious Siding 7% Window 25%



02 Building I - North Elevation

Building Material Percentage: Brick 38% Stucco 32% Cementitious Panel 30%

Building I - Overall Material Percentage:			
Brick 32%	Stucco 23%	Cementitious Panel 27%	Cementitious Siding 18%



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ABSTRACT NO. 690

Building Elevations

ZC # 19-009 EXHIBIT C

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01 Building I - South Elevation

Building Material Percentage: Brick 18% Stucco 13% Cementitious Panel 19% Cementitious Siding 50%

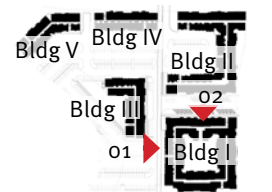
Window 38%



02 Building I - West Elevation

Building Material Percentage: Brick 31% Stucco 21% Cementitious Panel 33% Cementitious Siding 15%

Window 27%



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01 Building II - North Elevation

Building Material Percentage: Brick 46% Stucco 31% Cementitious Panel 23%

Window 22%

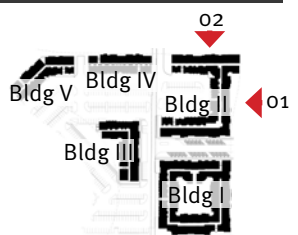


02 Building II - West Elevation

Building Material Percentage: Brick 43% Stucco 30% Cementitious Panel 24% Cementitious Siding 3%

Window 26%

Building II - Overall Material Percentage:
 Brick 26% Stucco 29% Cementitious Panel 21% Cementitious Siding 24%



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01 Building II - South Elevation

Building Material Percentage: Brick 14% Stucco 47% Cementitious Panel 18% Cementitious Siding 21%

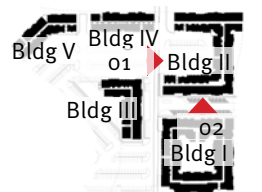
Window 22%



02 Building II - East Elevation

Building Material Percentage: Brick 30% Stucco 26% Cementitious Panel 29% Cementitious Siding 15%

Window 24%



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01 Building II - Courtyard West Elevation

Building Material Percentage: Brick 10% Stucco 21% Cementitious Panel 16% Cementitious Siding 53%

Building Entry

Window 35%

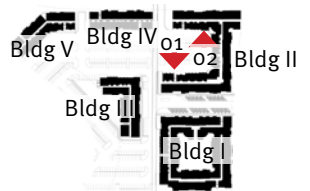


02 Building II - Courtyard East Elevation

Building Material Percentage: Brick 10% Stucco 22% Cementitious Panel 15% Cementitious Siding 53%

Building Entry

Window 35%



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Mansfield, TX

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01 Building III - North Elevation

Building Material Percentage: Brick 40% Stucco 31% Cementitious Panel 22% Cementitious Siding 7%

Window 24%

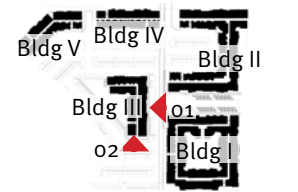


02 Building III - East Elevation

Building Material Percentage: Brick 15% Stucco 47% Cementitious Panel 20% Cementitious Siding 18%

Window 22%

Building III - Overall Material Percentage:			
Brick 22%	Stucco 33%	Cementitious Panel 18%	Cementitious Siding 27%



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01 Building III - West Elevation

Building Material Percentage: Brick 23% Stucco 18% Cementitious Panel 19% Cementitious Siding 40%

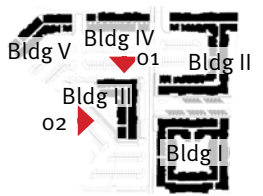
Building Entry



02 Building III - South Elevation

Building Material Percentage: Brick 11% Stucco 35% Cementitious Panel 11% Cementitious Siding 43%

Building Entry



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Mansfield, TX

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01 Building IV - West Elevation
Window 27%

Building Material Percentage: Brick 45% Stucco 29% Cementitious Panel 22% Cementitious Siding 4%



02 Building IV - North Elevation
Window 14%

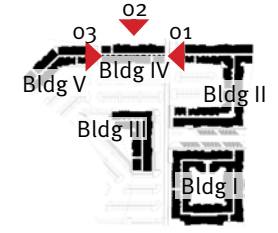
Building Material Percentage: Brick 25% Stucco 51% Cementitious Panel 24%



03 Building IV - South Elevation
Window 17%

Building Material Percentage: Brick 23% Stucco 64% Cementitious Panel 13%

Building IV - Overall Material Percentage:			
Brick 25%	Stucco 44%	Cementitious Panel 19%	Cementitious Siding 12%



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01 Building IV - East Elevation

Building Material Percentage: Brick 8% Stucco 32% Cementitious Panel 18% Cementitious Siding 42%

Building Entry

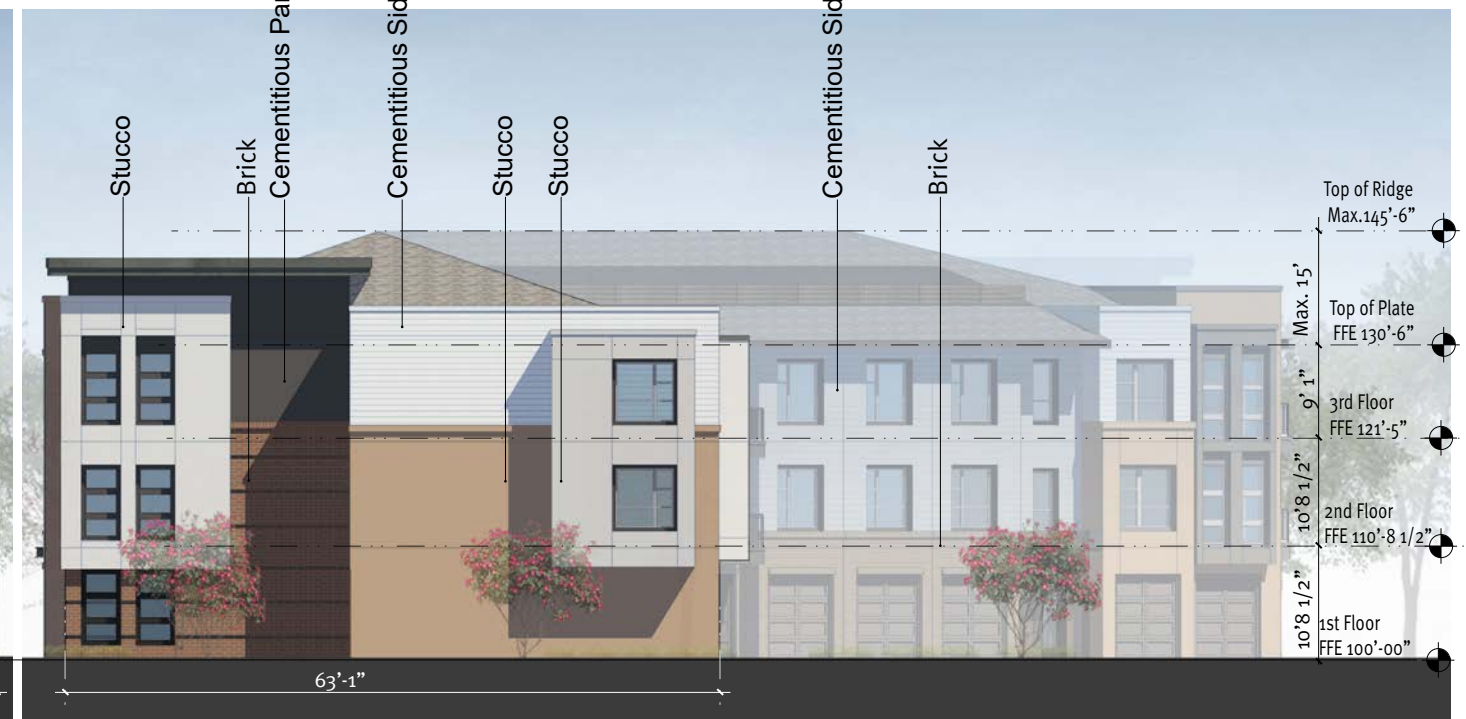
Window 38%



02 Building V - North Elevation

Window 33%

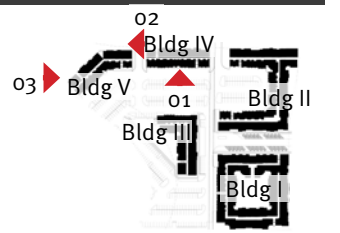
Building Material Percentage: Brick 16% Stucco 55% Cementitious Panel 23% Cementitious Siding 6%



03 Building V - South Elevation

Window 18%

Building Material Percentage: Brick 11% Stucco 46%
Cementitious Panel 16% Cementitious Siding 27%



The Sydney
Mansfield, TX

PROPERTY DEVELOPER:
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REAL ESTATE ADVISORS
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PROPERTY ADDRESS:
400 N. MILLER ROAD, CITY OF MANSFIELD,
TARRANT COUNTY, TEXAS 76063
WILLIAM HOWARD SURVEY
ABSTRACT NO. 690

Building Elevations

ZC # 19-009 EXHIBIT C

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01 Building V - West Elevation
Window 23%

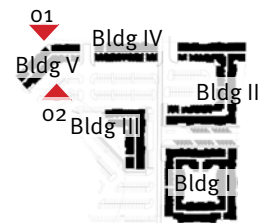
Building Material Percentage: Brick 55% Stucco 24% Cementitious Panel 19% Cementitious Siding 2%



02 Building V - East Elevation
Window 31%

Building Material Percentage: Brick 8% Stucco 36% Cementitious Panel 19% Cementitious Siding 37%

Building V - Overall Material Percentage:			
Brick 23%	Stucco 40%	Cementitious Panel 19%	Cementitious Siding 18%



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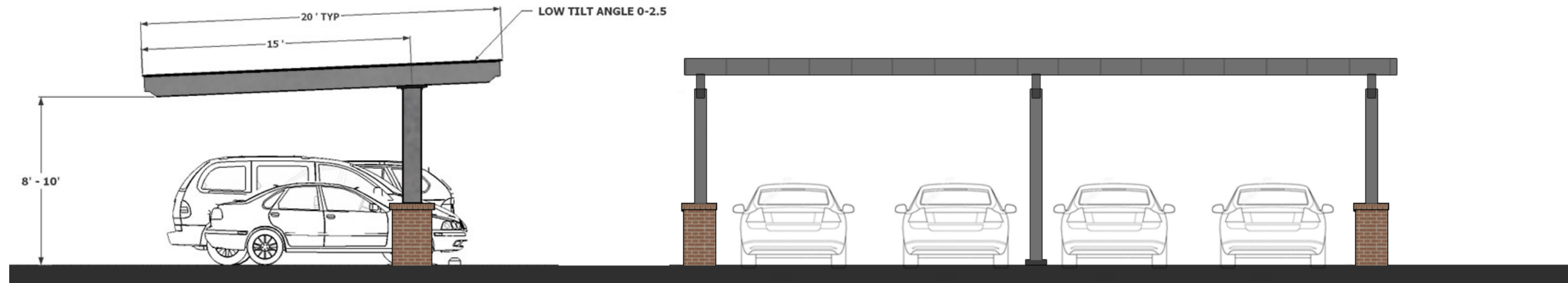
PROPERTY ADDRESS:
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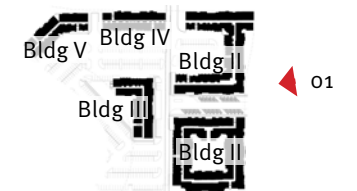


01 TYP Carport Profile
NTS



01

Perspective - Emily Lane



The Sydney
Mansfield, TX

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Schematic Perspective

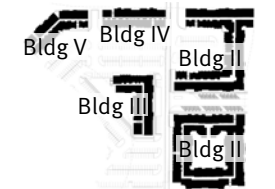
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01 Perspective - N.State Highway 360



01

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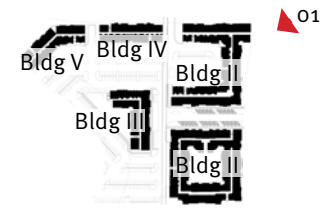
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PROPERTY ADDRESS:
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 TARRANT COUNTY, TEXAS 76063
 WILLIAM HOWARD SURVEY
 ABSTRACT NO. 690

Schematic Perspective



01 Perspective - Cannon Dr. S.



The Sydney
Mansfield, TX

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Schematic Perspective

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Drawing: P:\UEG\DESIGN\2019\19-03 CSR-MANSFIELD 360\CAD\Sheets\1.0 - Overall Landscape Plan.dwg Saved By: swright Plot Date: 12/31/2019 2:27 PM

SUMMARY CHART - SITE DATA	
SITE DATA SUMMARY:	
CURRENT ZONING CLASSIFICATION:	PD (THE RESERVE PLANNED DEVELOPMENT)
NOTE: C-2 ZONING APPLIED FOR LANDSCAPE REQUIREMENTS NOT ADDRESSED IN PD ZONING (SEE ITEM 13.1 BELOW)	
TOTAL SITE AREA:	566,994 SF
PROPOSED USE:	MULTI-FAMILY APARTMENT
# UNITS / # BEDROOMS (REF. ARCHITECTURALS):	355 UNITS /514 BEDROOMS
# PARKING SPACES REQUIRED (REF. ARCHITECTURALS):	1 PER BEDROOM = 514

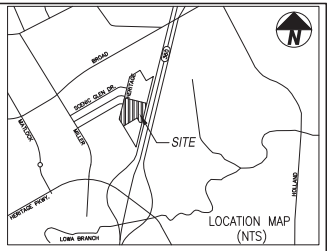
LANDSCAPE REQUIREMENTS

LANDSCAPE IMPROVEMENTS FOR THE PROPERTY SHALL CONFORM TO APPLICABLE SECTIONS (INCLUDED BELOW) OF "THE RESERVE PLANNED DEVELOPMENT DISTRICT STANDARDS" AS ADOPTED BY THE CITY OF MANSFIELD.	
SECTION 8 - PARKING AREAS	
8.4 SURFACE PARKING LANDSCAPING - ALL SURFACE PARKING LOTS SHALL BE SET BACK A MINIMUM OF TWENTY-FIVE (25) FEET FROM THE STREET RIGHT-OF-WAY LINE. PARKING LOTS THAT CONTAIN TEN (10) OR MORE PARKING SPACES SHALL PROVIDE LANDSCAPING AND SCREENING IN ACCORDANCE WITH SECTION 7300, LANDSCAPING AND SCREENING REQUIREMENTS OF THE MANSFIELD ZONING ORDINANCE.	PROVIDED
8.6 SURFACE PARKING PERIMETER SCREENING - ALL SURFACE PARKING LOTS SHALL BE SCREENED FROM STREET VIEW. SUCH SCREENING SHALL TAKE THE FORM OF THREE (3) FOOT PLANTINGS OF DENSE EVERGREEN HEDGE AT TIME OF INSTALLATION MEASURED ABOVE THE GRADE OF THE PARKING LOT.	PROVIDED
SECTION 13 - SITE LANDSCAPING	
13.1 LANDSCAPE REQUIREMENTS - ALL SITE LANDSCAPING NOT ADDRESSED BY THE SUBSECTIONS BELOW SHALL FOLLOW THAT PRESCRIBED BY THE CITY OF MANSFIELD ZONING ORDINANCE FOR THE C-2 ZONING DISTRICT. PLANT MATERIAL SHOULD BE SELECTED FROM THOSE IDENTIFIED AS NATIVE PLANTS, AND THOSE THAT HAVE BEEN ADAPTED TO THE LOCAL CLIMATE AND CONDITIONS. NATIVE PLANTS AND PLANTING PRACTICES ARE IDENTIFIED THROUGH THE "TEXAS SMARTSCAPE" PROGRAM.	
13.2 STREET TREES ALONG MILLER ROAD, MATLOCK ROAD, HERITAGE PARKWAY AND CANNON DRIVE SOUTH - A DOUBLE ROW OF STAGGERED TREES SHALL BE PLANTED PARALLEL TO THESE ROADWAYS, WITH THE TREES IN EACH ROW OCCURRING AT AVERAGE OF THIRTY-FIVE (35) FEET ON-CENTER ALONG THE ROADWAYS. THE FIRST ROW OF TREES CLOSEST TO THE ROADWAYS SHALL BE SETBACK TEN (10) FEET FROM THE FACE CURB. THESE TREES SHALL HAVE A MINIMUM CALIPER OF THREE-AND-A-HALF (3.5) INCHES AT INSTALLATION, AND SHALL NOT BE CLOSER THAN TEN (10) FEET FROM A STREET LIGHT OR FIRE HYDRANT. TREE MATERIAL SHOULD FOLLOW THE RECOMMENDATIONS OF THE LANDSCAPE ADMINISTRATOR, AND SHOULD BE OF CONSISTENT SPECIES ALONG BOTH SIDES OF EACH BLOCK.	PROVIDED
13.5 OPEN SPACE - THE PROVISIONS OF ADEQUATE AND APPROPRIATE OPEN SPACE AREAS ADD VALUE TO DEVELOPMENT AND ARE ENCOURAGED IN ALL DEVELOPMENT IN THE SUB-DISTRICT. THE OPEN SPACE PROVIDED SHOULD BE APPROPRIATELY DESIGNED AND SCALED. OPEN SPACES MAY BE IN THE FORM OF PLAZAS, SQUARES, LINEAR PARKS, ENVIRONMENTAL PRESERVES, PRIVATE OPEN SPACES, SIDEWALKS, ACTIVE SPORTS FIELDS, STRUCTURED RECREATIONAL ACTIVITY AREAS, ETC.	PROVIDED
13.6 LANDSCAPING AT ENTRANCE DRIVES - SPECIAL LANDSCAPING SHOULD BE PROVIDED AT PARCEL AND BUILDING LOT ENTRANCES TO DEFINE ENTRANCE AND SIGNAGE AREAS. ADEQUATE SITE DISTANCES SHOULD BE MAINTAINED IN ACCORDANCE WITH CITY OF MANSFIELD STANDARDS.	PROVIDED
SECTION 7300 - LANDSCAPING AND SCREENING REQUIREMENTS	
P. STREET LANDSCAPE SETBACK:	
3) WHEN ANY LAND USE IS ESTABLISHED ON A LOT IN THE OP, C-1, C-2, C-3, I-1 AND I-2 ZONING DISTRICTS, A TWENTY (20) FOOT WIDE LANDSCAPE SETBACK SHALL BE PROVIDED ALONG THE ENTIRE BOUNDARY OF THE LOT THAT ABUTS A PUBLIC STREET, EXCLUSIVE OF DRIVEWAYS AND ACCESS WAYS AT POINTS OF INGRESS AND EGRESS TO AND FROM THE LOT.	PROVIDED
Q. PARKING LOT PERIMETER LANDSCAPING:	
1. IN THE MF-1, MF-2, OP, C-1, C-2, C-3, I-1 AND I-2 ZONING DISTRICTS AND ALL NONRESIDENTIAL DEVELOPMENT SUCH AS CHURCHES, SCHOOLS AND PUBLIC FACILITIES IN ANY ZONING DISTRICT, ALL PARKING LOT, VEHICULAR USE AND MANEUVERING AREAS THAT ARE NOT SCREENED BY ONSITE BUILDINGS SHALL BE SCREENED FROM VIEW OF PUBLIC STREETS IN ACCORDANCE WITH THE FOLLOWING REQUIREMENTS:	PROVIDED (360 FRONTAGE ROAD)
a. THE SCREENING SHALL BE A MINIMUM HEIGHT OF THREE (3) FEET, AT MATURITY, (IN CASE OF PLANTS) ABOVE THE GRADE OF THE PARKING LOT, VEHICLE USE AND/OR MANEUVERING AREAS.	
b. THE SCREENING SHALL CONSIST OF ONE OR A COMBINATION OF THE FOLLOWING: 1) SCREENING SHRUBS, AND/OR 2) SODDED BERMS	SHRUBS
c. THE SCREENING MAY OCCUR WITHIN THE STREET LANDSCAPE SETBACK.	N/A
d. WHEEL STOPS SHALL BE PROVIDED FOR PARKING SPACES ADJACENT TO THE SCREENING TO PROHIBIT ANY VEHICLE FROM OVERHANGING THE PLANTING AREA.	N/A
R. PARKING LOT INTERNAL LANDSCAPING: ANY PARKING LOT THAT CONTAINS TEN (10) OR MORE PARKING SPACES SHALL PROVIDE INTERNAL LANDSCAPING EXCEPT AS PRESCRIBED HEREIN BELOW.	
1. A RATIO OF ONE CANOPY TREE FOR EVERY TEN (10) PARKING SPACES SHALL BE PROVIDED THROUGHOUT ANY SURFACE PARKING LOT.	PROVIDED (441 SURFACE /10 = 44)
2. PLANTING AREAS FOR TREES WITHIN THE PARKING ROWS OF A SURFACE PARKING LOT SHALL BE ACHIEVED BY ONE OR BOTH OF THE FOLLOWING: a. A CONTINUOUS LANDSCAPED MEDIAN STRIP, AT LEAST SIX (6) FEET WIDE (BACK-OF-CURB TO BACK-OF-CURB) BETWEEN ROWS OF PARKING SPACES. TREES SHALL BE PLACED AT INTERVALS NO GREATER THAN FORTY (40) FEET APART OR FRACTION THEREOF. b. LANDSCAPE ISLANDS, AT LEAST THE MINIMUM SIZE OF A REGULAR PARKING SPACE OF NINE BY EIGHTEEN FEET (9' X 18') OR ONE HUNDRED SIXTY-TWO (162) SQUARE FEET. NO MORE THAN FIFTEEN (15) CONTIGUOUS SPACES SHALL BE LOCATED TOGETHER WITHOUT A TREE-ISLAND.	N/A PROVIDED
3. PARKING LOTS THAT ARE DESIGNED WITH PLANTED OR RAISED LANDSCAPE ISLANDS SHALL DESIGN THE ISLANDS SO AS NOT TO INTERFERE WITH THE OPENING OF CAR DOORS IN ADJACENT SPACES.	
4. EVERY REQUIRED LANDSCAPE ISLAND MUST INCLUDE ONE (1) CANOPY TREE.	PROVIDED
5. PARKING END CAPS: ONE (1) LANDSCAPE ISLAND SHALL BE LOCATED AT THE TERMINUS OF EACH ROW OF PARKING AND SHALL CONTAIN ONE (1) TREE. ROWS WITH HEAD-TO-HEAD PARKING ARRANGEMENTS SHALL HAVE TWO (2) ISLANDS AND TWO (2) TREES.	PROVIDED
U. FOUNDATION AREA AND GROUND EQUIPMENT LANDSCAPING: IN THE OP, C-1, C-2, AND C-3 ZONING DISTRICTS; AND THE I-1 AND I-2 ZONING DISTRICTS WITHIN THE FREEWAY OVERLAY DISTRICT; AND ALL NON-RESIDENTIAL DEVELOPMENT SUCH AS CHURCHES, SCHOOLS AND PUBLIC FACILITIES IN ANY ZONING DISTRICT, A MINIMUM FOUR (4) FOOT WIDE LANDSCAPE AREA IS REQUIRED ADJACENT TO OR WITHIN TEN (10) FEET OF ALL BUILDING FACADES WITH CUSTOMER ENTRANCES AND BUILDING FACADES FACING A PUBLIC STREET, (EXCLUSIVE OF DRIVEWAYS, ACCESS WALKS, AND SERVICE AND DELIVERY AREAS).	
X. STREET INTERSECTION LANDSCAPE AREAS: FOR ALL DEVELOPMENT IN THE OP, C-1, C-2, AND C-3 ZONING DISTRICTS; AND THE I-1 AND I-2 ZONING DISTRICTS IN THE FREEWAY OVERLAY DISTRICT; AND ALL MF ZONING DISTRICTS, WHERE PARCELS ARE LOCATED AT THE INTERSECTION OF TWO (2) STREETS WHERE AT LEAST ONE STREET HAS A RIGHT-OF-WAY WIDTH OF SIXTY (60) FEET OR LARGER AS SHOWN ON THE CITY'S MOST RECENT THOROUGHFARE PLAN, A THIRTY (30) FOOT LANDSCAPE SETBACK SHALL BE PROVIDED PARALLEL TO THE MINIMUM VISIBILITY TRIANGLE REQUIRED BY THE MANSFIELD ROADWAY AND ACCESS MANAGEMENT CRITERIA. NO LANDSCAPING SHALL INTERFERE WITH ANY VISIBILITY TRIANGLES.	
Y. OTHER LANDSCAPE AREAS: FOR ALL DEVELOPMENT IN THE OP, C-1, C-2, AND C-3 ZONING DISTRICTS AND THE I-1 AND I-2 ZONING DISTRICTS IN THE FREEWAY OVERLAY DISTRICT, A MINIMUM OF TEN (10%) PERCENT OF EACH LOT SHALL BE DEVOTED TO LIVING LANDSCAPING WHICH SHALL INCLUDE GRASS, GROUND COVER, PLANTS, FLOWER BEDS, SHRUBS AND TREES. REQUIRED STREET LANDSCAPE SETBACKS, INTERSECTION LANDSCAPING, FOUNDATION LANDSCAPING AND LANDSCAPE BUFFER YARDS MAY BE INCLUDED IN THIS CALCULATION. PARKING LOT INTERNAL AND PERIMETER LANDSCAPING SHALL NOT BE INCLUDED IN THE CALCULATIONS UNLESS AN AREA EXCEEDS THE MINIMUM REQUIREMENT OF THIS SECTION, THEN THE ADDITIONAL AREA MAY BE INCLUDED.	
	PROVIDED 562,848 x 10% = 56,285 sf

SUMMARY CHART - BUFFERYARDS / SETBACKS							
LOCATION OF BUFFERYARD OR SETBACK	REQUIRED/ PROVIDED	LENGTH	BUFFERYARD OR SETBACK WIDTH/TYPE	CANOPY TREES	ORNAMENTAL TREES	SHRUBS	SCREENING WALL/DEVICE HEIGHT AND MATERIAL
NORTH (EMILY LANE)	REQUIRED	711.38'	20' LS STREET SETBACK	18	N/A	0	N/A
	PROVIDED	711.38'	20' LS STREET SETBACK	22	0	0	N/A
EAST (360 FRONTAGE ROAD)	REQUIRED	664.42'	20' LS STREET SETBACK	17	0	0	N/A
	PROVIDED	664.42'	58' LS STREET SETBACK**	10	19	63	N/A
SOUTH (ADJACENT PROPERTY)	REQUIRED	1039.35'	10' BUFFERYARD	42	0	0	
	PROVIDED	1039.35'	VARIABLE WIDTH BUFFER YARD	21	0	194	245 LF 6' T.S. FENCE
WEST (CANNON DRIVE SOUTH)	REQUIRED	782.46'	20' LS STREET SETBACK	SEE PD	N/A	N/A	N/A
	PROVIDED	782.46'	20' LS STREET SETBACK	51	0	40	N/A

NOTE ANY CREDITS USED IN CALCULATIONS:
A. N/A

OTHER COMMENTS:
1. ** EXISTING UTILITY EASEMENTS ON THE EAST PROPERTY LINE ENCUMBER PLANTING WITHIN A 20' WIDE LANDSCAPE STREET SETBACK.



SUMMARY CHART - INTERIOR LANDSCAPE						
	LANDSCAPE AREA (IN SQ FT)	% OF LANDSCAPE AREA	CANOPY TREES	ORNAMENTAL TREES	SHRUBS	GROUND COVER (IN SQ FT)
REQUIRED	56,285	10%	N/A	N/A	N/A	N/A
PROVIDED	78,450 (MIN.)	> 13.84%	41	44	1,151	6,580 (APPROX.)

NOTE ANY CREDITS USED IN CALCULATIONS:
A. TWO PARKING LOT ISLANDS IN EXCESS OF THE 1 PER 15 PARKING SPACE REQUIREMENT (WITH TWO CANOPY TREES) PLUS ONE TREE OVER MINIMUM REQUIREMENT IN 20 ADDITIONAL PARKING LOT ISLANDS. {TOTAL OF 24 TREES}

OTHER COMMENTS:
1. NONE

SUMMARY CHART - INTERIOR PARKING LOT LANDSCAPING	
# OF REQUIRED PARKING SPACES (514 REQUIRED PER ORDINANCE)	435*
# OF PROVIDED PARKING SPACES (520)	441*
# OF TREE ISLANDS PROVIDED	26

NOTE ANY CREDITS USED IN CALCULATIONS:
A. N/A

OTHER COMMENTS:
1. * SEVENTY-NINE (79) TUCK UNDER GARAGE PARKING SPACES ARE PROVIDED THAT ARE EXCLUDED FROM INTERIOR PARKING LOT CALCULATIONS AS THEY RELATE TO SURFACE LOT TREE REQUIREMENTS (1 PER 10 SPACES)

PLANT MATERIAL LIST SUMMARY CHART						
QTY.	SYMBOL	COMMON NAME	BOTANICAL NAME	SIZE	HEIGHT	REMARKS
CANOPY TREES						
163		BALD CYPRESS	TAXODIUM DISTICHUM	3.5" CAL	12-14'	SINGLE TRUNK
		SHUMARD RED OAK	QUERCUS SHUMARDII	3.5" CAL	12-14'	SINGLE TRUNK
		CHINESE PISTACHE	PISTACIA CHINENSIS	3.5" CAL	12-14'	SINGLE TRUNK (MALE VARIETY ONLY)
		CEDAR ELM	ULMUS CRASSIFOLIA	3.5" CAL	12-14'	SINGLE TRUNK
22		LACEBARK ELM	ULMUS PARVIFOLIA	3.5" CAL	12-14'	SINGLE TRUNK
		LIVE OAK	QUERCUS VIRGINIANA	3.5" CAL	12-14'	SINGLE TRUNK
ORNAMENTAL TREES						
71		REDBUD	CERCIS CANADENSIS	30 GAL.	6-8'	CONTAINER GROWN / FULL BRANCHING
		YAUAPON HOLLY	ILEX VOMITORIA	30 GAL.	6-8'	CONTAINER GROWN / FULL BRANCHING
		SAVANNAH HOLLY	ILEX ATTENUATA 'SAVANNAH'	30 GAL.	6-8'	CONTAINER GROWN / FULL BRANCHING
		CREPE MYRTLE	LAGERSTROEMIA INDICA	30 GAL.	6-8'	CONTAINER GROWN / FULL BRANCHING
SHRUBS						
1490		CHINESE HOLLY	ILEX CORNUTA	5 GAL.		30-36" O.C. (TYP.)
		DWARF BURFORD HOLLY	ILEX BURFORDII 'NANA'	5 GAL.		30-36" O.C. (TYP.)
		VARIEGATED CHINESE PRIVET	LIGUSTRUM SINENSE 'VARIEGATA'	5 GAL.		30-36" O.C. (TYP.)
		NANDINA	NANDINA DOMESTICA	5 GAL.		24-30" O.C. (TYP.)
		DWARF YAUAPON	ILEX VOMITORIA 'NANA'	5 GAL.		24 O.C. (TYP.)
GROUNDCOVERS						
5,650 (APPROX.)		ASIAN JASMINE	TRACHAELOSPERMUM ASIATICUM	1 GAL.		12"-18" O.C. (TYP.)
		PURPLELEAF WINTERCREEPER	EUONYMUS FORTUNEI	1 GAL.		12"-18" O.C. (TYP.)
		LIRIOPE	LIRIOPE MUSCARI 'BIG BLUE'	1 GAL.		18" O.C. (TYP.)
TURF GRASS						
ON SITE		COMMON BERMUDA GRASS	CYNODON DACTYLON			
OFF SITE		COMMON BERMUDA GRASS	CYNODON DACTYLON			

** PRIOR TO ISSUANCE OF BUILDING PERMIT, DEVELOPER SHALL ESCROW FUNDS FOR TREES TO BE FURNISHED AND INSTALLED AFTER THE COMPLETION OF CANNON DRIVE SOUTH ROADWAY WIDENING/IMPROVEMENTS.

PLANT LIST NOTES:
1. ALL PLANT SPECIES SHALL CONFORM TO THE CITY OF MANSFIELD SECTION 7300 - LANDSCAPING AND SCREENING REQUIREMENTS WILL BE SELECTED FROM THE SUBJECT VERITY PLANT QUANTITIES DIRECTLY FROM THE PLANS.
2. THE PLANT LIST SHOWN, INCLUDING SPECIES AND QUANTITIES, IS BASED ON PRELIMINARY DESIGN DRAWINGS AND IS THEREFORE SUBJECT TO CHANGE.
3. ALL PLANT MATERIALS ARE TO BE HIGH QUALITY AND SHALL MEET OR EXCEED GRADES AND STANDARDS SET FORTH BY THE TEXAS ASSOCIATION OF NURSERYMEN AND "AMERICAN STANDARDS FOR NURSERY STOCK". PLANT MATERIALS SHALL BE IN ACCORDANCE WITH THE SIZE, HEIGHT, SPREAD AND CONDITION REMARKS AS SHOWN IN THE PLANT LIST.

PRELIMINARY
Not for regulatory review, permitting, or construction purposes
UEG
urban | engineers | group inc.
L.A. WILFRED SCOTT WRIGHT
L.A. No. 1883 Date 12/31/2019

L2.1

UEG urban | engineers | group inc.
FIRM REGISTRATION No: F5332 167 turtle creek Blvd., ste a dallas, texas 75207 (214) 252-1600 p. (214) 252-1612 f

SITE LANDSCAPE REQUIREMENTS AND SUMMARY TABLES						
THE SYDNEY						
PROPERTY DEVELOPER:	PROPERTY OWNER:	PROPERTY ADDRESS:				
CAPSTAR	KYLE W. SWEENEY	400 N. MILLER ROAD CITY OF MANSFIELD, TARRANT COUNTY, TEXAS				
REAL ESTATE ADVISORS 14881 QUORUM DR., STE 920 DALLAS, TX 75254 P: 214-599-1100	3959 SARITA PARK FORT WORTH, TX 76109 P: 817-308-3349 F: 817-457-7246	78063 WILLIAM HOWARD SURVEY ABSTRACT NO. 690				
DESIGN	DRAWN	DATE	SCALE	SHEET NO.	CASE NO.	EXHIBIT
UEGi	UEGi	Dec 2019	N/A	2 OF 5	ZC#19-009	D

THE SYDNEY - MANSFIELD, TEXAS



01 Blade Sign- E.W



02 Wall Sign- E

