

WARRANTY DEED WITH VENDOR'S LIEN
PAUL A. SUTTON AND WIFE, PAULA B. SUTTON
VOLUME 12220, PAGE 193

D.R.T.C.T.
(LEGAL CLOSES) ~~8' MASONRY
SCREEN WALL~~

D.R.T.C.T.
(LEGAL CLOSES)

8' MASONRY
SCREEN WALL

BERMUDA SOD (TYP.)

UN-MANNED
GUARD HOUSE

MILLER ROAD

OPEN SPACE
LOT 1X
277 SF

OPEN SPACE
LOT 1X
10058 SF

LOT 2
5471 SF

LOT 2
8001 SF

LOT 3
7929 SF

LOT 4

8' MASONRY
SCREEN WALL

COLBY DRIVE

VISIBILITY TRIANGLE

SHRUB BEDDING AREA

L=35.20

L=7.50

L=12.59

VARIABLE WIDTH RIGHT-OF-WAY

35.5

35.5

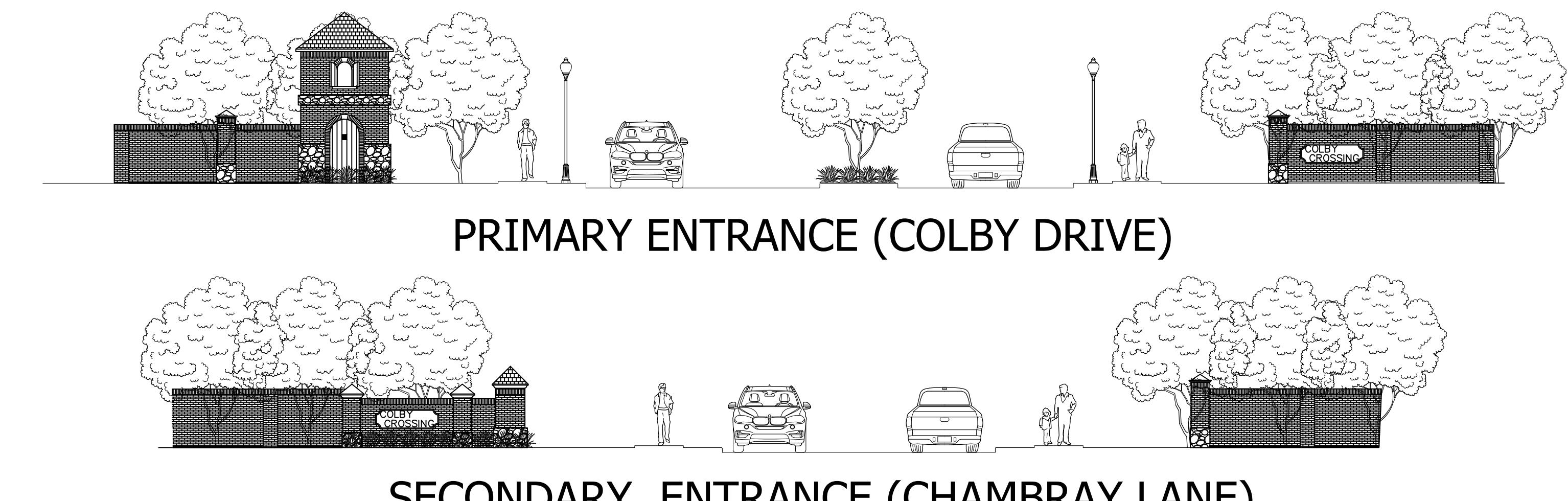
DECORATIVE STREET LIGHTS

DECORATIVE PAVEMENT

VISIBILITY TRIANGLE

A

BERMUDA SOD (TYP.)



PRIMARY ENTRANCE (COLBY DRIVE)

SECONDARY ENTRANCE (CHAMBRAY LANE)

NOTES:

1. STREET LIGHTS SHALL BE ENHANCED (AND CONFORM WITH ONCOR AND CITY STANDARDS) WITH DECORATIVE BASE, POLE AND LIGHT STANDARDS. REFER TO EXHIBIT "C".

EXHIBIT "C"

ENHANCED ENTRYWAY PLAN

COLBY CROSSING PHASE 2

Being approximately 9.612 Acres of land
situated in the William Howard Survey,
Abstract No. 690

40 Single Family Lots - 6 Open Space Lots

ZC#19-020

PAGE 1 OF 1

PRELIMINARY
FOR REVIEW ONLY
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Design Review and not
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Construction, Bidding or
Permit Purposes. They
were prepared by, or
under the supervision of:
Drew J. Dubocq
L.A.#3141
02/13/2020

Date Prepared: 11/4/2019
Revised: 02/13/2020

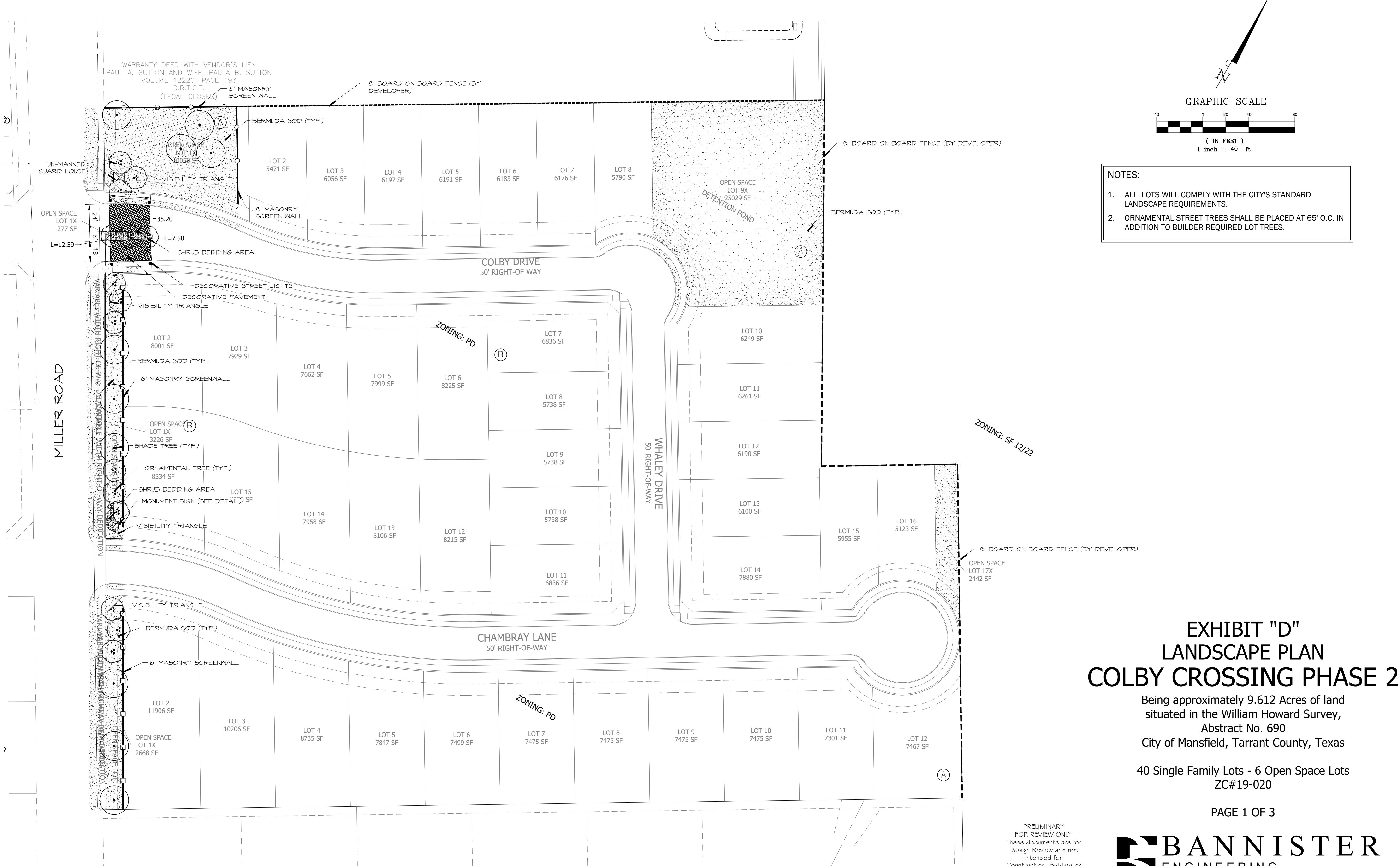


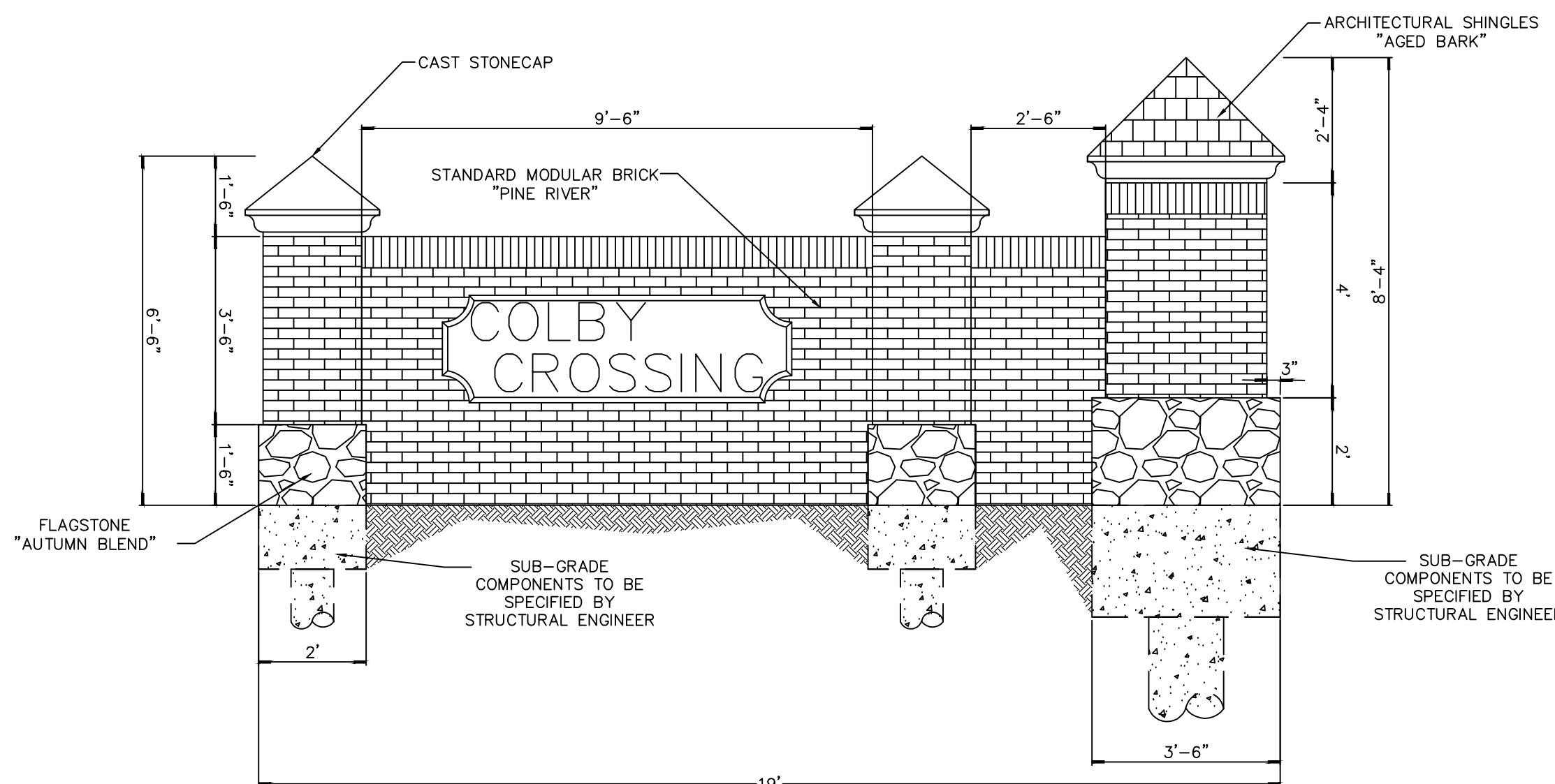
EXHIBIT "D" LANDSCAPE PLAN COLBY CROSSING PHASE 2

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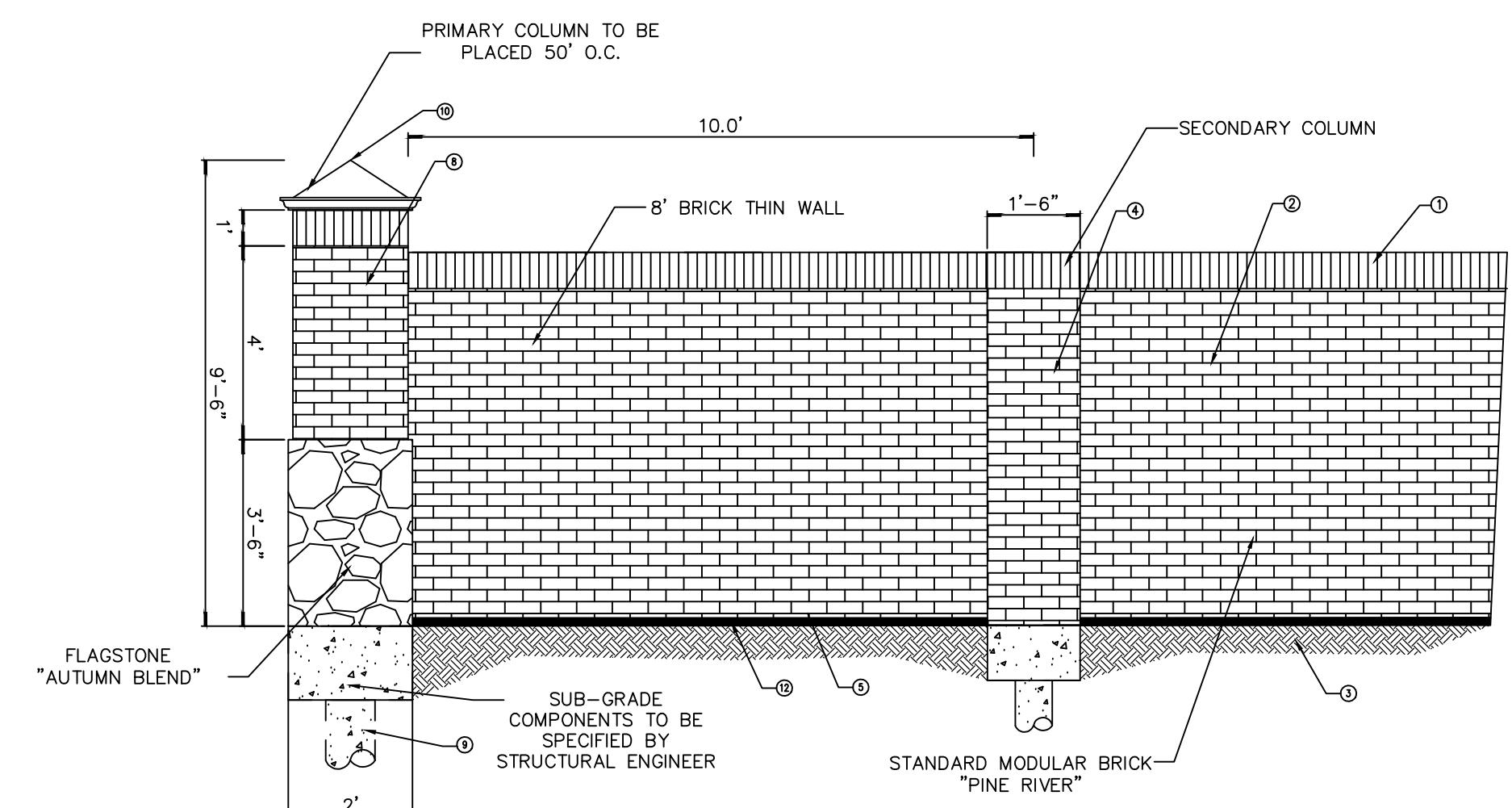
PAGE 1 OF 3

BANNISTER
ENGINEERING
240 North Mitchell Road | Mansfield, TX 76063 | 817.842.2094 | 817.842.2095 fax
REGISTRATION # F-10599 (TEXAS)
CONTACT: CODY R. BROOKS, P.E.
Date Prepared: 11/4/2019
Revised: 02/13/2020



A MONUMENT SIGNAGE

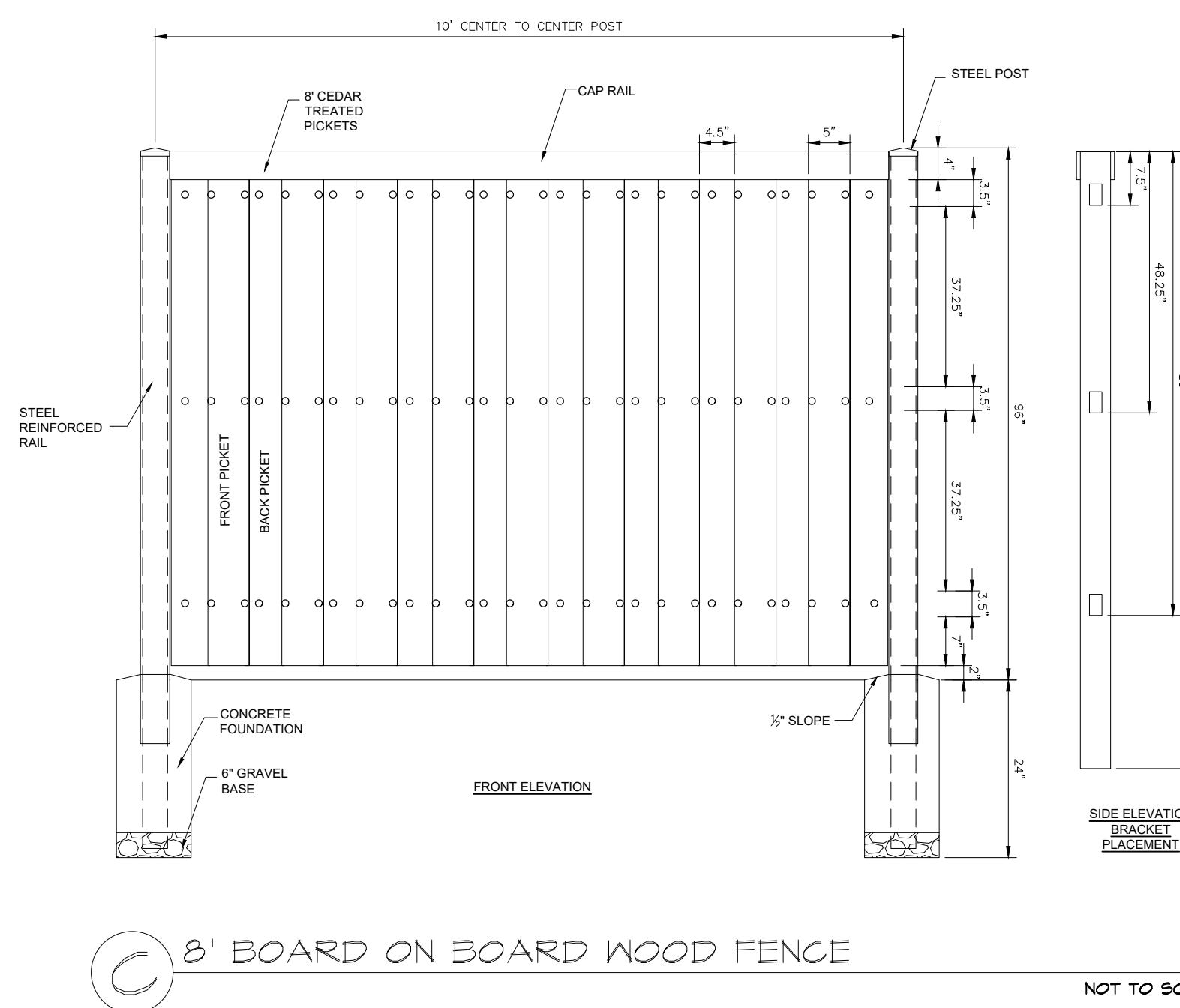
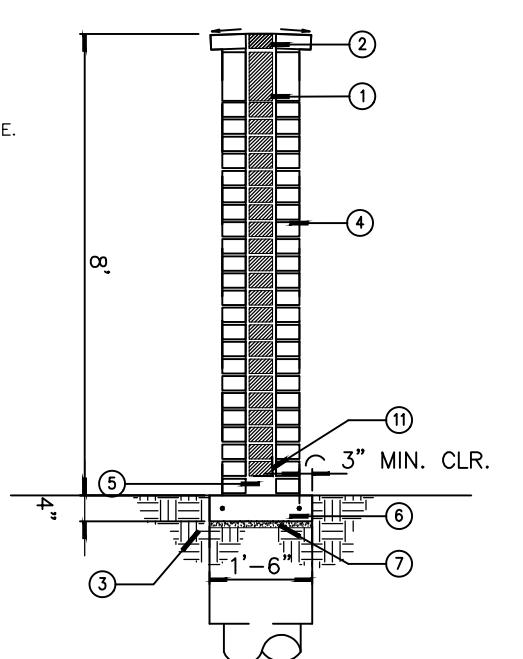
NOT TO SCALE



B 8' MASONRY WALL WITH MASONRY COLUMNS

NOT TO SCALE

- ① SOLDIER COURSE @ TOP OF WALL
(SEE ELEVATION)
- ② STANDARD RUNNING BOND BRICK FACING
W/ STANDARD MASON H-REINFORCING,
BOND COURSE & 1/2" CROWN REINFORCING
W/ 1-NO. 9 GAUGE WIRE HORIZONTAL AT
EACH COURSE. PROVIDE SLIGHT SLOPE
@ 1% MAX. TO FACILITATE DRAINAGE.
- ③ COMPACTED SUBGRADE TO 95% OF
AASHTO T-99 DENSITY.
- ④ STANDARD 16" WIDE BRICK SUPPORT @
12 OR 10' O.C.
- ⑤ BOTTOM COURSE WITH WEEP OPENINGS
- ⑥ CONCRETE MOW-STRIP W/ (2) #4
BARS CONTINUOUS, 8" o.c. MIN.
- ⑦ 1" SAND SETTING BED.
- ⑧ STANDARD 24"x24" COLUMN
- ⑨ 12" x 12" PIER x DEPTH TO 8' MIN. BELOW
EXISTING Grade @ 12' O.C. MAX.
(O.C. TO MATCH COLUMNS & BRICK
SUPPORTS)
- ⑩ CAST STONE COLUMN CAP
- ⑪ 3"x3"x1" GALVANIZED ANGLE IRON
- ⑫ 4" OPENING



C 8' BOARD ON BOARD WOOD FENCE

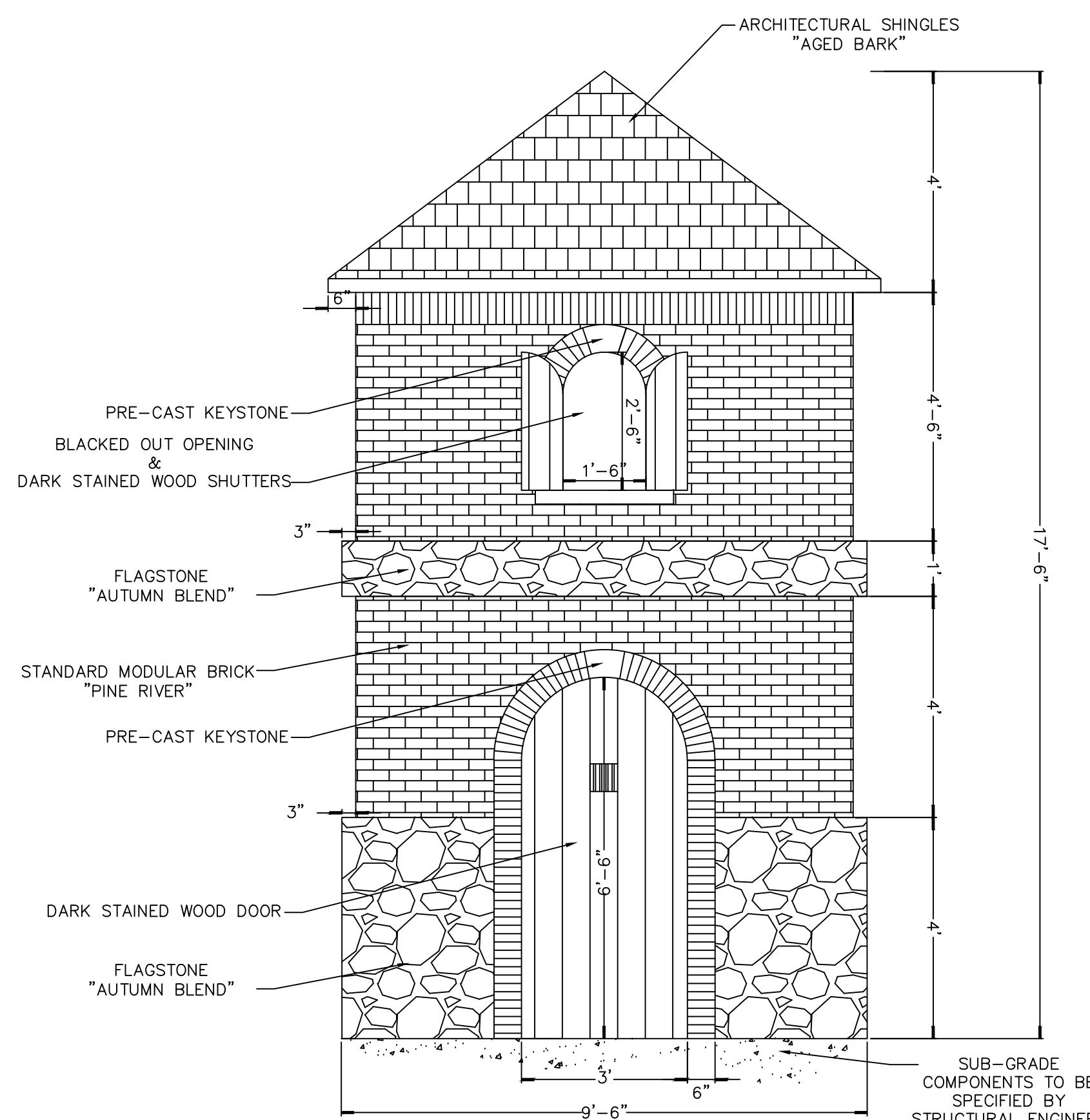
NOT TO SCALE

EXHIBIT "D" LANDSCAPING AND SCREENING DETAILS COLBY CROSSING PHASE 2

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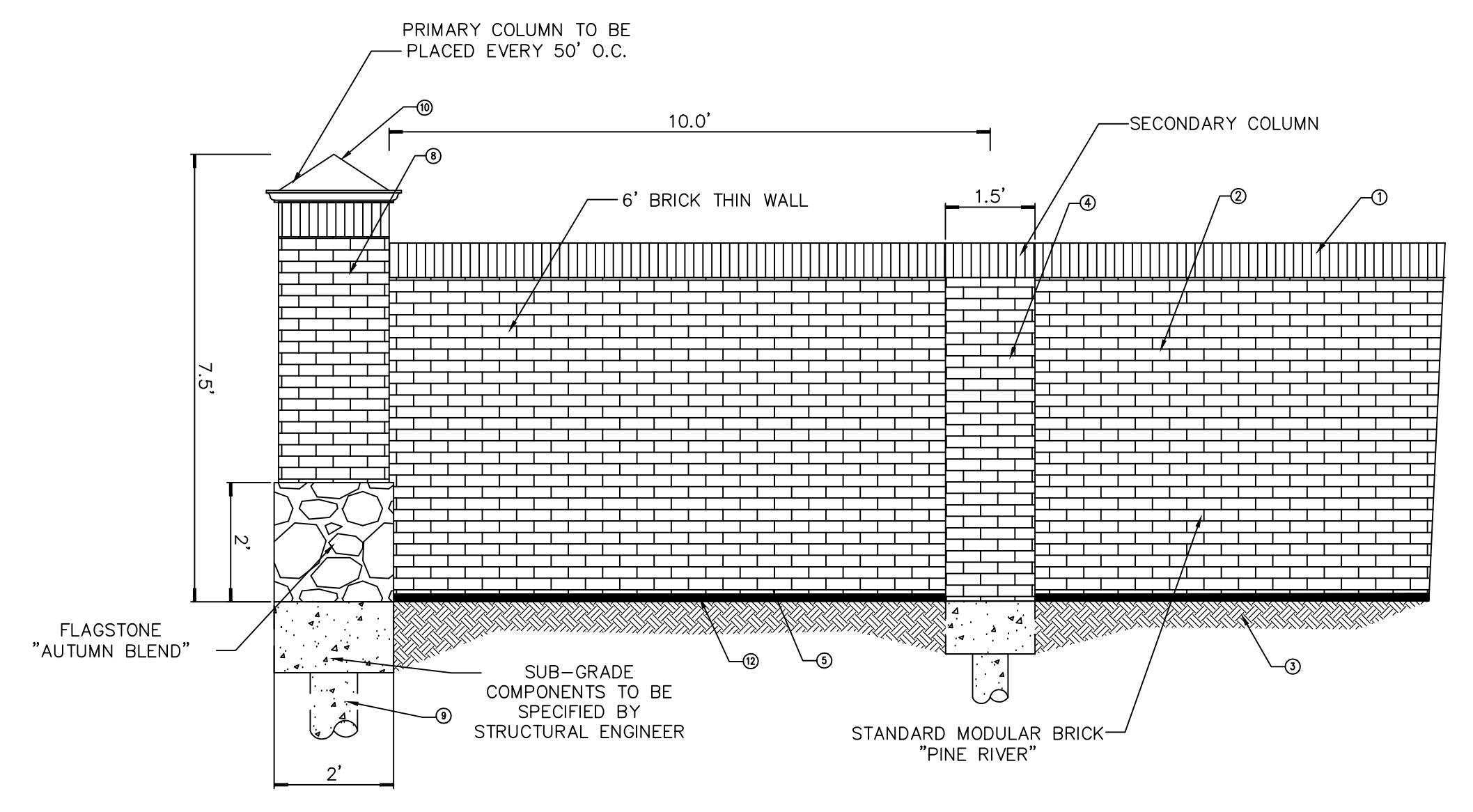
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UN-MANNED GUARD HOUSE DETAIL

NOT TO SCALE



 6' MASONRY WALL W/ MASONRY COLUMNS

EXHIBIT "D"

LANDSCAPING AND SCREENING

DETAILS

COLBY CROSSING PHASE 2

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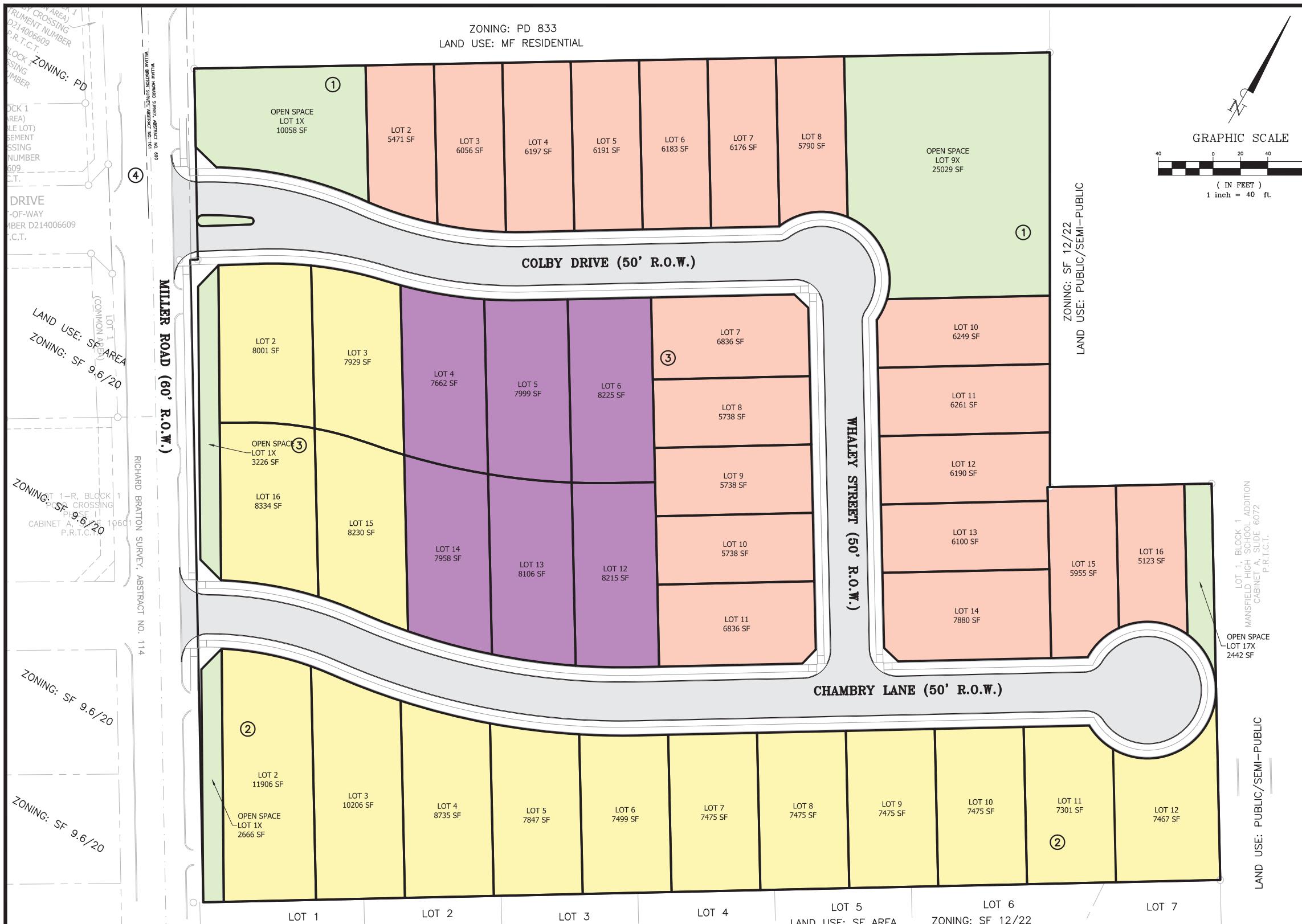


EXHIBIT "E"
LOT WIDTH EXHIBIT
COLBY CROSSING PHASE 2

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Date Prepared: 11/27/2019
Date Revised: 2/18/2020

EXHIBIT “F”

**COLBY CROSSING ADDITION 2
(50', 60' and 65' wide front entry lots)**

**PLANNED DEVELOPMENT CONDITIONS ADDENDUM TO
DEVELOPMENT PLAN**

**APPLICANT: SKORBURG COMPANY
ZC# 19-020**

A. Garages: Each garage shall incorporate at least two (2) of the following architectural features:

- a. Sconce lighting
- b. Decorative banding or molding
- c. Decorative overhangs above garage doors
- d. Eyebrow soldier course over garage doors
- e. Decorative details above garage
- f. Decorative brackets on garage doors
- g. Columns flanking garage door

B. Garage Orientation: A minimum of five (5) homes on the 60' wide (or wider) lots shall be required to have a J-Swing garage configuration.

C. Driveways: All driveways shall have a salt finish.

D. Street Trees: Street trees at least 4" caliper in size at the time of planting shall be planted between the sidewalk and back of curb at least every 65'.

E. Elevation Control: In Colby Crossing (across the street), the ordinance states: In order to encourage variety on a continuous block, the exterior facades for houses will vary within 6 houses. The same combination of brick, stone, masonry-like materials, and paint will not be used within six (6) houses on either side of the house. In Colby 2, in order to encourage variety on a continuous block, the exterior facades for houses will vary within every four (4) homes. The same combination of brick, stone, masonry-like materials and paint will not be used within six (6) houses on either side of the house.

F. Homeowners Association: Unless the existing Colby Crossing Homeowners Association, Inc. willingly (in its sole discretion with City approval) allows the Subdivision to be added to its existing HOA, a separate Homeowners Association shall be incorporated, and each lot/homeowner shall be a mandatory member. The bylaws of this association shall establish a system of payment of dues; a system of enforcement of its rules and regulations; shall establish a clear and distinct definition of the responsibility of each member; and other provisions as deemed appropriate to secure a sound and stable association.

G. Minimum House Sizes: The minimum A/C square footage of the homes shall be 2,400 A/C SF.

H. Additional Architectural Enhancements:

- a. Front Porches: All homes shall have a front porch of a minimum of fifty (50) square feet.
- b. Decorative Overhangs: A minimum of 10% of all front entry homes shall incorporate decorative overhang accents over the garage and/or windows.
- c. Garage Doors: All homes shall be required to have wood or wood overlay garage doors.
- d. Masonry Requirements: All homes shall be required to be at least 90% masonry overall.
- e. Front Entry Doors: All front entry doors shall be 8-feet in height and be made of wood or wood with glass combination.
- f. Roof Pitch: A minimum roof pitch of 8:12 (inches of rise per inches of run) from side to side will apply to predominant roof. A variety of roof pitches may be incorporated into the roof design provided that the predominant roof has at least an 8:12 pitch. Porch roofs shall have a minimum of 4:12 pitch. All 8:12 roof pitches (inches of rise per inches of run) will have a minimum overhang of twelve (12) inches. The pitch of the roof determines the overhang size. See diagram below of a typical 8:12 roof pitch.

