

EXHIBIT A: LEGAL DESCRIPTION

LOT 3, BLOCK 1 OF THE VILLAGE OFF BROADWAY SUBDIVISION
PROPOSED SPRINGHILL MARRIOTT SUITES

BEING a tract of land located in the WILLIAM HOWARD SURVEY ABSTRACT, No.690, City of Mansfield, Tarrant County, Texas, and being a portion of that certain tract of land described in deed to Cann-Mansfield, Ltd. recorded in County Clerk's File Number D206373693, Tarrant County, Texas, and being more particularly described by metes and bounds as follows:

COMMENCING at a ½-inch iron rod found at the most Westerly Northwest corner of said Cann-Mansfield Tract being the most Southerly corner of Lot 1, Block 1, Heirs of William Howard Addition to the City of Mansfield, Texas according to the plat recorded in Cabinet A, Slide 10205 of the Plat Records of Tarrant County, Texas and lying in the Northeast boundary line of Lot 2R, Block 1, New Intermediate School South Addition to the City of Mansfield, Texas according to the plat recorded in Cabinet A, Slide 9243 of the Plat Records of Tarrant County, Texas;

THENCE S 30° 44' 24" E, at 58.60 feet passing a ½-inch iron rod found with yellow plastic cap stamped "BRITTAIN & CRAWFORD" at the most Easterly corner of said Lot 2R being the most Northerly corner of Lot 3, said Block 1, New Intermediate School South Addition and continuing in all a total distance of 146.86 feet along the Southwest boundary line of said Cann-Mansfield Tract to the PLACE OF BEGINNING of the tract herein described;

THENCE N 59° 15' 36" E, 234.20 feet departing said boundary line to a point;

THENCE S 30° 44' 24" E, 407.82 feet to a point;

THENCE S 59° 17' 23" W, 234.20 feet to a point in the Southwest boundary line of aforesaid Cann-Mansfield Tract lying in the Northeast boundary line of aforesaid Lot 3;

THENCE N 30° 44' 24" W, 407.70 feet along the common boundary line between said Cann-Mansfield Tract and said Lot 3 to the PLACE OF BEGINNING, containing 2.192 acres [95,497 square feet] of land.

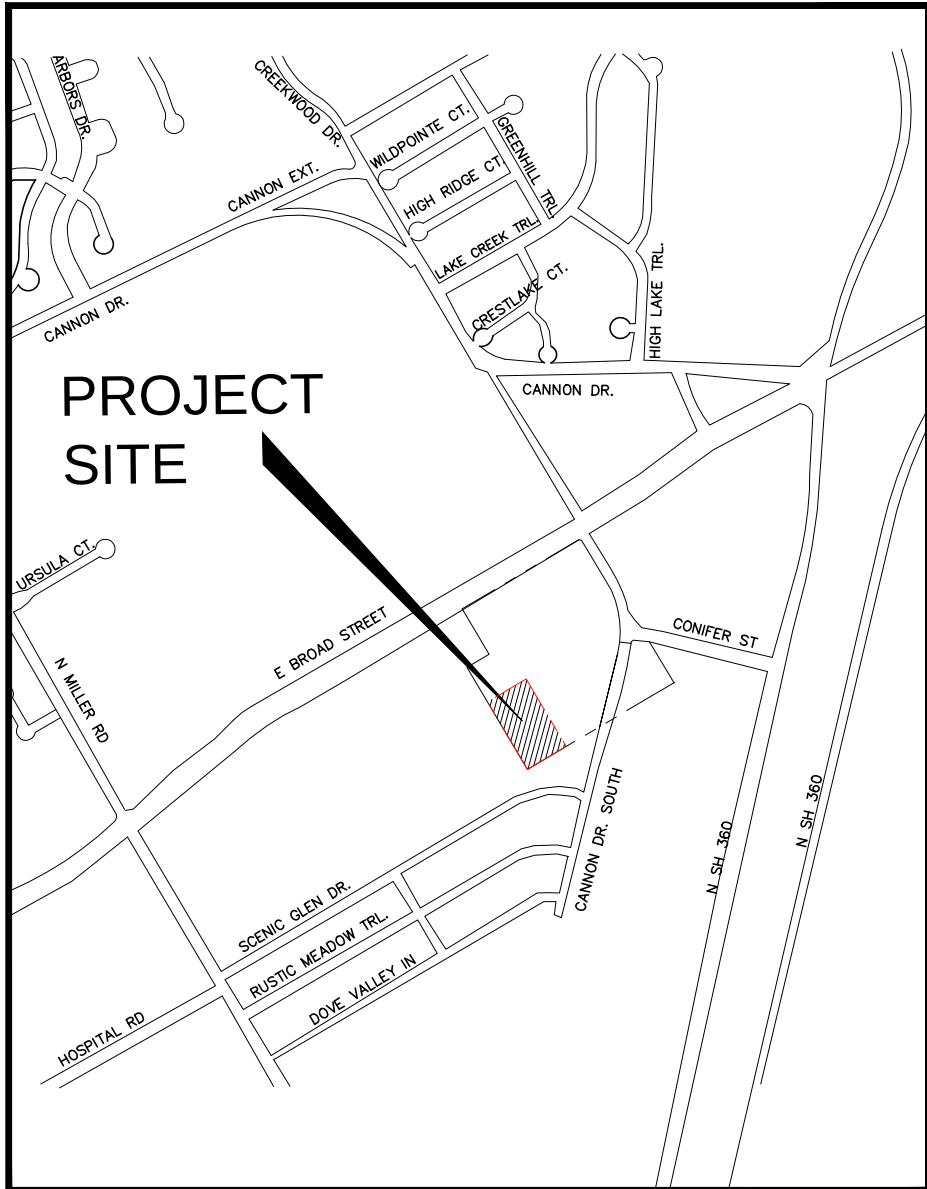
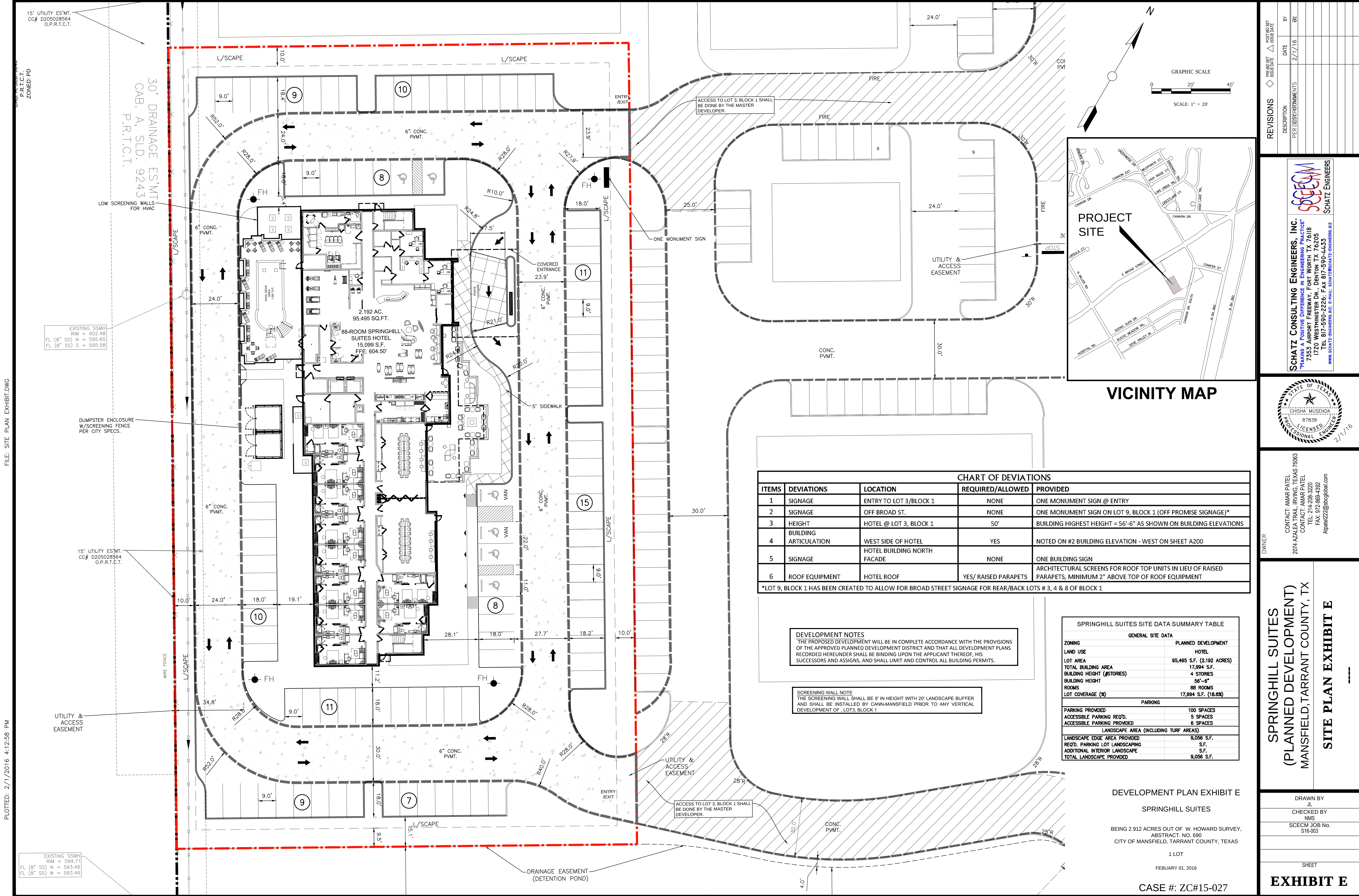


CHART OF DEVIATIONS				
ITEMS	DEVIATIONS	LOCATION	REQUIRED/ALLOWED	PROVIDED
1	SIGNAGE	ENTRY TO LOT 3/BLOCK 1	NONE	ONE MONUMENT SIGN @ ENTRY
2	SIGNAGE	OFF BROAD ST.	NONE	ONE MONUMENT SIGN ON LOT 9, BLOCK 1 (OFF PROMISE SIGNAGE)*
3	HEIGHT	HOTEL @ LOT 3, BLOCK 1	50'	BUILDING HIGHEST HEIGHT = 56'-6" AS SHOWN ON BUILDING ELEVATIONS
4	BUILDING ARTICULATION	WEST SIDE OF HOTEL	YES	NOTED ON #2 BUILDING ELEVATION - WEST ON SHEET A200
5	SIGNAGE	HOTEL BUILDING NORTH FACADE	NONE	ONE BUILDING SIGN
6	ROOF EQUIPMENT	HOTEL ROOF	YES/ RAISED PARAPETS	ARCHITECTURAL SCREENS FOR ROOF TOP UNITS IN LIEU OF RAISED PARAPETS, MINIMUM 2" ABOVE TOP OF ROOF EQUIPMENT

*LOT 9, BLOCK 1 HAS BEEN CREATED TO ALLOW FOR BROAD STREET SIGNAGE FOR REAR/BACK LOTS # 3, 4 & 8 OF BLOCK 1

DEVELOPMENT NOTES
THE PROPOSED DEVELOPMENT WILL BE IN COMPLETE ACCORDANCE WITH THE PROVISIONS OF THE APPROVED PLANNED DEVELOPMENT DISTRICT AND THAT ALL DEVELOPMENT PLANS RECORDED HEREUNDER SHALL BE BINDING UPON THE APPLICANT THEREOF, HIS SUCCESSORS AND ASSIGNS, AND SHALL LIMIT AND CONTROL ALL BUILDING PERMITS.

SCREENING WALL NOTE
THE SCREENING WALL SHALL BE 8' IN HEIGHT WITH 20' LANDSCAPE BUFFER AND SHALL BE INSTALLED BY CANN-MANSFIELD PRIOR TO ANY VERTICAL DEVELOPMENT OF LOT 3, BLOCK 1

SPRINGHILL SUITES SITE DATA SUMMARY TABLE	
GENERAL SITE DATA	
ZONING	PLANNED DEVELOPMENT
LAND USE	HOTEL
LOT AREA	95,495 S.F. (2.192 ACRES)
TOTAL BUILDING AREA	17,994 S.F.
BUILDING HEIGHT (#STORIES)	4 STORIES
BUILDING HEIGHT	56'-6"
ROOMS	88 ROOMS
LOT COVERAGE (%)	17,994 S.F. (18.8%)
PARKING	
PARKING PROVIDED	100 SPACES
ACCESSIBLE PARKING REQ'D.	5 SPACES
ACCESSIBLE PARKING PROVIDED	6 SPACES
LANDSCAPE AREA (INCLUDING TURF AREAS)	
LANDSCAPE EDGE AREA PROVIDED	9,056 S.F.
REQ'D. PARKING LOT LANDSCAPING	S.F.
ADDITIONAL INTERIOR LANDSCAPE	S.F.
TOTAL LANDSCAPE PROVIDED	9,056 S.F.

DEVELOPMENT PLAN EXHIBIT E
SPRINGHILL SUITES
BEING 2.912 ACRES OUT OF W. HOWARD SURVEY, ABSTRACT NO. 690
CITY OF MANSFIELD, TARRANT COUNTY, TEXAS
1 LOT
FEBRUARY 01, 2016
CASE #: ZC#15-027

REVISIONS

DESCRIPTION	DATE	BY
PER DESCRIPTIONS	2/1/16	BLK

PREPARED SET

ISSUE DATE

DATE

BY

BLK

SCSCEM

SCHATZ CONSULTING ENGINEERS, INC.

7353 AIRPORT FREEWAY, FORT WORTH TX 76118

1720 WESTMINSTER DR., DENTON TX 76205

TEL 817-590-2226; FAX 817-590-4433

WWW.SCHATZ-ENGINEERS.BIZ; E-MAIL: SCHATZ@SCHATZ-ENGINEERS.BIZ

SCHATZ ENGINEERS

STATE OF TEXAS

87838

PROFESSIONAL ENGINEER

2/1/16

OWNER

CONTACT: AMAR PATEL

2074 AZALEA TRAIL, IRVING, TEXAS 75063

CONTACT: AMAR PATEL

TEL 214-208-3220

FAX 972-869-4392

Alpate222@scglobal.com

SPRINGHILL SUITES

(PLANNED DEVELOPMENT)

MANSFIELD, TARRANT COUNTY, TX

SITE PLAN EXHIBIT E

DRAWN BY

JL

CHECKED BY

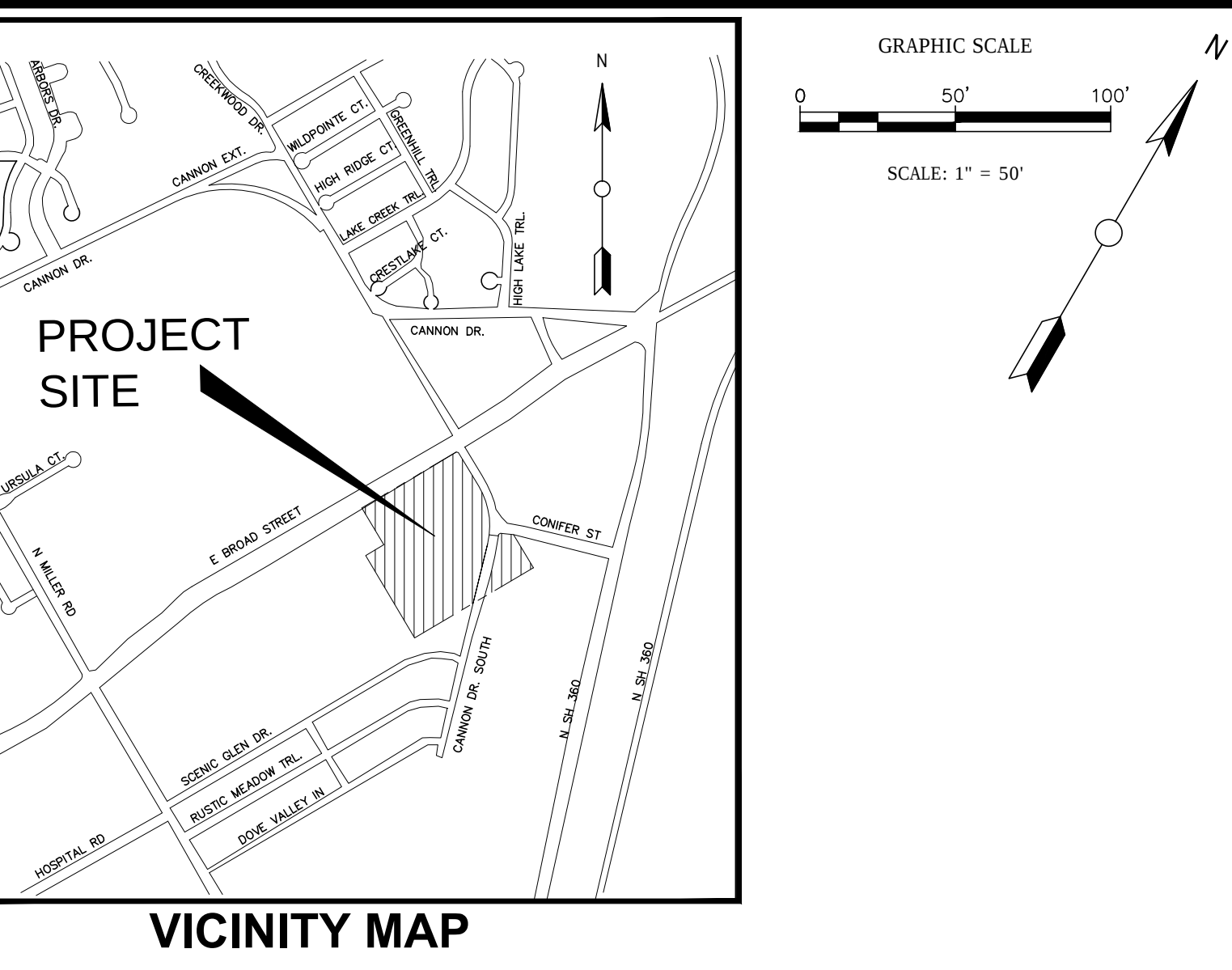
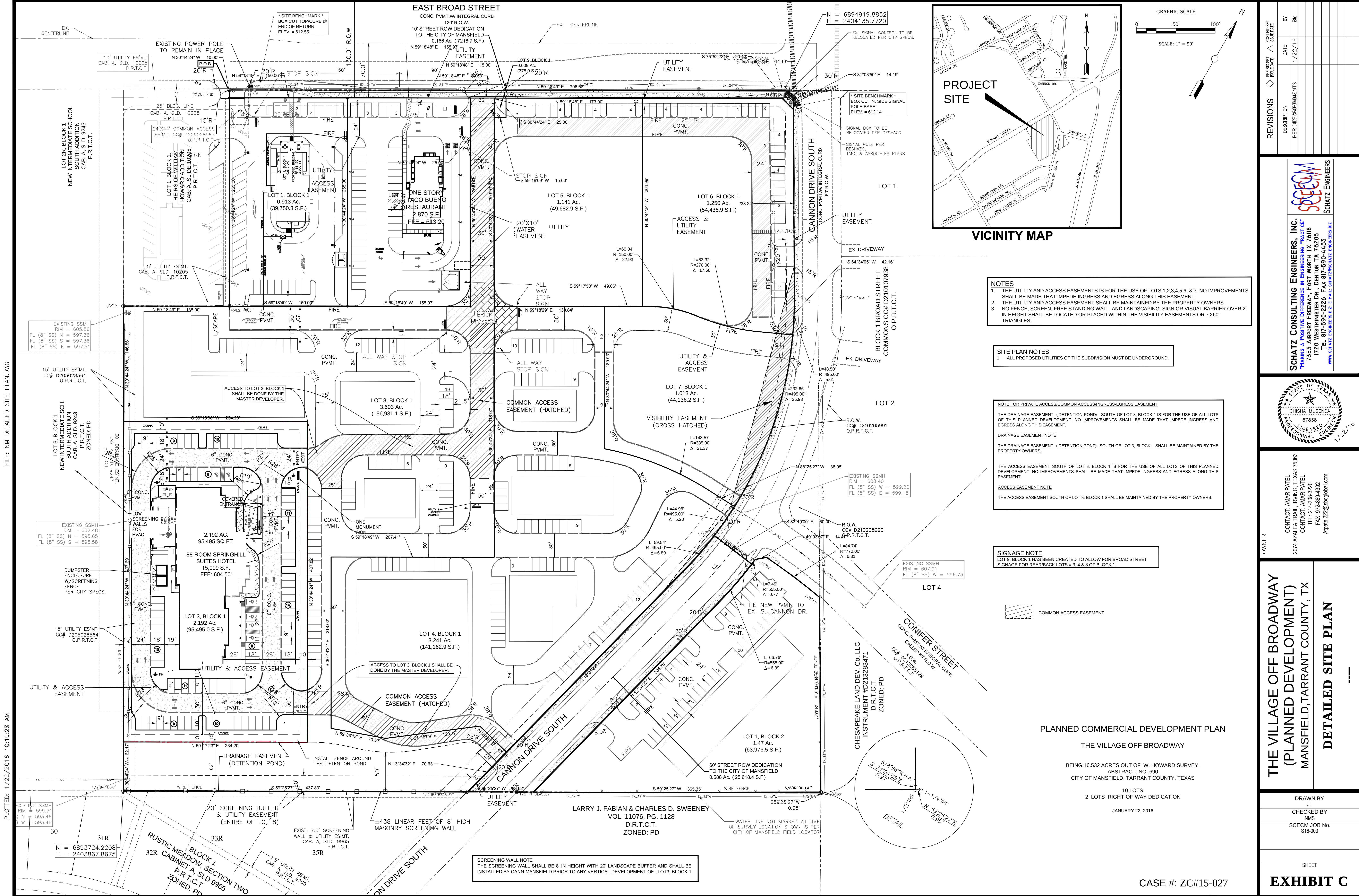
NMS

SCSCEM JOB No.

S16-003

SHEET

EXHIBIT E



- NOTES**
- THE UTILITY AND ACCESS EASEMENTS IS FOR THE USE OF LOTS 1,2,3,4,5,6, & 7. NO IMPROVEMENTS SHALL BE MADE THAT IMPEDE INGRESS AND EGRESS ALONG THIS EASEMENT.
 - THE UTILITY AND ACCESS EASEMENT SHALL BE MAINTAINED BY THE PROPERTY OWNERS.
 - NO FENCE, SCREEN, FREE STANDING WALL, AND LANDSCAPING, SIGN OR VISUAL BARRIER OVER 2' IN HEIGHT SHALL BE LOCATED OR PLACED WITHIN THE VISIBILITY EASEMENTS OR 7'X60' TRIANGLES.

- SITE PLAN NOTES**
- ALL PROPOSED UTILITIES OF THE SUBDIVISION MUST BE UNDERGROUND.

NOTE FOR PRIVATE ACCESS/COMMON ACCESS/INGRESS-EGRESS EASEMENT

THE DRAINAGE EASEMENT (DETENTION POND) SOUTH OF LOT 3, BLOCK 1 IS FOR THE USE OF ALL LOTS OF THIS PLANNED DEVELOPMENT. NO IMPROVEMENTS SHALL BE MADE THAT IMPEDE INGRESS AND EGRESS ALONG THIS EASEMENT.

DRAINAGE EASEMENT NOTE

THE DRAINAGE EASEMENT (DETENTION POND) SOUTH OF LOT 3, BLOCK 1 SHALL BE MAINTAINED BY THE PROPERTY OWNERS.

THE ACCESS EASEMENT SOUTH OF LOT 3, BLOCK 1 IS FOR THE USE OF ALL LOTS OF THIS PLANNED DEVELOPMENT. NO IMPROVEMENTS SHALL BE MADE THAT IMPEDE INGRESS AND EGRESS ALONG THIS EASEMENT.

ACCESS EASEMENT NOTE

THE ACCESS EASEMENT SOUTH OF LOT 3, BLOCK 1 SHALL BE MAINTAINED BY THE PROPERTY OWNERS.

SIGNAGE NOTE

LOT 3, BLOCK 1 HAS BEEN CREATED TO ALLOW FOR BROAD STREET SIGNAGE FOR REAR/BACK LOTS # 3, 4 & 8 OF BLOCK 1.

COMMON ACCESS EASEMENT

PLANNED COMMERCIAL DEVELOPMENT PLAN

THE VILLAGE OFF BROADWAY

BEING 16.532 ACRES OUT OF W. HOWARD SURVEY, ABSTRACT NO. 690 CITY OF MANSFIELD, TARRANT COUNTY, TEXAS

10 LOTS
2 LOTS RIGHT-OF-WAY DEDICATION

JANUARY 22, 2016

CASE #: ZC#15-027

REVISIONS

DESCRIPTION	DATE	BY
PER DESCRIPTIONS	1/22/16	BLK

OWNER

CONTACT: AMAR PATEL
2074 AZALEA TRAIL, IRVING, TEXAS 75063
CONTACT: AMAR PATEL
TEL 214-208-3320
FAX 972-869-4392
Alpate222@sglobal.com

THE VILLAGE OFF BROADWAY
(PLANNED DEVELOPMENT)
MANSFIELD, TARRANT COUNTY, TX

DETAILED SITE PLAN

DRAWN BY
JL

CHECKED BY
NMS

SCEM JOB NO.
S16-003

SHEET

SCHEM CONSULTING ENGINEERS, INC.
"MAKING A POSITIVE DIFFERENCE IN ENGINEERING PRACTICE"
7353 AIRPORT FREEWAY, FORT WORTH TX 76118
1720 WESTMINSTER DR., DENTON TX 76205
TEL 817-590-2226; FAX 817-590-4433
WWW.SCHEM-ENGINEERS.BIZ; E-MAIL: SCHEM@SCHEM-ENGINEERS.BIZ

STATE OF TEXAS

87838
CHISHAM MONTGOMERY
PROFESSIONAL ENGINEER
1/22/16

EXHIBIT C

EXTERIOR FINISH KEY

- E1 EIFS, COLOR: SHERWIN WILLIAMS "SW 7028 INCREDIBLE WHITE"
- E2 MASONRY STONE, COLOR: LIGHT BROWN
- E3 ALUMINUM FRAMES/GRILLES, COLOR: CLEAR ANODIZED
- E4 MASONRY STONE, COLOR: LIME STONE: AUSTIN CREAM
- E5 EIFS, COLOR: SHERWIN WILLIAMS "SW 6090 JAVA"
- E6 BRICK, COLOR: DARK GRAY, BY OWNER AND TO BE APPROVED BY MARRIOTT
- E7 PATIO SCREEN WALLS/ TRELLIS/ GATES, COLOR: BY OWNER AND TO BE APPROVED BY MARRIOTT

EAST FACADE TOTAL ELEVATION AREA: 11,336 SQ FT
EAST FACADE MASONRY ELEVATION AREA: 7,145 SQ FT
EAST FACADE TOTAL GLAZING ELEVATION AREA: 2,627 SQ FT
EAST FACADE TOTAL ELEVATION AREA LESS GLAZING AREA: 8,709 SQ FT
MASONRY PERCENTAGE: 7,145 SQ FT/8,709 SQ FT= .820415 = 82%

REQUIRED = 70%. PROVIDED = 82%



1 BUILDING ELEVATION - EAST

SCALE: 1/8"=1'-0"

WEST FACADE TOTAL ELEVATION AREA: 11,472 SQ FT
WEST FACADE MASONRY ELEVATION AREA: 7,758 SQ FT
WEST FACADE TOTAL GLAZING ELEVATION AREA: 2,379 SQ FT
WEST FACADE TOTAL ELEVATION AREA LESS GLAZING AREA: 9,093 SQ FT
WEST FACADE MASONRY PERCENTAGE: 3,917 SQ FT/10,255 SQ FT= .853183 = 85%

REQUIRED = 70%. PROVIDED = 85%

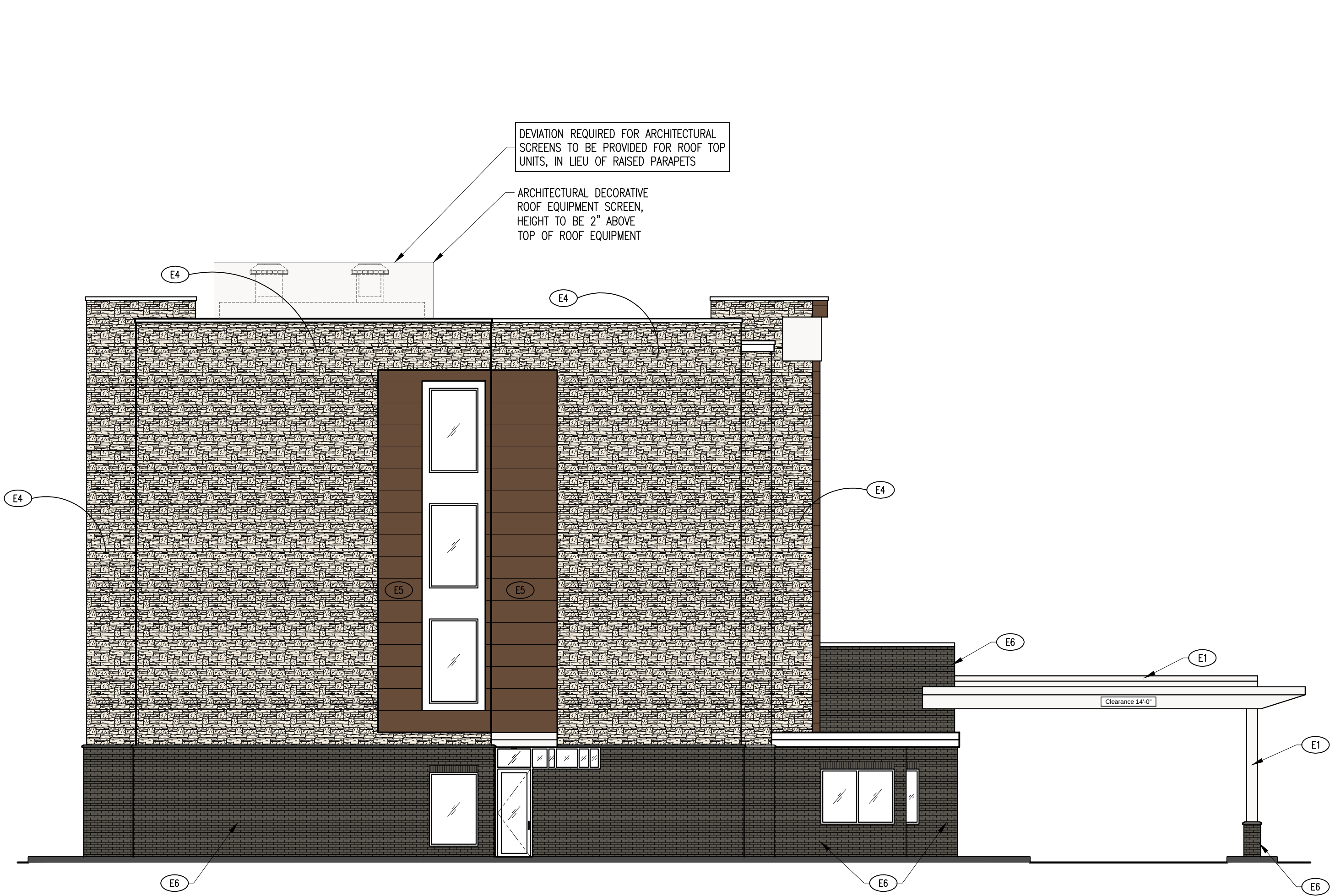


2 BUILDING ELEVATION - WEST

SCALE: 1/8"=1'-0"

NOTE:
DEVATION REQUIRED FOR BUILDING ARTICULATION.

C:\Users\Marouli\Google Drive\Architecture\Parekh Architects\1526 - SHS Mansfield TX\Drawings\A201 Exterior Elevations.dwg -- Marouli -- Thursday February 11, 2016, 3:45pm --- Copyright 2016



1 BUILDING ELEVATION - SOUTH
SCALE: 1/8"=1'-0"

EXTERIOR FINISH KEY

- E1 EFS, COLOR: SHERWIN WILLIAMS "SW 7028 INCREDIBLE WHITE"
- E2 MASONRY STONE, COLOR: LIGHT BROWN
- E3 ALUMINUM FRAMES/GRILLES, COLOR: CLEAR ANODIZED
- E4 MASONRY STONE, COLOR: LIME STONE: AUSTIN CREAM
- E5 EFS, COLOR: SHERWIN WILLIAMS "SW 6090 JAVA"
- E6 BRICK, COLOR: DARK GRAY, BY OWNER AND TO BE APPROVED BY MARriot
- E7 PATIO SCREEN WALLS/ TRELLIS/ GATES, COLOR: BY OWNER AND TO BE APPROVED BY MARriot

SOUTH FACADE TOTAL ELEVATION AREA:	3,557 SQ FT
SOUTH FACADE MASONRY ELEVATION AREA:	2,779 SQ FT
SOUTH FACADE TOTAL GLAZING ELEVATION AREA:	233 SQ FT
SOUTH FACADE TOTAL ELEVATION AREA LESS GLAZING AREA:	3,324 SQ FT

SOUTH FACADE MASONRY PERCENTAGE: 2,779 SQ FT/3,324 SQ FT=	.836040 = 84%

REQUIRED = 70%. PROVIDED = 84%

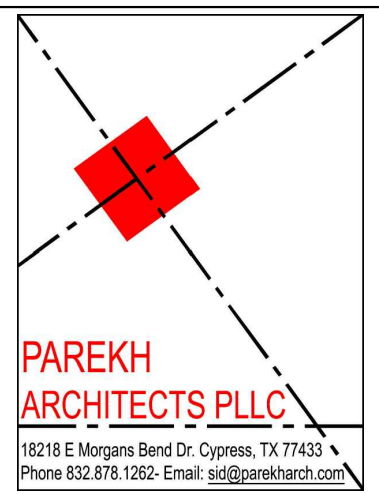


2 BUILDING ELEVATION - NORTH
SCALE: 1/8"=1'-0"

NORTH FACADE TOTAL ELEVATION AREA:	3,853 SQ FT
NORTH FACADE MASONRY ELEVATION AREA:	3,143 SQ FT
NORTH FACADE TOTAL GLAZING ELEVATION AREA:	232 SQ FT
NORTH FACADE TOTAL ELEVATION AREA LESS GLAZING AREA:	3,621 SQ FT

NORTH FACADE MASONRY PERCENTAGE: 3,143 SQ FT/3,621 SQ FT=	.867992 = 87%

REQUIRED = 70%. PROVIDED = 87%



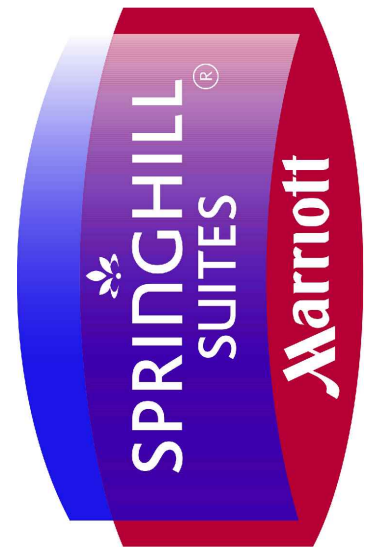
NOT FOR CONSTRUCTION
THIS DOCUMENT IS PRELIMINARY IN NATURE, NOT FOR CONSTRUCTION, OR PERMITTING. REGULATORY APPROVAL, IS NOT A FINAL SIGNED AND SEALED DOCUMENT
NOT FOR CONSTRUCTION

Project #: 1526
Issue Date: 02/12/2016
Principal Architect: Sh Parekh
Project Architect Tech: Marco T. Yones Jr

DESIGN
DEVELOPMENT

REVISIONS:
No. Description Date

Mansfield, Texas
Canon Drive South, Mansfield, TX



SHEET TITLE:
EXTERIOR ELEVATIONS

EXHIBIT D-2
Case No.
ZC#15-027

SHEET NUMBER:

A201

The drawings and other information contained on this sheet are to be used in connection with the project located at the Project Address shown in the Title Block.



EXTERIOR FINISH KEY

- E1 EIFS, COLOR: SHERWIN WILLIAMS "SW 7028 INCREDIBLE WHITE"
- E2 MASONRY STONE, COLOR: LIGHT BROWN
- E3 ALUMINUM FRAMES/GRILLES, COLOR: CLEAR ANODIZED
- E4 MASONRY STONE, COLOR: LIME STONE: AUSTIN CREAM
- E5 EIFS, COLOR: SHERWIN WILLIAMS "SW 6090 JAVA"
- E6 BRICK, COLOR: DARK GRAY, BY OWNER AND TO BE APPROVED BY MARRIOTT
- E7 PATIO SCREEN WALLS/ TRELLIS/ GATES, COLOR: BY OWNER AND TO BE APPROVED BY MARRIOTT

EAST FACADE TOTAL ELEVATION AREA: 11,336 SQ FT
EAST FACADE MASONRY ELEVATION AREA: 7,145 SQ FT
EAST FACADE TOTAL GLAZING ELEVATION AREA: 2,627 SQ FT
EAST FACADE TOTAL ELEVATION AREA LESS GLAZING AREA: 8,709 SQ FT
MASONRY PERCENTAGE: 7,145 SQ FT/8,709 SQ FT= .820415 = 82%

REQUIRED = 70%. PROVIDED = 82%



1 BUILDING ELEVATION - EAST

SCALE: 1/8"=1'-0"

WEST FACADE TOTAL ELEVATION AREA: 11,472 SQ FT
WEST FACADE MASONRY ELEVATION AREA: 7,758 SQ FT
WEST FACADE TOTAL GLAZING ELEVATION AREA: 2,379 SQ FT
WEST FACADE TOTAL ELEVATION AREA LESS GLAZING AREA: 9,093 SQ FT
WEST FACADE MASONRY PERCENTAGE: 3,917 SQ FT/10,255 SQ FT= .853183 = 85%

REQUIRED = 70%. PROVIDED = 85%

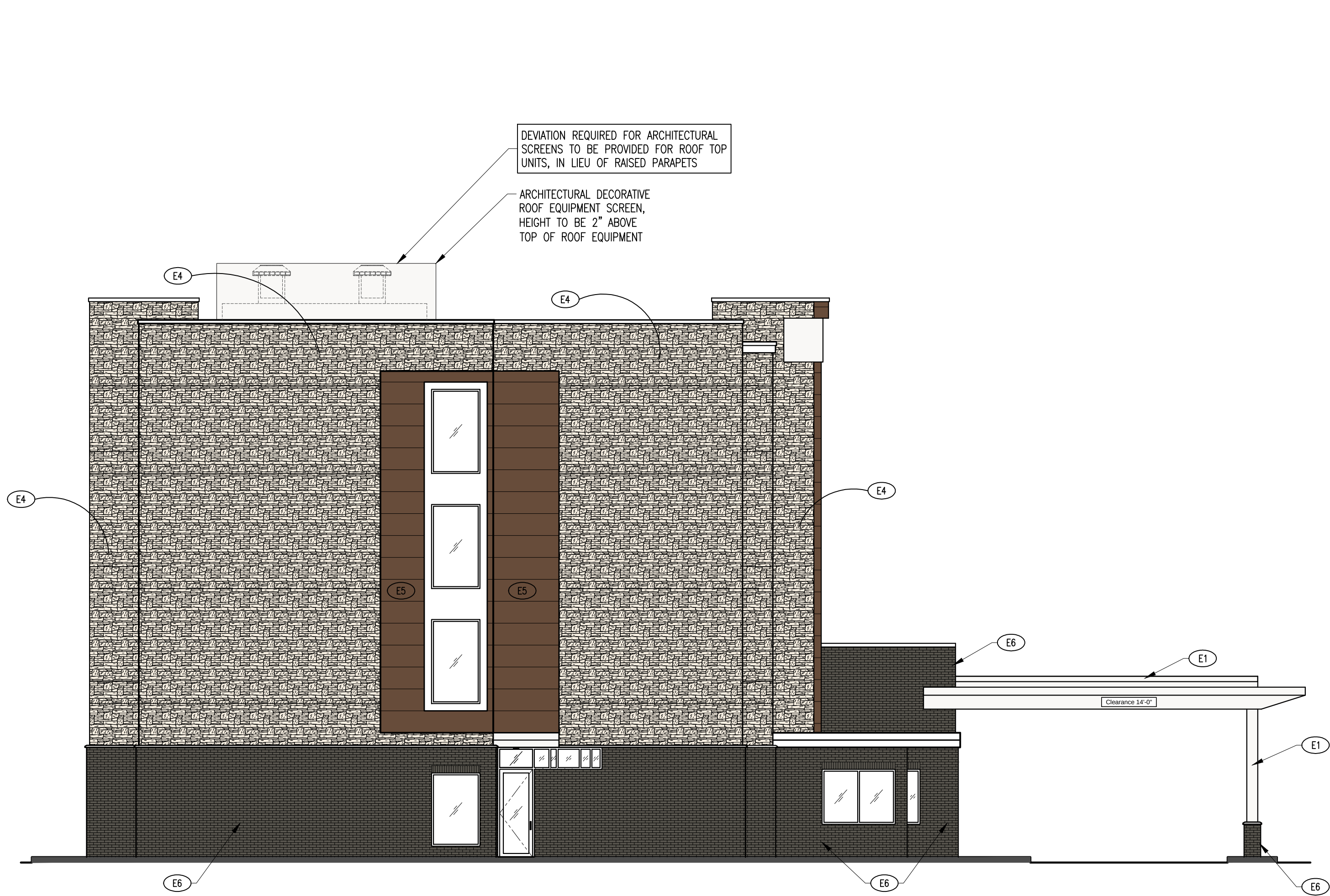


2 BUILDING ELEVATION - WEST

SCALE: 1/8"=1'-0"

NOTE:
DEVATION REQUIRED FOR BUILDING ARTICULATION.

C:\Users\Maroula\Google Drive\Architecture\Parekh Architects\1526 - SHS Mansfield TX\Drawings\A201 Exterior Elevations.dwg -- Maroula -- Thursday February 11, 2016, 3:45pm --- Copyright 2016



1 BUILDING ELEVATION - SOUTH
SCALE: 1/8"=1'-0"

EXTERIOR FINISH KEY

- E1 EFS, COLOR: SHERWIN WILLIAMS "SW 7028 INCREDIBLE WHITE"
- E2 MASONRY STONE, COLOR: LIGHT BROWN
- E3 ALUMINUM FRAMES/GRILLES, COLOR: CLEAR ANODIZED
- E4 MASONRY STONE, COLOR: LIME STONE: AUSTIN CREAM
- E5 EFS, COLOR: SHERWIN WILLIAMS "SW 6090 JAVA"
- E6 BRICK, COLOR: DARK GRAY, BY OWNER AND TO BE APPROVED BY MARRIOT
- E7 PATIO SCREEN WALLS/ TRELLIS/ GATES, COLOR: BY OWNER AND TO BE APPROVED BY MARRIOT

SOUTH FACADE TOTAL ELEVATION AREA:	3,557 SQ FT
SOUTH FACADE MASONRY ELEVATION AREA:	2,779 SQ FT
SOUTH FACADE TOTAL GLAZING ELEVATION AREA:	233 SQ FT
SOUTH FACADE TOTAL ELEVATION AREA LESS GLAZING AREA:	3,324 SQ FT

SOUTH FACADE MASONRY PERCENTAGE: 2,779 SQ FT/3,324 SQ FT=	.836040 = 84%

REQUIRED = 70%. PROVIDED = 84%

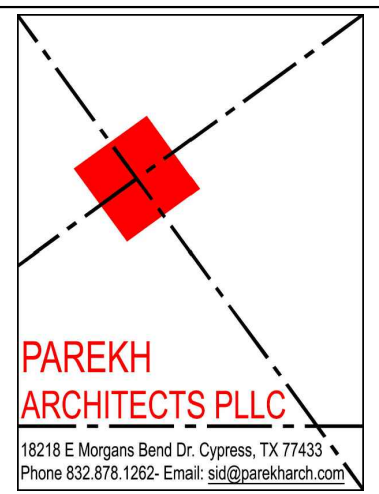


2 BUILDING ELEVATION - NORTH
SCALE: 1/8"=1'-0"

NORTH FACADE TOTAL ELEVATION AREA:	3,853 SQ FT
NORTH FACADE MASONRY ELEVATION AREA:	3,143 SQ FT
NORTH FACADE TOTAL GLAZING ELEVATION AREA:	232 SQ FT
NORTH FACADE TOTAL ELEVATION AREA LESS GLAZING AREA:	3,621 SQ FT

NORTH FACADE MASONRY PERCENTAGE: 3,143 SQ FT/3,621 SQ FT=	.867992 = 87%

REQUIRED = 70%. PROVIDED = 87%



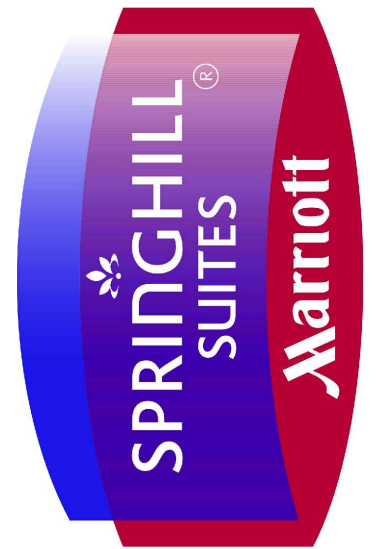
NOT FOR CONSTRUCTION
THIS DOCUMENT IS PRELIMINARY IN NATURE, NOT FOR CONSTRUCTION, OR PERMITTING. REGULATORY APPROVAL, IS NOT A FINAL SIGNED AND SEALED DOCUMENT
NOT FOR CONSTRUCTION

Project #: 1526
Issue Date: 02/12/2016
Principal Architect: Sd Parekh
Project Architect Tech: Marco T. Yones Jr

DESIGN DEVELOPMENT

REVISIONS:
No. Description Date

Mansfield, Texas
Canon Drive South, Mansfield, TX



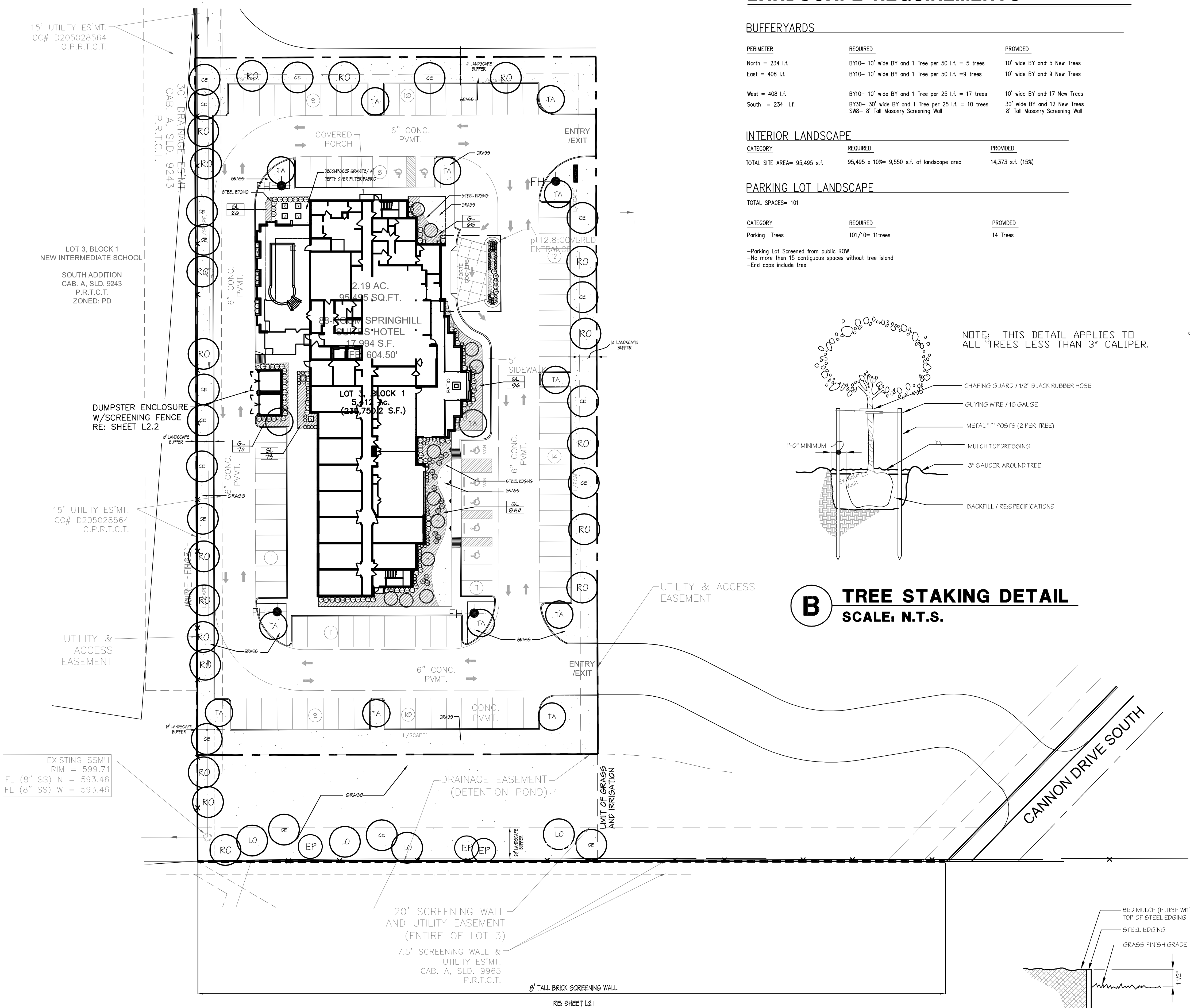
SHEET TITLE:
EXTERIOR ELEVATIONS

EXHIBIT D-2
Case No.
ZC#15-027

SHEET NUMBER:

A201

The drawings and other information contained on this sheet are to be used in connection with the project located at the Project Address shown in the Title Block.



EXISTING SSMH
RIM = 599.71
FL (8" SS) N = 593.46
FL (8" SS) W = 593.46

NOTES:
1. Electrical transformers and telephone line pedestals located more than five (5) feet from a building, gas meters, and satellite dishes shall be screened by a screening wall or by a hedgerow of dense evergreen shrubbery or plant materials to form a visual screen using plant materials approved by the Landscape Administrator.
2. Switch gear devices shall be screened by a hedgerow of dense evergreen shrubbery or plant materials to form a visual screen using plant materials approved by the Landscape Administrator.

A LANDSCAPE PLAN
SCALE: 1"=30'



LANDSCAPE REQUIREMENTS

BUFFERYARDS

PERIMETER	REQUIRED	PROVIDED
North = 234 L.F. East = 408 L.F.	BY10- 10' wide BY and 1 Tree per 50 L.F. = 5 trees BY10- 10' wide BY and 1 Tree per 50 L.F. =9 trees	10' wide BY and 5 New Trees 10' wide BY and 9 New Trees
West = 408 L.F. South = 234 L.F.	BY10- 10' wide BY and 1 Tree per 25 L.F. = 17 trees BY30- 30' wide BY and 1 Tree per 25 L.F. = 10 trees SW8- 8' Tall Masonry Screening Wall	10' wide BY and 17 New Trees 30' wide BY and 12 New Trees 8' Tall Masonry Screening Wall

INTERIOR LANDSCAPE

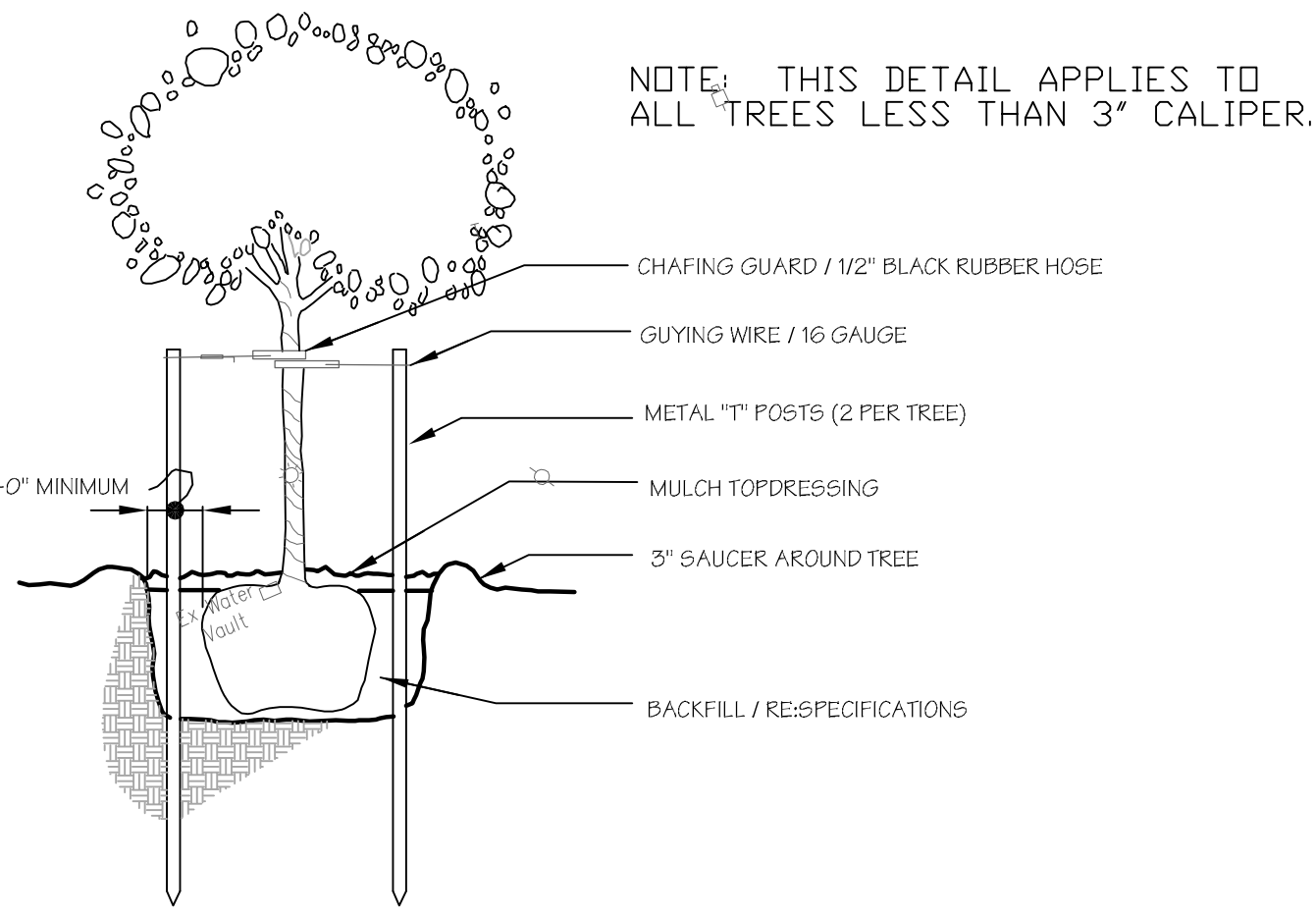
CATEGORY	REQUIRED	PROVIDED
TOTAL SITE AREA= 95,495 s.f.	95,495 x 10%= 9,550 s.f. of landscape area	14,373 s.f. (15%)

PARKING LOT LANDSCAPE

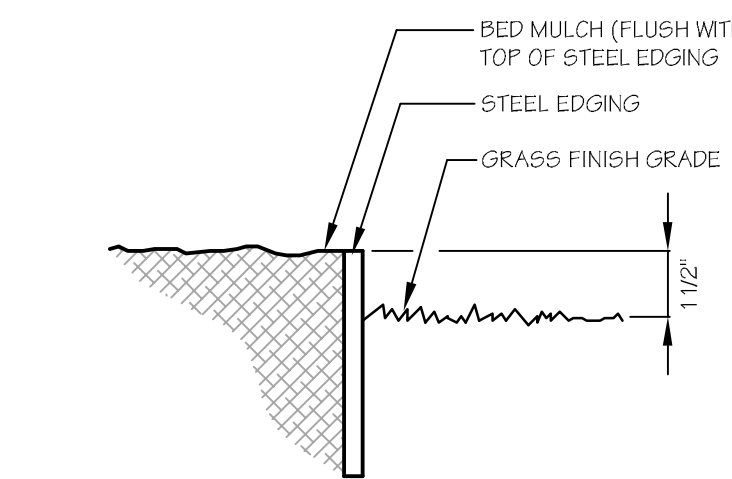
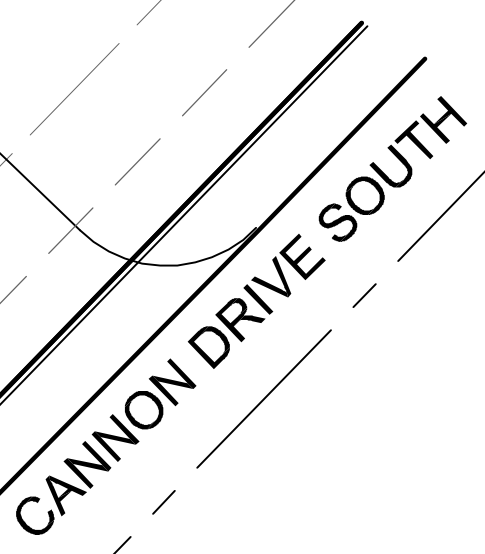
TOTAL SPACES= 101

CATEGORY	REQUIRED	PROVIDED
Parking Trees	101/10= 11trees	14 Trees

-Parking Lot Screened from public ROW
-No more than 15 contiguous spaces without tree island
-End caps include tree



B TREE STAKING DETAIL
SCALE: N.T.S.



D STEEL EDGING
SCALE: N.T.S.

NOTE: LANDSCAPE PLAN CONFORMS TO PREVIOUSLY APPROVED MASTER LANDSCAPE PLAN.

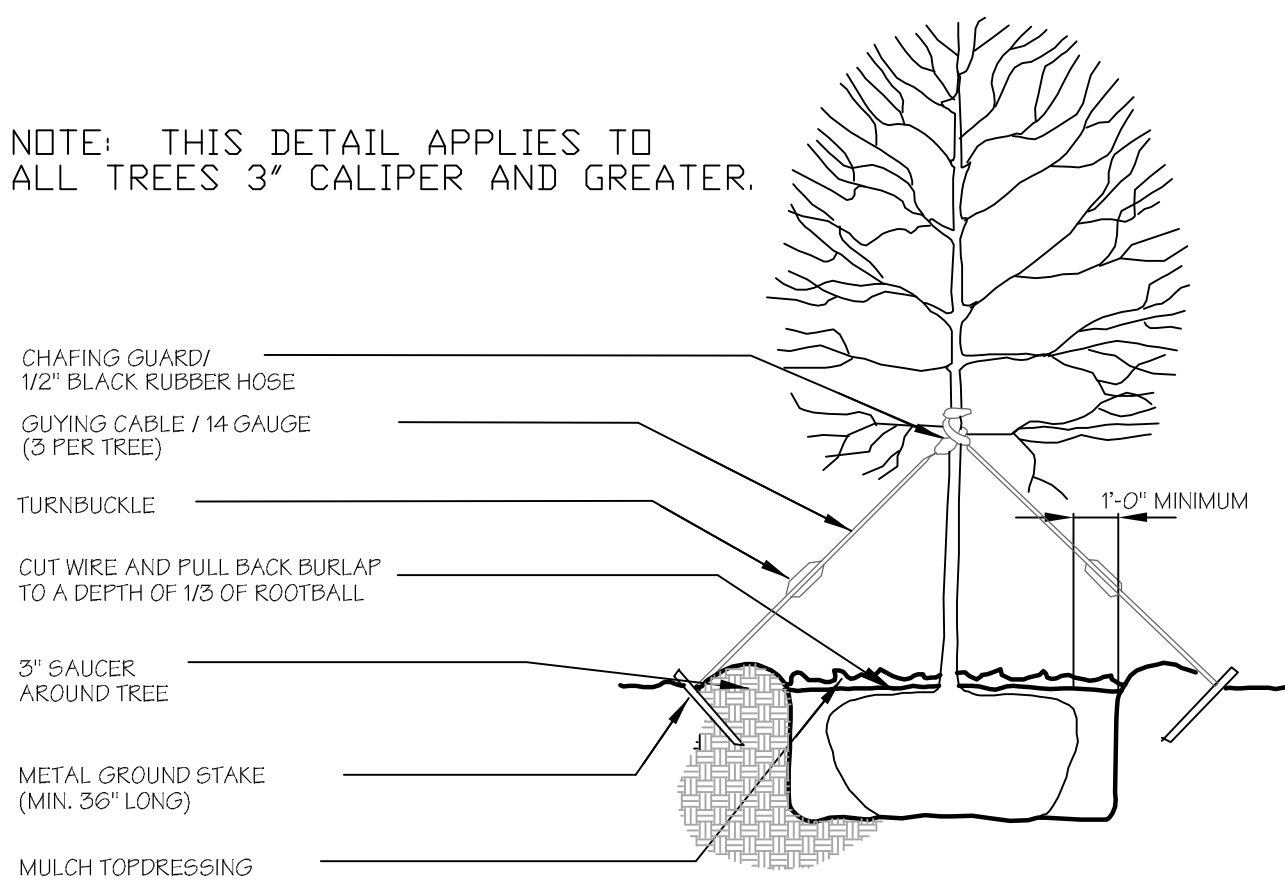
PLANT LIST

KEY	QTY.	COMMON NAME	BOTANICAL NAME	SIZE	REMARKS
LO	4	LIVE OAK	Quercus virginiana	Minimum 3.5" caliper; minimum 12' ht. and 5' spread.	Nursery-grown B&B, containerized or container-grown full head; MATCHED
CE	18	CEDAR ELM	Ulmus crassifolia	Minimum 3.5" caliper; minimum 12' ht. and 5' spread.	Nursery-grown B&B, containerized or container-grown full head; MATCHED
TA	14	TEXAS ASH	Fraxinus texensis	Minimum 5" caliper; minimum 15' ht. and 7' spread.	Nursery-grown B&B, containerized or container-grown full head; MATCHED
RO	19	SHUMARD RED OAK	Quercus shumardii	Minimum 5" caliper; minimum 15' ht. and 7' spread.	Nursery-grown B&B, containerized or container-grown full head; MATCHED
EP	3	ELDARICA PINE	Pinus eldarica	Minimum 5" caliper; minimum 12' ht. and 5' spread.	Nursery-grown B&B, containerized or container-grown full head; MATCHED
TYH	11	TREE YAUPOH HOLLY	Ilex vomitoria	Minimum 8' ht. and 4' spread.	Matched, B&B, containerized, or container grown;
AS	12	RED AUTUMN SAGE	Salvia greggii "Red"	1 gallon	Full; plant 24" o.c.
GFF	27	CHINESE FRINGE FLOWER	Loropetalum chinense "Firedance"	5 gallon; minimum 24" ht. and 20" spread.	Full; plant 36" o.c.
CIP	50	CAST IRON PLANT	Aspidistra elatior	1 gallon; minimum 10" ht.	Plant 24" o.c.
IH	52	DWARF YAUPOH HOLLY	Ilex vomitoria "nana"	5 gallon; minimum 12" ht. and 15" spread.	Full-to-ground; plant 24" o.c.
DMH	61	DWARF MAX MYRTLE	Myrica Paullia	5 gallon; minimum 18" ht. and 16" spread.	Full; plant 36" o.c.
SY	9	SOFT YUCCA	Yucca gloriosa	3 gallon (minimum 18" ht. x 15" spread)	Full; plant 36" o.c.
DA	18	DWARF MAIDENGRASS	Miscanthus sinensis	3 gallon; minimum 15" ht. and 15" spread.	Full; 24" O.C.
HF	36	HOLLY FERN	Critomium falcatum	3 gallon; minimum 15" ht. and 15" spread.	Full-to-ground; plant 24" o.c.
GL	470	GIANT LILY TURF	Liriope gigantea	1 gallon	Full; plant 18" o.c.

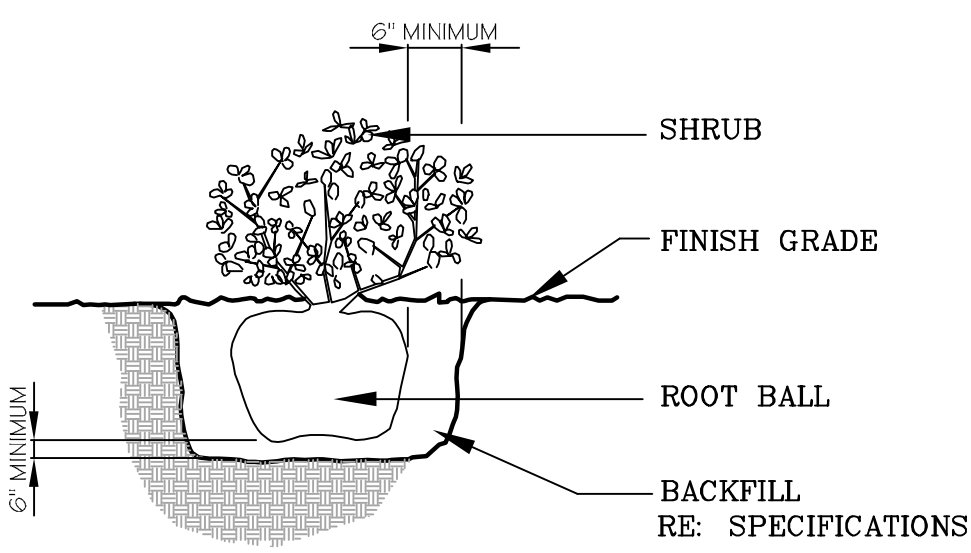
LANDSCAPE MAINTENANCE
The property owner, lessee or agent, shall be responsible for the maintenance of all required landscaping in a healthy, neat, orderly and live-green condition at all times. This shall include mowing, edging, pruning, fertilizing, regular watering, and other such maintenance tasks necessary for the maintenance of the landscaping. Landscaped areas shall be kept free of trash, litter, weeds and other such materials not a part of the landscaping. Plant materials that die shall be replaced with plant materials of similar variety and size.

- GENERAL NOTES:
- Quantities shown on Plant List are Landscape Architect's estimate only and should be verified prior to bidding. Contractor shall be responsible for bidding and providing quantity of plants required at spacing designated for bed sizes and configurations shown on plans regardless of quantities designated on Plant List.
 - Contractor shall notify Landscape Architect of any discrepancies, ambiguity, or unlabeled plants on plans prior to bid submittal. If discrepancy, ambiguity, or unlabeled plant is not clarified by Landscape Architect prior to bid submittal date, Contractor shall note such item on bid.
 - Contractor shall provide representative samples (minimum 3 each variety) of shrub and groundcover stock for Landscape Architect's and/or Owner's approval prior to major shipment of materials to site.
 - Landscape Architect and/or Owner shall individually approve and tag trees in the field or nursery prior to shipment to site. If this is not possible, Contractor shall provide good quality photographs with reference dimension (i.e., field pole and/or human standing next to tree) for Landscape Architect's and/or Owner's approval.
 - Grass areas to be either hydramulch Bermuda or perennial Ryegrass, depending on date of planting. Bermudagrass hydramulch shall not be applied prior to May 15 nor after August 15 nor at any time the soil temperature is less than 70° F. If grassing is to occur after August 15 and before May 15, Contractor shall include perennial Ryegrass seed bid with an alternate price to return the following Spring (after May 15) to seed Ryegrass and re-hydramulch with Bermuda, guaranteeing a full stand of grass.
 - Shrub beds to be excavated to a depth of 4". Add 4" "Compost" as produced by Living Earth Technology (phone: 214/989-4302) or approved equal. Fill to a minimum depth of 8". Shrub beds to receive 14-14-14 slow release fertilizer (Democoke) at a rate of 5 lbs./100 square feet.
 - Tree holes to be excavated 2' greater than ball diameter and 6" deeper. Backfill with 2/3 existing soil and 1/3 "Compost" (or approved equal) as noted under 6. above, thoroughly blended by mechanical means.
 - Trees to be guyed with metal "T" posts (minimum 6' length) used for fencing, painted green. Minimum two per tree in north/south axis. Guy with pliable, galvanized 14 gauge wire with 1/2" new rubber hose (braid) around tree trunk.
 - Mulch topdressing to be minimum 2" layer shredded pine bark, spread uniformly.
 - Bed edging to be 1/8"x4" Ryerson "Estate" edging as manufactured by Joseph Ryerson Co., Inc. (phone: 713/675-8111).

NOTE: ALL NEW PLANT MATERIAL TO BE WATERED BY AN AUTOMATIC, UNDERGROUND IRRIGATION SYSTEM



C TREE GUYING DETAIL
SCALE: N.T.S.



E SHRUB PLANTING DETAIL
SCALE: N.T.S.

CASE# ZC#15-027
EXHIBIT E-1

012216

STATE OF TEXAS

CHRISTOPHER A. RUSSELL

1892

LANDSCAPE ARCHITECT

REVISIONS

No.

Date

SPRINGHILL SUITES

THE VILLAGE OFF BROADWAY

MANDFIELD TEXAS

Christopher RUSSELL

Landscape Architecture

5925 La Vista Drive, Number 3

Dallas, Texas 75206

Phone: 214.695.7344

Fax: 214.826.8270

Sheet Title:

LANDSCAPE PLAN

Proj. No.:

Date: 01.22.16

Drawn: CAR

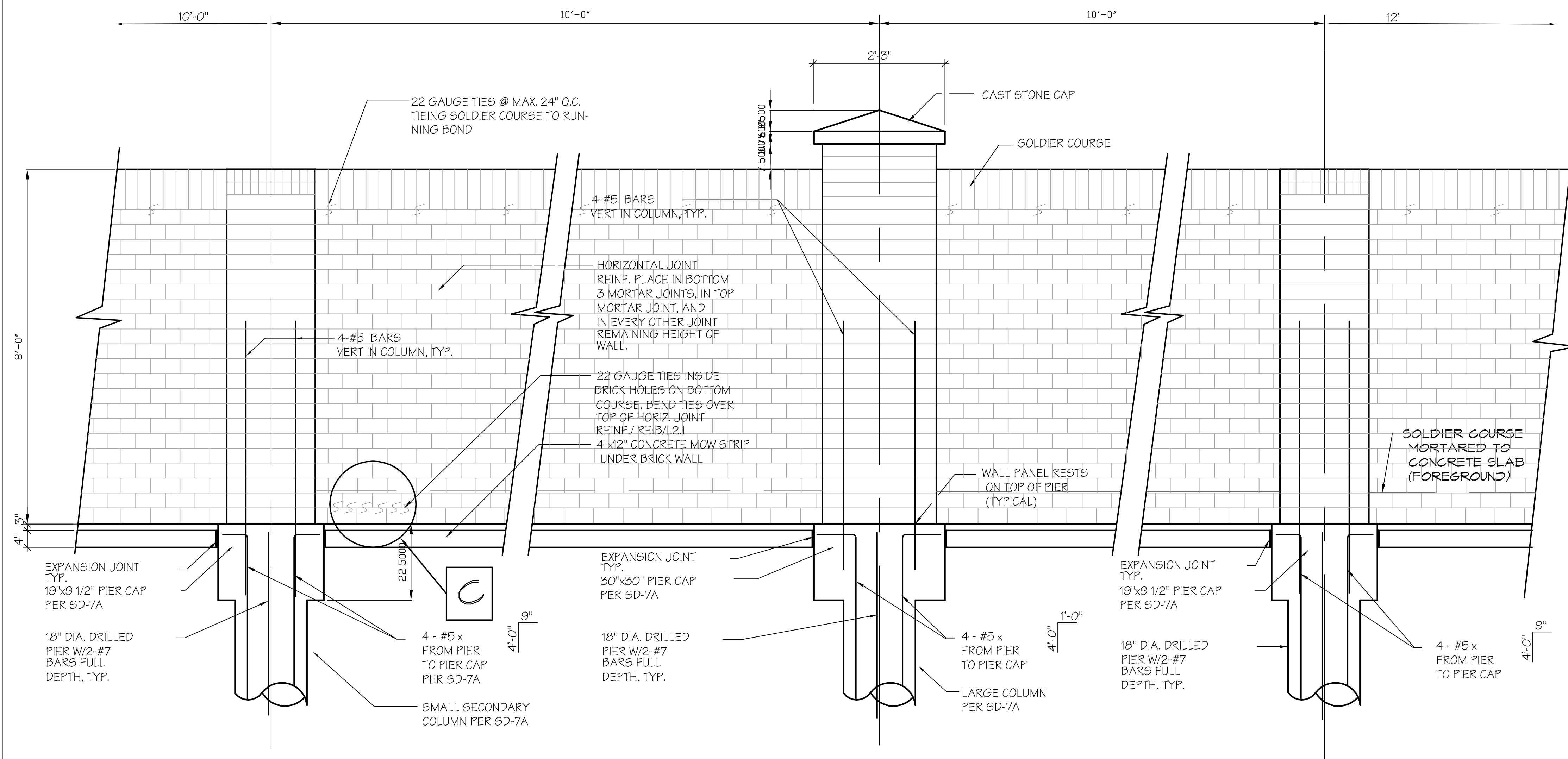
Checked: CAR

Approved: CAR

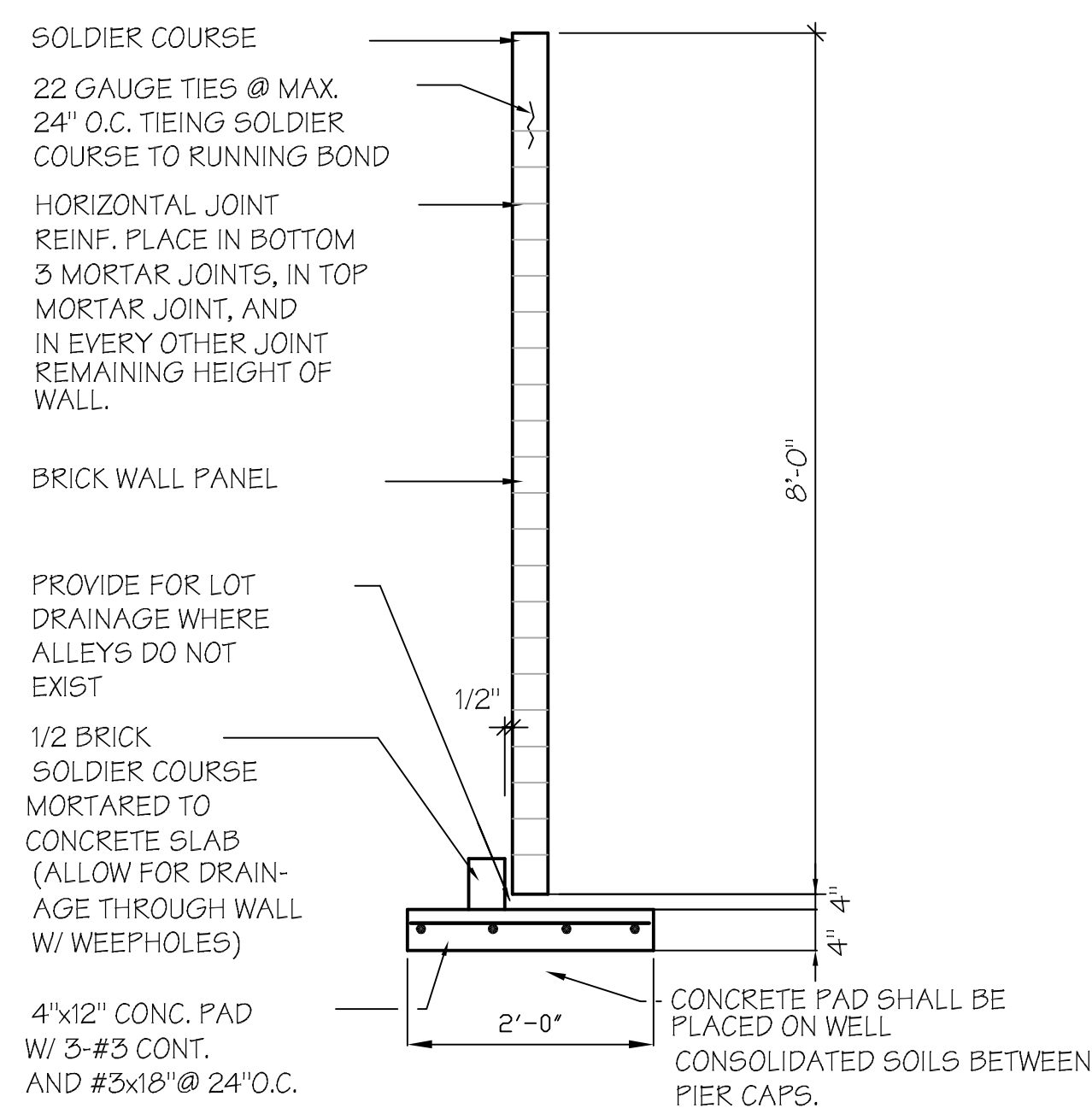
sheet number

L1.1

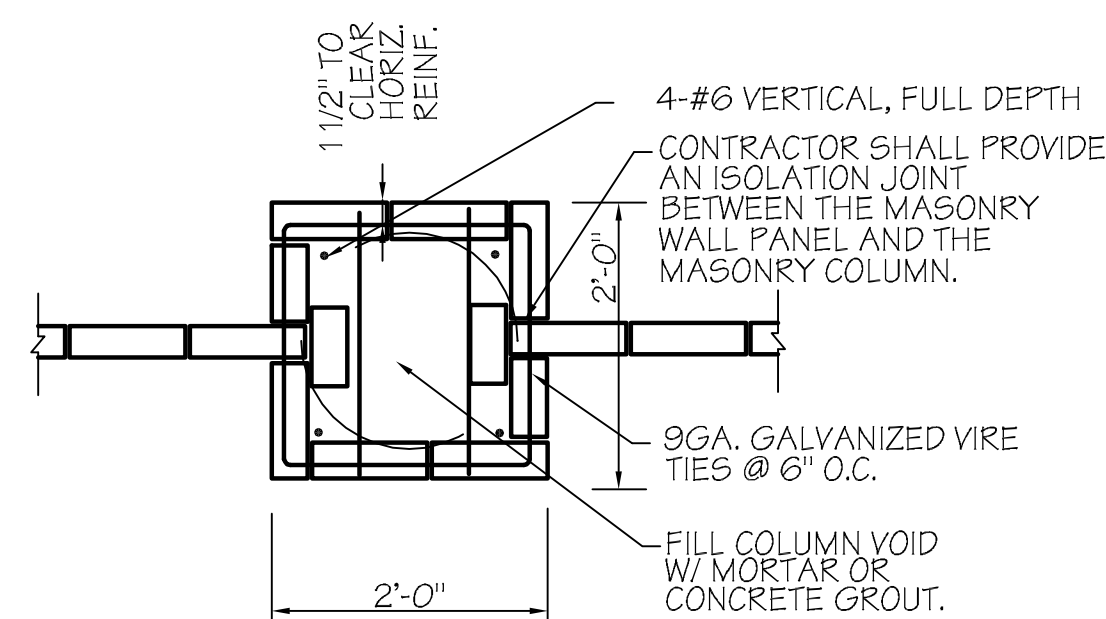
of sheets



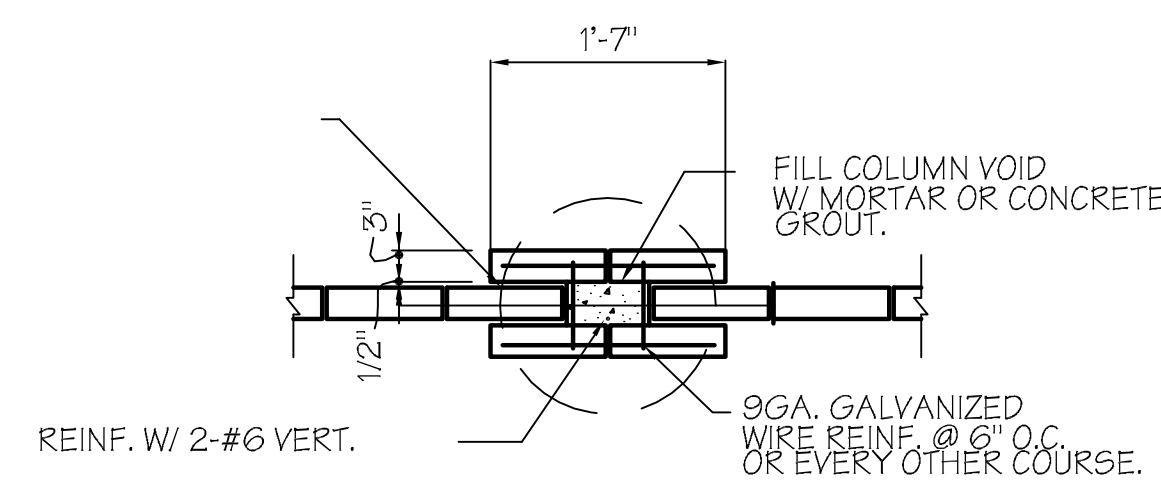
NOTE: REFERENCE GENERAL NOTES
ON SHEET L2.5



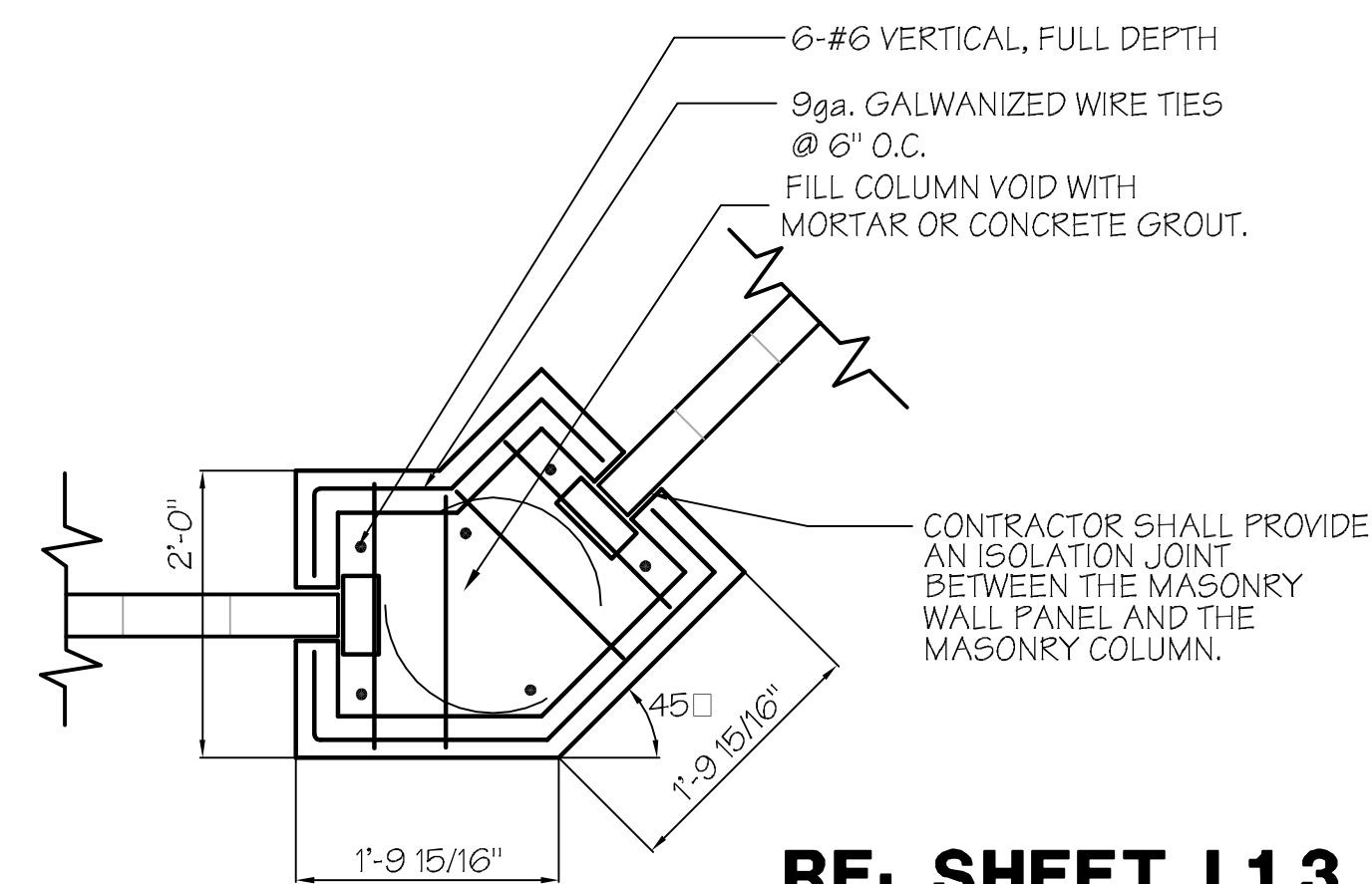
WALL PANEL SECTION



BRICK COLUMN

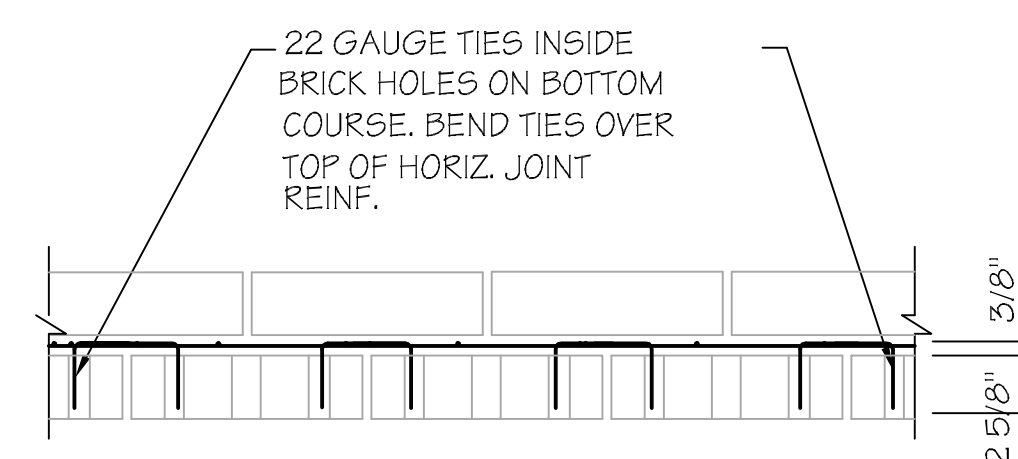


BRICK COLUMN

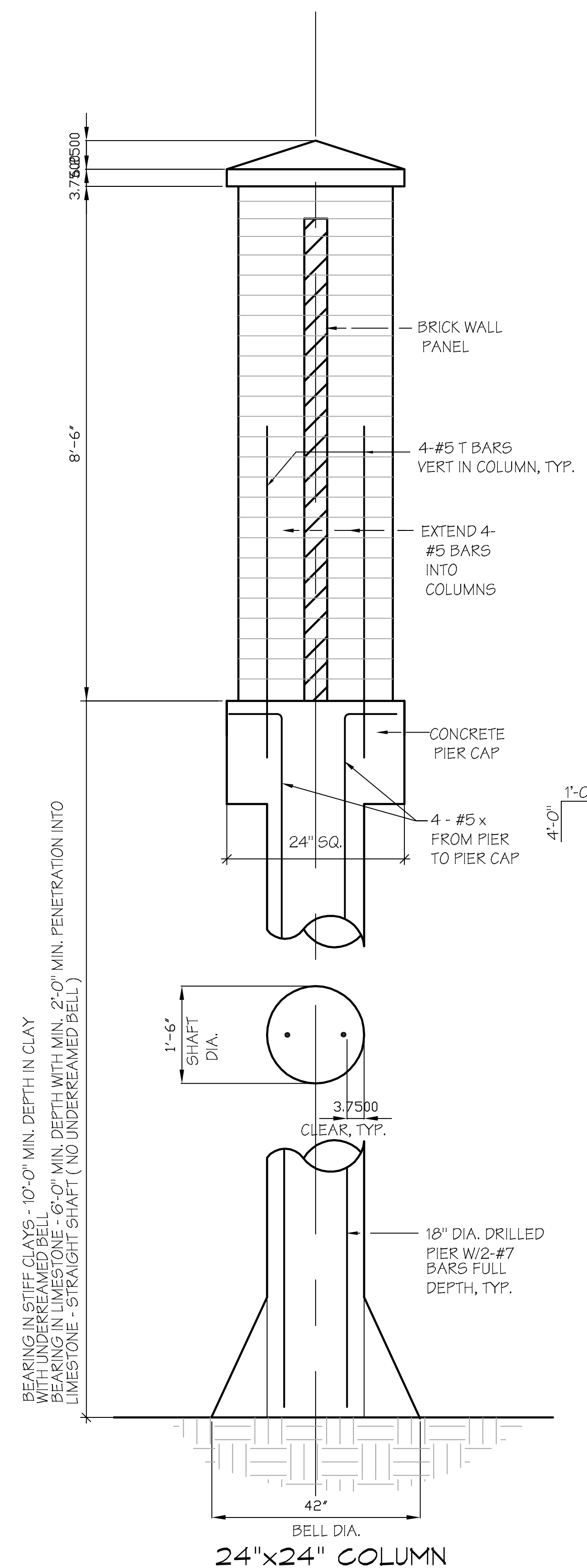


RE: SHEET L1.3

BRICK COLUMN AT TURN



B BOTTOM JOINT REINF.
SCALE 1 1/2' = 1'-0'



TYPICAL COLUMN & PIER - SECTION

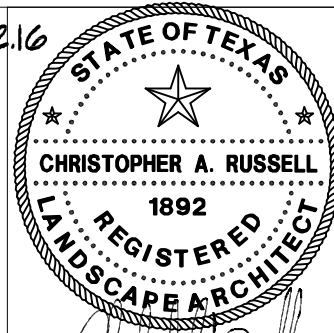
THIS DETAIL TO BE REVIEWED AND SEALED
BY A STRUCTURAL ENGINEER BEFORE
CONSTRUCTION

CONTRACTOR SHALL PROVIDE
AN ISOLATION JOINT
BETWEEN THE MASONRY
WALL PANEL AND THE
MASONRY COLUMN.

BRICK COLOR TO BE SELECTED BY OWNER

A BRICK THINWALL
SCALE: 3/4"=1'-0"

CASE# ZC#15-027
EXHIBIT E-2

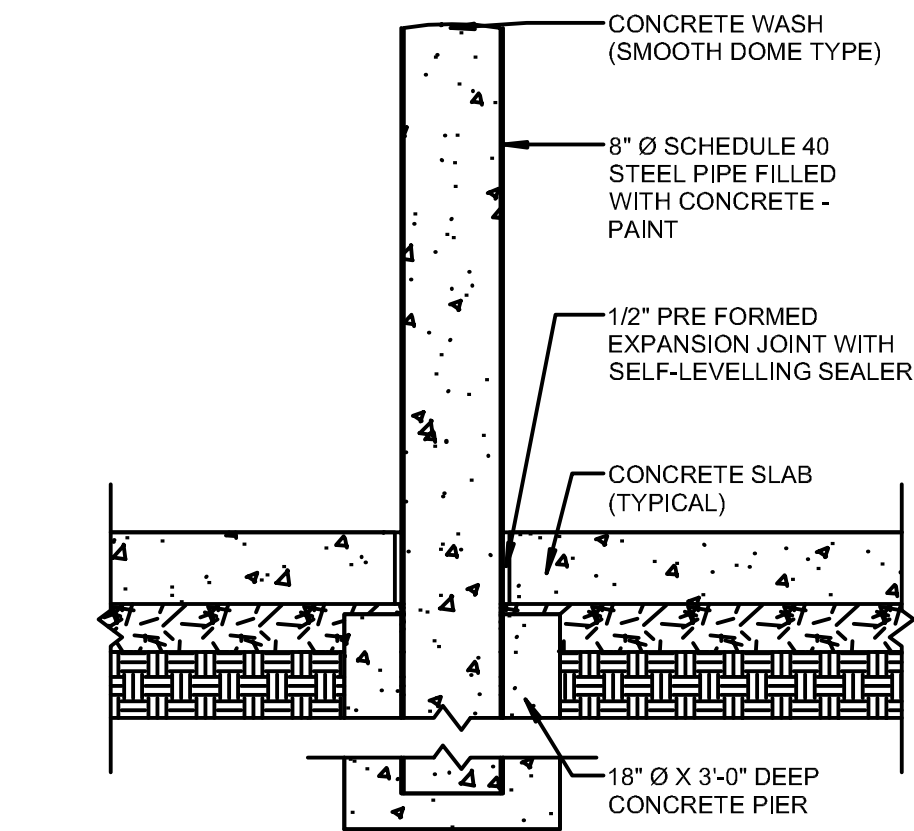


SPRINGHILL SUITES
THE VILLAGE OFF BROADWAY
MANDFIELD TEXAS

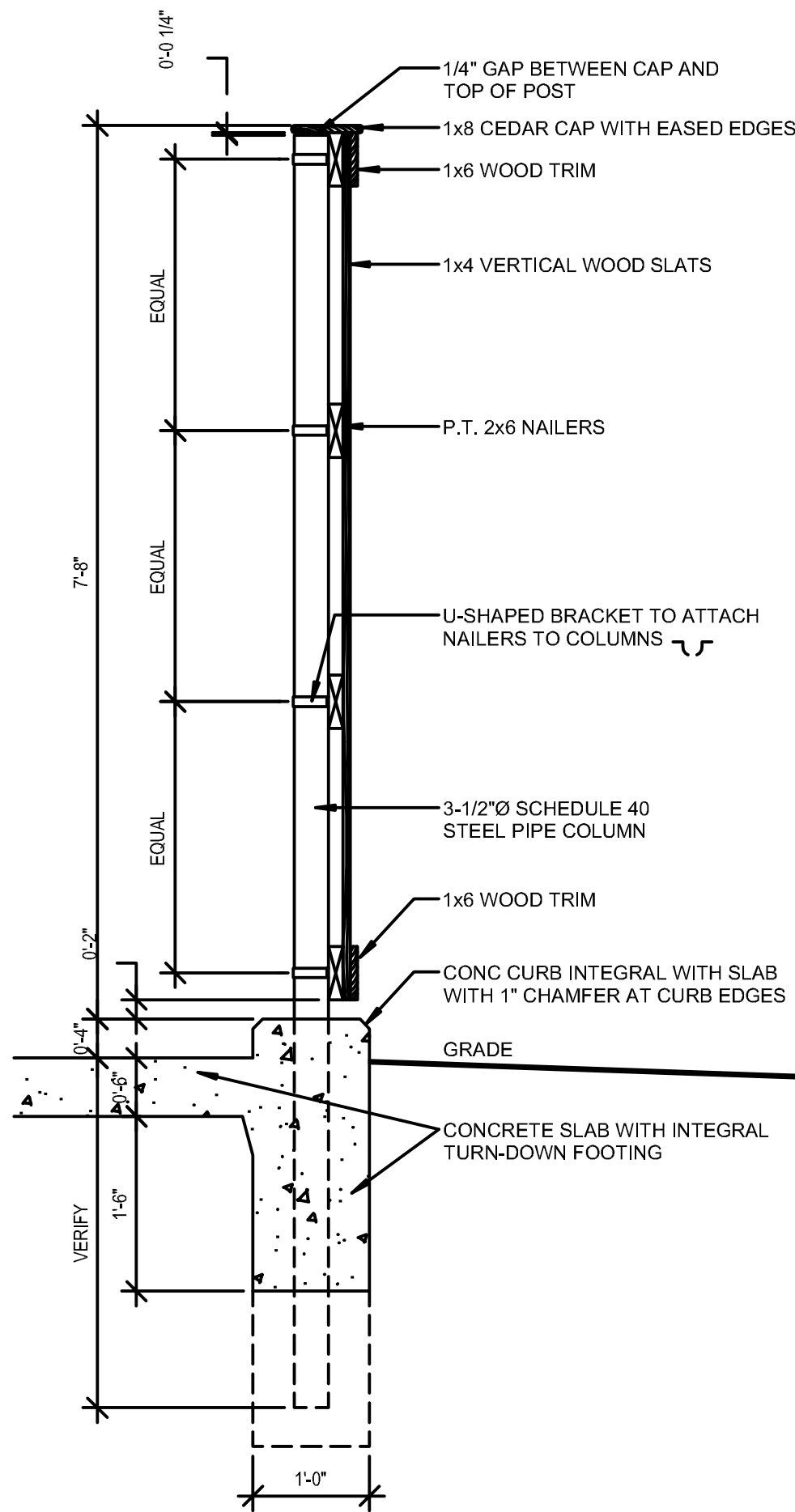
Christopher
RUSSELL
Landscape
Architecture
5925 La Vista Drive Number 3
Dalllas Texas 75206
Phone: 214.695.7144
Fax: 214.826.8270

Sheet Title:
**LANDSCAPE
DETAILS**

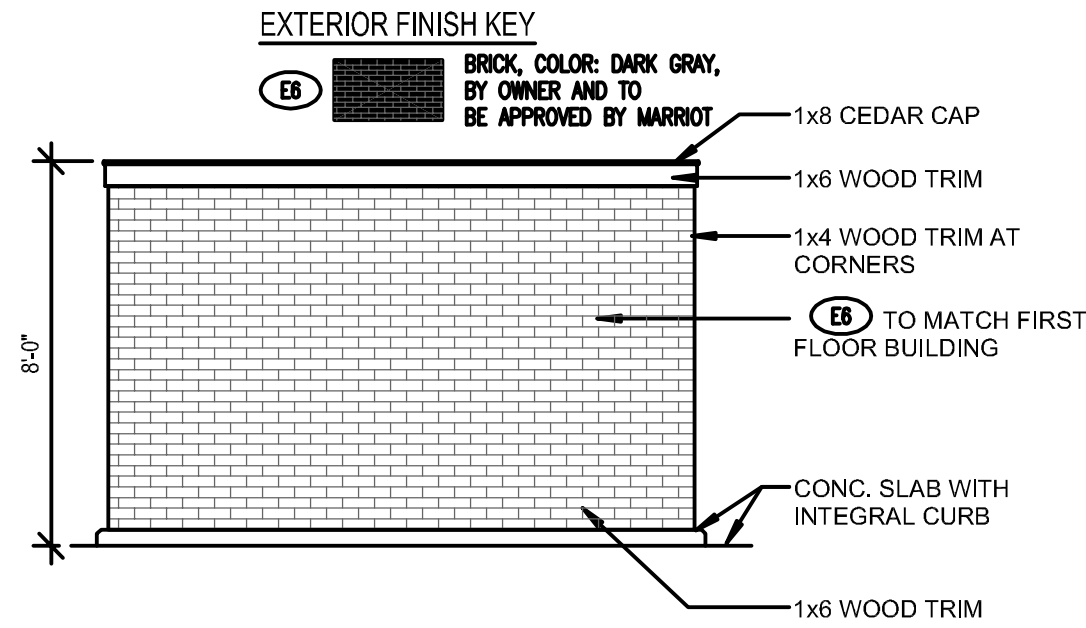
Proj. No.:
Date: **01.22.16**
Drawn: **CAR**
Checked: **CAR**
Approved: **CAR**
sheet number
L2.2
of sheets



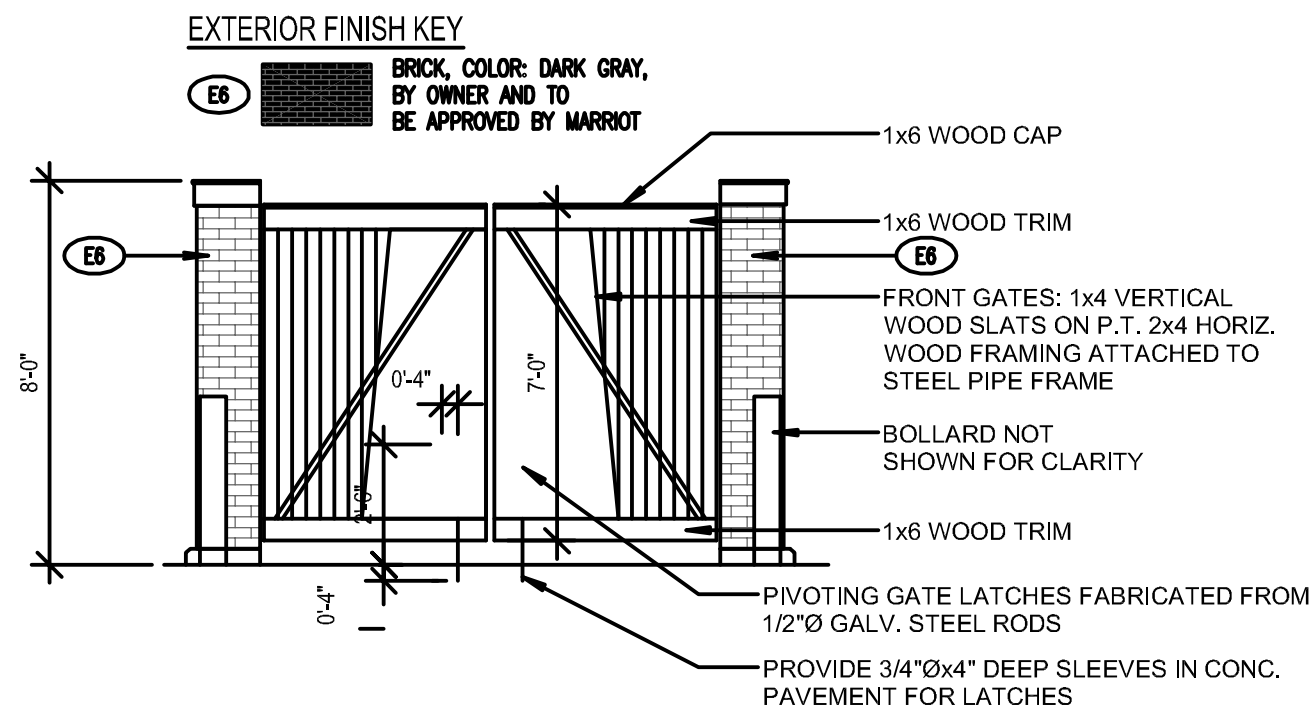
7 BOLLARD DETAIL
SCALE: 3/4" = 1'-0"



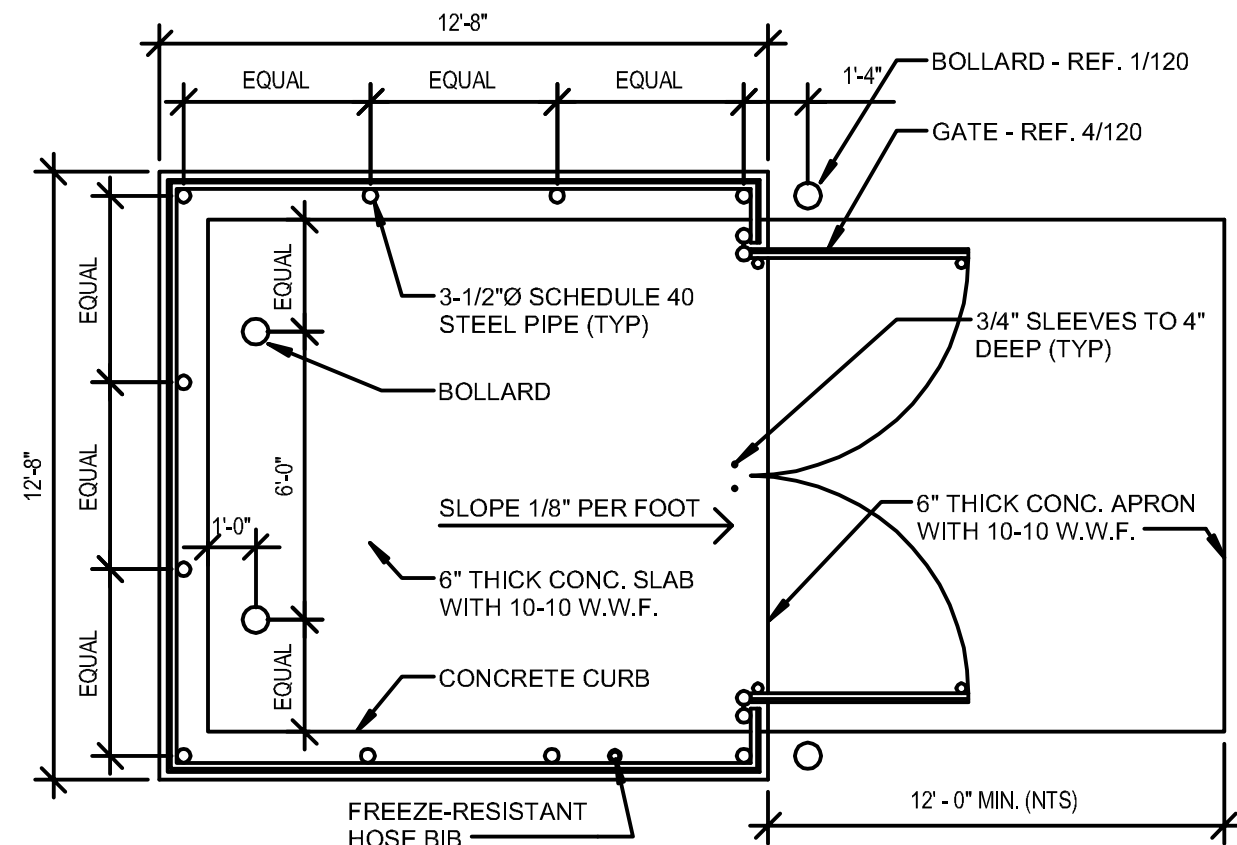
5 TRASH ENCLOSURE SECTION
SCALE: 3/4" = 1'-0"



**3 TRASH ENCLOSURE
SIDE AND REAR ELEVATION**
SCALE: 1/4" = 1'-0"



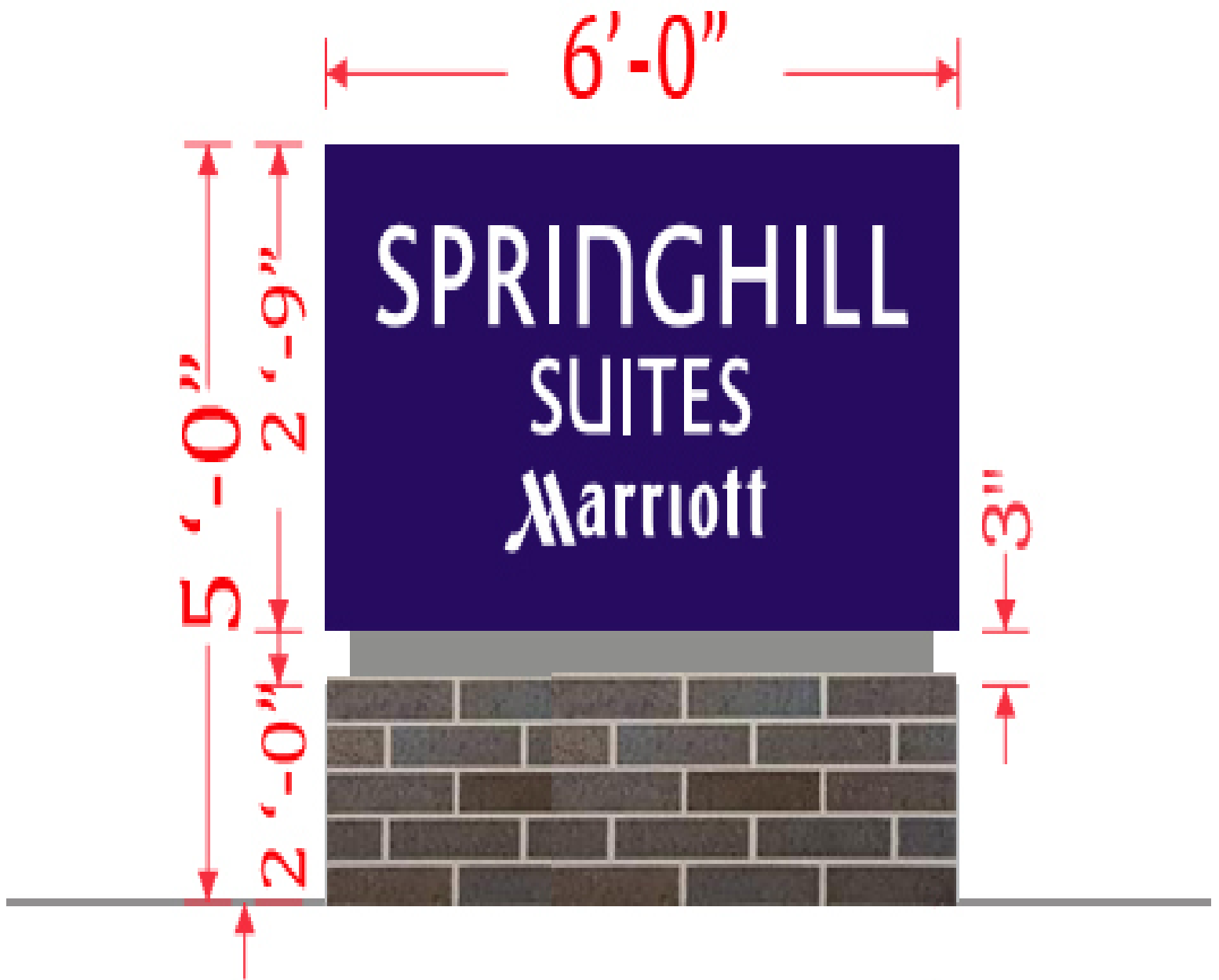
2 TRASH ENCLOSURE FRONT ELEVATION
SCALE: 1/4" = 1'-0"



1 TRASH ENCLOSURE PLAN
SCALE: 1/4" = 1'-0"

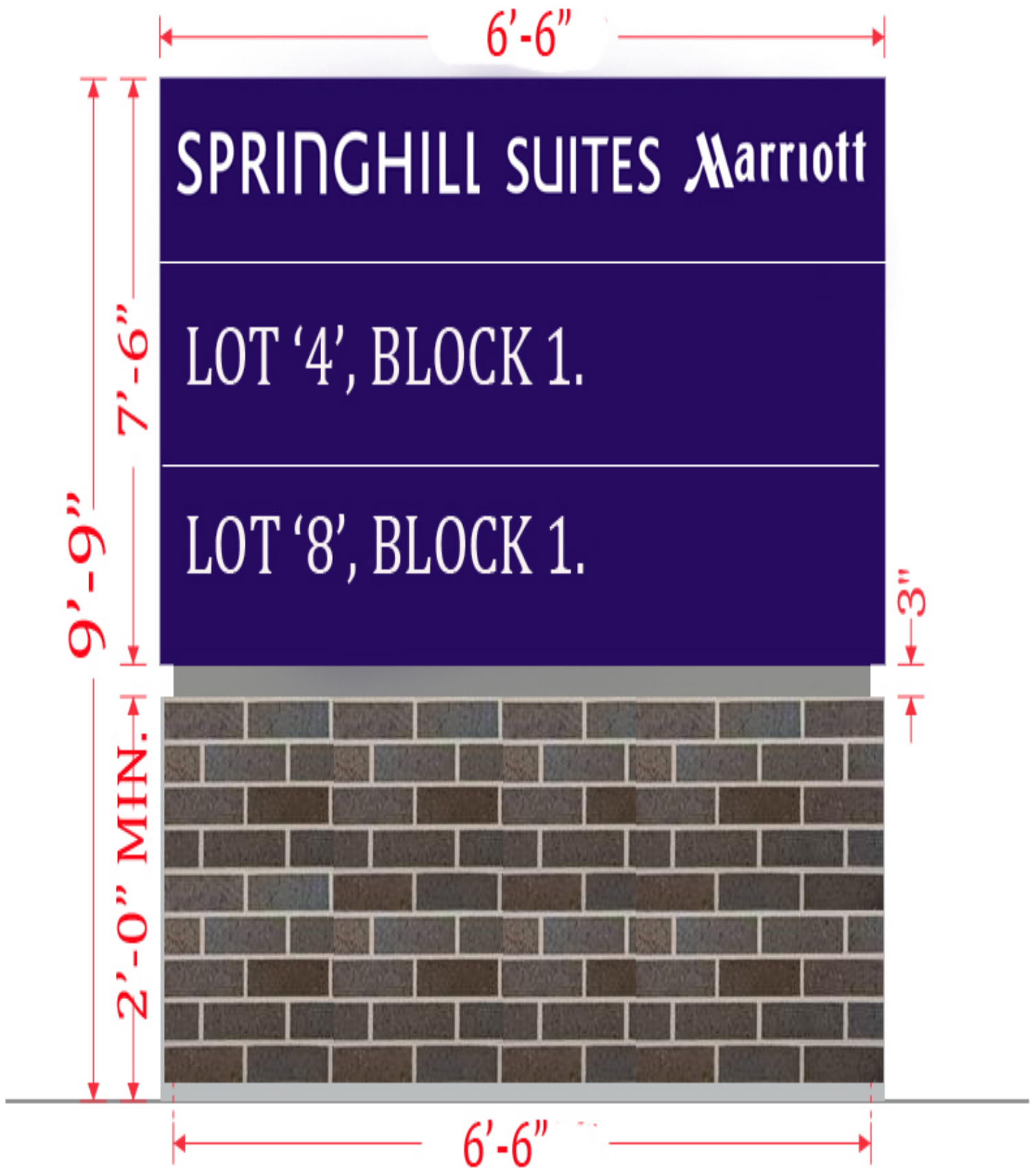
THIS DETAIL PROVIDED FOR VISUAL
APPEARANCE OF DUMSTER ENCLOSURE
ONLY/ REFER TO ARCHITECT'S SHEET A-571
FOR ALL STRUCTURAL AND DIMENSIONAL
INFORMATION.

**CASE# ZC#15-027
EXHIBIT E-3**



LOCATION: HOTEL, NORTH ENTRY

Monument Elevations



LOCATION: LOT 9, BLOCK 1
OFF SITE SIGNAGE OFF BROAD STREET.