



CITY OF MANSFIELD

1200 E. Broad St.
Mansfield, TX 76063
mansfieldtexas.gov

Meeting Agenda

Planning and Zoning Commission

Monday, January 6, 2025

6:00 PM

City Hall Council Chambers

1. **CALL TO ORDER**

2. **INVOCATION**

3. **PLEDGE OF ALLEGIANCE**

4. **TEXAS PLEDGE**

5. **APPROVAL OF MINUTES**

[24-6362](#)

Minutes - Approval of the December 2, 2024 Planning and Zoning Commission Meeting Minutes

Attachments: [12-02-24 DRAFT Minutes](#)

[24-6363](#)

Minutes - Approval of the December 23, 2024 Planning and Zoning Commission Meeting Minutes

Attachments: [12-23-24 DRAFT Minutes](#)

6. **CITIZENS COMMENTS**

Citizens wishing to address the Commission on non-public hearing agenda items and items not on the agenda may do so at this time. Once the business portion of the meeting begins, only comments related to public hearings will be heard. All comments are limited to 5 minutes. In order to be recognized during the "Citizens Comments" or during a public hearing (applicants included), please complete a blue "Appearance Card" located at the entry to the Chambers and present it to the Planning Secretary.

7. **PUBLIC HEARINGS**

[24-6357](#)

Public hearing to consider a request for a Historic Landmark Overlay District designation for the First Methodist Church Parsonage, 1945, located at 105 North 1st Avenue; Matt Crocker of 105 N. 1st Avenue LLC, owner (HLC#24-010)

Attachments: [Maps and Supporting Information](#)
[Photographs of Parsonage](#)

[24-6359](#)

Public Hearing on a Change of Zoning from 2F, Two-Family Residential District and SF-7.5/12, Single-Family District to D, Downtown District, D-1, Sub-Urban Zone, situated on Lots 1R and 2R of Block 37 and Lots 1R and 2R of Block 36, Original Town of Mansfield, Tarrant County, TX, generally

located near the intersection of S. 4th Avenue and W. Kimball Street, and addressed as 501, 502, 503, and 504 W. Kimball Street.; City of Mansfield, Applicant (ZC#24-015)

Attachments: [Maps and Supporting Information](#)

[24-6358](#)

Public Hearing on a Specific Use Permit for a Convenience Store/Gas Station on approximately 0.480 acres being Lot 4R1, Block 1, Wal-mart Addition, Tarrant Co., TX, located approximately 925 feet southeast from the intersection of North U.S. HWY 287 and North Walnut Creek Drive, and addressed as 950 North Walnut Creek Drive.; Murphy Oil USA Inc., Owner/Developer; JM Civil, Engineer (SUP#24-003)

Attachments: [Maps and Supporting Information](#)

[Exhibit B - Site Plan](#)

[Exhibit C - Elevations](#)

[Exhibit D - Landscape Plan](#)

8. **SUMMARY OF CITY COUNCIL ACTIONS**
9. **COMMISSION ANNOUNCEMENTS**
10. **STAFF ANNOUNCEMENTS**
11. **ADJOURNMENT OF MEETING**
12. **NEXT MEETING DATE: Tuesday, January 21, 2025**

I certify that the above agenda was posted on the bulletin board next to the main entrance of City Hall on January 2, 2025 prior to 5:00 p.m. in accordance with Chapter 551 of the Texas Government Code.

Clarissa Carrasco, Administrative Assistant II

* This building is wheelchair accessible. Disabled parking spaces are available. Request for sign interpreter services must be made 48 hours ahead of meeting to make arrangements. Call 817 473-0211 or TDD 1-800-RELAY TX,

* In deciding a zoning change application, the Planning & Zoning Commission and City Council are required to determine the highest and best use of the property in question. The Commission may recommend and the Council may approve a change in zoning to the category or district requested by the applicant or to any zoning category or district of lesser intensity. Notice is presumed sufficient for every District up to the intensity set forth in the zoning change application.



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STAFF REPORT

File Number: 24-6362

Agenda Date: 1/6/2025

Version: 1

Status: Approval of Minutes

In Control: Planning and Zoning Commission

File Type: Meeting Minutes

Agenda Number:

Title

Minutes - Approval of the December 2, 2024 Planning and Zoning Commission Meeting Minutes



CITY OF MANSFIELD

1200 E. Broad St.
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Meeting Minutes - Draft

Planning and Zoning Commission

Monday, December 2, 2024

6:00 PM

City Hall Council Chambers

IMMEDIATELY FOLLOWING THE CAPITAL IMPROVEMENTS ADVISORY COMMITTEE MEETING

1. CALL TO ORDER

Chair Mainer called the meeting to order at 6:11 p.m. in the City Council Chambers of City Hall, 1200 East Broad Street, with the meeting being open to the public and notice of said meeting, giving the date, place, and subject thereof, having been posted as prescribed by Chapter 551, Texas Government Code.

Staff present:

*Arty Wheaton-Rodriguez, Assistant Director of Planning
Raymond Coffman - Director of Engineering Services
Katasha Smithers, Planning Manager - Current Planning
Clarissa Carrasco, Administrative Assistant II*

Commissioners:

Absent 1 - Michael Bennett

Present 6 - Blake Axen; Jennifer Thompson; Michael Mainer; Patrick Moses; David Godin and Hamilton Walker

2. INVOCATION

Chair Mainer gave the invocation.

3. PLEDGE OF ALLEGIANCE

4. TEXAS PLEDGE

5. APPROVAL OF MINUTES

[24-6313](#)

Minutes - Approval of the November 4, 2024 Planning and Zoning Commission Meeting Minutes

Commissioner Godin made a motion to approve the meeting minutes as presented. Vice Chair Axen seconded the motion which carried by the following vote:

Aye: 5 - Blake Axen; Jennifer Thompson; Michael Mainer; David Godin and Hamilton Walker

Nay: 0

Absent: 1 - Michael Bennett

Abstain: 1 - Patrick Moses

6. CITIZENS COMMENTS

There were no citizen comments.

7. PUBLIC HEARINGS

[24-6302](#)

Public Hearing to Consider Proposed Amendments of Title XV of the Mansfield, Texas Code of Ordinances, entitled "Land Usage", amendments of Chapter 155 of the Mansfield Code of Ordinances to the regulations in Section 155.099 to revise Subsections (B)(40)(c)(2) and (B)(40)(c)(7) related to donation boxes; providing for the repeal of all ordinances in conflict; providing for a severability clause; providing a savings clause; providing a penalty of fine not to exceed the sum of two thousand dollars (\$2,000.00) for each offense; and providing for an effective date (OA#24-009)

Mr. Wheaton-Rodriguez gave a presentation on the case and was available to answer any questions.

Chair Mainer opened the public hearing at 6:25 p.m. and called for anyone wishing to speak to come forward.

Seeing no one come forward to speak, Chair Mainer closed the public hearing at 6:25 p.m.

Commissioner Moses made a motion to approve the ordinance amendment as presented. Commissioner Thompson seconded the motion which carried by the following vote:

Aye: 6 - Blake Axen; Jennifer Thompson; Michael Mainer; Patrick Moses; David Godin and Hamilton Walker

Nay: 0

Absent: 1 - Michael Bennett

Abstain: 0

8. SUMMARY OF CITY COUNCIL ACTIONS

Ms. Smithers summarized the actions that took place at the previous City Council meeting.

9. COMMISSION ANNOUNCEMENTS

Commissioner Thompson mentioned Hometown Holidays and wished everyone a happy holidays.

Vice Chair Axen wished everyone a happy holidays and mentioned the Toys for Tots toy drive.

Commissioner Walker, Commissioner Godin, and Commissioner Moses wished everyone a happy holidays.

Chair Mainer mentioned the recent ground breakings and wished everyone a happy holidays.

10. STAFF ANNOUNCEMENTS

Mr. Wheaton-Rodriguez mentioned a possible meeting at the end of the month and the next official meeting date being Monday, January 6th.

11. ADJOURNMENT OF MEETING

Commissioner Godin made a motion to adjourn the meeting. Commissioner Walker seconded the motion which carried by the following vote:

Aye: 6 - Blake Axen; Jennifer Thompson; Michael Mainer; Patrick Moses; David Godin and Hamilton Walker

Nay: 0

Absent: 1 - Michael Bennett

Abstain: 0

With no further business, Chair Mainer adjourned the meeting at 6:31 p.m.

Michael Mainer, Chair

Clarissa Carrasco, Administrative Assistant II



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STAFF REPORT

File Number: 24-6363

Agenda Date: 1/6/2025

Version: 1

Status: Approval of Minutes

In Control: Planning and Zoning Commission

File Type: Meeting Minutes

Agenda Number:

Title

Minutes - Approval of the December 23, 2024 Planning and Zoning Commission Meeting

Minutes



CITY OF MANSFIELD

1200 E. Broad St.
Mansfield, TX 76063
mansfieldtexas.gov

Meeting Minutes - Draft

Planning and Zoning Commission

Monday, December 23, 2024

1:00 PM

City Hall Council Chambers

SPECIAL MEETING

1. CALL TO ORDER

Chair Mainer called the meeting to order at 1:00 p.m. in the City Council Chambers of City Hall, 1200 East Broad Street, with the meeting being open to the public and notice of said meeting, giving the date, place, and subject thereof, having been posted as prescribed by Chapter 551, Texas Government Code.

Staff present:

*Arty Wheaton-Rodriguez, Assistant Director of Planning
Clarissa Carrasco, Administrative Assistant II*

Commissioners:

Absent 3 - Jennifer Thompson; Patrick Moses and Hamilton Walker

Present 4 - Blake Axen; Michael Mainer; Michael Bennett and David Godin

2. OTHER AGENDA ITEMS

[24-6356](#)

Consideration of a Request to Extend the Resubmittal Date by Thirty (30) Days for Plat Application Case No. SD#24-053: Preliminary Plat of Cipriani, Phases 1 - 5; McAdams Engineering, Engineer, on behalf of Cipriani Island Laguna Azure, LLC, Owner

Mr. Wheaton-Rodriguez presented the case and was available to answer any questions.

Commissioner Godin made a motion to approve the extension request. Vice Chair Axen seconded the motion which carried by the following vote:

Aye: 4 - Blake Axen; Michael Mainer; Michael Bennett and David Godin

Nay: 0

Absent: 3 - Jennifer Thompson; Patrick Moses and Hamilton Walker

Abstain: 0

3. ADJOURNMENT OF MEETING

Commissioner Bennett made a motion to adjourn the meeting. Vice Chair Axen seconded the motion which carried by the following vote:

Aye: 4 - Blake Axen; Michael Mainer; Michael Bennett and David Godin

Nay: 0

Absent: 3 - Jennifer Thompson; Patrick Moses and Hamilton Walker

Abstain: 0

With no further business, Chair Mainer adjourned the meeting at 1:03 p.m.

Michael Mainer, Chair

Clarissa Carrasco, Administrative Assistant II



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STAFF REPORT

File Number: 24-6357

Agenda Date: 1/6/2025

Version: 1

Status: Public Hearing

In Control: Planning and Zoning Commission

File Type: Consideration Item

Agenda Number:

Title

Public hearing to consider a request for a Historic Landmark Overlay District designation for the First Methodist Church Parsonage, 1945, located at 105 North 1st Avenue; Matt Crocker of 105 N. 1st Avenue LLC, owner (HLC#24-010)

Requested Action

To make a recommendation on the proposed Historic Landmark Overlay District designation.

Recommendation

The Historic Landmark Commission met on December 12, 2024, and voted 6 to 0 (with one absence) to recommend approval of the Historic Landmark Overlay District designation.

Vote:

- Ayes: 6 - Smith, Littlefield, Johnston, Leach, Walker and Weydeck
- Nays: 0
- Absent: 1 - Klenzendorf

The Historic Preservation Officer recommends approval of the Historic Landmark Overlay District designation.

Description/History

The property owner has requested a Historic Landmark Overlay District classification for the historic First Methodist Church Parsonage located at 105 North 1st Avenue. The parsonage is one of two related church buildings on North 1st Avenue. The other building is the First Methodist Church building of 1944. The property is zoned D, Downtown District and is currently used for offices.

This building is categorized as a Medium priority resource in the 1998 Historic Resources Survey Update. Medium priority resources typically have lower architectural and physical integrity compared to High priority or Selected Medium priority properties. They are often marked by alterations or material deterioration that have removed, altered, or obscured original design elements, but are considered contributing to a historic district.

Historic Background

Mansfield's Methodists established a congregation in 1872, merging with two rural

congregations. Wyatts Chapel and Poindexter Methodist Church, A circuit preacher conducted services. Although town co-founder Julian Feild donated a 100 X 100 fool lot on Water (Main) Street in the heart of Mansfield for a church, none was built due to lack of funds. The Methodists continued to worship at the Mansfield Congregation until 1891 when they exchanged the Feild lot for another on North First Street. just west of the central business district in an established residential neighborhood and built a one-room frame church. When the church building was destroyed by a fire in 1942, a new brick building was constructed with the parsonage next door.

The First Methodist Church Parsonage was constructed in 1945 to replace the 1895 parsonage that was about to fall down. Lumber from the old parsonage was salvaged for use in the new building, but the original square nails could not be used again.

While the parsonage was being rebuilt, Reverend S.W. Reynolds and his wife lived with the Rosier family across the street. The new pastor, Reverend W.E. Gordon and his wife lived in the church Fellowship Hall until the parsonage was completed.

Although the brick exterior is painted today, the parsonage was given a yellow brick veneer to match the church building on the adjoining lot. The parsonage exhibits Minimal Traditional influences such as minimal eave overhangs, front-facing gable and minimal detailing.

The First Methodist Church Parsonage is an officially recognized historic resource of the City of Mansfield.

Designation Criteria

The Historic Landmark Overlay District designation should be considered in light of the following criteria:

1. *Relationship to other distinctive buildings, sites or areas which are eligible for preservation based on architectural, historic or cultural motif.* The 1944 Methodist Church and the 1945 parsonage are the oldest remaining religious buildings in Mansfield listed in the Historic Resources Survey Update. While many of the city's oldest congregations are still active, the original buildings that once served these churches no longer exist or have been extensively modified.
2. *A building, structure, or place that because of its location has become of historic or cultural value to a neighborhood or community.* The rebuilding of the parsonage was a community affair led by Reverend Wayne Reynolds, who donated the first \$100 toward the project. Funding and work on the parsonage were provided by the church members and friends of the church in Mansfield. In addition to serving as the residence of the pastor, the parsonage was also used for meetings of civic groups such as the Garden Club, weddings, and other smaller religious gatherings.

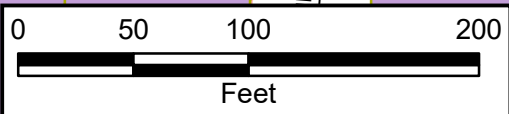
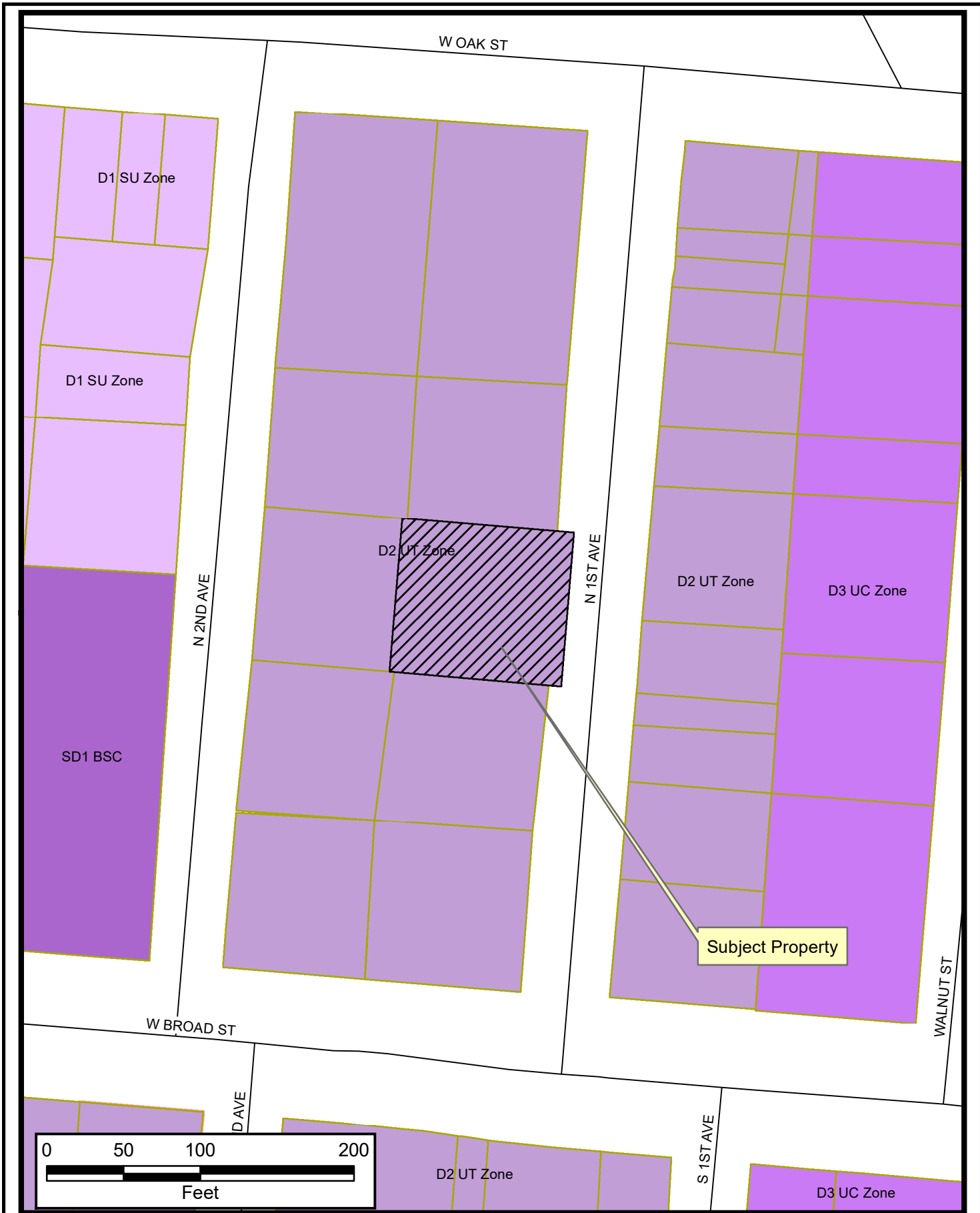
Prepared By

Art Wright, AICP

Planning Manager/HPO
817-276-4226

Attachments

Maps and supporting information
Photographs of the Parsonage



HLC#24-010

This information is for illustrative purposes only. Not for design or development purposes. Site-specific studies may be required to obtain accurate feature locations. Every effort is made to ensure the information displayed here is accurate; however, the City of Mansfield makes no claims to its accuracy or completeness.

11/21/2024



HLC#24-010

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11/21/2024

First Methodist Church Parsonage, c. 1945

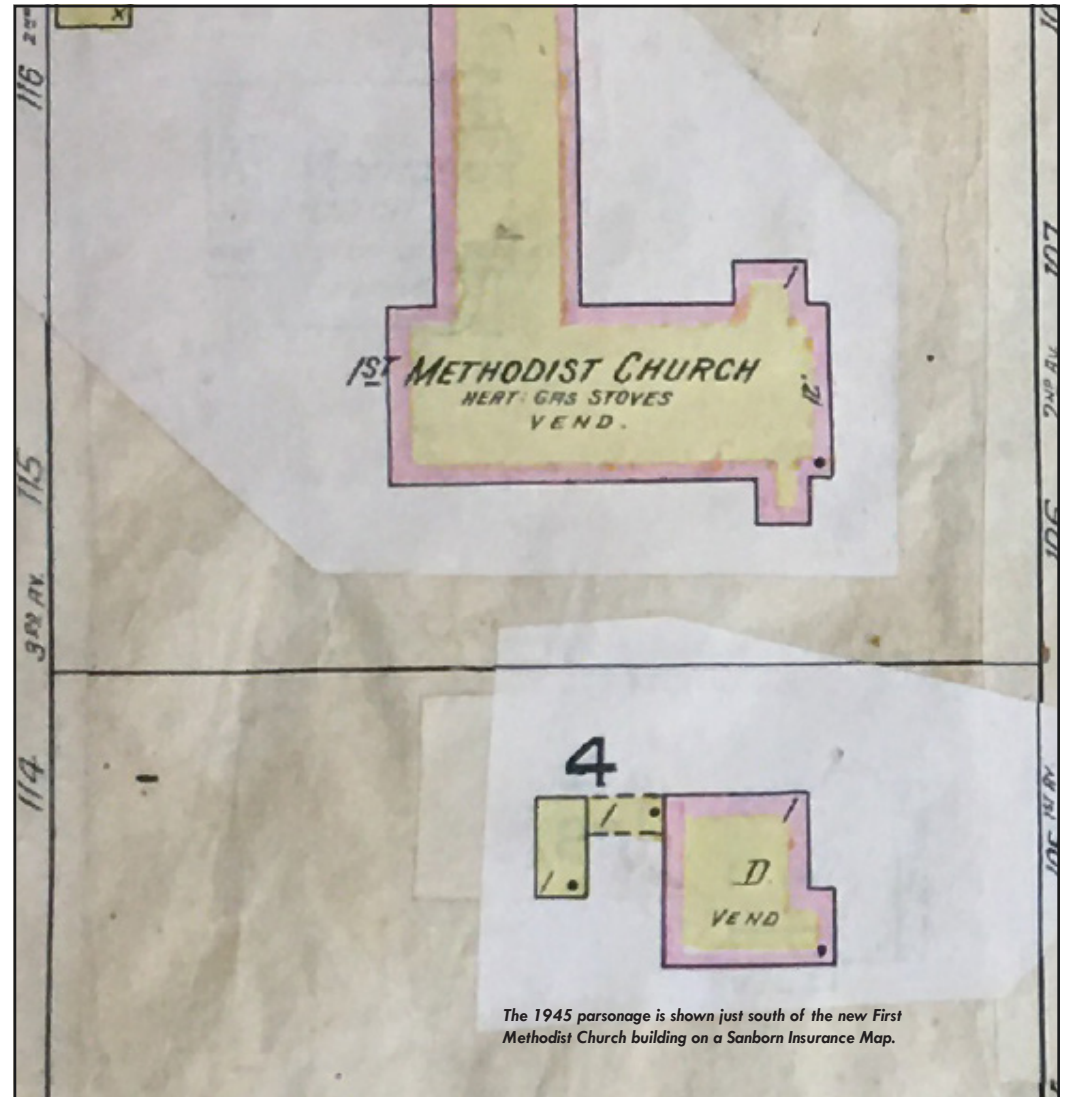
105 N. 1st Avenue

The First Methodist Church parsonage was constructed in 1945 to replace an old parsonage that was about to fall down. Lumber from the old parsonage was salvaged for use in the new building, but the original square nails could not be used again.

While the parsonage was being rebuilt, Reverend S.W. Reynolds and his wife lived with the Rosier family across the street. The new pastor, Reverend W.E. Gordon and his wife lived in the church Fellowship Hall until the parsonage was completed.

The parsonage was given a yellow brick veneer to match the church building on the adjoining lot. The parsonage exhibits Minimal Traditional influences such as minimal eave overhangs, front-facing gable and minimal detailing.

This building is an officially recognized historic resource of the City of Mansfield.







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1200 E. Broad St.
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STAFF REPORT

File Number: 24-6359

Agenda Date: 1/6/2025

Version: 1

Status: Public Hearing

In Control: Planning and Zoning Commission

File Type: Zoning Case

Agenda Number:

Title

Public Hearing on a Change of Zoning from 2F, Two-Family Residential District and SF-7.5/12, Single-Family District to D, Downtown District, D-1, Sub-Urban Zone, situated on Lots 1R and 2R of Block 37 and Lots 1R and 2R of Block 36, Original Town of Mansfield, Tarrant County, TX, generally located near the intersection of S. 4th Avenue and W. Kimball Street, and addressed as 501, 502, 503, and 504 W. Kimball Street.; City of Mansfield, Applicant (ZC#24-015)

Requested Action

To consider the subject zoning change request.

Recommendation

The Department of Planning and Development Services recommends approval.

Description/History

Existing Uses: Vacant and residential structures

Existing Zoning: 2F, Two-Family Residential District and SF-7.5/12, Single-Family District

Mansfield 2040 Land Use Designation: Urban Neighborhood within the Downtown District Special Area Plan

Surrounding Land Use & Zoning:

North - Residential Homes, SF-7.5/12, Single-Family District & D, Downtown District, D-1, Sub-Urban Zone

South - Residential Homes, 2F, Two-Family Residential District & SF-7.5/12, Single-Family District

East - Residential Homes, D, Downtown District, D-1, Sub-Urban Zone

West - Residential Homes, D, Downtown District, D-1, Sub-Urban Zone

Thoroughfare Plan Specification:

West Kimball Street - 2-lane undivided residential

Synopsis

The City of Mansfield (the "City") is initiating a zoning change on situated on Lots 1R and 2R of Block 37 and Lots 1R and 2R of Block 36, Original Town of Mansfield from the 2F, Two-Family Residential District and SF-7.5/12, Single-Family District to D, Downtown

Zoning District, D-1, Sub-Urban Zone. This zoning extension will support development by closing gaps within the Downtown District.

Mansfield 2040 Plan

Land Use Designation(s)

The land use designation for this property is designated as Urban Neighborhood within the Downtown District Special Area Plan.

Analysis

The primary goal of the proposed zoning change is to align the zoning designation with neighboring properties, ensuring a cohesive land use pattern and enabling future development opportunities. In 2023, the City Council rezoned properties adjacent to the subject properties (ZC 22-020) to D1. At the time this was done at the request of an adjacent property owner seeking to allow flexibility on their lots. The rezoning, though, left a gap of non-D, Downtown District zoned property. The proposal expands the Downtown Zoning District to encompass these lots, addressing existing zoning gaps and enhancing a more cohesive and unified district.

While the current residential uses remain unaffected by this change, the zoning modification allows greater flexibility for future development, accommodating a broader range of uses. This adjustment supports ongoing efforts to close zoning inconsistencies, contributing to the overall long-term sustainability of the Downtown area.

Summary

The D, Downtown Zoning District offers a diverse range of permitted uses and promotes the redevelopment of the area. This initiative aims to create a more cohesive urban environment in line with the goals outlined in the Mansfield 2040 Plan, which focuses on sustainable growth, improved infrastructure, and fostering a vibrant, mixed-use community. The change aligns zoning regulations with long-term planning, supports economic growth and improves the overall quality of the downtown area.

Prepared By

Katasha Smithers, AICP Candidate
Planning Manager - Current Planning
817-276-4235

Attachment

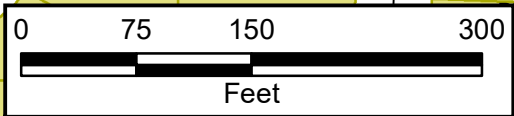
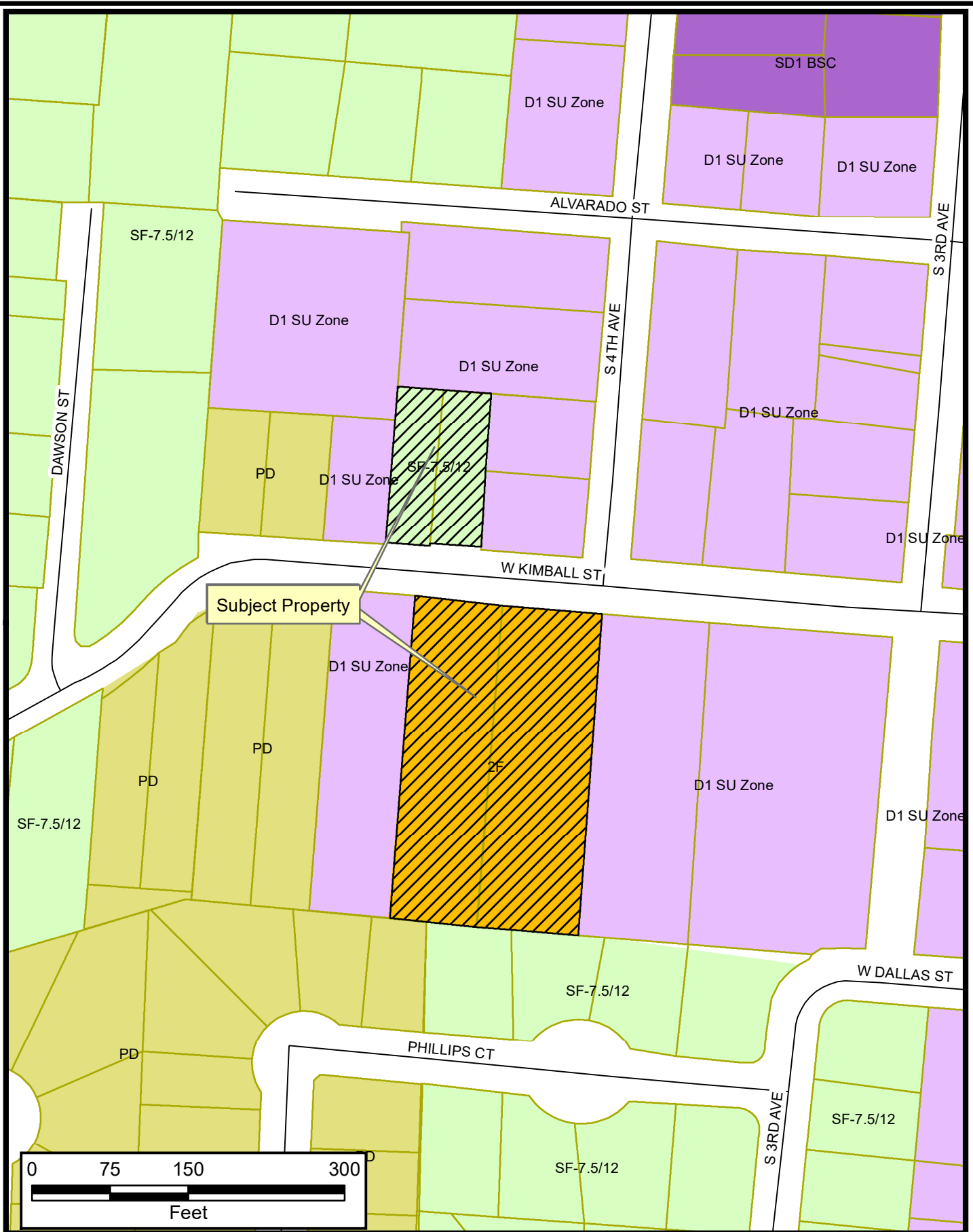
Maps and Supporting Information



ZC#24-015

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12/17/2024



ZC#24-015

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12/17/2024

Property Owner Notification for ZC#24-015

LEGAL DESC 1	LEGAL DESC 2	OWNER NAME	OWNER ADDRESS	CITY	ZIP
			*** NO ADDRESS ***	*** NO CITY ***	* NO ZIP *
			*** NO ADDRESS ***	*** NO CITY ***	* NO ZIP *
			*** NO ADDRESS ***	*** NO CITY ***	* NO ZIP *
BASTIAN ADDITION	BLK 1	MORGA, HUGO	605 W KIMBALL ST	MANSFIELD, TX	76063
HANKS, THOMAS J SURVEY	A 644	MAXWELL, SALLIE GRAY	600 ALVARADO ST	MANSFIELD, TX	76063-1939
HANKS, THOMAS J SURVEY	A 644	GUPTON, DAVID	606 W KIMBALL ST	MANSFIELD, TX	76063-1962
MANCHESTER HEIGHTS	BLK 1	MCGEE, MATTHEW EDWARD	501 PHILLIPS CT	MANSFIELD, TX	76063
MANCHESTER HEIGHTS	BLK 2	PINKERTON, JESSE M	410 PHILLIPS CT	MANSFIELD, TX	76063
MANCHESTER HEIGHTS	BLK 2	HUTTON, LLOYD	412 PHILLIPS CT	MANSFIELD, TX	76063
MANCHESTER HEIGHTS	BLK 2	ROBERTS, KEB	414 PHILLIPS CT	MANSFIELD, TX	76063
MANCHESTER HEIGHTS	BLK 2	LARICCHIA, ASHLEY	500 PHILLIPS CT	MANSFIELD, TX	76063
MANCHESTER HEIGHTS	BLK 2	FOSTER, ANITA	502 PHILLIPS CT	MANSFIELD, TX	76063
MANSFIELD, CITY OF	BLK 32	POHLMAN, P A	405 W KIMBALL ST	MANSFIELD, TX	76063-1957
MANSFIELD, CITY OF	BLK 32	CATO, KEVIN	403 W KIMBALL ST	MANSFIELD, TX	76063-1957
MANSFIELD, CITY OF	BLK 33	JAMES, JACKIE R	407 ALVARADO ST	MANSFIELD, TX	76063-1935
MANSFIELD, CITY OF	BLK 33	TORRES, MARCO ANTONIO	404 W KIMBALL ST	MANSFIELD, TX	76063-1958
MANSFIELD, CITY OF	BLK 33	RAMIREZ, JESUS R	402 W KIMBALL ST	MANSFIELD, TX	76063-1958
MANSFIELD, CITY OF	BLK 33	MEDVEDNIK, OLGA	582 BRANTLEY TERRACE WAY UNIT	ALTAMONTE SPRINGS, FL	32714
MANSFIELD, CITY OF	BLK 35	HARTMAN, BENJAMIN	509 ALVARADO ST	MANSFIELD, TX	76063

Property Owner Notification for ZC#24-015

LEGAL DESC 1	LEGAL DESC 2	OWNER NAME	OWNER ADDRESS	CITY	ZIP
MANSFIELD, CITY OF	BLK 35	HARTMAN, BENJAMIN	509 ALVARADO ST	MANSFIELD, TX	76063
MANSFIELD, CITY OF	BLK 35A	GARCIA, DORA ALICIA	504 ALVARADO ST	MANSFIELD, TX	76063-1976
MANSFIELD, CITY OF	BLK 36	HARTMAN, BEN	509 ALVARADO ST	MANSFIELD, TX	76063
MANSFIELD, CITY OF	BLK 36	MUTTI, LYNN	510 E KIMBALL ST	MANSFIELD, TX	76063
MANSFIELD, CITY OF	BLK 36	HARTMAN, BEN	509 ALVARADO ST	MANSFIELD, TX	76063
MANSFIELD, CITY OF	BLK 36	WOOD, CURTIS D	504 W KIMBALL ST	MANSFIELD, TX	76063
MANSFIELD, CITY OF	BLK 36	FEMCA PROPERTIES INC	155 SOUTHWOOD DR	BURLESON, TX	76028
MANSFIELD, CITY OF	BLK 36	RAMIREZ, ANGELICA	204 S 4TH AVE	MANSFIELD, TX	76063
MANSFIELD, CITY OF	BLK 36	CIRCLE W HOME INVESTMENTS LLC	841 GREEN VALLEY CIR W	BURLESON, TX	76028-1365
MANSFIELD, CITY OF	BLK 36	NALL, JEFFREY	818 YELLOWSTONE DR	MANSFIELD, TX	76063
MANSFIELD, CITY OF	BLK 36	NALL, JEFFREY	818 YELLOWSTONE DR	MANSFIELD, TX	76063
MANSFIELD, CITY OF	BLK 36	OSMUS, MIKE	508 W KIMBALL ST	MANSFIELD, TX	76063
MANSFIELD, CITY OF	BLK 37	HARTMAN, BEN	509 ALVARADO ST	MANSFIELD, TX	76063
MANSFIELD, CITY OF	BLK 37	RICK & KENDRA LARKIN REVOCABLE	1403 NORWEGIAN WOOD CT	MANSFIELD, TX	76063
MANSFIELD, CITY OF	BLK 37	172 HOLDINGS LLC	PO BOX 1927	MANSFIELD, TX	76063
MANSFIELD, CITY OF	BLK 37	172 HOLDINGS LLC	PO BOX 1927	MANSFIELD, TX	76063
WEBB ADDITION (MANSFIELD)	BLK 1	CHAWLA, KUMUD	2317 STARLIGHT CT	ARLINGTON, TX	76016-6425
WEBB ADDITION (MANSFIELD)	BLK 1	HANNUSH, NAN T	406 PHILLIPS CT	MANSFIELD, TX	76063-1969
WEBB ADDITION (MANSFIELD)	BLK 1	DURRETT, CYNTHIA D	404 PHILLIPS CT	MANSFIELD, TX	76063-1969

Property Owner Notification for ZC#24-015

LEGAL DESC 1	LEGAL DESC 2	OWNER NAME	OWNER ADDRESS	CITY	ZIP
WEBB ADDITION (MANSFIELD)	BLK 1	JENKINS, CAMILLE	7129 COUNTY ROAD 526	MANSFIELD, TX	76063
WEBB ADDITION (MANSFIELD)	BLK 1	DESANTIAGO, EFREN	407 PHILLIPS CT	MANSFIELD, TX	76063-1990
WEBB ADDITION (MANSFIELD)	BLK 1	GUTIERREZ, EDUVIGES C	405 PHILLIPS CT	MANSFIELD, TX	76063-1990
WEBB ADDITION (MANSFIELD)	BLK 1	BALDWIN, TOMMY JOE	1203 HYDE PARK BLVD	CLEBURNE, TX	76033-6543
WEBB ADDITION (MANSFIELD)	BLK 1	HOLMAN, WADE N	PO BOX 244	MANSFIELD, TX	76063-0244



CITY OF MANSFIELD

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STAFF REPORT

File Number: 24-6358

Agenda Date: 1/6/2025

Version: 1

Status: Public Hearing

In Control: Planning and Zoning Commission

File Type: Zoning Case

Agenda Number:

Title

Public Hearing on a Specific Use Permit for a Convenience Store/Gas Station on approximately 0.480 acres being Lot 4R1, Block 1, Wal-mart Addition, Tarrant Co., TX, located approximately 925 feet southeast from the intersection of North U.S. HWY 287 and North Walnut Creek Drive, and addressed as 950 North Walnut Creek Drive.; Murphy Oil USA Inc., Owner/Developer; JM Civil, Engineer (SUP#24-003)

Requested Action

To consider the requested Specific Use Permit ("SUP")

Recommendation

The Department of Planning and Development Services recommends approval of the Specific Use Permit (SUP) for the reconstruction of the Murphy Gas Station. The proposed updates enhance the existing features while ensuring the site meets current regulations and standards. Approval of the SUP will align the property with zoning requirements, improving its functionality and overall design.

Description/History

Existing Use: Murphy Gas Station

Existing Zoning: C-2, Commercial Business District

Mansfield 2040 Land Use Designation: Retail & Office

Surrounding Land Use & Zoning:

- North - Multi-tenant structure, C-2, Community Business District
- South - Multi-tenant structure, C-2, Community Business District
- East - Walmart, C-2, Community Business District
- West - North Walnut Creek Lane, 6-lane divided arterial street

Thoroughfare Plan Specification:

North Walnut Creek Lane - 6-lane divided arterial street.

Synopsis

The subject property contains approximately 0.480 located approximately 925 feet southeast from the intersection of N U.S. HWY 287 and North Walnut Creek Drive. The Applicant is proposing to reconstruct the Murphy Convenience Store/Gas Station on the property.

Mansfield 2040 Plan

Land Use Designation(s)

The land use designation for this property is designated as Retail & Office.

Analysis

The existing use was originally established before the requirement of a Specific Use Permit (SUP) was implemented. The Applicant is proposing to demolish and reconstruct the Murphy Convenience Store/Gas Station on the site. This redevelopment will not only modernize the property but also bring it into compliance with current standards and codes.

Site Plan

The existing canopy on the site covers approximately 2,648 square feet which includes a 250-square-foot convenience store and 14 fueling positions. The proposed redevelopment significantly expands these facilities, with the new canopy increasing to approximately 5,628 square feet and includes a convenience store of 1,400 square feet. The site will also feature 12 fueling positions with a total of three designated parking spaces to accommodate additional customers. This expansion reflects a substantial improvement in the site's capacity and functionality, enhancing its ability to serve the community more effectively.

In addition, the required passive space, as outlined in Section 155.092 (L) of the Mansfield Zoning Ordinance, is thoughtfully incorporated on the west side of the site, adjacent to North Walnut Creek Lane. This area includes a sidewalk that curves into the property, complemented by a bench for seating and surrounding landscaping. Together, these features provide a visually appealing and safer environment for pedestrians while contributing to the overall aesthetic and usability of the site.

The Site Plan is shown on Exhibit "B".

Building Elevations

The proposed 1,400-square-foot convenience store will feature earth-tone brick veneer and stone veneer, accented by decorative soldier courses on all exterior elevations. Architectural features include windows with awnings enhancing the building's appearance along N. Walnut Creek. Additionally, the canopy columns will be covered in materials matching the building façades for a cohesive design.

The Building Elevations are shown on Exhibit "C".

Landscape Plan

A 20-foot-wide landscape buffer currently exists along the entire western edge of the lot adjacent to North Walnut Creek. The Applicant proposes to enhance the site with additional trees and shrubs to provide screening from North Walnut Creek. To fulfill aesthetic and passive space requirements, the project incorporates an outdoor bench along the walking path that winds into the site.

The Landscape Plan is shown on Exhibit "D".

Signage

The project is subject to the General Business Sign regulations in Section 155.090 of the Mansfield Zoning Ordinance. These regulations limit signage to one (1) wall sign and one (1) per street frontage. For this project, the applicant will comply with the regulations specified in the ordinance.

The Sign Plan is shown on Exhibit “C”.

Summary

The subject property is situated in the C-2 Community Business District, where a convenience store/gas station is permitted with the approval of a Specific Use Permit (SUP). While the site is already developed for this use, the proposed updates will enhance its existing features, ensure compliance with current regulations, and align the property with zoning requirements, improving both its functionality and overall design.

While the proposed development exhibits elevated site design and architecture considerations, the provisions in Section 155.080 of the Mansfield Zoning Ordinance entitled “Specific Use Permit” states “[a] specific use permit shall be issued only if all of the following conditions have been found:

- (1) That the specific use permit will be compatible with and not injurious to the use and enjoyment of other property, nor significantly diminish or impair property values within the immediate vicinity;
- (2) That the establishment of the specific use permit will not impede the normal and orderly development and improvement of surrounding vacant property;
- (3) That adequate utilities, access roads, drainage and other necessary supporting facilities have been or will be provided;
- (4) The design, location and arrangement of all driveways and parking spaces provides for the safe and convenient movement of vehicular and pedestrian traffic without adversely affecting the general public or adjacent developments;
- (5) That adequate nuisance prevention measures have been or will be taken to prevent or control offensive odor, fumes, dust, noise and vibration;
- (6) That directional lighting will be provided so as not to disturb or adversely affect neighboring properties; and
- (7) That there is sufficient landscaping and screening to insure harmony and compatibility with adjacent property.”

Plat Review Committee (PRC):

The PRC is comprised of representatives from various departments permitting jurisdiction over applications for development. The PRC is comprised of representatives from various departments permitting jurisdiction over applications for development. The PRC verifies application completeness, compliance with city ordinances, and appropriate application of all design criteria. All departments have reviewed and approved the following attachments.

Prepared By

Katasha Smithers, AICP Candidate
Planning Manager - Current Planning
817-276-4235

Attachments

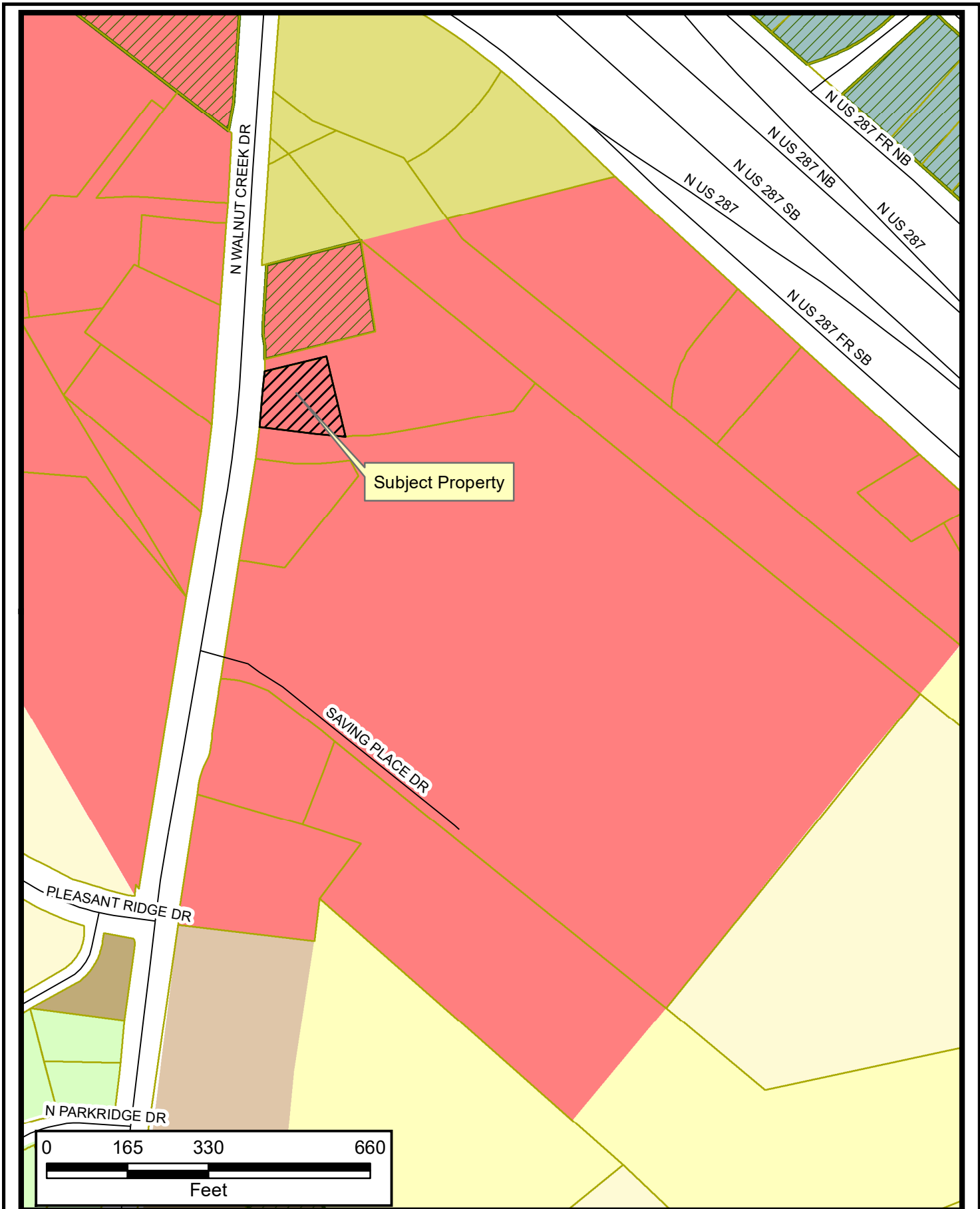
- Maps and Supporting Information
- Exhibit B - Site Plan
- Exhibit C - Elevations and Signage
- Exhibit D - Landscape Plan



SUP#24-003

This information is for illustrative purposes only. Not for design or development purposes. Site-specific studies may be required to obtain accurate feature locations. Every effort is made to ensure the information displayed here is accurate; however, the City of Mansfield makes no claims to its accuracy or completeness.

12/6/2024



SUP#24-003

This information is for illustrative purposes only. Not for design or development purposes. Site-specific studies may be required to obtain accurate feature locations. Every effort is made to ensure the information displayed here is accurate; however, the City of Mansfield makes no claims to its accuracy or completeness.

12/6/2024

Property Owner Notification for SUP#24-003

LEGAL DESC 1 ADDRESS	LEGAL DESC 2 CITY	LEGAL DESC 3 ZIP	LEGAL DESC 4	ACREAGE	OWNER NAME	OWNER
90231					CITY OF ARLINGTON ARLINGTON T,X	P.O. BOX 76004--323
RAGLAND ROAD					GRAND PRAIRIE LAKE PARKS GRAND PRAIRIE, TX	3401 75052
HILLCREST ST					MANSFIELD ISD MANSFIELD, TX	203 76063
WALTER STEPHENSON					MIDLOTHIAN ISD MIDLOTHIAN, TX	100 76065 ROAD
LOOP 820					TXDOT FORT WORTH, TX	2501 SW 76113
CENTRAL PARK VILLAGE	BLK 4	LOT 1		0.531751436 488	981 NORTH WALNUT CREEK DRIVE L	PO BOX 532
WAL-MART ADDITION- 151465 MANSFIELD	BLK 1 ARLINGTON, TX	LOT 7 76015		0.926746019 973	9680 MANSFIELD COMMONS LLC	PO BOX
WAL-MART ADDITION- 151465 MANSFIELD	BLK 1 ARLINGTON, TX	LOT 4R2 76015		2.069318969 06	9680 MANSFIELD COMMONS LLC	PO BOX
WAL-MART ADDITION- 7300 MANSFIELD	BLK 1 EL DORADO, AR	LOT 4R1 71731-7300		0.484187500 312	MURPHY OIL USA INC	PO BOX
WAL-MART ADDITION- 8050 MANSFIELD	BLK 1 BENTONVILLE, AR	LOT 1 72712-8055		22.05826985 29	WAL-MART REAL ESTATE BUS TRUST	PO BOX
WAL-MART ADDITION- EASTWICK CT MANSFIELD	BLK 1 FRISCO, TX	LOT 3 75035		0.781392955 298	TARIAAN PROPERTIES LLC	14301
WAL-MART ADDITION- 7300 MANSFIELD	BLK 1 EL DORADO, AR	LOT 4R1 71731-7300		0.484187500 312	MURPHY OIL USA INC	PO BOX
WALNUT CREEK VETERINARIAN CANYON PASS TRL PK	BLK 1 BURLESON, TX	LOT 1 76028		1.038666147 28	LATIMER PROPERTY MANAGEMENT LL	3828
WALNUT CREEK VILLAGE WALNUT CREEK DR ADDITION	LOT 1A MANSFIELD, TX			1.133993433 76063 91	FIRST METHODIST CHURCH MANSFIE	777 N

CAUTION NOTICE TO CONTRACTOR
 THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS ARE BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 7 DAYS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES HORIZONTALLY AND VERTICALLY WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.

FLOODNOTE
 ACCORDING TO THE F.I.R.M. NO. 48439C0460K, THE SUBJECT PROPERTY LIES IN ZONE X PER MAP REVISION DATED SEPT. 25, 2009.

CONTRACTOR IS TO ENSURE THAT THE CONSTRUCTION FENCE ENCOMPASSES THE ENTIRE WORK AREA. (RE: DETAIL 2F)

BUILDING SETBACKS:
 SEE SITE PLAN

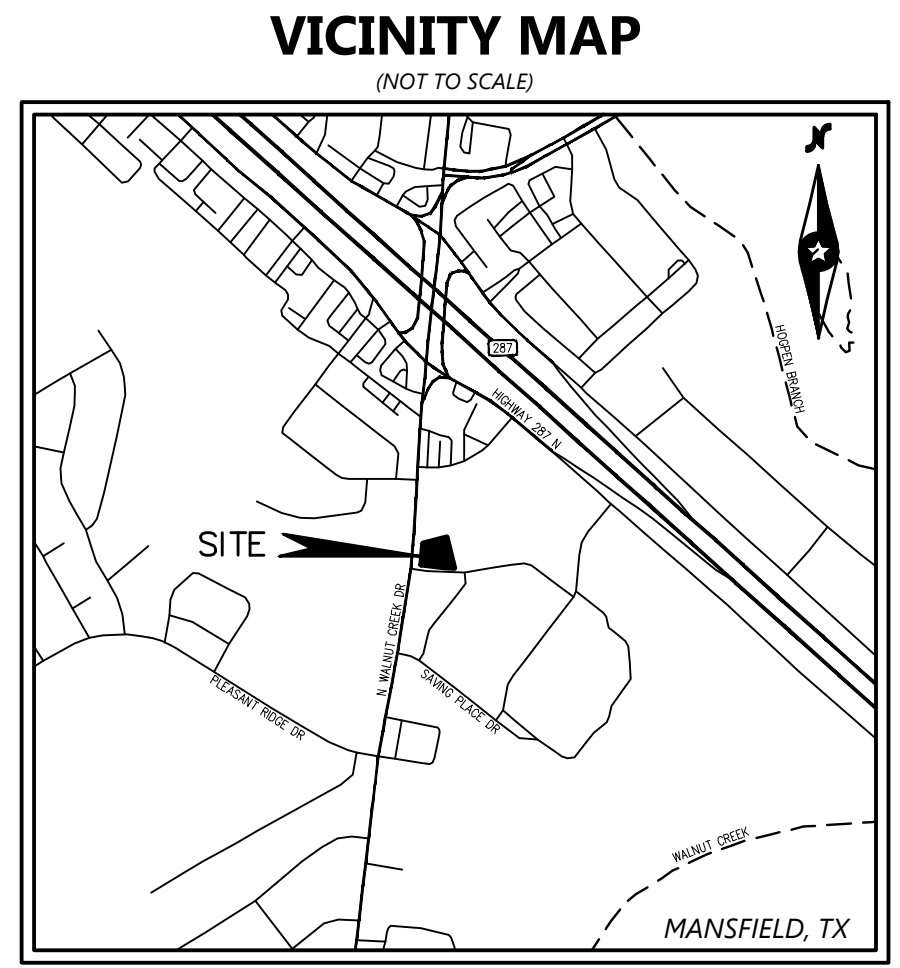
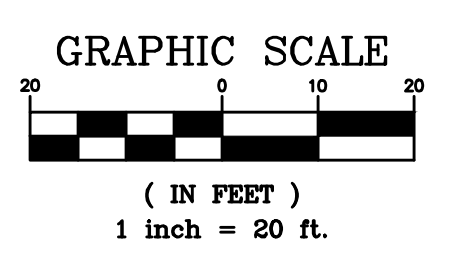
CONTRACTOR TO ENSURE THE LIGHT POLES AND SIGNS ARE AT LEAST 2' FROM THE BACK OF THE CURB TO PREVENT THE VEHICLES STRIKING THE LIGHT POLE OR SIGN.

ZONING: C-2 (COMMERCIAL RETAIL)

CONTRACTOR SHALL BE RESPONSIBLE FOR AND HIRE A TEXAS REGISTERED LAND SURVEYOR TO ESTABLISH PROPERTY CORNERS, BUILDING CORNERS, CANOPY, ETC. AS REQUIRED FOR CONSTRUCTION LAYOUT.

TBM #1
 "X" CUT ON TOP OF A CONCRETE TRANSFORMER PAD NEAR ITS SOUTHWEST CORNER. SAID PAD IS LOCATED NORTH OF THE SUBJECT PROPERTY AND APPROXIMATELY 122 FEET NORTH AND 45 FEET NORTH OF A SANITARY SEWER MANHOLE COVER NEAR THE NORTHWEST CORNER OF THE SUBJECT PROPERTY.
 NORTHING=6896052.1190' EASTING=2389879.0700' ELEVATION=603.46'

TBM #2
 "X" CUT ON TOP OF A CONCRETE BACK OF CURB LOCATED EAST OF THE SUBJECT PROPERTY AND APPROXIMATELY 7 FEET WEST AND 7 FEET NORTH OF A LIGHT POLE.
 NORTHING=7131184.4730 EASTING=2434317.0290 ELEVATION=594.38'



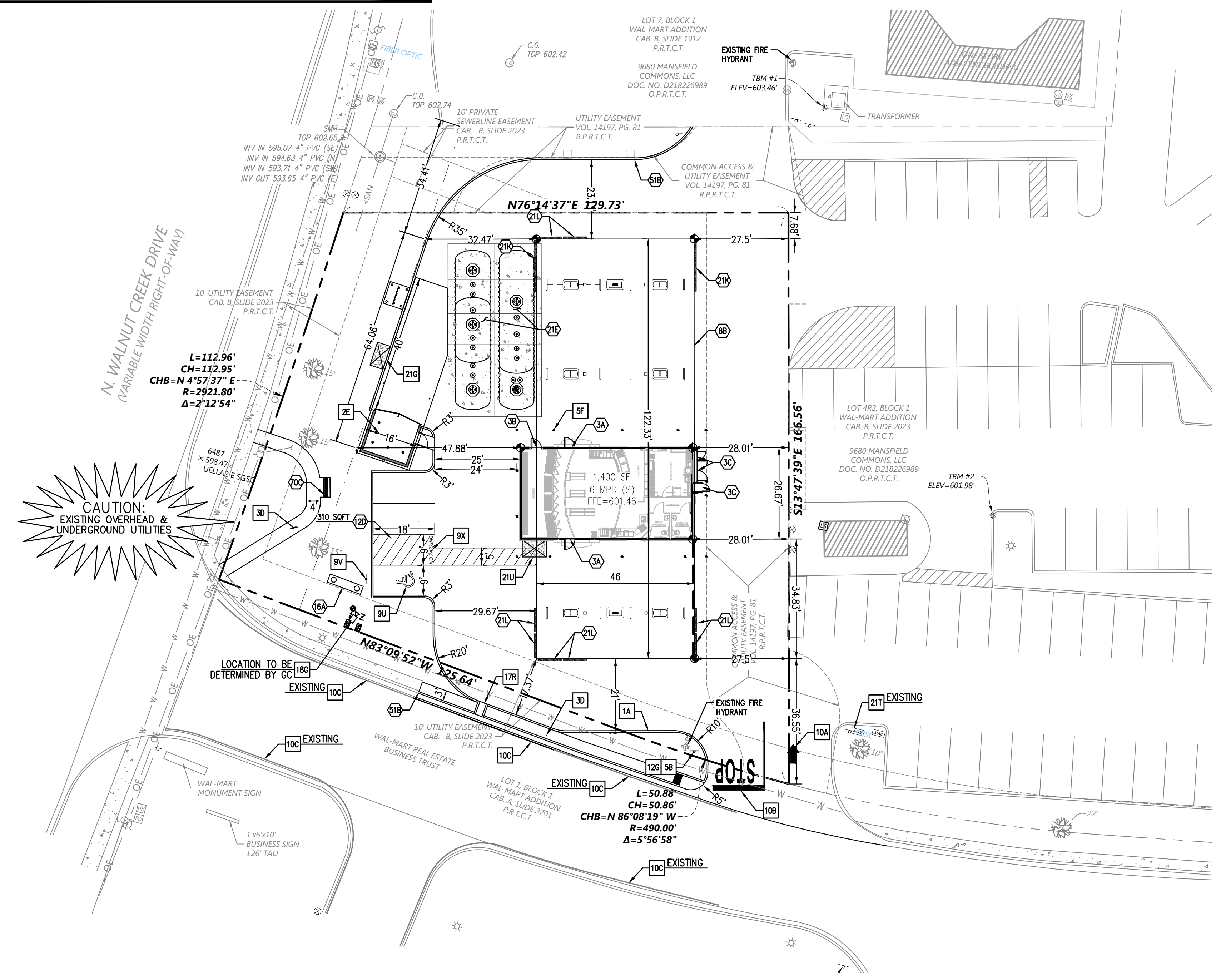
EXISTING	
$NXX^{\circ}XX'XX''W XXX.XX (M)$	MEASURED BEARING & DISTANCE
$(NXX^{\circ}XX'XX''W XXX.XX' AP)$	ACTUAL PLAT BEARING & DISTANCE
O.P.R.T.C.T.	DEED RECORDS, TARRANT COUNTY, TEXAS
O.P.R.T.C.T.	PLAT RECORDS, TARRANT COUNTY, TEXAS
O.P.R.T.C.T.	OFFICIAL PUBLIC RECORDS, TARRANT COUNTY, TEXAS
TBM	TEMPORARY SITE BENCHMARK
ROW	* CUT IN CONCRETE
ROW	RIGHT-OF-WAY
RF	IRON ROD FOUND
○	FOUND MONUMENT
○	SANITARY SEWER MANHOLE
○	WATER STRUCTURE
○	FIRE HYDRANT
○	WATER VALVE
---	PROPERTY LINE
---	EASEMENT LINE
---	MAJOR CONTOUR
---	MINOR CONTOUR
---	CURB LINE
---	WATER LINE
---	SANITARY SEWER LINE
---	OVERHEAD POWER LINE
---	STORM DRAIN LINE
---	CONCRETE SURFACE
---	ASPHALT SURFACE

PROPOSED	
---	BOUNDARY LINE
---	CONCRETE CURB AND GUTTER
○	BUILDING CONTROL POINT
---	CONSTRUCTION FENCE

- CITY OF MANSFIELD NOTES:**
- ALL SIGNAGE WILL COMPLY WITH THE REGULATIONS FOR C-2 ZONED PROPERTY AS SPECIFIED IN CHAPTER 155.090 OF THE CODE OF ORDINANCES.
 - THE TRASH ENCLOSURE AND ALL EQUIPMENT WILL BE SCREENED IN ACCORDANCE WITH THE REGULATIONS SPECIFIED IN CHAPTER 155.093 OF THE CODE OF ORDINANCES.
 - ALL ROOFTOP EQUIPMENT WILL BE SCREENED BY BUILDING PARAPETS AT LEAST ONE FOOT TALLER THAN THE TALLEST PIECE OF EQUIPMENT.
 - THERE WILL BE NO OUTSIDE STORAGE OF MATERIALS OR MERCHANDISE ON THE PROPERTY EXCEPT IN ENCLOSURES AS SPECIFIED ON THIS PLAN.
 - THERE WILL BE NO OUTSIDE STORAGE OF VEHICLES ON THE PROPERTY.
 - ALL LIGHTING WILL BE DESIGNED TO BE SHIELDED DOWNWARD AND NOT TRESPASS ONTO OTHER PROPERTIES OF CAUSE GLARE.

- SITE NOTES**
- PUBLIC ENTRANCE
 - STOCKROOM ENTRANCE
 - MAINTENANCE ACCESS
 - OVERHEAD CANOPY (TYP. PER CANOPY PLANS)
 - 4" TRAFFIC YELLOW LANE STRIPE (SEE LENGTH INDICATED AT SYMBOL)
 - 4" WIDE PAINTED STRIPES, 3" O.C. @ 45° (SEE SIZE INDICATED AT SYMBOL)
 - MURPHY FREE STANDING SIGN
 - UNDERGROUND STORAGE TANKS (1-25,000 GAL. & 1-26,000 GAL.)
 - MURPHY EXPRESS ID SIGN PER APPROVED RENDERING
 - PRICE SIGN PER APPROVED ELEVATION
 - LIMITS OF SAWCUT AND PAVEMENT REMOVAL
 - 4" CONTOURED BENCH BY VICTOR STANLEY, MODEL #CR-10. (OR APPROVED EQUAL) (IN-GROUND MOUNT)
- SITE DETAILS**
- INTEGRAL CONCRETE CURB
 - DUMPSTER ENCLOSURE
 - CONCRETE SIDEWALK
 - CONCRETE SIDEWALK AROUND BUILDING
 - TRAFFIC SIGN IN BOLLARD
 - STEEL BOLLARD W/COVER (SINGLE)
 - ACCESSIBLE / VAN ACCESSIBLE PARKING SYMBOL (SEE PAINT COLOR INDICATED AT SYMBOL)
 - ACCESSIBLE / VAN ACCESSIBLE PARKING SIGN MOUNTED IN BOLLARD
 - "NO PARKING" PAINTED ON PAVEMENT
 - TRAFFIC FLOW ARROW (TYP.)
 - STOP BAR (TYP.)
 - FIRE LANE MARKING
 - "STOP" SIGN
 - SITE LIGHT POLE (SEE PHOTOMETRIC PLANS FOR POLE BASE DETAIL, FIXTURE TYPE, LOCATION AND MOUNTING DETAILS)
 - CURB CUT WITH STEEL PLATE
 - CONSTRUCTION CAMERA (COORDINATE WITH MOUSA PM FOR LOCATION)
 - AIR VACUUM UNIT WITH 4"x7" CONCRETE SLAB
 - ATM PAD (SEE FUEL DEVELOPMENT PLAN SHT. FE-1 FOR CONDUITS)
 - 7"x10" CONCRETE SLAB FOR PROPANE TANKS
 - MAILBOX (CONTRACTOR SHALL COORDINATE LOCATION WITH MURPHY AND POSTMASTER PRIOR TO INSTALLATION)
 - 5"x7" ICE UNIT (SEE NUMBER INDICATED AT SYMBOL)

- GENERAL SITE NOTES**
- ALL DIMENSIONS SHOWN ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
 - ALL CURB RETURN RADI SHALL BE 3' AS SHOWN TYPICAL ON THIS PLAN, UNLESS OTHERWISE NOTED.
 - UNLESS OTHERWISE SHOWN, CALLED OUT OR SPECIFIED HERON: ALL CURB AND GUTTER ADJACENT TO EXISTING PAVING SHALL BE INSTALLED PER DETAIL.
 - PAVEMENT SHALL BE INSTALLED IN ACCORDANCE WITH THE PAVING PLAN OVER THE ENTIRE PARKING LOT AREA AND ALL APPROACH DRIVES. SEE ASSOCIATED PLANS FOR CANOPY, COLUMN, DISPENSER ISLAND DETAILS AND LAYOUT.
 - CONTRACTOR SHALL BEGIN CONSTRUCTION OF ANY LIGHT POLE BASES FOR RELOCATED LIGHT FIXTURES AND RELOCATION OF ELECTRICAL SYSTEM AS SOON AS DEMOLITION BEGINS. CONTRACTOR SHALL BE AWARE THAT INTERRUPTION OF POWER TO ANY LIGHT POLES OR SIGNS SHALL NOT EXCEED 24 HOURS.
 - IF DEMOLITION OR CONSTRUCTION ON SITE WILL INTERFERE WITH THE WAL-MART TRAFFIC FLOW OR ADJACENT PROPERTY OWNER'S TRAFFIC FLOW, THE CONTRACTOR SHALL COORDINATE WITH THE WAL-MART CONSTRUCTION/STORE MANAGER AND/OR ADJACENT PROPERTY OWNER, TO MINIMIZE THE IMPACT ON TRAFFIC FLOW. TEMPORARY RE-ROUTING OF TRAFFIC IS TO BE ACCOMPLISHED BY USING DOT APPROVED TRAFFIC BARRICADES, BARRELS, AND/OR CONES. TEMPORARY SIGNAGE AND FLAGMEN MAY BE ALSO NECESSARY.
 - ALL WAL-MART PROPERTY DAMAGED DUE TO CONSTRUCTION ACTIVITIES MUST BE REPLACED/RESTORED TO MATCH THE EXISTING TYPE AND QUALITY OF WORK AND MATERIALS, AND IS SUBJECT TO WAL-MART APPROVAL.
 - CONTRACTOR TO PROTECT EXISTING LANDSCAPE/IRRIGATION MATERIAL.
 - ALL SLOPES AND AREAS DISTURBED BY CONSTRUCTION SHALL BE GRADED SMOOTH AND FOUR INCHES OF TOPSOIL APPLIED. IF ADEQUATE TOPSOIL IS NOT AVAILABLE ON SITE, THE CONTRACTOR SHALL PROVIDE TOPSOIL, APPROVED BY THE OWNER, AS NEEDED. THE AREA SHALL THEN BE SEEDDED/SODDED, FERTILIZED, MULCHED, WATERED AND MAINTAINED UNTIL HARDY GRASS GROWTH IS ESTABLISHED IN ALL AREAS. ANY AREAS DISTURBED FOR ANY REASON PRIOR TO FINAL ACCEPTANCE OF THE PROJECT SHALL BE CORRECTED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
 - THE MURPHY STATION WILL NOT DROP THE WAL-MART GREEN SPACE BELOW CITY REQUIREMENTS.
 - CONTRACTOR IS TO VERIFY LOCATION OF WAL-MART IRRIGATION SYSTEM, VALVE BOXES, CONTROL BOXES, BACKFLOW PREVENTION DEVICE AND OTHER ITEMS WHICH ARE PART OF THE SYSTEM. IF DAMAGES OCCUR THEY MUST BE REPAIRED AT CONTRACTOR'S COST.
 - THE LOCATION OF THE CONSTRUCTION FENCE ON THE DRAWING IS FOR GRAPHICAL REPRESENTATION ONLY. THE CONTRACTOR IS TO ENSURE THAT THE CONSTRUCTION FENCE ENCOMPASSES THE ENTIRE WORK AREA.
 - CONTRACTOR SHALL PURCHASE AND INSTALL A MAILBOX, AND SHALL COORDINATE LOCATION OF MAILBOX WITH MURPHY CONSTRUCTION MANAGER AND/OR ON-SITE REPRESENTATIVE AND LOCAL POSTMASTER.
 - ALL PROPOSED PAVEMENT STRIPING OR MARKINGS SHALL FOLLOW THE SPECIFICATIONS FOR PAINT INCLUDED IN DETAIL 10A.



CAUTION:
 EXISTING OVERHEAD & UNDERGROUND UTILITIES

PRE-CONSTRUCTION IMPERVIOUS SITE RATIO (ISR)

AREA	SQUARE FEET	%
IMPERVIOUS (ROOF AND PAVING)	15,330	73
GREENSPACE	5,586	26
GROSS SITE	20,916	100

POST-CONSTRUCTION IMPERVIOUS SITE RATIO (ISR)

AREA	SQUARE FEET	%
IMPERVIOUS (ROOF AND PAVING)	17,049	81
GREENSPACE	3,897	19
GROSS SITE	20,916	100

PARKING INFORMATION:

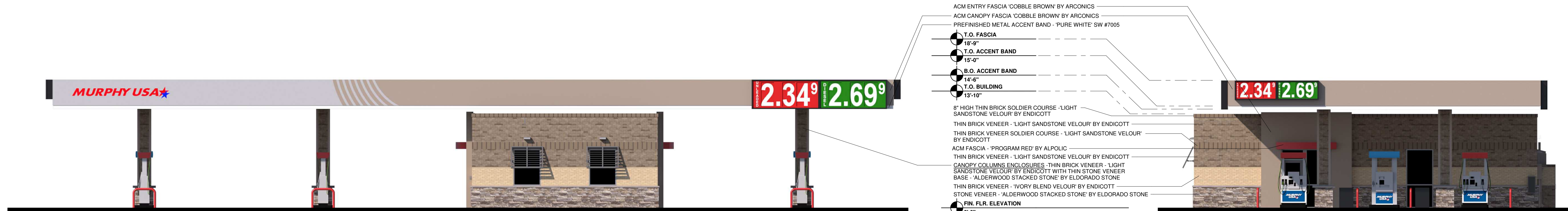
DESCRIPTION	BUILDING AREA (S.F.)	REQUIRED RATIO				TOTAL
		REGULAR	UNDER CANOPY	ACCESSIBLE	SPACES	
FUELING STATION	1,400	6	1	1	7	
		PROVIDED:				
		2	12	1	15	

NO. OF FUEL ISLANDS: 6
 NO. OF VEHICLE FUELING POINTS: 12

- THE MURPHY STATION WILL NOT DROP THE WAL-MART GREEN SPACE BELOW CITY REQUIREMENTS.
- ALL PERMANENT TURF AREAS MUST BE SODDED.
- GO TO ENSURE THAT TRAFFIC THROUGH MAIN WAL-MART DRIVES IS NOT INTERRUPTED AT ANY TIME DUE TO CONSTRUCTION ACTIVITIES. ENSURE A MINIMUM TEMPORARY LANE WIDTH OF 10' (EACH DIRECTION) IS AVAILABLE AT ALL TIMES, FREE OF OBSTRUCTIONS TO VEHICLES. AT NO TIME SHALL THE CONSTRUCTION FENCE EXTEND INTO THE DRIVE MORE THAN 2' FROM THE FACE OF THE CURB OR DRIVE.
- IF DEMOLITION OR CONSTRUCTION ON SITE WILL INTERFERE WITH THE WAL-MART TRAFFIC FLOW OR ADJACENT PROPERTY OWNER'S TRAFFIC FLOW, THE CONTRACTOR SHALL COORDINATE WITH THE WAL-MART CONSTRUCTION/STORE MANAGER AND/OR ADJACENT PROPERTY OWNER, TO MINIMIZE THE IMPACT ON TRAFFIC FLOW. TEMPORARY RE-ROUTING OF TRAFFIC IS TO BE ACCOMPLISHED BY USING DOT APPROVED TRAFFIC BARRICADES, BARRELS, AND/OR CONES. TEMPORARY SIGNAGE AND FLAGMEN MAY BE ALSO NECESSARY.
- ALL WAL-MART PROPERTY DAMAGED DUE TO CONSTRUCTION ACTIVITIES MUST BE REPLACED/RESTORED TO MATCH THE EXISTING TYPE AND QUALITY OF WORK AND MATERIALS, AND IS SUBJECT TO WAL-MART APPROVAL.
- UTILITY WORK DONE ON WAL-MART PARCEL, WHETHER BY THE GC, CITY OR THE UTILITY COMPANIES, SHALL BE REPAIRED BACK TO EXISTING CONDITIONS.
- EROSION CONTROL MEASURES IMPLEMENTED INSIDE THE WAL-MART DRIVE ISLES AND PARKING LOT SHALL INCLUDE ONLY SILT BAGS (OR WAL-MART PRE-APPROVED EQUAL) TO ENSURE TRAFFIC CIRCULATION IS NOT IMPEDED. GRAVEL INLET PROTECTION DEVICES SHALL NOT BE ALLOWED INSIDE THE WAL-MART DRIVE ISLES OR PARKING LOT.

SHEET NO. C-4
WALMART SUPERCENTER #284
960 N. WALNUT CREEK DRIVE
MANSFIELD, TX 76063
MURPHY OIL USA, INC.
200 PEACH STREET
P.O. BOX 7000
EL DORADO, AR 71730-7000
MURPHY USA
SUP #24-003

1101 Central Expressway
 South,
 Suite 215
 Allen, TX 75013
 Ph. 214-491-1850
 John Mecasas, P.E.
 CIVIL ENGINEER



1 ELEVATION - FRONT (FACING WEST)

LT SANDSTONE BRICK VENEER:	189 SF	(50%)
STOREFRONT / GLAZING:	43 SF	(12%)
IVORY BRICK VENEER:	51 SF	(14%)
STONE WATERTABLE:	91 SF	(24%)
TOTAL:	374 SF	(100%)

2 ELEVATION - RIGHT (FACING SOUTH)

LT SANDSTONE BRICK VENEER:	280 SF	(40%)
STOREFRONT / GLAZING:	98 SF	(14%)
IVORY BRICK VENEER:	88 SF	(13%)
STONE WATERTABLE:	112 SF	(16%)
ACM / METAL FASCIA:	124 SF	(17%)
TOTAL:	706 SF	(100%)



3 ELEVATION - REAR (FACING EAST)

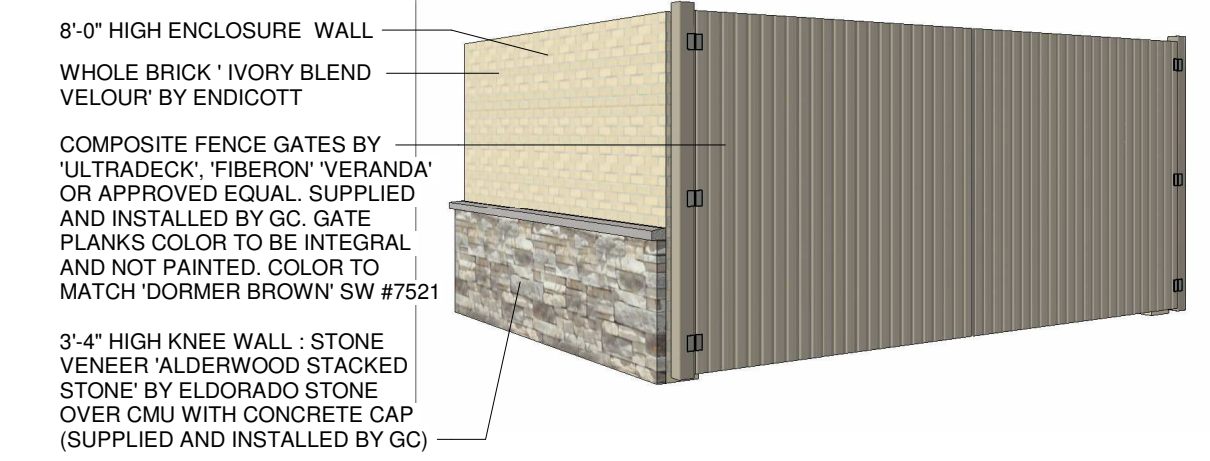
LT SANDSTONE BRICK VENEER:	211 SF	(56%)
IVORY BRICK VENEER:	72 SF	(20%)
STONE WATERTABLE:	91 SF	(24%)
TOTAL:	374 SF	(100%)

4 ELEVATION - LEFT (FACING NORTH)

LT SANDSTONE BRICK VENEER:	280 SF	(40%)
STOREFRONT / GLAZING:	98 SF	(14%)
IVORY BRICK VENEER:	88 SF	(13%)
STONE WATERTABLE:	112 SF	(16%)
ACM / METAL FASCIA:	124 SF	(17%)
TOTAL:	706 SF	(100%)

- ACM ENTRY FASCIA 'COBBLE BROWN' BY ARCONICS
- ACM CANOPY FASCIA 'COBBLE BROWN' BY ARCONICS
- PREFINISHED METAL ACCENT BAND - 'PURE WHITE' SW #7005
- T.O. FASCIA 18'-9"
- T.O. ACCENT BAND 15'-0"
- B.O. ACCENT BAND 14'-6"
- T.O. BUILDING 13'-10"
- 8" HIGH THIN BRICK SOLDIER COURSE - 'LIGHT SANDSTONE VELOUR' BY ENDICOTT
- THIN BRICK VENEER - 'LIGHT SANDSTONE VELOUR' BY ENDICOTT
- THIN BRICK VENEER SOLDIER COURSE - 'LIGHT SANDSTONE VELOUR' BY ENDICOTT
- ACM FASCIA - 'PROGRAM RED' BY ALPOLIC
- THIN BRICK VENEER - 'LIGHT SANDSTONE VELOUR' BY ENDICOTT
- CANOPY COLUMNS ENCLOSURES - THIN BRICK VENEER - 'LIGHT SANDSTONE VELOUR' BY ENDICOTT WITH THIN STONE VENEER
- BASE - 'ALDERWOOD STACKED STONE' BY ELDORADO STONE
- THIN BRICK VENEER - 'IVORY BLEND VELOUR' BY ENDICOTT
- STONE VENEER - 'ALDERWOOD STACKED STONE' BY ELDORADO STONE
- FIN. FLR. ELEVATION 0'-0"

- ACM CANOPY FASCIA 'BRUSHED ALUMINIUM' BY ARCONIC
- PREFINISHED METAL ACCENT BAND - 'PURE WHITE' SW #7005
- T.O. FASCIA 18'-9"
- T.O. ACCENT BAND 15'-0"
- B.O. ACCENT BAND 14'-6"
- T.O. BUILDING 13'-10"
- 8" HIGH THIN BRICK SOLDIER COURSE - 'LIGHT SANDSTONE VELOUR' BY ENDICOTT
- THIN BRICK VENEER - 'LIGHT SANDSTONE VELOUR' BY ENDICOTT
- THIN BRICK VENEER SOLDIER COURSE - 'LIGHT SANDSTONE VELOUR' BY ENDICOTT
- THIN BRICK VENEER - 'LIGHT SANDSTONE VELOUR' BY ENDICOTT
- CANOPY COLUMNS ENCLOSURES - THIN BRICK VENEER - 'LIGHT SANDSTONE VELOUR' BY ENDICOTT WITH THIN STONE VENEER
- BASE - 'ALDERWOOD STACKED STONE' BY ELDORADO STONE
- THIN BRICK VENEER - 'IVORY BLEND VELOUR' BY ENDICOTT
- STONE VENEER - 'ALDERWOOD STACKED STONE' BY ELDORADO STONE
- FIN. FLR. ELEVATION 0'-0"
- METAL DOORS AND FRAMES TO BE PAINTED 'DORMER BROWN' SW #7521

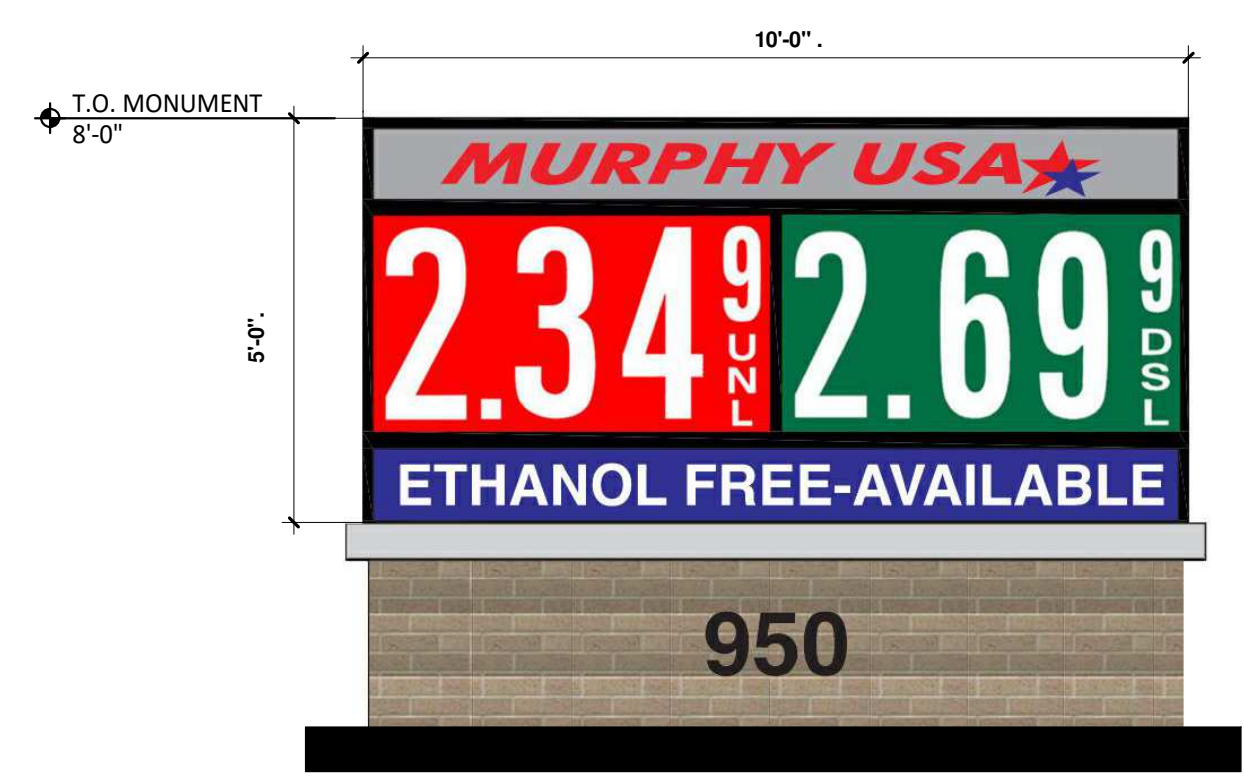


5 TRASH ENCLOSURE



SIGNAGE COLOR CHART

CANOPY - ROUTED SIGNS FURNISHED AND INSTALLED BY FMS		
MURPHY USA	BLUE	EASTMAN BLUE, PANTONE 287 BLUE, 3M 3630-87 ROYAL BLUE
STAR LOGO	RED	PROGRAM RED, PANTONE 485 RED, 3M 3630-43 RED
	WHITE	EASTMAN WHITE
CANOPY - PRICE SIGNS FURNISHED AND INSTALLED BY THE SIGN VENDOR		
UNLEADED	RED	3M 3632-73
	WHITE	3M 3632-20
DIESEL	DIGIT	RED/WHITE
	CABINET	BLACK
	GREEN	3M 3632-26
	WHITE	3M 3632-20
ETHANOL FREE	DIGIT	GREEN/WHITE
	CABINET	BLACK
	BLUE	3M 3632-157
MONUMENT - PRICE SIGNS FURNISHED AND INSTALLED BY THE SIGN VENDOR		
MURPHY USA	RED	3M 3632-43
	SILVER	3M 3630-121
	CABINET	BLACK
UNLEADED	RED	3M 3632-73
	WHITE	3M 3632-20
	DIGIT	RED/WHITE
	CABINET	BLACK
DIESEL	GREEN	3M 3632-26
	WHITE	3M 3632-20
	DIGIT	GREEN/WHITE
	CABINET	BLACK
ETHANOL FREE	BLUE	3M 3632-157
	WHITE	3M 3632-20
	DIGIT	BLUE/WHITE
	CABINET	BLACK



6 MONUMENT SIGN

CANOPY SIGNS :	QTY.	HEIGHT	WIDTH	AREA S.F.	TOTAL S.F.
MURPHY USA CANOPY LOGO SIGN	2		GRAPHIC AREA	24.76	49.52
LARGE CANOPY PRICE SIGN	4	51.25"	118.00"	42.00	168.00
SMALL CANOPY PRICE SIGN	4	34.13"	74.00"	17.54	70.16
CANOPY SIGNS TOTAL SIGNAGE :					287.68 S.F.
MONUMENT SIGN:					
UNLEADED W/LOGO	1	60.00"	120.00"	50.00	50.00
MONUMENT SIGNS TOTAL SIGNAGE :					50.00 S.F.
TOTAL SIGN AREA :					337.68 S.F.



MANSFIELD, TX (950 NORTH WALNUT CREEK DRIVE) R01
 MURPHY #5753 WM #284
 DECEMBER 02, 2024

CAUTION NOTICE TO CONTRACTOR
 THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS ARE BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 7 DAYS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES HORIZONTALLY AND VERTICALLY WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.

**REFER TO SHEET LP-2
 FOR PLANTING NOTES.**

POST-CONSTRUCTION

IMPERVIOUS SITE RATIO (ISR)		
AREA	SQUARE FEET	%
IMPERVIOUS (ROOF AND PAVING)	17,049	81
GREENSPACE	3,897	19
GROSS SITE	20,916	100

LEGEND:

SYMBOL	SCIENTIFIC NAME	COMMON NAME	SIZE/CALIPER	HT/WIDTH	FLOWER COLOR	QTY
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EXISTING TREES — SEE GENERAL NOTES

SYMBOL	EXISTING TREES TO REMAIN	PER PLANS	PER PLAN

SHADE TREES — SEE GENERAL NOTES, THIS SHEET REGARDING INSTALLATION SIZE UNLESS NOTED BELOW

SYMBOL	SCIENTIFIC NAME	COMMON NAME	SIZE/CALIPER	HT/WIDTH	FLOWER COLOR	QTY
	PISTACHIA CHINENSIS 'KEITH DAVEY'	CHINESE PISTACHE 'KEITH DAVEY'	3" CALIPER	40'/35'	-	1

ORNAMENTAL TREES — SEE GENERAL NOTES, THIS SHEET REGARDING INSTALLATION SIZE UNLESS NOTED BELOW

SYMBOL	SCIENTIFIC NAME	COMMON NAME	SIZE/CALIPER	HT/WIDTH	FLOWER COLOR	QTY
	ILEX OPACA 'SAVANNAH'	SAVANNAH HOLLY	15 GAL	10'/8'	-	1

1 GALLON SHRUB — (SEE PLANTING NOTES)

SYMBOL	SCIENTIFIC NAME	COMMON NAME	SIZE/CALIPER	HT/WIDTH	FLOWER COLOR	QTY
	ABELIA GRANDIFLORA	GLOSSY ABELIA	5 GAL	6'/6'	LILAC	15
	ILEX VOMITORIA 'BORDEAUX'	DWARF BORDEAUX HOLLY	5 GAL	3'/3'	INSIGNIFICANT	9
	ILEX VOMITORIA 'NANA'	DWARF YAUPON HOLLY	5 GAL	42"/4'	INSIGNIFICANT	22
	SALVIA GREGGI	AUTUMN SAGE	5 GAL	30"/30"	RED	3

SOD, GROUNDCOVER, MULCH, AND EDGING

SYMBOL	SCIENTIFIC NAME	COMMON NAME	SIZE/CALIPER	HT/WIDTH	FLOWER COLOR	QTY
	LIRIOPE MUSCARI 'SILVER SUNPROOF'	SILVERY SUNPROOF LILYTURF	1 GAL @ 18" O.C.	12"	PURPLE- LAVANDAR	22 S.F.
	CYNDON DACTYLON 'TIF 419'	BERMUDA GRASS	SOD	-	-	400± S.F.
	HARDWOOD MULCH				SEE "GENERAL LANDSCAPE NOTES" FOR REQUIREMENTS	
	EVEREDGE STEEL EDGING	(GARDEN RING WHERE NOTED)	LINEAR FEET PER PLAN			

GENERAL NOTES:

- A. TREES TO BE INSTALLED 4'-0" MINIMUM AWAY FROM PAVING AREAS.
- B. MURPHY PROTOTYPE LANDSCAPE NOTES ON SHEET L-2 TAKE PRECEDENCE OVER THE PLANTING NOTES ON SHEET L-2, IF THEY ARE THE SAME.
- C. A FULLY AUTOMATIC IRRIGATION SYSTEM WILL BE SPECIFIED FOR THIS PROJECT, PLANS OF WHICH WILL BE PROVIDED TO AGENCY PRIOR TO START OF CONSTRUCTION, OR AT TIME REQUIRED BY GOVERNING AGENCY.

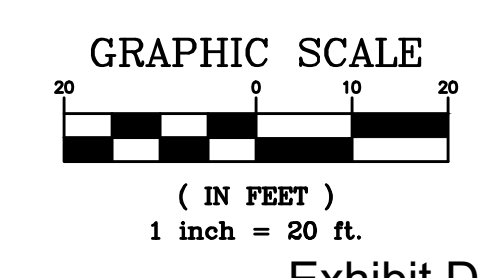
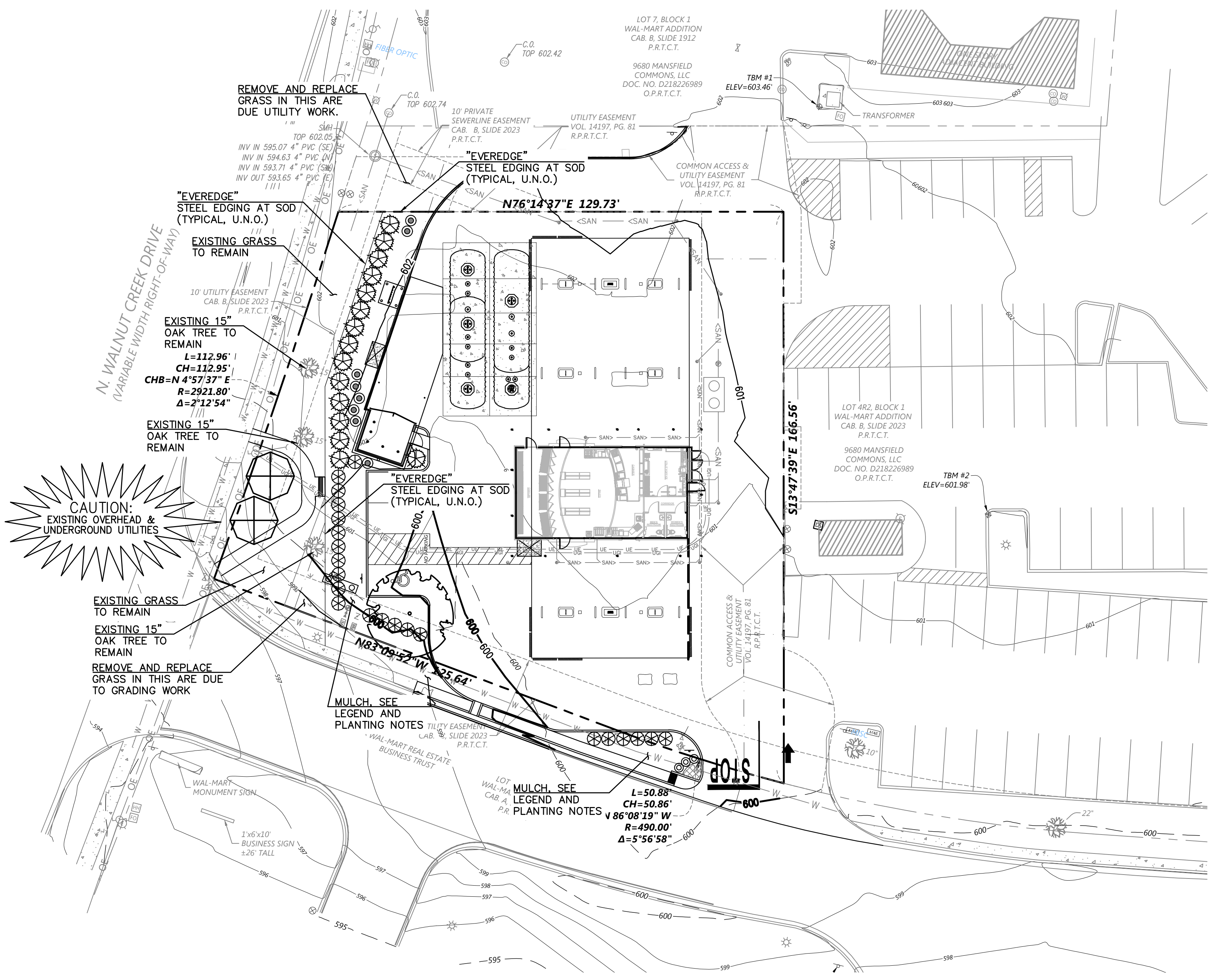
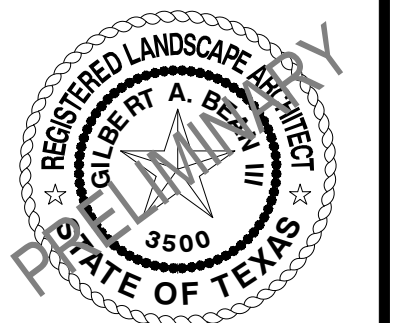


Exhibit D

**SHEET NO.
 LP-1**



12/03/2024

**PRELIMINARY PLANTING PLAN
 WALMART SUPERCENTER #284
 960 N. WALNUT CREEK DRIVE
 MANSFIELD, TX 76063**

1101 Central Expressway
 South,
 Suite 215
 Allen, TX 75013
 Ph. 214.491.1830
 John Mecasas, P.E.
 CIVIL ENGINEER



MURPHY OIL USA, INC.
 200 PEACH STREET
 P.O. BOX 7000
 EL DORADO, AR 71730-7000

**MURPHY
 USA**

SUP#24-003

J:\MURPHY\PROJECTS\MANSFIELD, TX #9753\CURRENT DRAWINGS\M-M024007_LANDSCAPE\MANSFIELD, TX.DWG 11/25/2024 1:40 PM CHRIS STRICKLAND

SUMMARY CHART - BUFFER YARD/SETBACKS							
LOCATION OF BUFFER YARD OR SETBACK	REQUIRED/PROVIDED	LENGTH	BUFFER YARD OR SETBACK WIDTH/TYPE	CANOPY TREES	ORNAMENTAL TREES	SHRUBS	SCREENING WALL/DEVICE HEIGHT & MATERIAL
WEST	REQUIRED		20'	3	N/A	YES	3'/SHRUBS
	PROVIDED	113'	20'	6*	N/A	YES	3'/SHRUBS
* NOTE ANY CREDITS USED IN CALCULATIONS A. THERE ARE TWO EXISTING 15" TREES ALONG WESTERLY PROPERTY							
OTHER COMMENTS: 1. THE NORTH, SOUTH AND EAST PROPERTY LINES DUE NOT REQUIRE ANY LANDSCAPE BUFFER OR SETBACK.							

SUMMARY CHART - INTERIOR LANDSCAPE						
	LANDSCAPE AREA (SQ. FT)	% OF LANDSCAPE AREA	CANOPY TREES	ORNAMENTAL TREES	SHRUBS	GROUND COVER (IN SQ. FT)
REQUIRED	2,092	10	0	0	?	?
PROVIDED	3,897	19	0	0	49	422±

SUMMARY CHART - INTERIOR PARKING LOT LANDSCAPING	
# OF REQUIRED PARKING SPACES	7
# OF PROVIDED PARKING SPACES	15
# OF TREE ISLANDS PROVIDED	0
* NOTE ANY CREDITS USED IN CALCULATIONS A. NONE	
OTHER COMMENTS: 1. NONE	

GENERAL LANDSCAPE NOTES (FROM MURPHY PROTOTYPE):

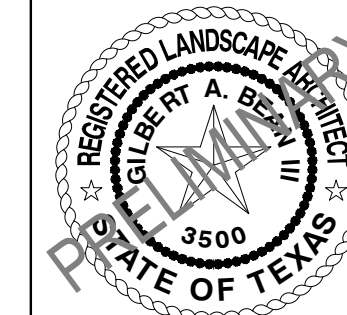
- A. LOCATE ALL UTILITIES AND SITE LIGHTING CONDUITS BEFORE LANDSCAPE CONSTRUCTION BEGINS.
- B. NOTIFY LANDSCAPE ARCHITECT OR DESIGNATED REPRESENTATIVE OF ANY LAYOUT DISCREPANCIES PRIOR TO ANY PLANTING.
- C. ALL LANDSCAPE MATERIALS SHALL BE IN COMPLIANCE WITH THE AMERICAN STANDARD FOR NURSERY STOCK. (ANSI-Z60.1-1986)
- D. ALL DISTURBED AREAS DESIGNATED ON THE GRADING PLAN SHALL BE SHOWN AS FOLLOWS:
 GRASS SEED MIX: 40% PERENNIAL RYE
40% TURF TYE FESCUE 0.5 LB PER 100 S.F.
20% BERMUDAS GRASS
 AGRICULTURAL LIME 2 LB PER 1000 S.F.
 FERTILIZER 10-10-10 2 LB PER 1000 S.F.
 MULCH: DRY STRAW OR HAY 2"-3" DEPTH
- E. ALL HOBBY LOBBY PROPERTY DAMAGED DUE TO CONSTRUCTION ACTIVITIES MUST BE REPLACED/RESTORED TO MATCH THE EXISTING TYPE AND QUALITY OF WORK AND MATERIALS AND IS SUBJECT TO WAL-MART APPROVAL.
- F. ALL SLOPES AND AREAS DISTURBED BY CONSTRUCTION SHALL BE GRADED SMOOTH AND FOUR INCHES OF TOPSOIL APPLIED. IF ADEQUATE TOPSOIL IS NOT AVAILABLE ON SITE, THE CONTRACTOR SHALL PROVIDE TOPSOIL APPROVED BY THE OWNER, AS NEEDED. THE AREA SHALL THEN BE SODDED, FERTILIZED, MULCHED, WATERED AND MAINTAINED UNTIL HARDY GRASS GROWTH IS ESTABLISHED IN ALL AREAS. ANY RELOCATED TREES SHALL BE MAINTAINED UNTIL SUCH POINT AS TREE IS RE-ESTABLISHED. ANY AREAS DISTURBED SHALL ANY REASON PRIOR TO THE FINAL ACCEPTANCE OF THE PROJECT SHALL BE CORRECTED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
- G. THE MURPHY STATION WILL NOT DROP HOBBY LOBBY'S GREEN SPACE BELOW CITY REQUIREMENTS.
- H. CONTRACTOR IS TO VERIFY LOCATION OF HOBBY LOBBY IRRIGATION SYSTEM, VALVE BOXES, CONTROL BOXES, BACKFLOW PREVENTION DEVICES AND OTHER ITEMS WHICH ARE PART OF THE SYSTEM. IF DAMAGED THEY MUST BE REPAIRED AT CONTRACTOR'S COST.
- I. CONTRACTOR IS TO PROTECT EXISTING LANDSCAPING/IRRIGATION MATERIALS.
- J. ACCEPTANCE OF GRADING AND SEEDING SHALL BE BY LANDSCAPE ARCHITECT AND/OR OWNER. THE CONTRACTOR SHALL ASSUME MAINTENANCE RESPONSIBILITIES FOR A MINIMUM OF ONE (1) YEAR OR UNTIL SECOND CUTTING, WHICH EVER IS LONGER. MAINTENANCE SHALL INCLUDE WATERING, WEEDING, RESEEDING AND OTHER OPERATIONS NECESSARY TO KEEP ALL LAWN AREAS IN A THRIVING CONDITIONS. UPON FINAL ACCEPTANCE, OWNER SHALL ASSUME ALL MAINTENANCE RESPONSIBILITIES. AFTER LAWN AREA HAVE GERMINATED, AREAS WHICH FAIL TO SHOW A UNIFORM STAND OF GRASS FOR ANY REASON WHATSOEVER SHALL BE RE-SEEDED REPEATEDLY UNTIL ALL AREAS ARE COVERED WITH A SATISFACTORY STAND OF GRASS. MINIMUM ACCEPTANCE OF SEEDED LAWN AREAS MAY INCLUDE SCATTERED BARE SPOTS, NONE OF WHICH ARE LARGER THAN 1 SQUARE FOOT, AND WHEN COMBINED DO NOT EXCEED 2% OF TOTAL LAWN AREA.
- K. ALL PERMANENT TURF AREAS SHALL BE SOD.
- L. FERTILIZE ALL PLANTS AT THE TIME OF PLANTING WITH TIME RELEASE FERTILIZER.
- M. SEE GRADING PLAN FOR APPLICATION OF TOPSOIL AND MAINTENANCE OF LAWN AREAS.
- N. SHREDDED HARDWOOD MULCH SHALL BE USED AS A FOUR INCH (4") TOP DRESSING IN ALL PLANT BEDS AND AROUND ALL TREES. SINGLE TREES OR SHRUBS SHALL BE MULCHED TO THE OUTSIDE EDGE OF THE SAUCER OR LANDSCAPE ISLAND (SEE PLANTING DETAILS).
- O. ALL PLANT MATERIAL SHALL BE WARRANTED FOR A PERIOD OF 1 YEAR AFTER PLANTING. IF ANY PLANTS DIE BEFORE THEY END OF 1 YEAR THEY SHALL BE REPLACED, AT NO COST TO THE OWNER, BY A PLANT OF SIMILAR SIZE AND SPECIES.
- P. TREES SHALL BE PLANTED PER DETAILS.
- Q. GC SHALL INCORPORATE PER-EMERGENT HERBICIDE AND WEED BARRIER FABRIC IN ALL MULCH AND PLANTING AREA.
- R. NO PLANTINGS SHALL BLOCK VIEW OF FREE-STANDING OR ID SIGNAGE.

PLANTING NOTES:

- A. GENERAL LANDSCAPE REQUIREMENTS ARE PER CITY OF MANSFIELD ORDINANCE, SECTION 155.092 LANDSCAPE AND SCREENING STANDARDS.
- B. PLANT MATERIAL TYPES SHOWN ARE PER CITY CODE REFERENCED ABOVE.
- C. CONTRACTOR SHALL REFER TO CITY OF MURPHY FOR LANDSCAPE PERMIT AND OR LANDSCAPE CONSTRUCTION REQUIREMENTS.
- D. ALL TREES SHALL BE SINGLE LEADER TRUNK, MUST DISPLAY A STRONG CENTRAL LEADER AND MEET ANSI STANDARD Z.60.1 OF THE AMERICAN STANDARD FOR NURSERY STOCK, LATEST EDITION
- E. THOUGH NO DIMENSIONS ARE SHOWN, IT IS THE CONTRACTORS RESPONSIBILITY TO MAINTAIN PLANTING LOCATIONS, CONFIGURATION AND SPACING AS SHOWN, MAINTAINING PLANTING DISTANCES FROM CURBS, SIDEWALKS, EXISTING AND PROPOSED BUILDINGS AND UTILITIES AS SHOWN ON PLANS.
- F. ALL LANDSCAPE AREAS, PLANTED OR NOT, SHALL HAVE A PRE-EMERGENT SPRAYED ACCORDING TO MANUFACTURER AND AGENCY REQUIREMENTS PRIOR TO INSTALLATION OF FILTER FABRIC OR ANY PLANT MATERIAL.
- G. SHOULD PLANT MATERIAL NOT BE AVAILABLE IN EITHER TYPE AND/OR SIZE SPECIFIED, **CONTRACTOR MUST CONTACT LANDSCAPE ARCHITECT FOR AN APPROVED SUBSTITUTION.**
- H. SHOULD CONTRACTOR INSTALL PLANT MATERIAL THAT DOES NOT MEET TYPE, SIZE, AND/OR TYPE AS SPECIFIED, CONTRACTOR SHALL BE RESPONSIBLE FOR PLANT REPLACEMENT.
- I. ALL QUANTITIES PROVIDED FOR BIDDING ASSISTANCE ONLY. CONTRACTOR TO VERIFY PLANT AND OTHER QUANTITIES, PLANS TAKE PRECEDENCE.
- J. ALL UTILITY EASEMENTS SHALL BE MARKED PRIOR TO EXCAVATION, AND PARTICULAR ATTENTION PAID TO TREE PLACEMENT WITHIN AND THROUGHOUT SITE.
- K. IF PROPOSED ON THESE PLANS, CONTRACTOR SHALL PROVIDE ROCK SAMPLES AND OBTAIN APPROVAL FROM OWNER PRIOR TO FINAL DELIVERY OF QUARRIED MATERIALS. NO STEEL EDGING SHALL BE USED BETWEEN ROCK TYPES UNLESS SPECIFICALLY SHOWN ON THESE PLANS.
- L. CONTRACTOR TO PAY CLOSE ATTENTION TO FINISH GRADES. SHOULD ROCK OR SOD AREAS EXCEED 4:1 SLOPE, CONTRACTOR TO OBTAIN APPROVAL OF LANDSCAPE DESIGNER PRIOR TO INSTALLATION.
- M. LANDSCAPING SHALL BE INSTALLED ACCORDING TO PLANS, DETAILS, AND SPECIFICATIONS. SHOULD CHANGES BE IMPLEMENTED IN THE FIELD, A NEW SET OF PLANS ARE REQUIRED TO BE SUBMITTED TO THE CITY OF MANSFIELD OR GOVERNING AGENCY. LANDSCAPE DESIGNER IS NOT UNDER CONTRACT TO PROVIDE THESE PLANS, EXCEPT AS PROVIDED FOR IN ORIGINAL CONTRACT.

SHEET NO.

LP-2



11/25/2024

REV-0 11/25/24 DATE JM PRN AP PM CES DES DD DRW

LANDSCAPE NOTES AND CALCS
 WALMART SUPERCENTER #284
 960 N. WALNUT CREEK DRIVE
 MANSFIELD, TX 76063

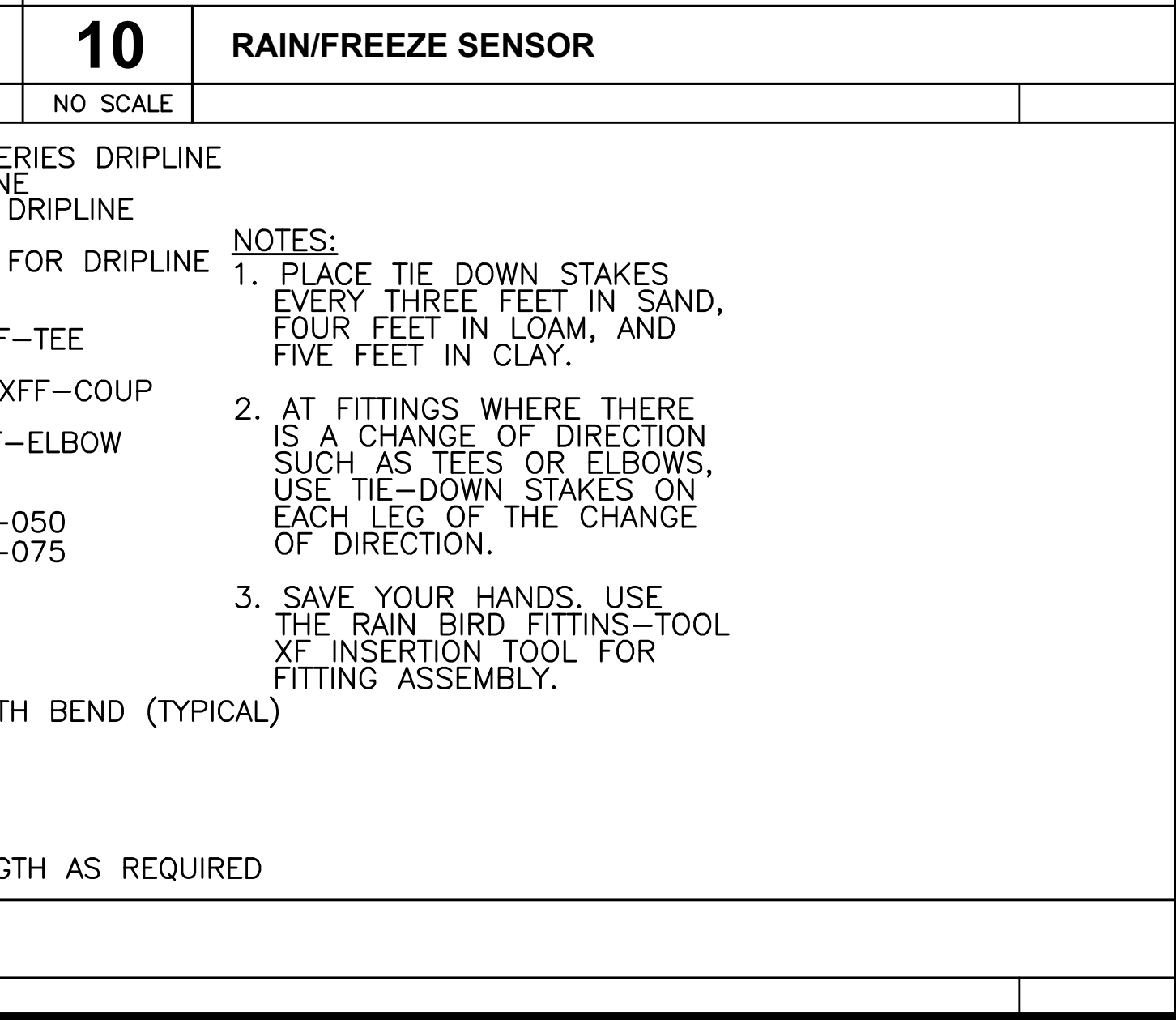
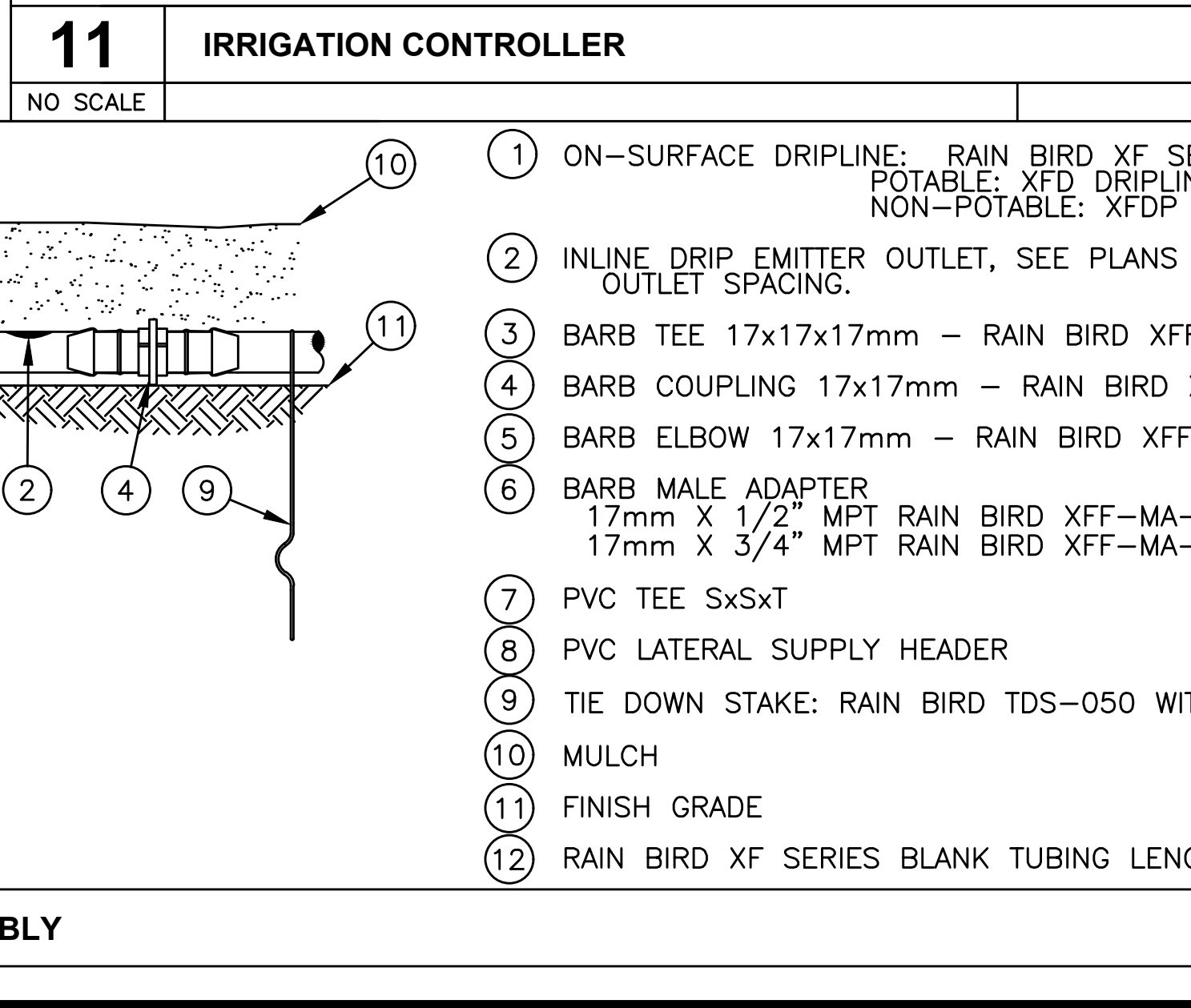
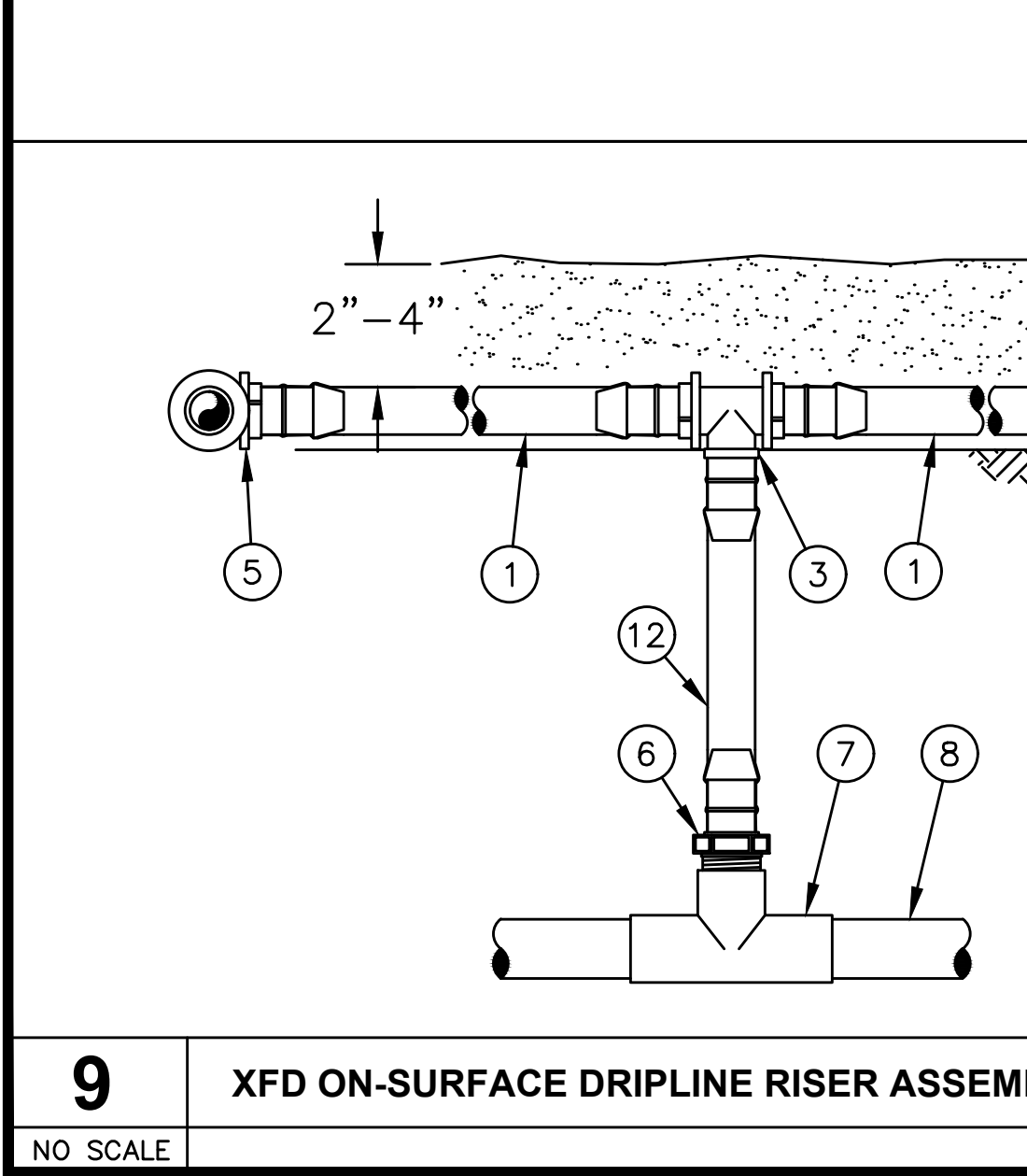
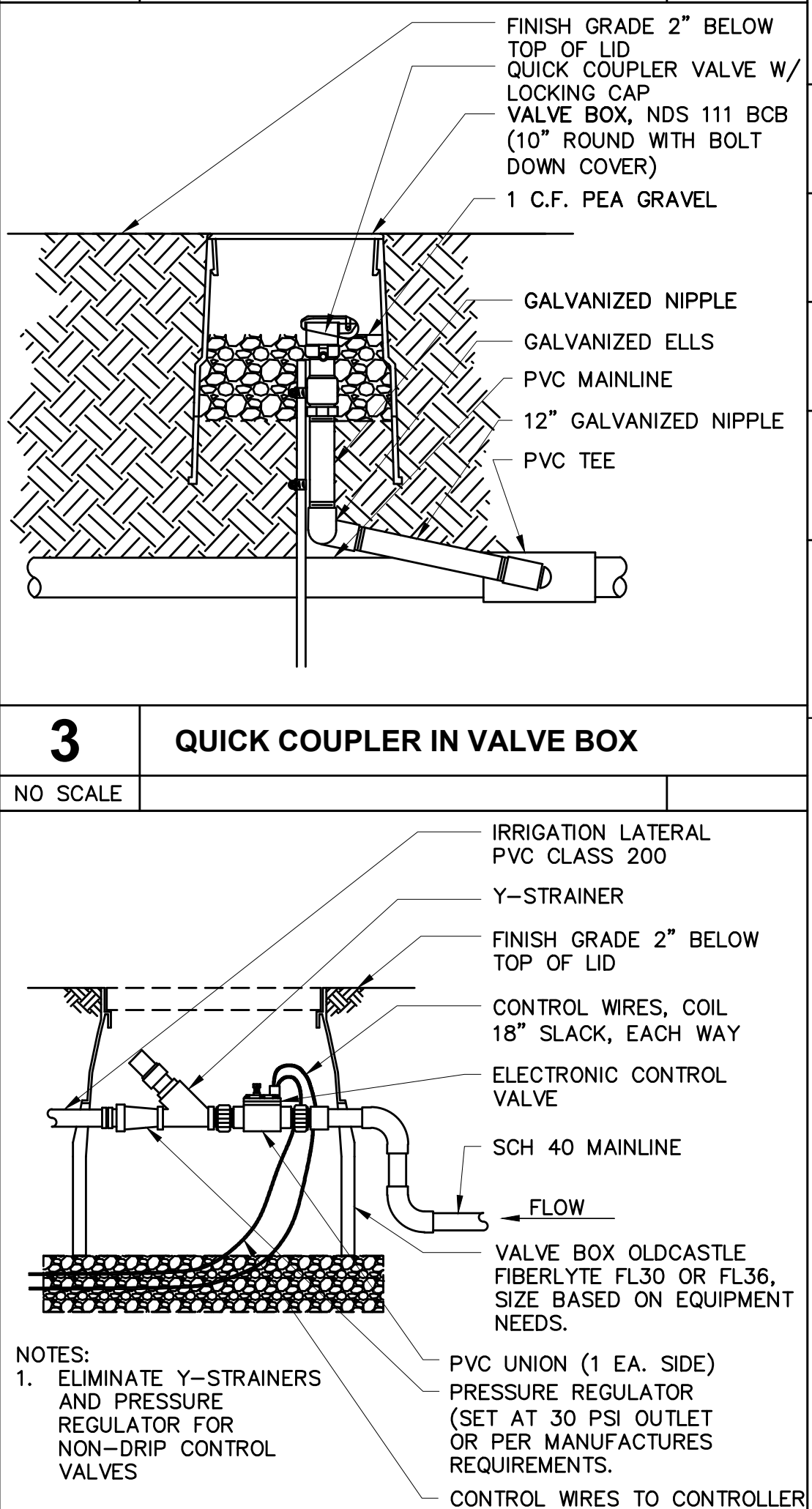
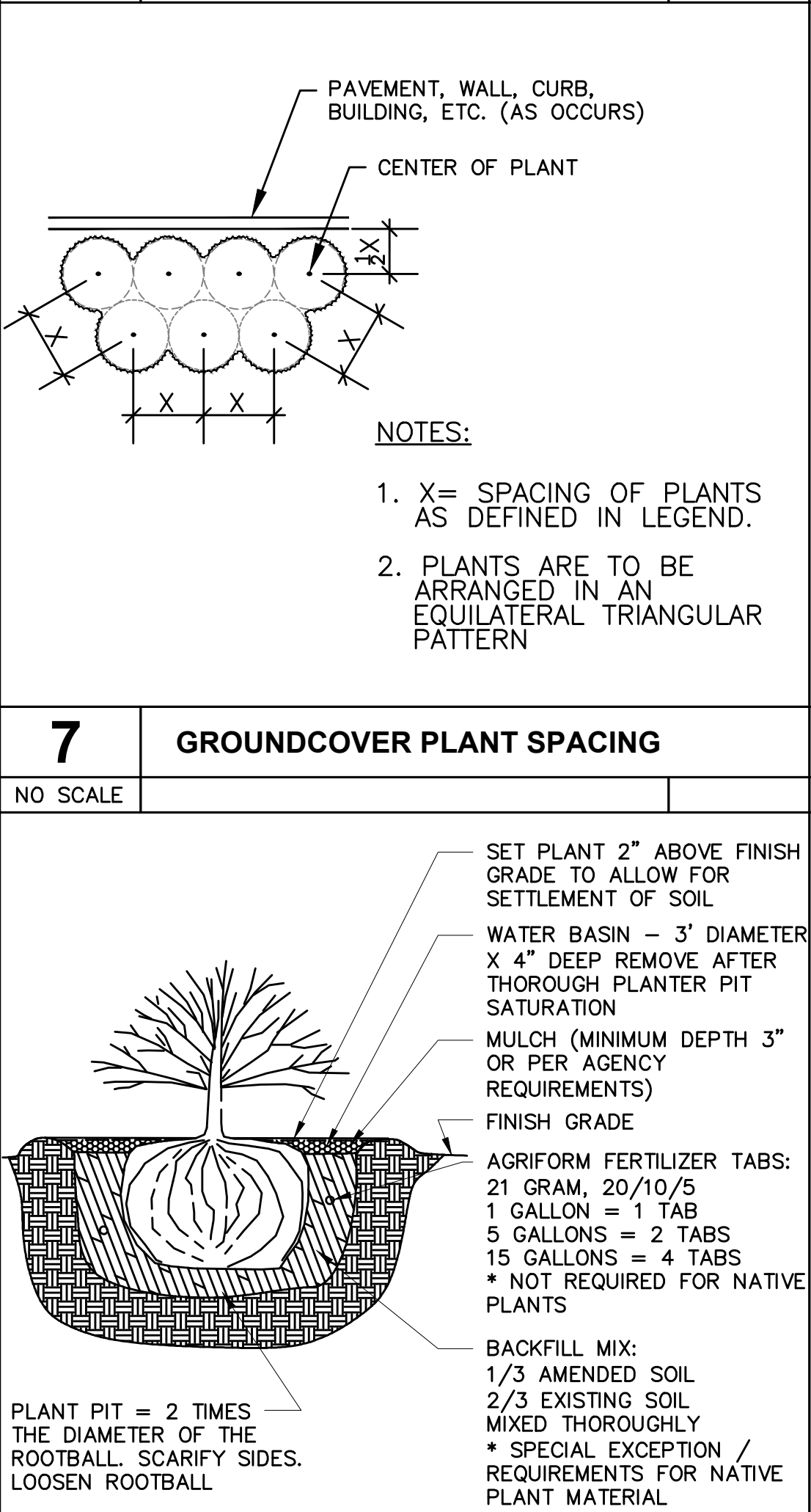
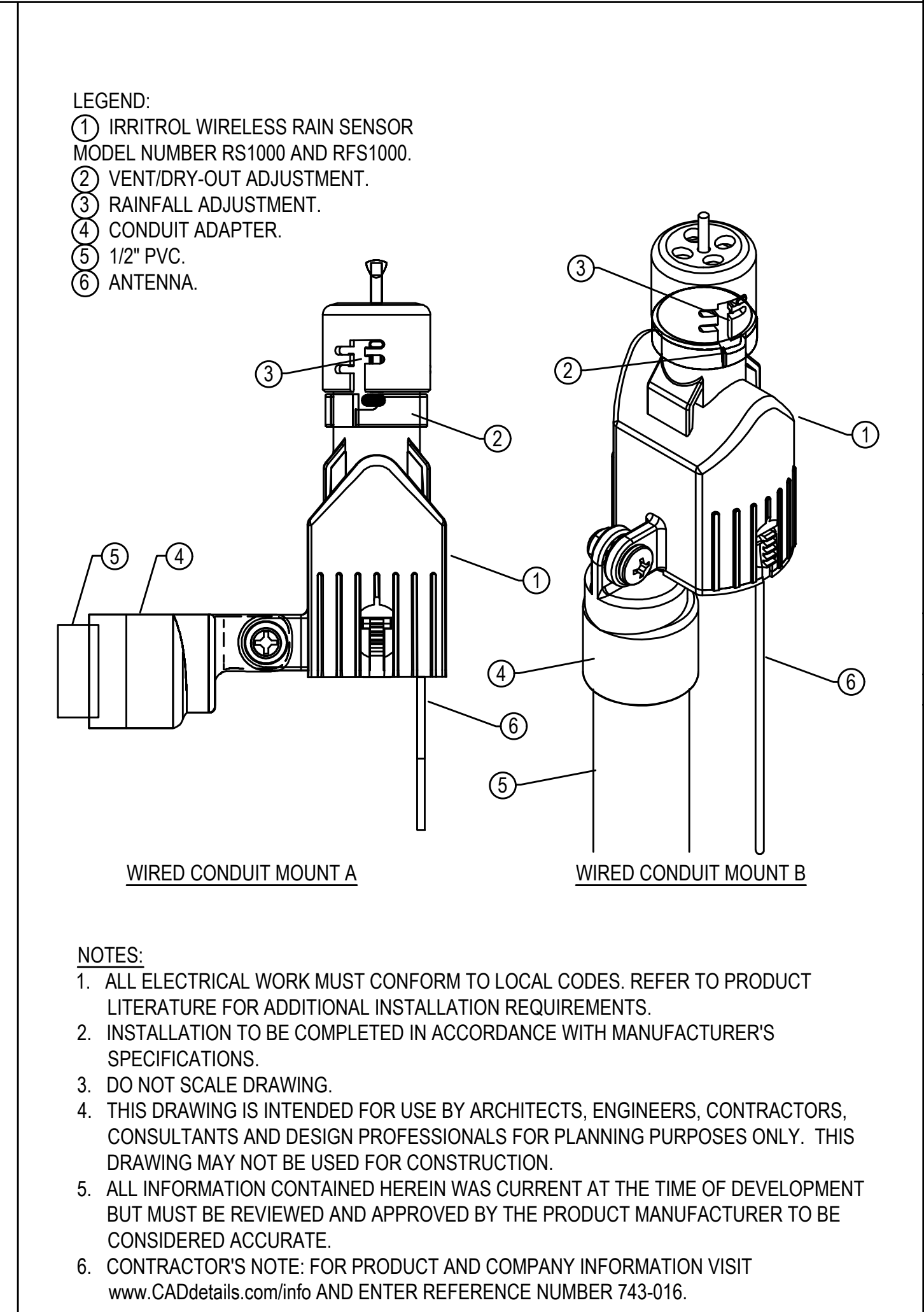
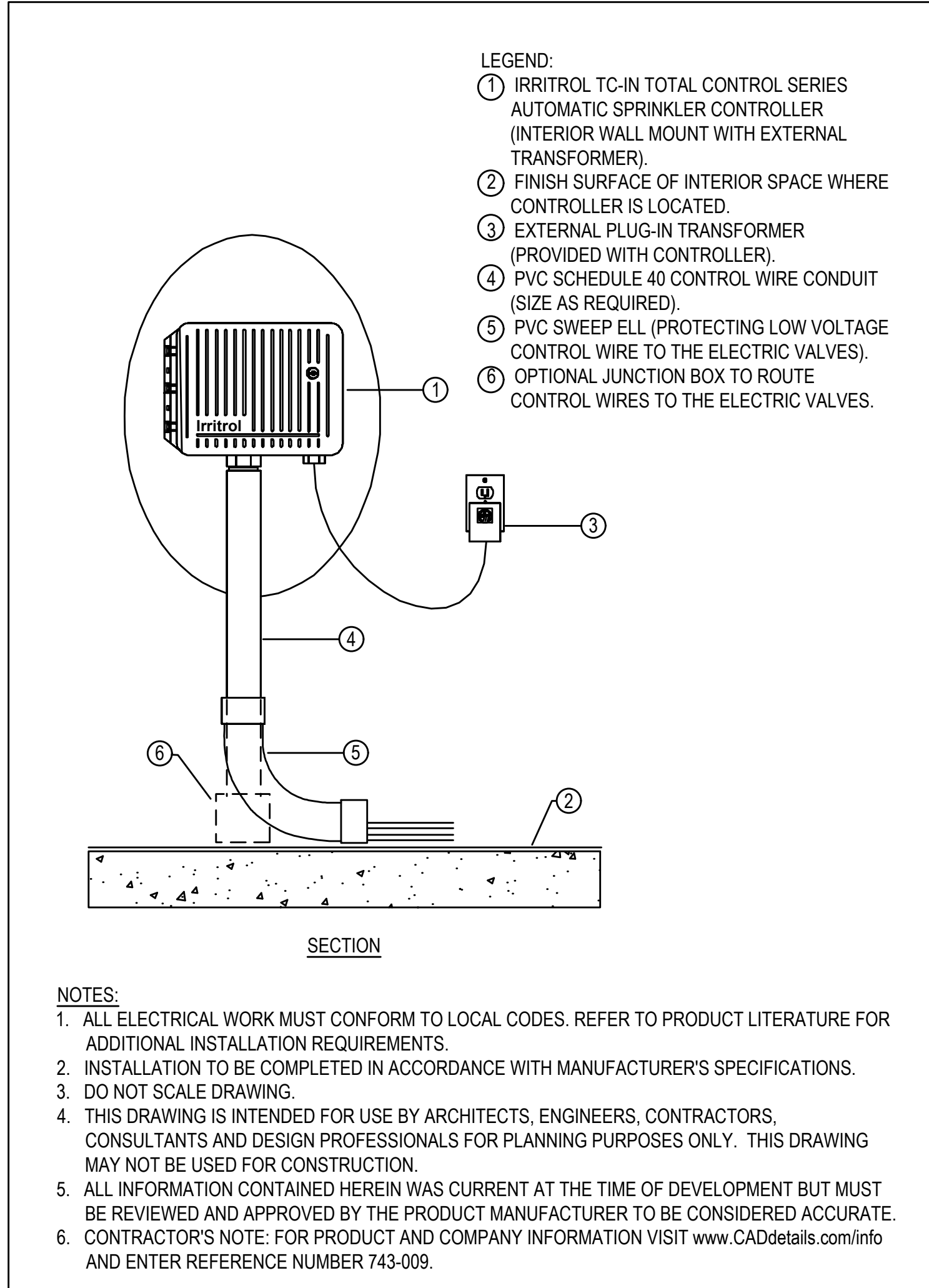
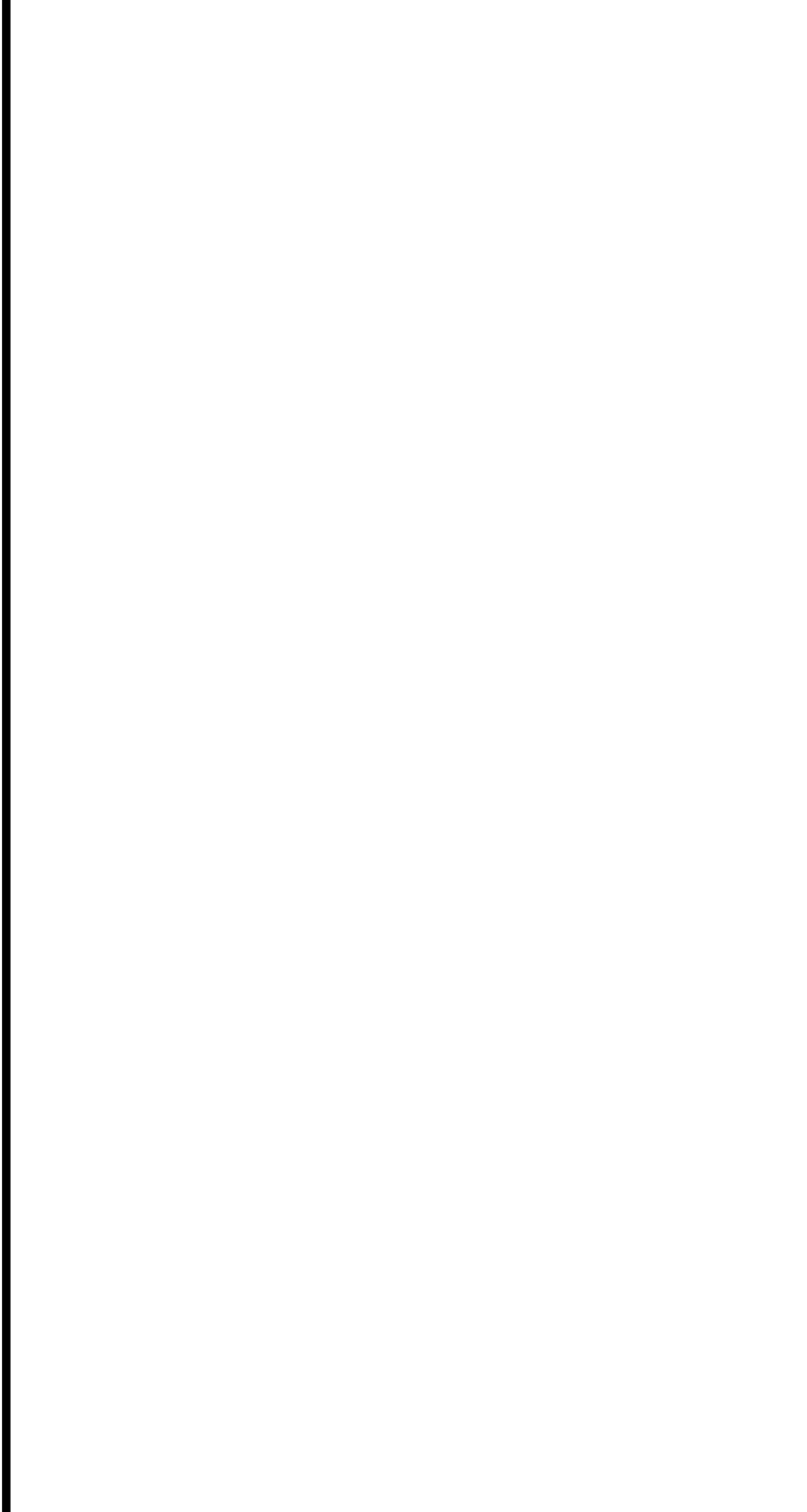
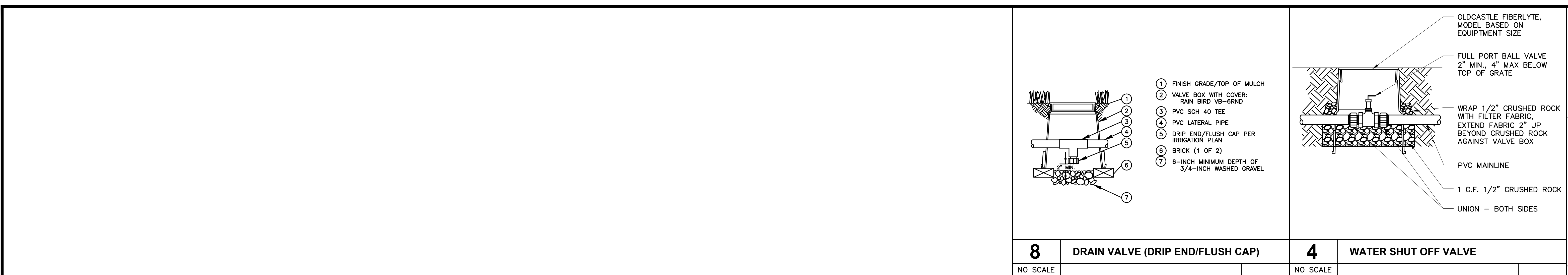
1101 Central Expressway
 South,
 Suite 215
 Allen, TX 75013
 Ph. 214.491.1830
 John Mecasas, P.E.
 CIVIL ENGINEER



MURPHY OIL USA, INC.
 MURPHY 200 PEACH STREET
 USA P.O. BOX 7000
 EL DORADO, AR 71730-7000

SUP#24-003

J. MURPHY PROJECTS/MANSFIELD, TX #9753/_CURRENT DRAWINGS/WM-M024007_LANDSCAPE MANSFIELD, TX.DWG 11/25/2024 1:40 PM CHRIS STRICKLAND



SHEET NO.
LP-3

REGISTERED LANDSCAPE ARCHITECT
 GILBERT A. BROWN III
 3500
 STATE OF TEXAS

11/25/2024

LANDSCAPE DETAILS
WALMART SUPERCENTER #284
960 N. WALNUT CREEK DRIVE
MANSFIELD, TX 76063

REV-0
 11/25/24
 DATE
 JM
 PRN
 AP
 PM
 CES
 DES
 DD
 DRW

1101 Central Expressway
 South,
 Suite 215
 Allen, TX 75013
 Ph. 214-491-1830
 John Mecasas, PE
 CIVIL ENGINEER

JM CIVIL

MURPHY OIL USA, INC.
200 PEACH STREET
P.O. BOX 7000
EL DORADO, AR 71730-7000

MURPHY USA

SUP#24-003

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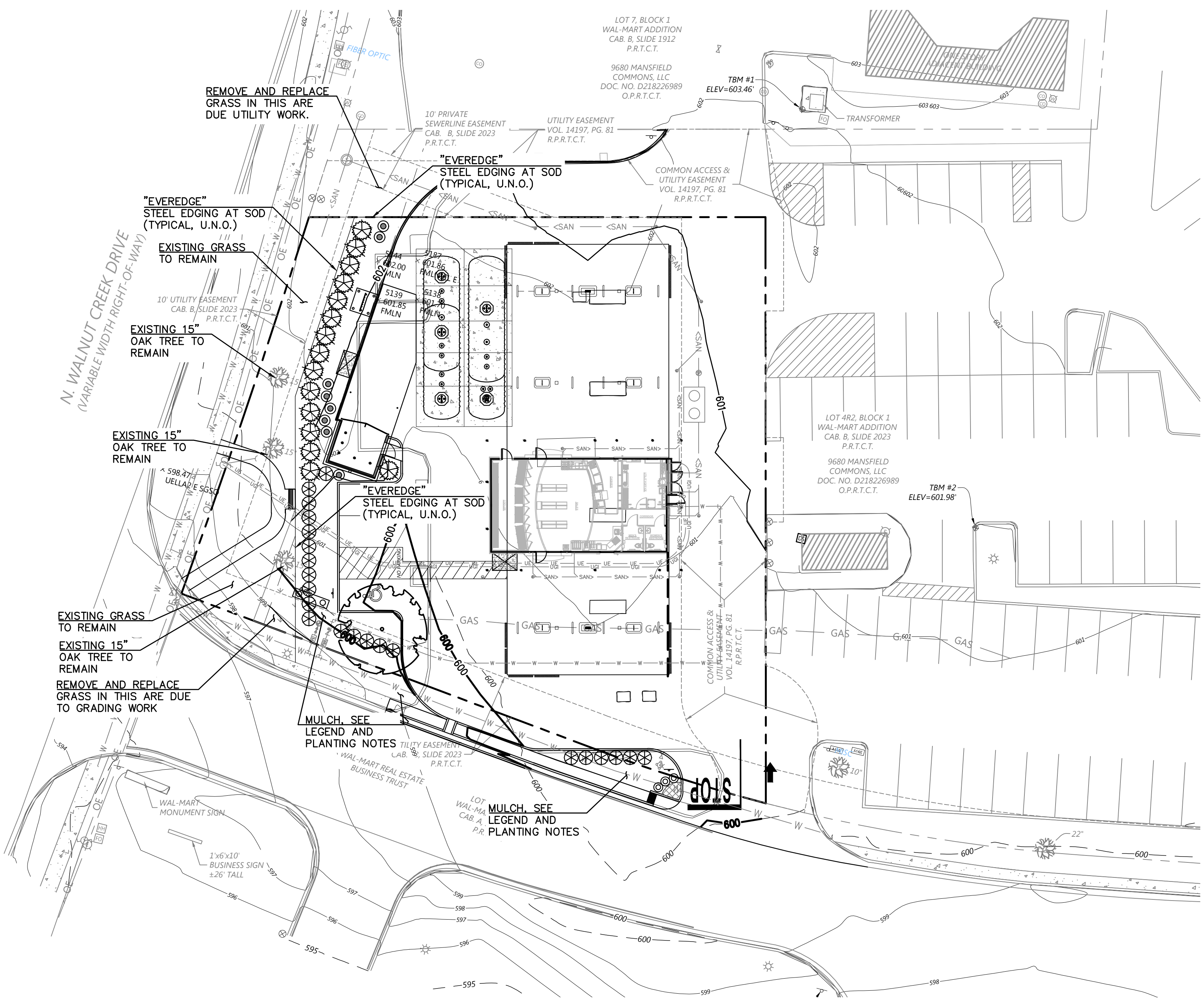
REFER TO SHEET LP-2 FOR IRRIGATION NOTES, SHEET LP-3 FOR DETAILS.

PROVIDE DRIP END/FLUSH CAP AT LOW END OF ALL DRIPLINE EVEN IF NOT SHOWN AT LOW POINT.

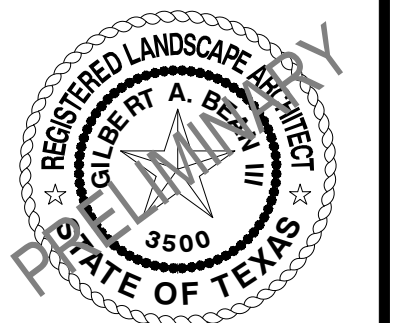
GENERAL NOTES:

- A. PROPERTY LINE NOT SHOWN TO IMPROVE READABILITY OF THE PLAN, ELIMINATE GRAPHIC CONFLICT WITH IRRIGATION LINES.

IRRIGATION LEGEND				
SYMBOL	DESCRIPTION	MANUFACTURER /MODEL NUMBER	REMARKS	DETAIL REFERENCE SHEET/NUMBER
	AUTOMATIC CONTROLLER	IRRITROL TOTAL CONTROL - R SERIES CONTROLLER	LOCATION IS APPROXIMATE. FIELD LOCATE INSIDE BUILDING PER CLIENT	L-3 / 11
	RAIN AND FREEZE SENSOR	IRRITROL RFS1000	INSTALL PER MFR RECOMMENDATIONS	L-3 / 10
P.O.C.	POINT OF CONNECTION		REFER TO CIVIL ENGINEERING PLANS FOR 1" IRRIGATION METER AND BALANCE OF WATER SERVICE.	L-1 / INSET 'A'
	REDUCED PRESSURE BACKFLOW PREVENTER	1" FEBCO LF825Y	INSTALL BACKFLOW DEVICE PER MANUFACTURER RECOMMENDATIONS. LOCATION AND SYMBOLS SHOWN ARE PER CIVIL ENGINEERING PLANS, INSTALL ADJACENT TO BACKFLOW DEVICE FOR DOMESTIC SERVICE. TWO SEPARATE SYMBOLS SHOWN BASED ON CIVIL PLANS.	REFER TO CIVIL ENGINEERING DRAWINGS
	BRONZE FULL PORT BALL VALVE TO LINE SIZE	WATTS QV SERIES	IN VALVE BOX FLUSH TO GRADE	L-3 / 4
	STRIP SPRAY	HUNTER STRIP SPRAY NOZZLE WITH PROS-06-PRS40 SPRAY BODY	9X18 STRIP SPRAYS HAVE 2 TIMES THE FLOW AS THE 5' x "X" STRIP SPRAYS, ADJUST TIMER ACCORDINGLY IF BOTH ARE SPECIFIED.	PER MANUFACTURER
	QUICK COUPLER VALVE W/ LOCKING COVER & 2 KEYS, 2 SWIVEL HOSE ELLS	RAINBIRD 33-DLRC OR OWNER APPROVED EQUAL	INTALL AT OWNERS OPTION. INSTALL PER MFR. RECOMMENDATIONS	L-3 / 3
	CONTROL VALVE FOR TREES IN VALVE BOX	RAINBIRD 100-PESB (WITH IN-LINE PRESSURE REGULATOR)	SIZE BASED ON GPM REQUIREMENTS FOR SPECIFIC ZONE. PER MANUFACTURER INSTALL FILTER UPSTREAM FOR FLOWS BELOW 3 GPM. SEE MANUFACTURER RECOMMENDATION FOR FLOWS UNDER 10 GPM. IN-LINE PRESSURE REGULATOR IS SET AT 40 PSI OUTLET PRESSURE, SEE DETAIL	L-3 / 2
	DRIP VALVE ASSEMBLY WITH PRESSURE REGULATOR IN VALVE BOX	RAINBIRD XCZ-100-PR(F/BR)-COM (0.3 - 20 GPM)	SIZE BASED ON GPM REQMT. FOR SPECIFIC ZONE. INSTALL RBY(F) OR BASKET(BR) FILTER	L-3 / 2
	1" P.V.C. SCHEDULE 40 MAINLINE		18" MIN. COVER	-
	P.V.C. CLASS 200 LATERAL 3/4" LINE U.N.O.		12" MIN. COVER	-
	1", UNLESS NOTED OTHERWISE, P.V.C. SCHEDULE 40 SLEEVE FOR WIRE		SEE DETAIL EXTEND SLEEVE PAST EDGE OF CURB OR OTHER ELEMENTS, I.E. EDGE OF SIDEWALK, UTILITY, ETC. AS REQUIRED.	L-3 / 1 AND 5
	P.V.C. SCHEDULE 40 SLEEVE, 2X LINE SIZE BY GENERAL CONTRACTOR EXCEPT WHERE NOTED		SEE DETAIL EXTEND SLEEVE PAST EDGE OF CURB OR OTHER ELEMENTS, I.E. EDGE OF SIDEWALK, UTILITY, ETC. AS REQUIRED.	L-3 / 1 AND 5
	RAINBIRD XFD ON-SURFACE DRIPLINE #XFD-06-24 (0.52 GPM/100')		SOME LINES MAY NOT BE SHOWN WITH THE "X" SYMBOL DUE TO SEVERAL CADD RELATED ITEMS, ALTHOUGH IT SHOULD BE QUITE OBVIOUS WHICH LINES ARE LATERALS VS DRIP. INSTALL ON EACH SIDE OF SHRUBS AND GROUNDCOVER TO PROVIDE FULL COVERAGE. ALTHOUGH LAYOUT IS DIAGRAMATIC, SPACING AND LENGTH SHOWN IS CLOSE TO ACCURATE. REFER TO RAINBIRD DESIGN AND INSTALLATION MANUAL FOR LAYOUT BASED ON PLANTER AND SHRUB CONFIGURATION.	L-3 / 9
	DRIP END / FLUSH CAP IN VALVE BOX	NETAFIM AUTOMATIC FLUSH VALVE MODEL# TLFV-A OR AGENCY APPROVED EQUAL	INSTALL IN VALVE BOX: INSTALL 3/4" TO 1/2" REDUCER WHERE 3/4" POLY TUBING IS IDENTIFIED. REFER TO RAINBIRD DESIGN AND INSTALLATION MANUAL FOR FLUSH VALVE OPTIONS ON XFD DRIPLINE	L-3 / 11
	PVC TO POLYETHYLENE TUBING CONNECTOR	PEPCO OR EQUAL FOR POLY WITH NETAFIM EMITTERS (IF PROPOSED)	SEE DETAIL FOR CONNECTION TO XF SERIES DRIPLINE	L-3 / 2



SHEET NO. IR-1



12/03/2024

IRRIGATION PLAN
WALMART SUPERCENTER #284
960 N. WALNUT CREEK DRIVE
MANSFIELD, TX 76063

1101 Central Expressway
 South,
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SUP#24-003

J:\MURPHY\PROJECTS\MANSFIELD, TX #2753\CURRENT DRAWINGS\JM-M024007_LANDSCAPE MANSFIELD, TX.DWG 12/3/2024 11:04 AM CHRIS STRICKLAND

