



CITY OF MANSFIELD

1200 E. Broad St.
Mansfield, TX 76063
mansfieldtexas.gov

Meeting Agenda

Planning and Zoning Commission

Monday, July 15, 2024

6:00 PM

City Hall Council Chambers

1. **CALL TO ORDER**

2. **INVOCATION**

3. **PLEDGE OF ALLEGIANCE**

4. **TEXAS PLEDGE**

5. **APPROVAL OF MINUTES**

[24-6104](#)

Minutes - Approval of the July 1, 2024, Planning and Zoning Commission Meeting Minutes

Attachments: [7-1-24 DRAFT Minutes](#)

6. **CITIZENS COMMENTS**

Citizens wishing to address the Commission on non-public hearing agenda items and items not on the agenda may do so at this time. Once the business portion of the meeting begins, only comments related to public hearings will be heard. All comments are limited to 5 minutes.

In order to be recognized during the "Citizens Comments" or during a public hearing (applicants included), please complete a blue "Appearance Card" located at the entry to the Chambers and present it to the Planning Secretary.

7. **PUBLIC HEARINGS**

[24-6105](#)

Public Hearing on a Specific Use Permit for a Quick Service Restaurant with a Drive-Through Service on approximately 1.821 acres being Lot 2, Block 1, Lightbridge Addition, Tarrant Co., TX, located approximately at the Northeast Corner of N US 287 and E Debbie Ln.; First Hartford Realty Corp, Owner/Developer; Bohler Engineering, Engineer/Surveyor (SUP#24-002)

Attachments: [Maps and Supporting Information](#)

[Exhibit A - E](#)

8. **SUMMARY OF CITY COUNCIL ACTIONS**

9. **COMMISSION ANNOUNCEMENTS**

10. STAFF ANNOUNCEMENTS**11. ADJOURNMENT OF MEETING****12. NEXT MEETING DATE: Monday, August 5, 2024**

I certify that the above agenda was posted on the bulletin board next to the main entrance of City Hall on July 12, 2024, prior to 5:00 p.m. in accordance with Chapter 551 of the Texas Government Code.

Clarissa Carrasco, Administrative Assistant II

* This building is wheelchair accessible. Disabled parking spaces are available. Request for sign interpreter services must be made 48 hours ahead of meeting to make arrangements. Call 817 473-0211 or TDD 1-800-RELAY TX,

* In deciding a zoning change application, the Planning & Zoning Commission and City Council are required to determine the highest and best use of the property in question. The Commission may recommend and the Council may approve a change in zoning to the category or district requested by the applicant or to any zoning category or district of lesser intensity. Notice is presumed sufficient for every District up to the intensity set forth in the zoning change application.



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STAFF REPORT

File Number: 24-6104

Agenda Date: 7/15/2024

Version: 1

Status: Approval of Minutes

In Control: Planning and Zoning Commission

File Type: Meeting Minutes

Title

Minutes - Approval of the July 1, 2024, Planning and Zoning Commission Meeting Minutes



CITY OF MANSFIELD

1200 E. Broad St.
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Meeting Minutes - Draft

Planning and Zoning Commission

Monday, July 1, 2024

6:00 PM

City Hall Council Chambers

1. CALL TO ORDER

Chair Mainer called the meeting to order at 6:02 p.m. in the City Council Chambers of City Hall, 1200 East Broad Street, with the meeting being open to the public and notice of said meeting, giving the date, place, and subject thereof, having been posted as prescribed by Chapter 551, Texas Government Code.

Staff present:

*Executive Director of Planning and Development Services Jason Alexander
Assistant Director of Planning Arty Wheaton-Rodriguez
Planning Manager Katasha Smithers
Administrative Assistant II Clarissa Carrasco*

Commissioners:

Absent 1 - Brandon Shaw

Present 6 - Blake Axen; Jennifer Thompson; David Goodwin; Michael Mainer; Michael Bennett and Patrick Moses

2. INVOCATION

Commissioner Moses gave the invocation.

3. PLEDGE OF ALLEGIANCE

4. TEXAS PLEDGE

5. APPROVAL OF MINUTES

[24-6080](#)

Minutes - Approval of the June 17, 2024, Planning and Zoning Commission Meeting Minutes

Commissioner Goodwin made a motion to approve the meeting minutes as presented. Commissioner Moses seconded the motion which carried by the following vote:

Aye: 6 - Blake Axen; Jennifer Thompson; David Goodwin; Michael Mainer; Michael Bennett and Patrick Moses

Nay: 0

Absent: 1 - Brandon Shaw

Abstain: 0

6. **CITIZENS COMMENTS**

There were no citizen comments.

7. **PUBLIC HEARINGS**

[24-6054](#)

Public Hearing on a Change of Zoning from SF-12/22 Single-Family Residential District to PD Planned Development District for commercial and attached single-family residential (rowhouse) uses on approximately 10.574 acres described as Block 1, Lots 1 and 2R of the RW Roberts Addition, Tarrant County, TX, located at 650 and 700 N. Holland Rd. 1020 Ventures LLC, Developer (ZC#23-019)

Mr. Wheaton-Rodriguez gave a presentation on the case and was available to answer any questions.

Karam Khalil, applicant, gave a presentation on the case and was also available to answer any questions.

Chair Mainer opened the public hearing at 6:39 p.m. and called for anyone wishing to speak to come forward.

Chuck Dandridge, 4103 Watercrest Drive, spoke in opposition of the case.

Mr. Wheaton-Rodriguez and Mr. Khalil addressed Mr. Dandridge's concerns.

Seeing no one else come forward to speak, Chair Mainer closed the public hearing at 6:47 p.m.

Mr. Alexander spoke on the case and was available to answer any questions.

There was additional discussion on the case amongst the commissioners and staff.

Commissioner Bennett made a motion to table the zoning case until the July 15, 2024, Planning and Zoning Commission meeting. Commissioner Goodwin seconded the motion. The motion failed by the following vote:

Nays: 4 - Michael Mainer, Blake Axen, Patrick Moses, and Jennifer Thompson

Ayes: 2 - Michael Bennett and David Goodwin

Absent: 1 - Brandon Shaw

Chairman Mainer made a motion to approve the zoning case with the following conditions:

- 1. That the additional rules and regulations proposed for a corner market be revised to reflect a minimum of 35 percent (or similar percentage) of its total retail sales area and display area shall be dedicated exclusively to the sale of perishable goods;**
- 2. That the use of an urgent care be prohibited;**
- 3. That the hours of operation be determined by the use (food service**

establishment);

4. That, the minimum floor area for each detached single-family residence be a minimum of 2,200 square feet; and

5. That, a Home Owners' Association be a requirement, regardless of the number of units on the property.

Commissioner Thompson seconded the motion which carried by the following vote:

Aye: 5 - Blake Axen; Jennifer Thompson; David Goodwin; Michael Mainer and Michael Bennett

Nay: 1 - Patrick Moses

Absent: 1 - Brandon Shaw

Abstain: 0

8. SUMMARY OF CITY COUNCIL ACTIONS

Mr. Alexander summarized the actions that took place at the previous City Council meeting.

9. COMMISSION ANNOUNCEMENTS

Commissioner Thompson and Commissioner Goodwin both expressed their appreciation for the other commissioners.

Commissioner Moses acknowledged the passing of a North Crowley High School JROTC instructor.

Vice Chair Axen and Chair Mainer advised everyone to be safe while participating in Independence Day celebrations.

10. STAFF ANNOUNCEMENTS

Mr. Wheaton-Rodriguez advised the commissioners of our next meeting date being Monday, July 15, 2024, and provided the commission with more information regarding an upcoming training opportunity.

11. ADJOURNMENT OF MEETING

Commissioner Moses made a motion to adjourn the meeting. Vice Chair Axen seconded the motion which carried by the following vote:

Aye: 6 - Blake Axen; Jennifer Thompson; David Goodwin; Michael Mainer; Michael Bennett and Patrick Moses

Nay: 0

Absent: 1 - Brandon Shaw

Abstain: 0

With no further business, Chair Mainer adjourned the meeting at 8:08 p.m.

Michael Mainer, Chair

Clarissa Carrasco, Administrative Assistant II



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1200 E. Broad St.
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STAFF REPORT

File Number: 24-6105

Agenda Date: 7/15/2024

Version: 1

Status: Public Hearing

In Control: Planning and Zoning Commission

File Type: Zoning Case

Agenda Number:

Title

Public Hearing on a Specific Use Permit for a Quick Service Restaurant with a Drive-Through Service on approximately 1.821 acres being Lot 2, Block 1, Lightbridge Addition, Tarrant Co., TX, located approximately at the Northeast Corner of N US 287 and E Debbie Ln.; First Hartford Realty Corp, Owner/Developer; Bohler Engineering, Engineer/Surveyor (SUP#24-002)

Requested Action

To consider the requested Specific Use Permit ("SUP")

Recommendation

There are elements to this request for a SUP for a Quick Service Restaurant with Drive-Through Service that are consistent with community expectations for development and growth --- including site design and architecture. There are other elements to the SUP request that are not entirely consistent with community expectations and have the potential to adversely influence infill and even redevelopment within the area and ensure alignment with the Mansfield 2040 Plan. The provisions in Section 155.080 of the Mansfield Zoning Ordinance entitled "Specific Use Permit" states that "[a] specific use permit shall be issued only if all of the following conditions have been [met]". The SUP request, as presented, does not entirely meet the intent of Condition No. 1, Condition No. 2, and Condition No. 4 (see below for all conditions). The Department of Planning and Development Services recommends that, while elevated considerations for site design and architecture have been provided collaboratively, the request for an SUP for a Quick Service Restaurant with Drive-Through Service be denied because all conditions for approval have not been fully met.

Description/History

Existing Use: Vacant

Existing Zoning: C-2, Commercial Business District
FR, Freeway Overlay District

Mansfield 2040 Land Use Designation: Retail & Office

Surrounding Land Use & Zoning:

North - Vacant, C-2, Community Business District
South - RaceTrac, C-2, Community Business District
East - Vacant, C-2, Community Business District
West - North U.S. Highway 287, Frontage Road

Thoroughfare Plan Specification:

East Debbie Lane - 6-lane divided arterial street.

North U.S. Highway 287 - Freeway

History:

The property under consideration for an SUP was also included in zoning change request from C-2, Community Business District to PD, Planned Development District for approximately 2.08 acres (i.e., Zoning Case No. 23-002, Golden Acres). The Planning and Zoning Commission conducted a public hearing on the zoning change request for Zoning Case No. 23-002, Golden Acres, and voted 5 to 0 (with two absences) to recommend denial of the request. The application for the zoning change request was withdrawn by the applicant on April 10, 2023, prior to the City Council conducting a public hearing. The PD, Planned Development District --- as proposed --- provided standards for the design and the construction of two (2) quick-service restaurants.

..Synopsis

The applicant is requesting an SUP for a Quick-Service Restaurant with Drive-Through Service. The property is currently vacant, and is zoned as C-2, Community Business District. Additionally, the first 300 feet of the property are also located within the FR, Freeway Overlay District. Within the C-2, Community Business District, some land uses require an SUP. The purpose of an SUP is to “provide for uses that require special consideration in certain settings or are of a public or semi-public character often essential or desirable for the general convenience and welfare of the community, which without specific consideration may have possible adverse impact on neighboring properties.” One of the land uses requiring an SUP within the C-2, Community Business District is a Quick-Service Restaurant with Drive-Through Service which is analogous to an “Eating Establishment with Drive-Through Service” as depicted on the Permitted Use Table in Section 155.054 of the Mansfield Zoning Ordinance.

Although the site is designed to visually screen the drive-through facility from U.S. Highway 287 and the height of the building and its design have been increased and elevated respectively in a substantial departure from other prototypes.

The incorporation of a drive-through facility --- however --- does encourage land uses and development patterns that favor motorists over pedestrians as opposed to balancing motorist and pedestrian needs at a minimum or, as preferred, favoring pedestrian over motorist needs and limits opportunities for creativity and innovation in site design.

Mansfield 2040 Plan

Land Use Designation(s)

The land use designation for this property is designated as Retail & Office.

Analysis

The applicant is proposing a Quick-Service Restaurant with Drive-Through Service (i.e., Bojangles) on the property.

The subject property contains approximately 1.821 acres of land generally located near the northeast corner of the North U.S. Highway 287 and East Debbie Lane Interchange. The property is currently vacant; there is a gas station with a convenience goods store located to the south of the proposed development and office and other restaurant uses located further north. Residential uses --- detached single-family dwellings are located to the east.

Site Plan

The site is designed with the wider part of the proposed building facing North U.S. Highway 287 --- to ensure that (i) the drive-through facility is visually screened from the highway and (ii) the vehicular traffic can effectively and efficiently flow on the site. Additionally, the menu / order board and the transaction window are located away from North U.S. Highway 287.

There are a total of 44 parking spaces provided; and there may be additional opportunities to reduce the total amount of parking spaces in order to allow for a site design that could introduce additional buildings and / or civic space and deliver a development proposal that differs from existing development patterns in the area and delivers a pattern that is in greater alignment with the Mansfield 2040 Plan vision and goals. Additionally, a patio seating area (i.e., the passive space required pursuant to the provisions in Section 155.092 (L) of the Mansfield Zoning Ordinance) is provided on the northern side of the restaurant, and is enclosed with a stone wall that matches the proposed exterior finish materials of the building.

The Site Plan is shown on Exhibit "B".

Building Elevations

Building elevations for the proposed structure are provided in Exhibit "C". The proposed building design features articulations with metal awnings and canopies on all sides to provide visual relief; and, additionally, the architectural design of the space is intended to create the visual impression of a two-story building, although the building is proposed to be single-story. The restaurant will be constructed primarily of brick and stone, with tower features at each end to provide for visual and architectural relief. Clear non-reflective or mirrored glass will wrap around three sides of the building. All parapets will be a minimum of one (1) foot above the top of all HVAC and mechanical units to aid in visual screening.

The Building Elevations are shown on Exhibit "C".

Landscape Plan

A 20-foot-wide landscape buffer has been provided along the entire western lot adjacent to North U.S. Highway 287. Additionally, a 10-foot-wide landscape buffer are proposed along the north, east, and south boundaries adjacent to the surrounding properties. All surface parking and vehicular use areas --- as proposed --- will be screened with three (3) foot continuous plantings and hedges, as required. To meet the aesthetic and passive space requirements, the project includes outdoor seating areas and benches along with walking paths throughout the site.

The Landscape Plan is shown on Exhibit “D”.

Signage

The project is subject to the General Business Sign regulations in Section 155.090 of the Mansfield Zoning Ordinance. These regulations limit signage to one (1) wall sign and one (1) per street frontage. For this project, the sign plan calls for one (1) monument sign; one (1) wall sign on the side of the proposed building facing North U.S. Highway 287. The monument sign is approximately 15 feet tall and 10 feet wide with a two-and-a-half (2.5) -foot solid brick base matching the primary building material. Additionally, the sign plan includes six (6) directional signs in compliance with the Mansfield Zoning Ordinance, at the entry and exit points of the development.

The Sign Plan is shown on Exhibit “E”.

Summary

The subject property is located in the C-2, Community Business District which allows for an eating establishment with a drive-through service, subject to the approval of an SUP within the C-2, Community Business District. The plans include an articulated building with an outdoor patio area on the north side --- which reflects a substantial departure from conventional architectural designs. Additionally, the double-lane drive-through facility is designed to adequately handle projected volumes during peak hours of operation.

While the proposed development exhibits elevated site design and architecture considerations, the provisions in Section 155.080 of the Mansfield Zoning Ordinance entitled “Specific Use Permit” states “[a] specific use permit shall be issued only if all of the following conditions have been found:

- (1) That the specific use permit will be compatible with and not injurious to the use and enjoyment of other property, nor significantly diminish or impair property values within the immediate vicinity;
- (2) That the establishment of the specific use permit will not impede the normal and orderly development and improvement of surrounding vacant property;
- (3) That adequate utilities, access roads, drainage and other necessary supporting facilities have been or will be provided;
- (4) The design, location and arrangement of all driveways and parking spaces provides for the safe and convenient movement of vehicular and pedestrian traffic without adversely affecting the general public or adjacent developments;
- (5) That adequate nuisance prevention measures have been or will be taken to prevent or control offensive odor, fumes, dust, noise and vibration;
- (6) That directional lighting will be provided so as not to disturb or adversely affect neighboring properties; and
- (7) That there is sufficient landscaping and screening to insure harmony and compatibility with adjacent property.”

The SUP request, as presented, does not entirely meet the intent of Condition No. 1, Condition No. 2, and Condition No. 4.

Plat Review Committee (PRC):

The PRC is comprised of representatives from various departments with permitting

jurisdiction over applications for development. The PRC verifies application completeness, compliance with city ordinances, and appropriate application of all design criteria. The PRC expressed concern about the location of the escape lane within the pick-up area, as it may not provide the proper functionality or purpose.

Prepared By

Helina Sarkodie-Minkah
Planner I
817-276-4287

Attachments

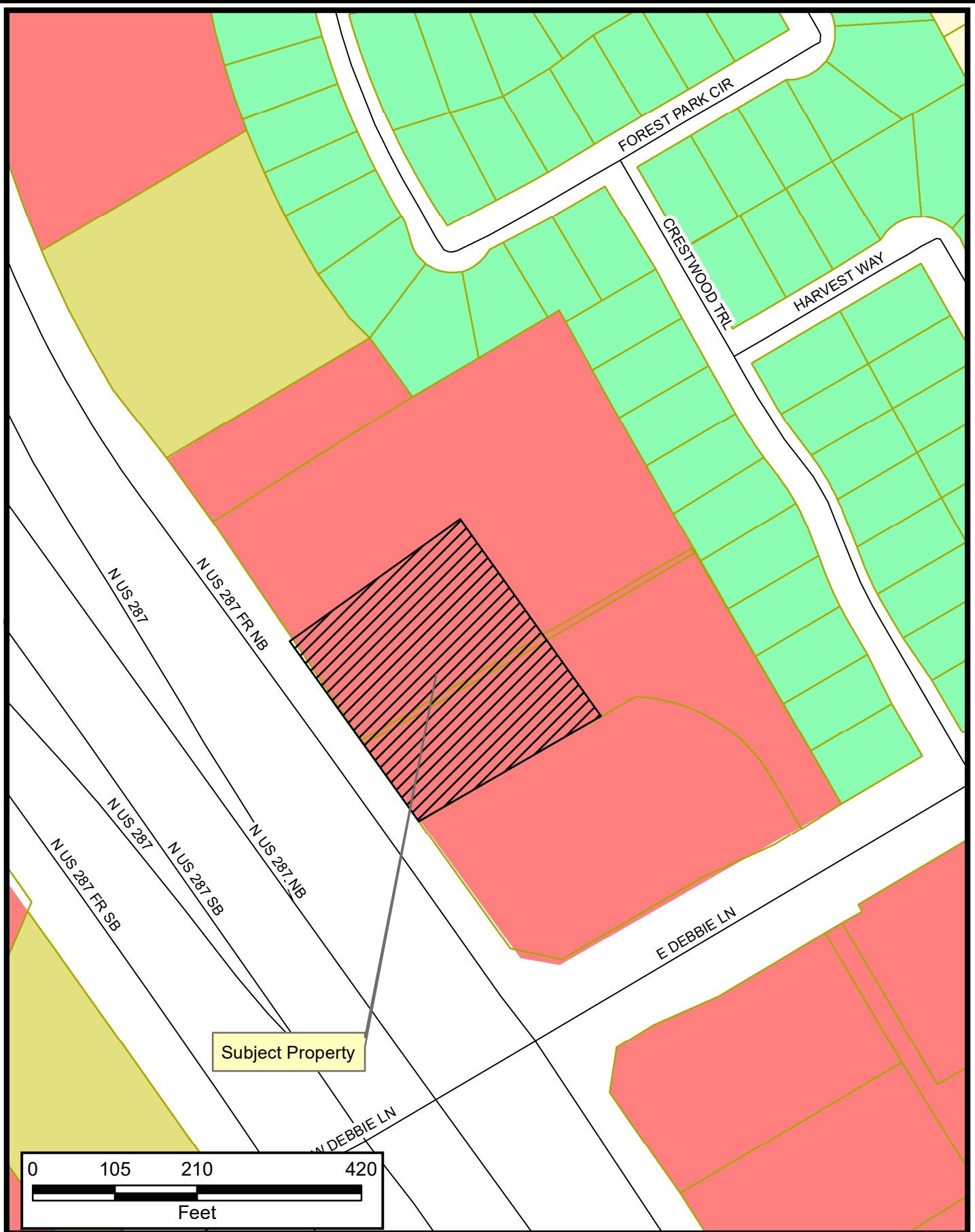
Maps and Supporting Information
Exhibit A - E



SUP#24-002

This information is for illustrative purposes only. Not for design or development purposes. Site-specific studies may be required to obtain accurate feature locations. Every effort is made to ensure the information displayed here is accurate; however, the City of Mansfield makes no claims to its accuracy or completeness.

7/1/2024



SUP#24-002

This information is for illustrative purposes only. Not for design or development purposes. Site-specific studies may be required to obtain accurate feature locations. Every effort is made to ensure the information displayed here is accurate; however, the City of Mansfield makes no claims to its accuracy or completeness.

7/1/2024

Property Owner Notification for SUP#24-002

LEGAL DESC 1	LEGAL DESC 2	OWNER NAME	OWNER ADDRESS	CITY	ZIP
AUBURN PARK ADDITION	BLK 1	MILLER, SHIRLENE	2416 FOREST PARK CIR	MANSFIELD, TX	76063-7639
CALLENDER, SIDNEY S SURVEY	A 359	MANSFIELD RETAIL ASSOCIATES LL	149 COLONIAL RD	MANCHESTER, CT	06042
GOLDEN ACRES ADDITION	BLK 2	RACETRAC INC	200 GALLERIA PKWY SE SUITE 900	ATLANTA, GA	30339
GOLDEN ACRES ADDITION	BLK 2	MANSFIELD RETAIL ASSOCIATES LL	149 COLONIAL RD	MANCHESTER, CT	06042
MANSFIELD HOSPITAL	BLK 1	MANSFIELD RETAIL ASSOCIATES LL	149 COLONIAL RD	MANCHESTER, CT	06042

Exhibit A

**LOT 2, BLOCK 1, LIGHTBRIDGE ADDITION – MANSFIELD
BOJANGLES LOT ~ 1764 U.S. 287 FRONTAGE ROAD
SUP #24-002**

BEING a 1.8208 acre tract of land located in the Sidney S. Callender Survey, Abstract No. 359, Tarrant County, Texas, said 1.8208 acre tract being a portion of Lot 13R2, Block 2, **GOLDEN ACRES ADDITION**, an Addition to the said City and State, according to plat thereof filed for record in Tarrant County Clerk's Instrument Number (Ins. No.) D212120221, Official Public Records, Tarrant County, Texas (O.P.R.T.C.T.), said 1.8208 acre tract also being a portion of a called 5.9089 acre tract of land conveyed to **MANSFIELD RETAIL ASSOCIATES, LLC**, by deed thereof filed for record in Ins. No. D223099616, O.P.R.T.C.T., said 1.8208 acre tract of land being more particularly described by metes and bounds as follows:

BEGINNING at an "X" cut found at the most south lot corner of said Lot 13R2, same being the west lot corner of Lot 13R1, of said Block 2, said beginning point also being on the northeast right-of-way line of US Highway 287 (being a variable width public right-of-way according to the deed thereof filed for record in Volume 4875, Page 391, O.P.R.T.C.T.);

THENCE North 35°38'28" West, along the southwest lot line of said Lot 13R2 and along the said right-of-way line, passing at a distance of 126.90 feet a broken highway marker found at the west lot corner of said Lot 13R2, same being the south property corner of the said 5.9089 acre tract, continuing along the southwest property line of the said 5.9089 acre tract and along the said right-of-way line, in all a total distance of 283.31 feet to a point from which a 1/2" iron rod with a cap stamped "BEASLEY RPLS 6066" found at the west property corner of the said 5.9089 acre tract, bears North 35°38'28" West, 192.20 feet;

THENCE over and across the said 5.9089 acre tract and said Lot 13R2 the following courses and distances:

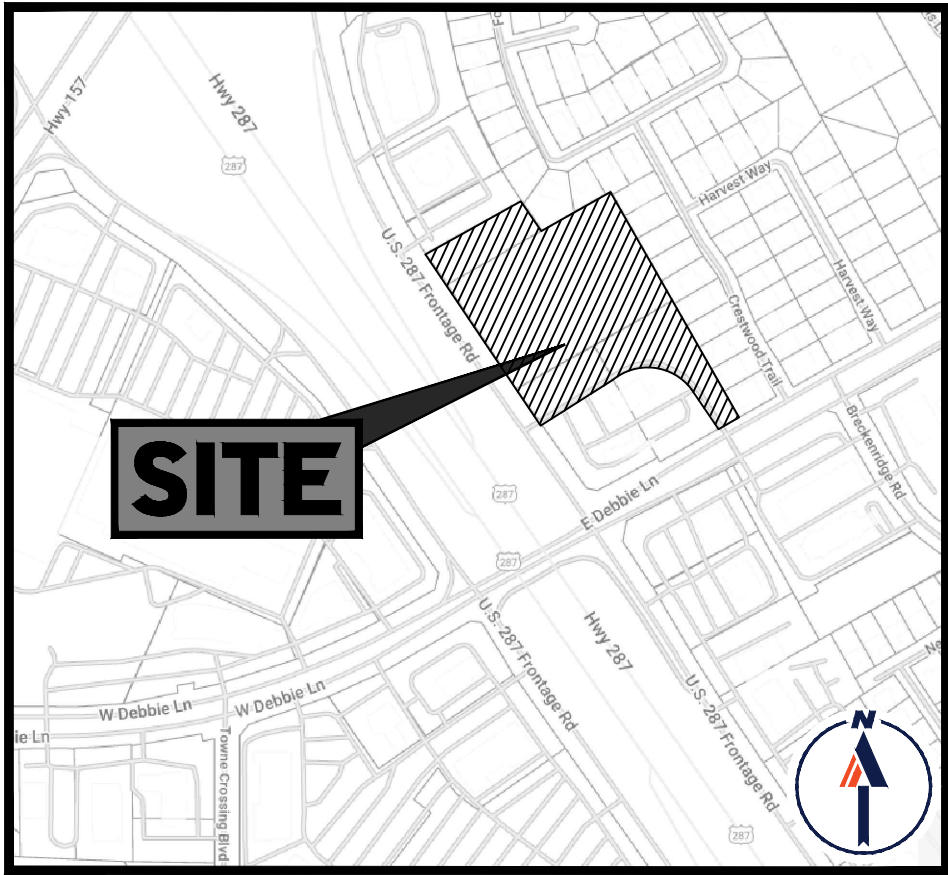
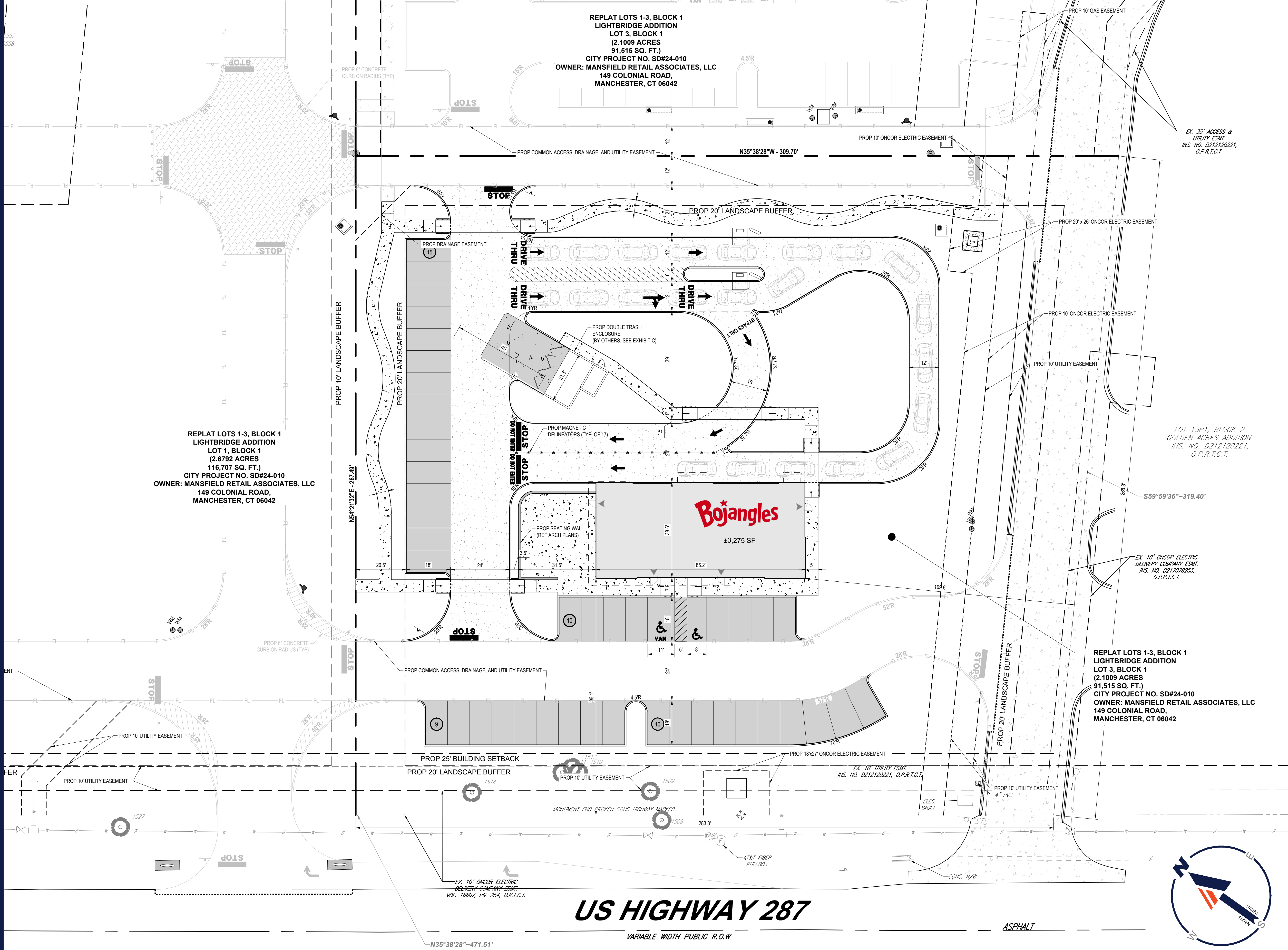
North 54°21'32" East, 267.49 feet;

South 35°38'28" East, 309.70 feet to a point on the southwest lot line of said Lot 13R2, same being on the northwest lot line of said Lot 13R1, from said point an "X" cut found at an interior south lot corner of said Lot 13R2, bears North 59°59'36" East, 50.61 feet;

THENCE, South 59°59'36" West, along the said lot lines, 268.78 feet to the **POINT OF BEGINNING**.

The herein described tract of land contains **1.8208 acres (79,312 square feet)** of land more or less.

The bearings shown herein are referenced to the Texas Coordinate System of 1983, Texas North Central Zone 4202, and are based on the North American Datum of 1983, 2011 Adjustment.



HATCH LEGEND			
	FIRE LANE/ HEAVY DUTY CONCRETE PAVEMENT (SEE SHEET 900)		PROP CONCRETE SIDEWALK (SEE SHEET C-900)
	MEDIUM DUTY CONCRETE PAVEMENT (SEE SHEET 900)		TRASH ENCLOSURE CONCRETE PAVEMENT (SEE SHEET 900)

- SITE PLAN NOTES:**
- ALL DIMENSIONS ARE FROM FACE OF CURB OR FACE OF BUILDING UNLESS NOTED OTHERWISE.
 - ALL CURB RADI ARE 3' UNLESS NOTED OTHERWISE.
 - CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF VESTIBULES, TRASH ENCLOSURES, SLOPE PAVING, SIDEWALKS, EXIT PORCHES, PRECISE BUILDING DIMENSIONS AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS, ARCHITECTURAL, STRUCTURAL, MECHANICAL/ELECTRICAL/PLUMBING, LANDSCAPE AND LIGHTING PLANS ARE TO BE PROVIDED BY OTHERS.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELOCATIONS, (UNLESS OTHERWISE NOTED ON PLANS) INCLUDING BUT NOT LIMITED TO, ALL UTILITIES, STORM DRAINAGE, SIGNS, TRAFFIC SIGNALS & POLES, ETC. AS REQUIRED. ALL WORK SHALL BE IN ACCORDANCE WITH GOVERNING AUTHORITIES REQUIREMENTS AND PROJECT SITE WORK SPECIFICATIONS AND SHALL BE APPROVED BY SUCH. ALL COST SHALL BE INCLUDED IN BASE BID.
 - THIS PLAN WAS PREPARED WITH A TOPOGRAPHIC AND ALTA/NSPS SURVEY PREPARED BY SPOONER & ASSOCIATES, DATED 10/26/2022.
 - ALL FIRE LANES ARE MIN 24' WIDE AND HAVING A MINIMUM INSIDE TURNING RADIUS OF 28'.

OWNER/APPLICANT:
FIRST HARTFORD REALTY CORP
JOHN TOIC
149 COLONIAL ROAD,
MANCHESTER, CT 06042
P: (860) 646-6555
F: (860) 646-6555
JTOIC@FIRSTHARTFORD.COM

ENGINEER:
BOHLER ENGINEERING
MATHIAS HAUBERT, P.E.
2600 NETWORK BLVD, STE. 310
FRISCO, TX 75034
P: 469-458-7300
MHAUBERT@BOHLERENG.COM

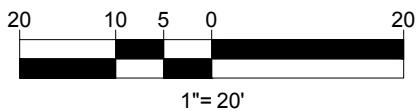
SITE DATE TABLE	
EXISTING ZONING	C-2
PROPOSED ZONING	C-2
REQUIRED PARKING RATIO	1 SPACE / 75 SF
REQUIRED PARKING	43 SPACES
PROVIDED PARKING	44 SPACES
REQUIRED STACKING BEFORE ORDER BOARD	5 SPACES
PROVIDED STACKING BEFORE ORDER BOARD	10 SPACES
REQUIRED STACKING BETWEEN ORDER BOARD AND WINDOW	4 SPACES
PROVIDED STACKING BETWEEN ORDER BOARD AND WINDOW	12 SPACES

**SITE PLAN FOR SPECIFIC USE PERMIT
BOJANGLES**

REPLAT OF LOTS 1-3, BLOCK 1
LIGHTBRIDGE ADDITION - SD#24-010
CITY OF MANSFIELD, TARRANT COUNTY, TX
DATE OF PREPARATION: 05/02/2024
1.8208 ACRES
NO. OF LOTS: 1 LOT

BUILDING MATERIAL TABULATIONS				
	NORTH	WEST	SOUTH	EAST
TOTAL	1106	2282	1030	2227
WOWS/DRS	240/22%	448/20%	32/3%	137/6%
BRICK	729/66%	1566/69%	906/88%	1836/83%
STONE	95/8%	209/8%	92/9%	227/10%
CANOPY	42/4%	59/3%	0	27/1%

**THIS PLAN TO BE UTILIZED FOR SITE
LAYOUT PURPOSES ONLY**



PROJECT BENCHMARKS	
BM#1 MONUMENT FND THD METAL DISK 1/2" CIRF BEASELEY RPLS 4050	
ELEVATION = 650.50'	
BM#2 MONUMENT FND BROKEN CONC HIGHWAY MARKER	
ELEVATION = 645.37	

BOHLER
SITE CIVIL AND CONSULTING ENGINEERING
PROGRAM MANAGEMENT
LANDSCAPE ARCHITECTURE
SUSTAINABLE DESIGN
PERMITTING SERVICES
TRANSPORTATION SERVICES

REVISIONS			
REV	DATE	COMMENT	DRAWN BY / CHECKED BY

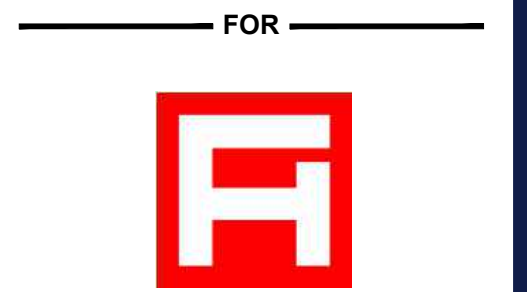
811
Know what's below.
Call before you dig.
ALWAYS CALL 811
It's fast. It's free. It's the law.

**ISSUED FOR MUNICIPAL &
AGENCY REVIEW & APPROVAL**

THIS DRAWING IS INTENDED FOR MUNICIPAL AND/OR AGENCY REVIEW AND APPROVAL. IT IS NOT INTENDED AS A CONSTRUCTION DOCUMENT UNLESS INDICATED OTHERWISE.

PROJECT No.: TXA230132-00-0A
DRAWN BY: MG
CHECKED BY: MJH
DATE: 05/23/24
CAD ID: P-CIVL-SITE

**CONSTRUCTION
PLANS**



NEC US 287 & E DEBBIE LN,
MANSFIELD, TEXAS 76063
TARRANT COUNTY

BOHLER
2600 NETWORK BLVD., STE. 310,
FRISCO, TX 75034
Phone: (469) 458-7300
TX@BohlerEng.com
TBPE No. 18065 | TBPLS No. 10194413

PLANS PREPARED BY
BOHLER
FOR REVIEW PURPOSES ONLY
MATHIAS HAUBERT
LICENSE NUMBER: 130306

SHEET TITLE:

EXHIBIT B

SHEET NUMBER:

SUP#24-002

NOTE: ALL PARAPETS ARE A MINIMUM OF 1 FT ABOVE THE TOP OF ALL HVAC AND MECHANICAL UNITS

NORTH TABULATIONS	
TOTAL	1106
WDWS/DRS	240/22%
BRICK	729/66%
STONE	95/8%
CANOPY	42/4%

1 NORTH ELEVATION

SCALE: 1/8" = 1'-0"

SOUTH TABULATIONS	
TOTAL	1030
WDWS/DRS	32/3%
BRICK	906/88%
STONE	92/9%
CANOPY	0

3 SOUTH ELEVATION

SCALE: 1/8" = 1'-0"

APPROX. ROOF LINE BEYOND
MTL COPING (MC-1)
TOP/HIGH PARAPET
28'-0" A.F.F.
4" BRICK CORNICE (BR-1)
4" BRICK (BR-1)
4" BRICK SOLDIER COURSE (BR-1)
TOP/WINDOWS
14'-0" A.F.F.
MTL CANOPY (CN-1)
BOT/CANOPY
9'-0" A.F.F.
CLEAR ANOD ALUM STOREFRONT SYSTEM (SF-1)
STONE WAINSCOT (ST-1)
FIN. FLOOR
0'-0" A.F.F.

2 WEST ELEVATION

SCALE: 1/8" = 1'-0"

TOP/HIGH PARAPET
28'-0" A.F.F.
TOP/LOW PARAPET
25'-4" A.F.F.
4" BRICK CORNICE (BR-1)
4" BRICK SOLDIER COURSE (BR-1)
TOP/WINDOWS
14'-0" A.F.F.
4" BRICK (BR-1)
BOT/CANOPY
9'-0" A.F.F.
FIN. FLOOR
0'-0" A.F.F.

WEST TABULATIONS	
TOTAL	2282
WDWS/DRS	448/20%
BRICK	1566/69%
STONE	209/8%
CANOPY	59/3%

APPROX. ROOF LINE BEYOND
TOP/HIGH PARAPET
28'-0" A.F.F.
TOP/LOW PARAPET
25'-4" A.F.F.
4" BRICK CORNICE (BR-2)
4" BRICK SOLDIER COURSE (BR-2)
4" BRICK (BR-2)
MTL CANOPY (CN-1)
BOT/D.T. CANOPY
10'-0" A.F.F.
MTL LADDER & DOOR - PAINT TO MATCH BRICK (BR-1)
STONE WAINSCOT (ST-1)
FIN. FLOOR
0'-0" A.F.F.

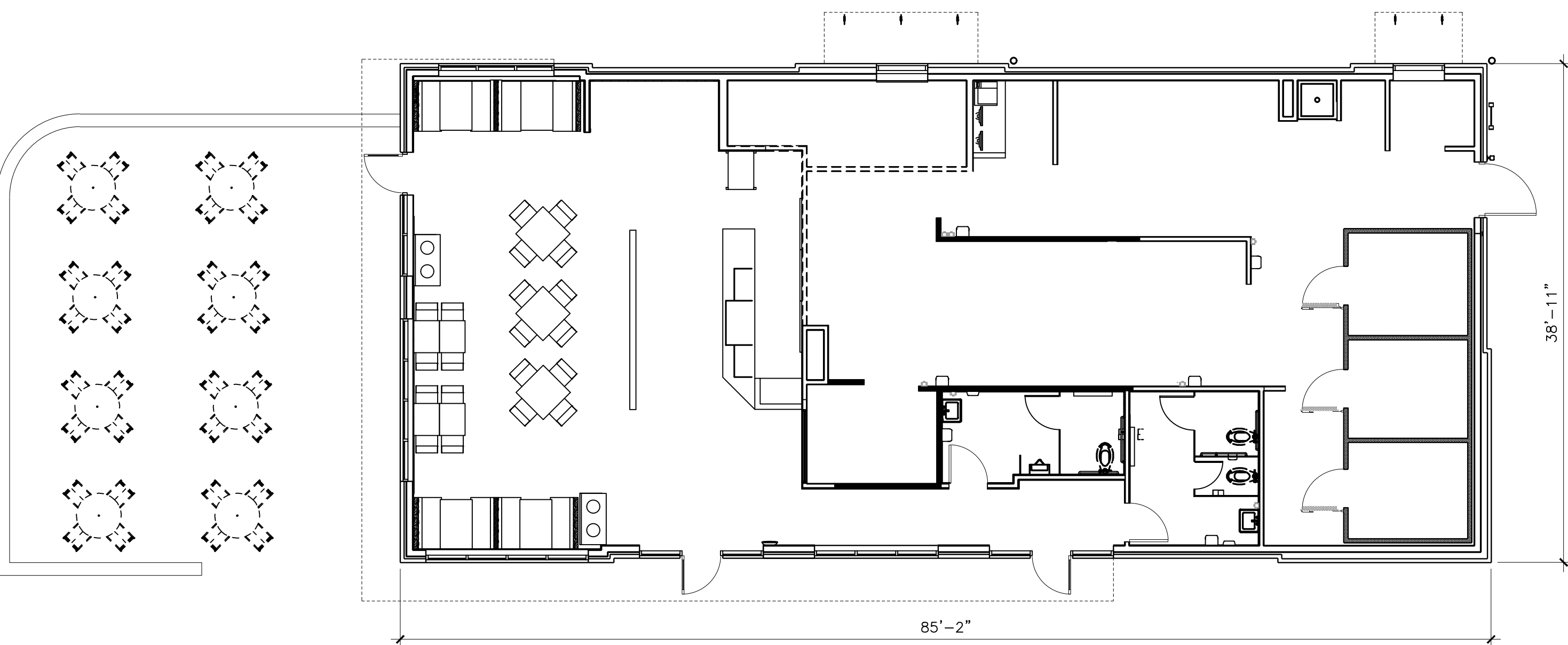
4 EAST ELEVATION

SCALE: 1/8" = 1'-0"

4" BRICK CORNICE (BR-2)
4" BRICK (BR-2)
4" BRICK SOLDIER COURSE (BR-2)
AIR CURTAIN @ EACH D.T. WINDOW
CLEAR ANOD ALUM DRIVE-THRU WINDOWS (SF-1)

APPROX. ROOF LINE BEYOND
TOP/HIGH PARAPET
28'-0" A.F.F.
TOP/LOW PARAPET
25'-4" A.F.F.
4" BRICK CORNICE (BR-1)
4" BRICK SOLDIER COURSE (BR-1)
4" BRICK (BR-1)
TOP/WINDOWS
14'-0" A.F.F.
MTL CANOPY (CN-1)
BOT/CANOPY
9'-0" A.F.F.
CLEAR ANOD ALUM STOREFRONT SYSTEM (SF-1)
STONE WAINSCOT & PATIO WALL (ST-1)
FIN. FLOOR
0'-0" A.F.F.

EAST TABULATIONS	
TOTAL	2227
WDWS/DRS	137/6%
BRICK	1836/83%
STONE	227/10%
CANOPY	27/1%



5 FLOOR PLAN

SCALE: 1/8" = 1'-0"

OWNER

FIRST HARTFORD REALTY CORP.
2529 6th Ave
Fort Worth, TX 76110
Phone: (817) 808-6151
Contact: Josh Gardner

ARCHITECT

GENESIS DESIGN GROUP, INC.
9500 Ray White Rd, Suite 200
Fort Worth, Texas 76244
Phone: (817) 285-7444
Contact: Randall L. Byrd
email: rbyrd@genesisarhitects.com

MATERIAL TABULATIONS

	NORTH	WEST	SOUTH	EAST
TOTAL	1106	2282	1030	2227
WDWS/DRS	240/22%	448/20%	32/3%	137/6%
BRICK	729/66%	1566/69%	906/88%	1836/83%
STONE	95/8%	209/8%	92/9%	227/10%
CANOPY	42/4%	59/3%	0	27/1%

EXTERIOR FINISH SCHEDULE

NO.	DESCRIPTION	MANUF	FINISH / STYLE
BR-1	4" COMMON BRICK	COLUMBUS BRICK	MAGNOLIA BAY
BR-2	4" COMMON BRICK	COLUMBUS BRICK	BASTILLE
ST-1	4" NATURAL STONE	ROCKY'S STONE MANSFIELD, TX	NATURAL STONE OKLAHOMA MULTI BLEND
CN-1	ALUMINUM CANOPY	PER BOJANGLES	COLOR: PMS 165C ORANGE
MC-1	PRE-FIN. METAL COPING	DURO-LAST	SIERRA TAN
SF-1	STOREFRONT ASSEMBLY	KAWNEER	CLEAR ANODIZED



EXHIBIT C

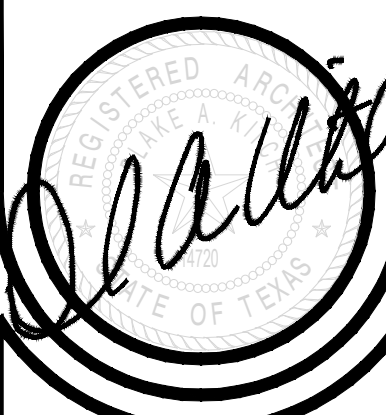


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US HIGHWAY 287 & E. DEBBIE LN, MANSFIELD, TX

EXHIBIT C
BUILDING
ELEVATIONS



04-30-2024

C.1

SUP#24-002

REVISIONS: A - FACADE PLAN FOR PLANNING SUBMITAL - 04-02-24
B - FACADE PLAN FOR PLANNING RESUBMITAL - 04-30-24



The architectural drawings show the exterior walls of the building from four perspectives: North, East, South, and West. The walls are constructed of brick and feature metal gates with R-panel painting to match the brick. The drawings include dimensions and material specifications.

North Elevation: Shows a wall with a height of 8'-2". The wall is constructed of brick and features metal gates with R-panel painting to match the brick. The drawing includes a label for "METAL GATES WITH R-PANEL PAINTED TO MATCH BRICK (BR-2)".

East Elevation: Shows a wall with a height of 8'-2". The wall is constructed of brick and features a door and a window. The drawing includes labels for "MTL COPING (MC-1)", "4" BRICK (BR-2)", and "H.M. DOOR & FRAME PAINTED TO MATCH BRICK (BR-2)".

South Elevation: Shows a wall with a height of 8'-2". The wall is constructed of brick and features metal gates with R-panel painting to match the brick. The drawing includes a label for "METAL GATES WITH R-PANEL PAINTED TO MATCH BRICK (BR-2)".

West Elevation: Shows a wall with a height of 8'-2". The wall is constructed of brick and features metal gates with R-panel painting to match the brick. The drawing includes a label for "METAL GATES WITH R-PANEL PAINTED TO MATCH BRICK (BR-2)".

2 ELEVATIONS

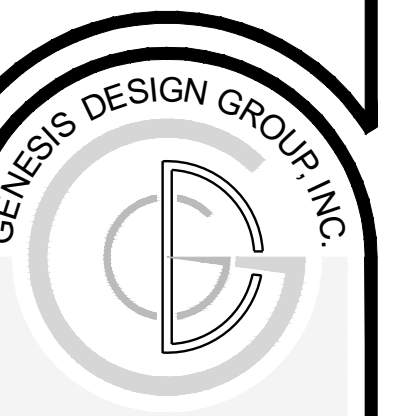
OWNER

ARCHITECT

EXHIBIT C

EXHIBIT C
TRASH ENCLOSURE
ELEVATIONS

Bojangles®
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Texas Firm #BR-2139

REVISIONS: A - FACADE PLAN FOR PLANNING SUBMITTAL - 04-02-24
B - FACADE PLAN FOR PLANNING RESUBMITTAL - 04-30-24
C - HASH ENCLOSURE ADDED FOR PLANNING SUBMITTAL - 03-13-24

A - FACADE PLAN FOR PLANNING SUBMITTAL - 04-02-24

-15-2024

C.2

P#24-002

SITE INFORMATION

ZONING DESIGNATION: COMMERCIAL (C-2)
PROPOSED USE: RESTAURANT
TOTAL SITE AREA: 79,312 SF (1.82 AC)

LANDSCAPE REQUIREMENTS

PASSIVE SPACE

REQUIRED: 10% OF BUILDING AREA
3163 SF x 0.10 = 317 SF REQ'D 3,801 SF PROVIDED
PASSIVE SPACE ELEMENTS:
- OUTDOOR DINING SPACE: 1029 SF
- BENCHES ALONG WALKING PATH: 2772 SF

LANDSCAPE AREA

REQUIRED: 10% OF TOTAL LOT AREA
79,312 SF x 0.10 = 7,932 SF REQ'D 28,458 SF PROVIDED

BUFFER YARDS AND SCREENING

1 TREE / 25 LF (REDUCED 50% FOR SAME ZONING USE TO 1 TREE / 50 LF)
NORTH: 10' LANDSCAPE BUFFER ADJACENT TO A C-2 ZONED PROPERTY (310 LF)
310/50 LF = 6 TREES REQ'D 6 TREES PROVIDED

EAST: 10' LANDSCAPE BUFFER ADJACENT TO A C-2 ZONED PROPERTY (269 LF)
269/50 LF = 6 TREES REQ'D 6 TREES PROVIDED

WEST: 10' LANDSCAPE BUFFER ADJACENT TO A C-2 ZONED PROPERTY (268 LF)
268/50 LF = 6 TREES REQ'D 6 TREES PROVIDED

STREET LANDSCAPE SETBACK

1 TREE PER 40 LF
SOUTH: 20' LANDSCAPE BUFFER ADJACENT TO US HWY 287 (283 LF)
283/40 = 7 TREES REQ'D 7 TREES PROVIDED (5 EXISTING + 2 PROPOSED)

PARKING LOT PERIMETER LANDSCAPE

ALL SURFACE PARKING LOT, VEHICULAR USE AND MANEUVERING AREAS
TO BE SCREENED WITH 3' HT CONTINUOUS PLANTINGS
3' HT CONTINUOUS HEDGE PROVIDED AS REQUIRED

PARKING LOT INTERNAL LANDSCAPE

TOTAL PARKING SPACES - 44
1 TREE / 10 PARKING SPACES
44/10 = 5 CANOPY TREES 5 TREES PROVIDED

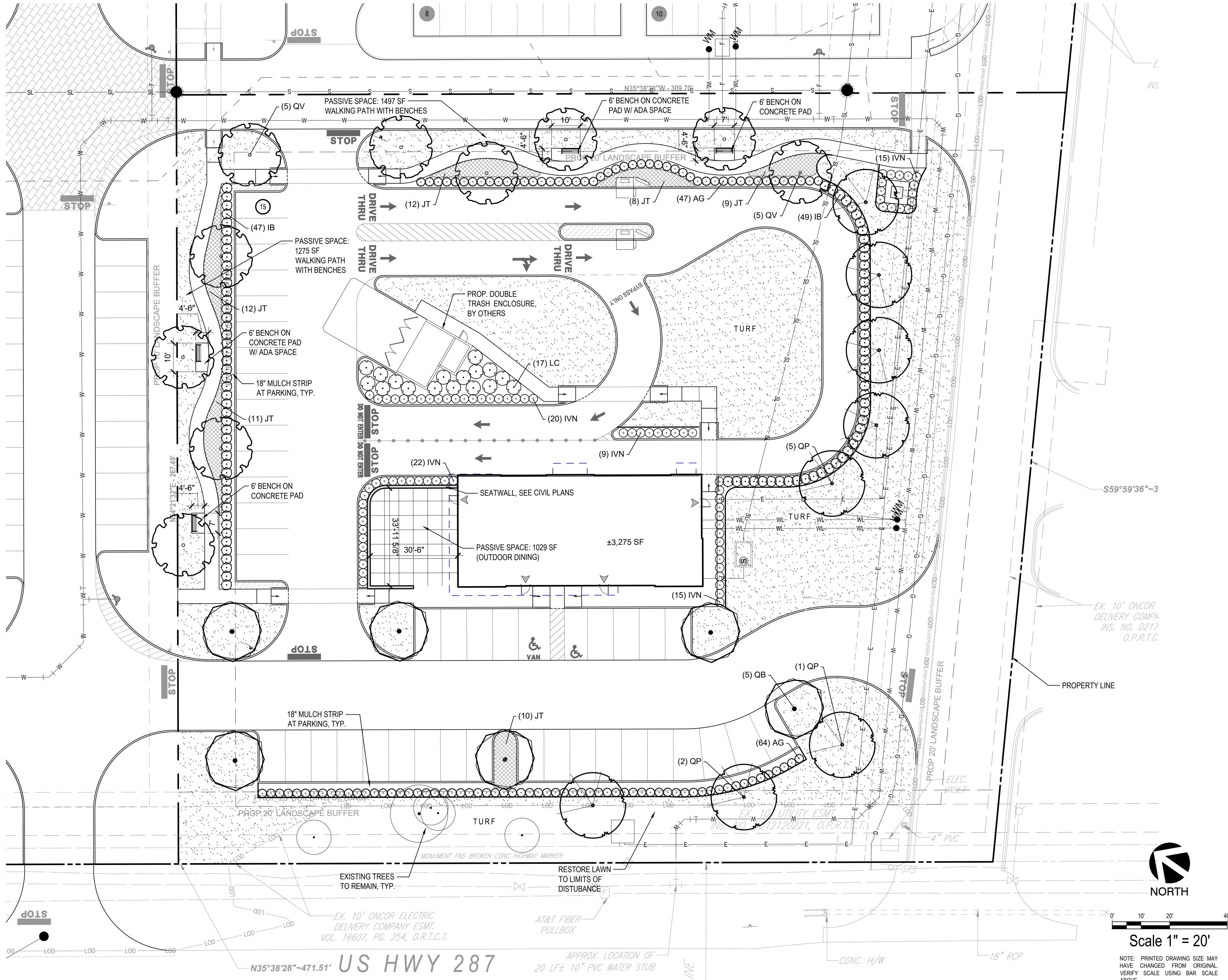
FOUNDATION AREA & GROUND EQUIPMENT LANDSCAPING

4' WIDE LANDSCAPE AREA ADJACENT TO OR WITHIN 10 FEET OF ALL BUILDING FACADES
PLANTINGS SHALL BE SITUATED AROUND, ALONG OR ADJACENT TO SCREEN WALLS
PROVIDED AS REQUIRED

PLANT SCHEDULE

TREES	CODE	QTY	BOTANICAL / COMMON NAME	CAL.	CONT.	SIZE
	QB	6	Quercus buckleyi Texas Red Oak	3" Cal.	Cont. or B&B	12' min.
	QP	8	Quercus polymorpha Mexican White Oak	3" Cal.	Cont. or B&B	12' min.
	QV	10	Quercus virginiana Southern Live Oak	3" Cal.	Cont. or B&B	12' min.
SHRUBS	CODE	QTY	BOTANICAL / COMMON NAME	CONTAINER	SPACING	SIZE
	AG	112	Abelia grandiflora Glossy Abelia - 36" At time of planting	7 gal	36" OC	36" Min.
	IB	118	Ilex cornuta 'Burfordii nana' Dwarf Burford Holly - 36" At time of planting	7 gal	36" OC	36" Min.
	IVN	81	Ilex vomitoria 'Nana' Dwarf Burford Holly - 36" At time of planting	7 gal	36" OC	36" Min.
	JT	62	Juniperus sabina var. tamariscifolia Tamarix Juniper	7 gal	48" OC	24" Sp.
	LC	17	Lagerstroemia 'Chisam Fire' Chisam Fire Crape Myrtle - 36" At time of planting	7 gal	60" OC	36" Min.

GROUND COVERS	CODE	QTY	BOTANICAL / COMMON NAME	CONT	SPACING
	CD	25,778 sf	Cynodon dactylon 'TifTuf' TifTuf Bermuda Grass	Sod	
			DECOMPOSED GRANITE, 3" THICK LAYER COMPACTED OVER LANDSCAPE FABRIC (ANY APPROVED)		



CITY OF MANSFIELD LANDSCAPING MAINTENANCE NOTE:

THE PROPERTY OWNER, TENANT OR AGENT, SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL REQUIRED LANDSCAPING IN A HEALTHY, NEAT, ORDERLY AND LIVE-GROWING CONDITION AT ALL TIMES. THIS SHALL INCLUDE MOWING, EDGING, PRUNING, FERTILIZING, IRRIGATION, WEEDING, AND OTHER SUCH ACTIVITIES COMMON TO THE MAINTENANCE OF LANDSCAPING. LANDSCAPED AREAS SHALL BE KEPT FREE OF TRASH, LITTER, WEEDS AND OTHER SUCH MATERIALS NOT A PART OF THE LANDSCAPING. PLANT MATERIALS THAT DIE SHALL BE REPLACED WITH PLANT MATERIALS OF SIMILAR VARIETY AND SIZE.

ALL GROUND MOUNTED
UTILITY EQUIPMENT NOT
SHOWN, BUT PRESENT
IN THE FILED, MUST BE
SCREENED WITH
EVERGREEN SHRUBS.

GENERAL GRADING AND PLANTING NOTES

- BY SUBMITTING A PROPOSAL FOR THE LANDSCAPE PLANTING SCOPE OF WORK, THE CONTRACTOR CONFIRMS THAT HE HAS READ, AND WILL COMPLY WITH, THE ASSOCIATED NOTES, SPECIFICATIONS, AND DETAILS WITH THIS PROJECT.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL EXISTING VEGETATION (EXCEPT WHERE NOTED TO REMAIN).
- IN THE CONTEXT OF THESE PLANS, NOTES, AND SPECIFICATIONS, "FINISH GRADE" REFERS TO THE FINAL ELEVATION OF THE SOIL SURFACE (NOT TOP OF MULCH) AS INDICATED ON THE GRADING PLANS.
 - BEFORE STARTING WORK, THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE ROUGH GRADES OF ALL LANDSCAPE AREAS ARE WITHIN $\pm 0.1'$ OF FINISH GRADE. SEE SPECIFICATIONS FOR MORE DETAILED INSTRUCTION ON TURF AREA AND PLANTING BED PREPARATION.
 - CONSTRUCT AND MAINTAIN FINISH GRADES AS SHOWN ON GRADING PLANS, AND CONSTRUCT AND MAINTAIN SLOPES AS RECOMMENDED BY THE GEOTECHNICAL REPORT. ALL LANDSCAPE AREAS SHALL HAVE POSITIVE DRAINAGE AWAY FROM STRUCTURES AT THE MINIMUM SLOPE SPECIFIED IN THE REPORT AND ON THE GRADING PLANS, AND AREAS OF POTENTIAL PONDING SHALL BE REGRADED TO BLEND IN WITH THE SURROUNDING GRADES AND ELIMINATE PONDING POTENTIAL.
 - THE LANDSCAPE CONTRACTOR SHALL DETERMINE WHETHER OR NOT THE EXPORT OF ANY SOIL WILL BE NEEDED, TAKING INTO ACCOUNT THE ROUGH GRADE PROVIDED, THE AMOUNT OF SOIL AMENDMENTS TO BE ADDED (BASED ON A SOIL TEST, PER SPECIFICATIONS), AND THE FINISH GRADES TO BE ESTABLISHED.
 - ENSURE THAT THE FINISH GRADE IN SHRUB AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 3" BELOW THE ADJACENT FINISH SURFACE, IN ORDER TO ALLOW FOR PROPER MULCH DEPTH. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALKS.
 - ENSURE THAT THE FINISH GRADE IN TURF AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 1" BELOW THE FINISH SURFACE OF THE WALKS. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALKS.
 - SHOULD ANY CONFLICTS AND/OR DISCREPANCIES ARISE BETWEEN THE GRADING PLANS, GEOTECHNICAL REPORT, THESE NOTES AND PLANS, AND ACTUAL CONDITIONS, THE CONTRACTOR SHALL IMMEDIATELY BRING SUCH ITEMS TO THE ATTENTION OF THE LANDSCAPE ARCHITECT, GENERAL CONTRACTOR, AND OWNER.
- ALL PLANT LOCATIONS ARE DIAGRAMMATIC. ACTUAL LOCATIONS SHALL BE VERIFIED WITH THE LANDSCAPE ARCHITECT OR DESIGNER PRIOR TO PLANTING. THE LANDSCAPE CONTRACTOR SHALL ENSURE THAT ALL REQUIREMENTS OF THE PERMITTING AUTHORITY ARE MET (I.E., MINIMUM PLANT QUANTITIES, PLANTING METHODS, TREE PROTECTION METHODS, ETC.).
 - THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR DETERMINING PLANT QUANTITIES: PLANT QUANTITIES SHOWN ON LEGENDS AND CALLOUTS ARE FOR GENERAL INFORMATION ONLY. IN THE EVENT OF A DISCREPANCY BETWEEN THE PLAN AND THE PLANT LEGEND, THE PLANT QUANTITY AS SHOWN ON THE PLAN (FOR INDIVIDUAL SYMBOLS) OR CALLOUT (FOR GROUNDCOVER PATTERNS) SHALL TAKE PRECEDENCE.
 - NO SUBSTITUTIONS OF PLANT MATERIALS SHALL BE ALLOWED WITHOUT THE WRITTEN PERMISSION OF THE LANDSCAPE ARCHITECT. IF SOME OF THE PLANTS ARE NOT AVAILABLE, THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT IN WRITING (VIA PROPER CHANNELS).
 - THE CONTRACTOR SHALL, AT A MINIMUM, PROVIDE REPRESENTATIVE PHOTOS OF ALL PLANTS PROPOSED FOR THE PROJECT. THE CONTRACTOR SHALL ALLOW THE LANDSCAPE ARCHITECT AND THE OWNER'S OWNERS REPRESENTATIVE TO INSPECT, AND APPROVE OR REJECT, ALL PLANTS DELIVERED TO THE JOBSITE. REFER TO SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS FOR SUBMITTALS.
- THE CONTRACTOR SHALL MAINTAIN THE LANDSCAPE IN A HEALTHY CONDITION FOR 90 DAYS AFTER ACCEPTANCE BY THE OWNER. REFER TO SPECIFICATIONS FOR CONDITIONS OF ACCEPTANCE FOR THE START OF THE MAINTENANCE PERIOD, AND FOR FINAL ACCEPTANCE AT THE END OF THE MAINTENANCE PERIOD.
- SEE SPECIFICATIONS AND DETAILS FOR FURTHER REQUIREMENTS.

ROOT BARRIERS

THE CONTRACTOR SHALL INSTALL ROOT BARRIERS NEAR ALL NEWLY-PLANTED TREES THAT ARE LOCATED WITHIN FIVE (5) FEET OF PAVING OR CURBS. ROOT BARRIERS SHALL BE "CENTURY" OR "DEEP-ROOT" 24" DEEP PANELS (OR EQUAL) BARRIERS SHALL BE LOCATED IMMEDIATELY ADJACENT TO HARDSCAPE. INSTALL PANELS PER MANUFACTURER'S RECOMMENDATIONS. UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR USE ROOT BARRIERS OF A TYPE THAT COMPLETELY ENCIRCLE THE ROOTBALL.

MULCHES

AFTER ALL PLANTING IS COMPLETE, CONTRACTOR SHALL INSTALL 3" THICK LAYER OF 1" 12" SHEEPWOOD MULCH, NATURAL (UNDYED), OVER LANDSCAPE FABRIC IN ALL PLANTING AREAS (EXCEPT FOR TURF AND SEEDING AREAS). CONTRACTOR SHALL SUBMIT SAMPLES OF ALL MULCHES TO LANDSCAPE ARCHITECT AND OWNER FOR APPROVAL PRIOR TO CONSTRUCTION. ABSOLUTELY NO EXPOSED GROUND SHALL BE LEFT SHOWING ANYWHERE ON THE PROJECT AFTER MULCH HAS BEEN INSTALLED (SUBJECT TO THE CONDITIONS AND REQUIREMENTS OF THE "GENERAL GRADING AND PLANTING NOTES" AND SPECIFICATIONS).



SITE CIVIL AND CONSULTING ENGINEERING
PROGRAM MANAGEMENT
LANDSCAPE ARCHITECTURE
SUSTAINABLE DESIGN
PERMITTING SERVICES
TRANSPORTATION SERVICES

REVISIONS

REV	DATE	COMMENT	DRAWN BY



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PROJECT No.: NSFIELDTX-LP
DRAWN BY: SMS
CHECKED BY: SS
DATE: 04/15/24
CAD ID: BOJANGLES-M

PROJECT:

CONSTRUCTION PLANS

FOR



NEC US 287 & E DEBBIE LN,
MANSFIELD, TEXAS 76063
TARRANT COUNTY



2600 NETWORK BLVD., STE. 310,
FRISCO, TX 75034
Phone: (469) 458-7300
TX@BohlerEng.com
TBPE No. 18065 | TBPLS No. 10194413



6/12/24

SHEET TITLE:

EXHIBIT D:
LANDSCAPE AND
PASSIVE SPACE
PLAN

SHEET NUMBER:

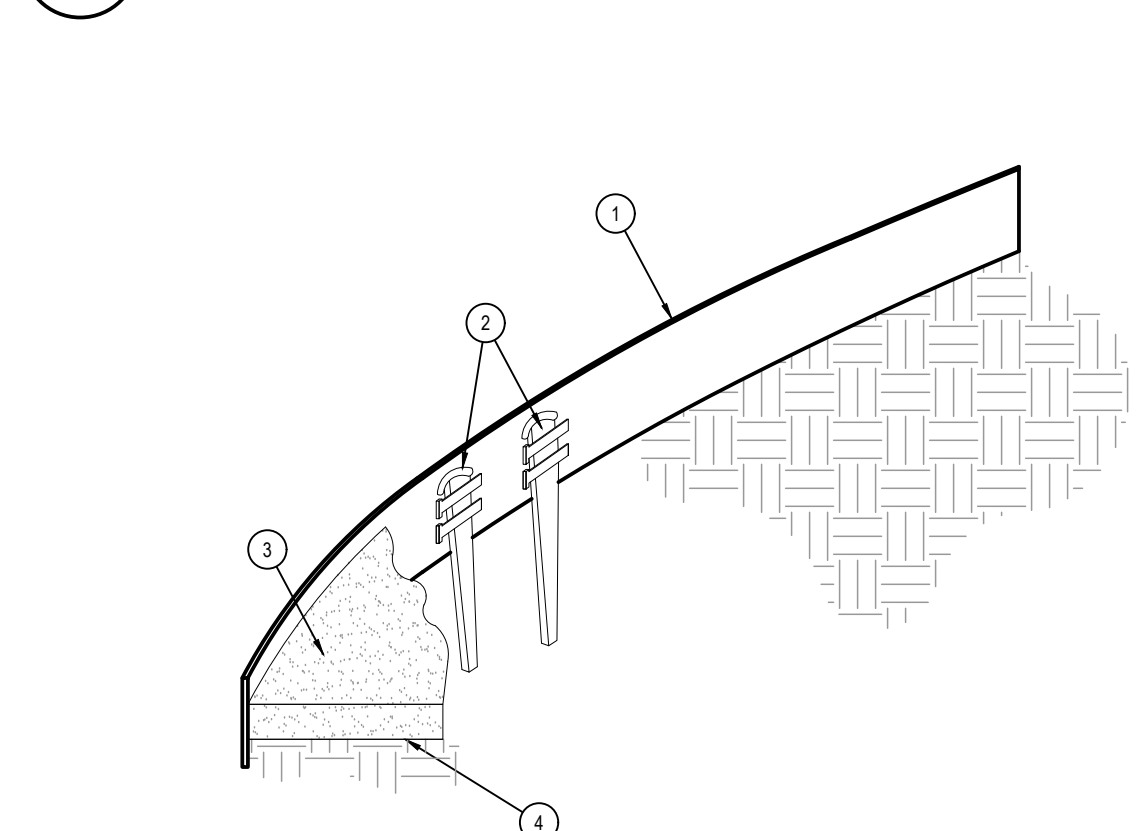
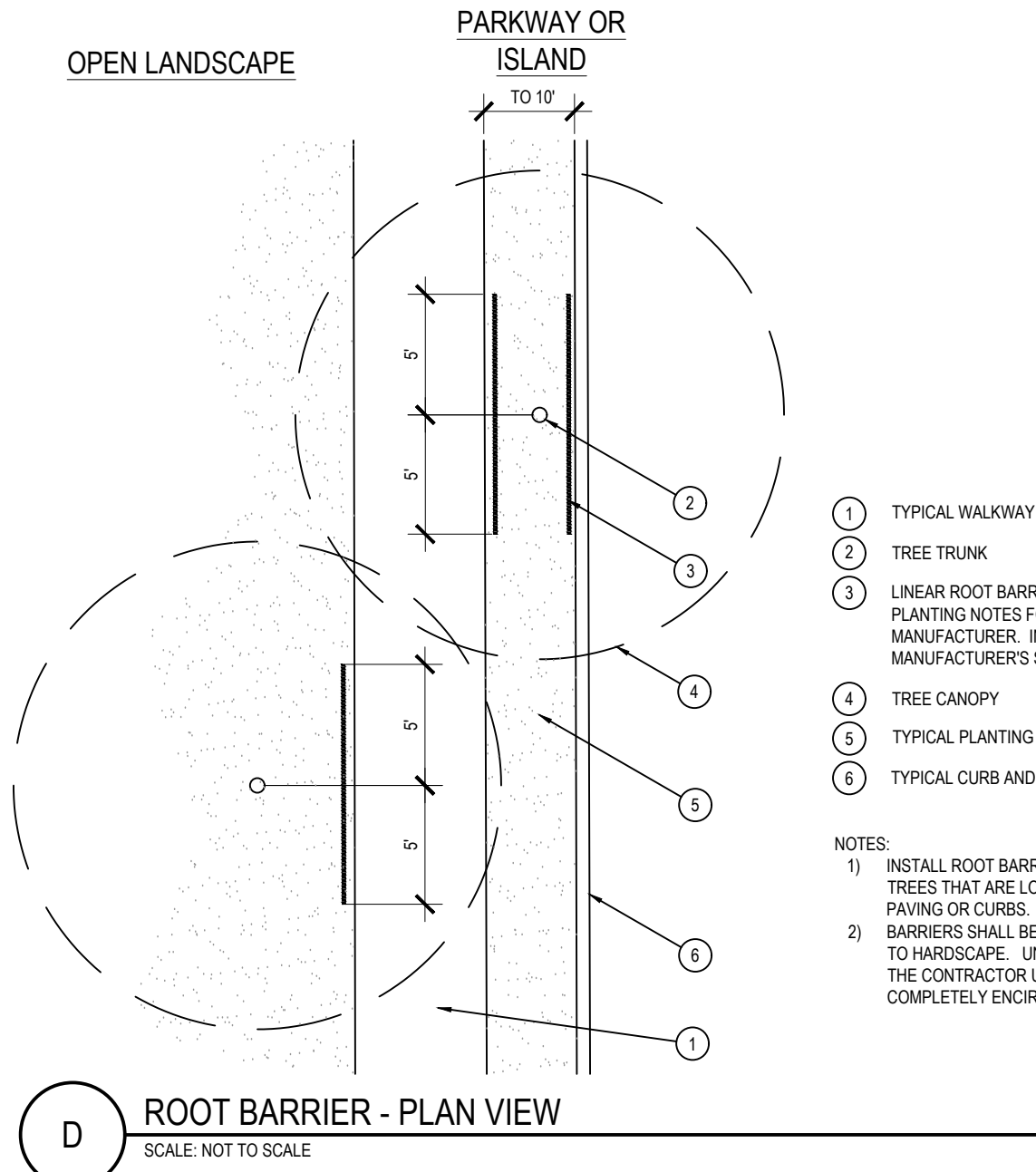
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PLANTING SPECIFICATIONS

- GENERAL
- A. QUALIFICATIONS OF LANDSCAPE CONTRACTOR
1. ALL LANDSCAPE WORK SHOWN ON THESE PLANS SHALL BE PERFORMED BY A SINGLE FIRM SPECIALIZING IN LANDSCAPE PLANTING.
 2. A LIST OF SUCCESSFULLY COMPLETED PROJECTS OF THIS TYPE, SIZE AND NATURE MAY BE REQUESTED BY THE OWNER FOR FURTHER QUALIFICATION PURPOSES.
 3. THE LANDSCAPE CONTRACTOR SHALL HOLD A VALID NURSERY AND FLORAL CERTIFICATE ISSUED BY THE TEXAS DEPARTMENT OF AGRICULTURE, AS WELL AS OPERATE UNDER A COMMERCIAL PESTICIDE APPLICATOR LICENSE ISSUED BY EITHER THE TEXAS DEPARTMENT OF AGRICULTURE OR THE TEXAS STRUCTURAL PEST CONTROL BOARD.
- B. SCOPE OF WORK
4. WORK COVERED BY THESE SECTIONS INCLUDES THE FURNISHING AND PAYMENT OF ALL MATERIALS, LABOR, SERVICES, EQUIPMENT, LICENSES, TAXES AND ANY OTHER ITEMS THAT ARE NECESSARY FOR THE EXECUTION, INSTALLATION AND COMPLETION OF ALL WORK, SPECIFIED HEREIN AND/OR SHOWN ON THE LANDSCAPE PLANS, NOTES, AND DETAILS.
 5. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE LAWS, CODES AND REGULATIONS REQUIRED BY AUTHORITIES HAVING JURISDICTION OVER SUCH WORK, INCLUDING ALL INSPECTIONS AND PERMITS REQUIRED BY FEDERAL, STATE AND LOCAL AUTHORITIES IN SUPPLY, TRANSPORTATION AND INSTALLATION OF MATERIALS.
 6. THE LANDSCAPE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UNDERGROUND UTILITY LINES (WATER, SEWER, ELECTRICAL, TELEPHONE, GAS, CABLE, TELEVISION, ETC.) PRIOR TO THE START OF ANY WORK.

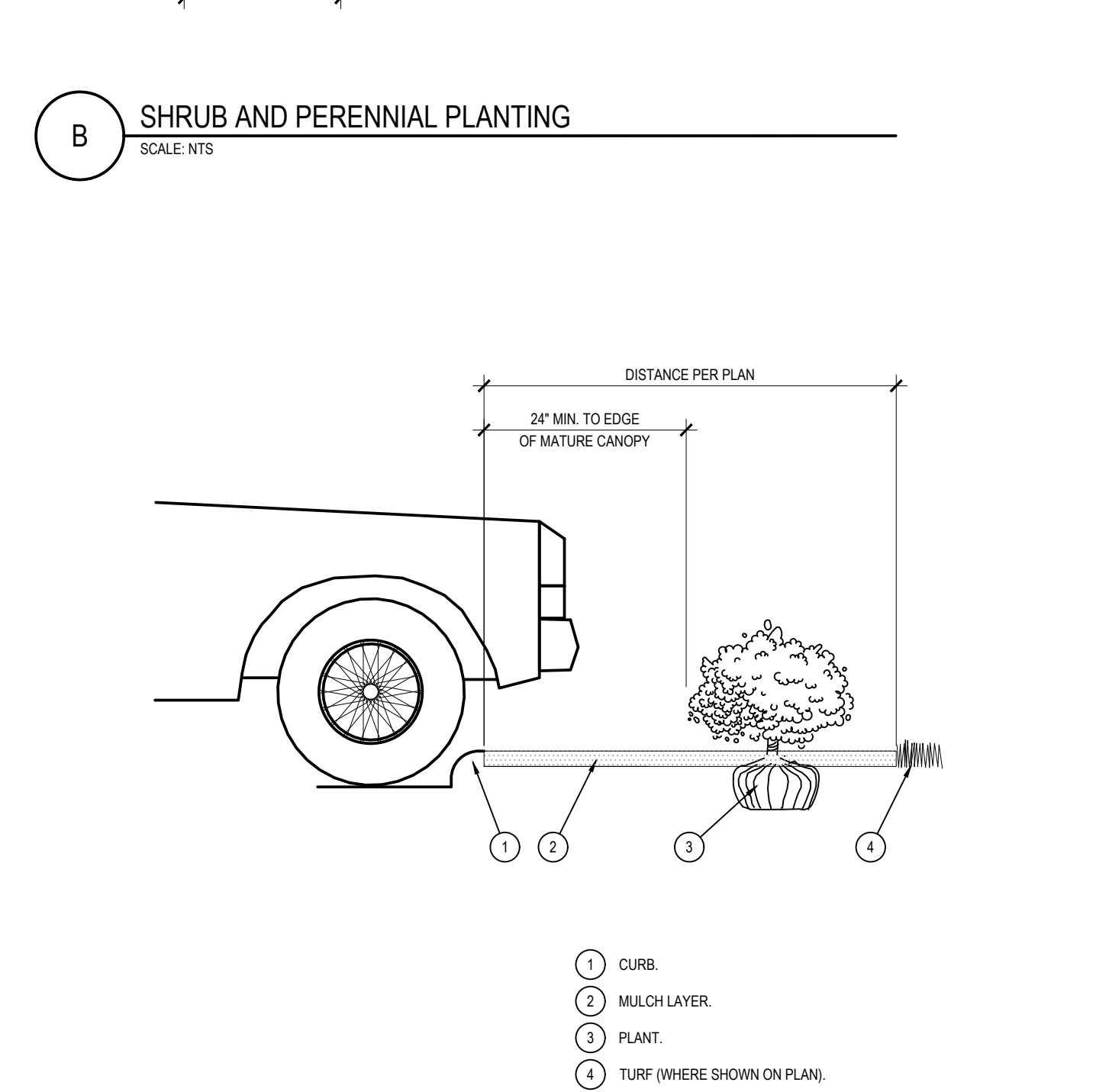
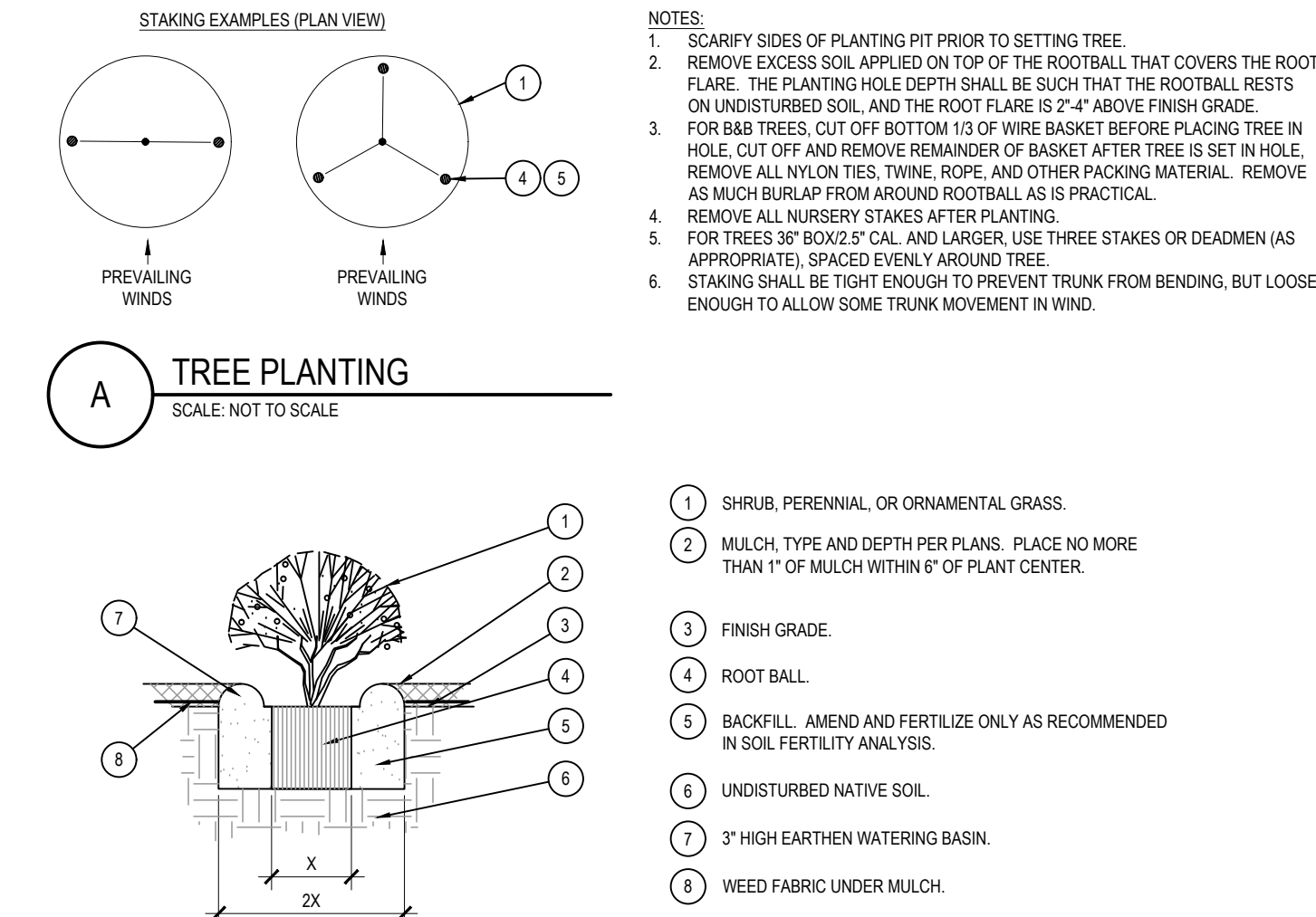
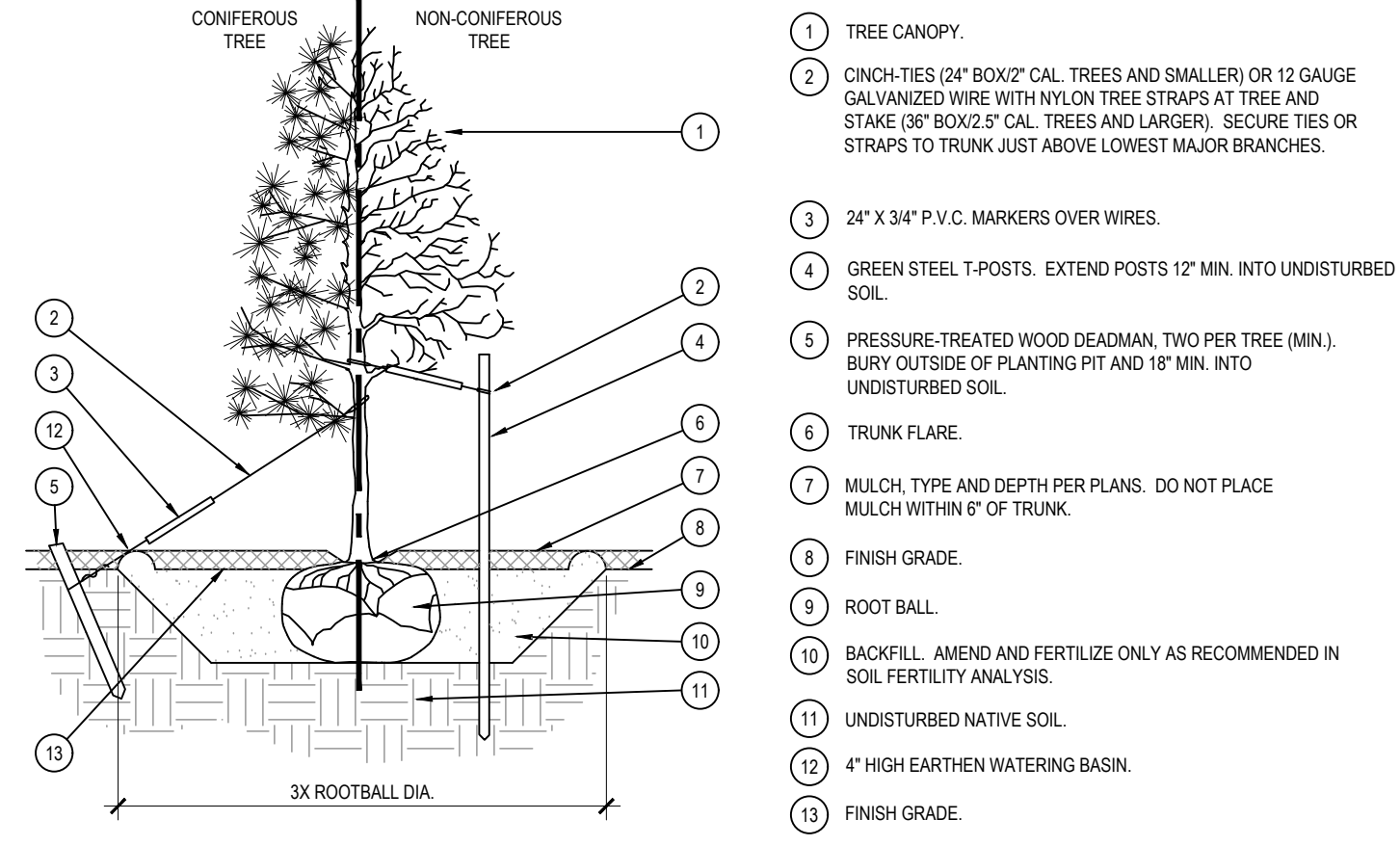
PRODUCTS

- A. ALL MANUFACTURED PRODUCTS SHALL BE NEW.
- B. CONTAINER AND BALLED-AND-BURLAPPED PLANTS
1. FURNISH NURSERY-GROWN PLANTS COMPLYING WITH ANSI Z601-2014. PROVIDE WELL-SHAPED, FULLY BRANCHED, HEALTHY, VIGOROUS STOCK FREE OF DISEASE, INSECTS, EGGS, LARVAE, AND DEFECTS SUCH AS KNOTS, SUN SCALD, INJURIES, ABRASIONS, AND DISFIGUREMENT. ALL PLANTS WITHIN A SPECIES SHALL HAVE SIMILAR SIZE, AND SHALL BE OF A FORM TYPICAL FOR THE SPECIES. ALL TREES SHALL BE OBTAINED FROM SOURCES WITHIN 200 MILES OF THE PROJECT SITE, AND WITH SIMILAR CLIMATIC CONDITIONS.
 2. ROOT SYSTEMS SHALL BE HEALTHY, DENSELY BRANCHED ROOT SYSTEMS, NON-POT-BOUND, FREE FROM ENCRUSTING AND/OR GIRDLING ROOTS, AND FREE FROM ANY OTHER DEFECTS (SUCH AS J-SHAPED ROOTS).
 3. TREES MAY BE PLANTED FROM CONTAINERS OR BALLED-AND-BURLAPPED (B&B), UNLESS SPECIFIED ON THE PLANTING LEGEND. BARE-ROOT TREES ARE NOT ACCEPTABLE.
 4. ANY PLANT DEEMED UNACCEPTABLE BY THE LANDSCAPE ARCHITECT OR OWNER SHALL BE IMMEDIATELY REMOVED FROM THE SITE AND SHALL BE REPLACED WITH AN ACCEPTABLE PLANT OF LIKE TYPE AND SIZE AT THE CONTRACTOR'S OWN EXPENSE. ANY PLANTS APPEARING TO BE UNHEALTHY, EVEN IF DETERMINED TO STILL BE ALIVE, SHALL NOT BE ACCEPTED. THE LANDSCAPE ARCHITECT AND OWNER SHALL BE THE SOLE JUDGES AS TO THE ACCEPTABILITY OF PLANT MATERIAL.
 5. ALL TREES SHALL BE STANDARD IN FORM, UNLESS OTHERWISE SPECIFIED. TREES WITH CENTRAL LEADERS WILL NOT BE ACCEPTED IF LEADER IS DAMAGED OR REMOVED. PRUNE ALL DAMAGED TWIGS AFTER PLANTING.
 6. CALIPER MEASUREMENTS FOR STANDARD (SINGLE TRUNK) TREES SHALL BE AS FOLLOWS: SIX INCHES ABOVE THE ROOT FLARE FOR TREES G. UP TO AND INCLUDING FOUR INCHES IN CALIPER, AND TWELVE INCHES ABOVE THE ROOT FLARE FOR TREES EXCEEDING FOUR INCHES IN CALIPER.
 7. MULTI-TRUNK TREES SHALL BE MEASURED BY THEIR OVERALL HEIGHT, MEASURED FROM THE TOP OF THE ROOT BALL, WHERE CALIPER MEASUREMENTS ARE USED. THE CALIPER SHALL BE CALIBRATED AS ONE-HALF OF THE SUM OF THE CALIPER OF THE THREE LARGEST TRUNKS.
 8. ANY TREE OR SHRUB SHOWN TO HAVE EXCESS SOIL PLACED ON TOP OF THE ROOT BALL, SO THAT THE ROOT FLARE HAS BEEN COMPLETELY COVERED, SHALL BE REJECTED.
 9. SOD: PROVIDE WELL-ROOTED SOD OF THE VARIETY NOTED ON THE PLANS. SOD SHALL BE CUT FROM HEALTHY, MATURE TURF WITH SOIL THICKNESS OF 3/4" TO 1". EACH PALLET OF SOD SHALL BE ACCOMPANIED BY A CERTIFICATE FROM SUPPLIER STATING THE COMPOSITION OF THE SOD.
 10. SEED: PROVIDE BLEND OF SPECIES AND VARIETIES AS NOTED ON THE PLANS, WITH MAXIMUM PERCENTAGES OF PURITY, GERMINATION, AND MINIMUM PERCENTAGE OF WEED SEED AS INDICATED ON PLANS. EACH BAG OF SEED SHALL BE ACCOMPANIED BY A TAG FROM THE SUPPLIER INDICATING THE COMPOSITION OF THE SEED.
 11. TOPSOIL: SANDY TO CLAY LOAM TOPSOIL, FREE OF STONES LARGER THAN 1/2 INCH, FOREIGN MATTER, PLANTS, ROOTS, AND SEEDS.
 12. COMPOST: WELL-COMPOSTED, STABLE, AND WEED-FREE ORGANIC MATTER, pH RANGE OF 5.5 TO 6.5, MOISTURE CONTENT 35 TO 55 PERCENT BY WEIGHT, 100 PERCENT PASSING THROUGH #10 SIEVE, SOLUBLE SALT CONTENT OF 5 TO 10, DISCOMBENSIN NOT EXCEEDING 0.5 PERCENT INERT CONTAMINANTS AND FREE OF SUBSTANCES TOXIC TO PLANTINGS, NO MANURE OR ANIMAL-BASED PRODUCTS SHALL BE USED.
 13. FERTILIZER: GRANULAR FERTILIZER CONSISTING OF NITROGEN, PHOSPHORUS, POTASSIUM, AND OTHER NUTRIENTS IN PROPORTIONS, AMOUNTS, AND RELEASE RATES RECOMMENDED IN A SOIL REPORT FROM A QUALIFIED SOIL TESTING AGENCY (SEE BELOW).
 14. MULCH: SIZE AND TYPE AS INDICATED ON PLANS, FREE FROM DELETERIOUS MATERIALS AND SUITABLE AS A TOP DRESSING OF TREES AND SHRUBS.
 15. TREE STAKING AND GUYING
 - 1. STAKES: 6" LONG GREEN METAL POSTS.
 - 2. GUY AND TIE WIRE: ASTM A41, CLASS 1, GALVANIZED STEEL WIRE, 2-STRAND, TWISTED, 0.106 INCH DIAMETER.
 - 3. STRAP CHAFING GUARD: REINFORCED NYLON OR CANVAS AT LEAST 1-1/2 INCH WIDE, WITH GROMMETS TO PROTECT TREE TRUNKS FROM DAMAGE.
 16. STEEL EDGING: PROFESSIONAL STEEL EDGING, 14 GAUGE THICK X 4 INCHES WIDE, FACTORY PAINTED DARK GREEN. ACCEPTABLE MANUFACTURERS INCLUDE COL-MET OR APPROVED EQUAL.
 17. PRE-EMERGENT HERBICIDES: ANY GRANULAR, NON-STANING PRE-EMERGENT HERBICIDE THAT IS LABELED FOR THE SPECIFIC ORNAMENTALS OR TURF ON WHICH IT WILL BE UTILIZED. PRE-EMERGENT HERBICIDES SHALL BE APPLIED PER THE MANUFACTURER'S LABELED RATES.
- C. METHODS
- A. SOIL PREPARATION
1. BEFORE STARTING WORK, THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE GRADE OF ALL LANDSCAPE AREAS ARE WITHIN +0.1' OF FINISH GRADE. THE CONTRACTOR SHALL NOTIFY THE OWNER IMMEDIATELY SHOULD ANY DISCREPANCIES EXIST.
 2. SOIL TESTING
 - a. AFTER FINISH GRADES HAVE BEEN ESTABLISHED, CONTRACTOR SHALL HAVE SOIL SAMPLES FROM THE PROJECT'S LANDSCAPE AREAS TESTED BY AN ESTABLISHED SOIL TESTING LABORATORY. EACH SAMPLE SUBMITTED TO THE LAB SHALL CONTAIN NO LESS THAN ONE QUART OF SOIL, TAKEN FROM BETWEEN THE SOIL SURFACE AND 6" DEPTH. IF NO SAMPLE LOCATIONS ARE INDICATED ON THE PLANS, THE CONTRACTOR SHALL TAKE A MINIMUM OF THREE SAMPLES FROM VARIOUS REPRESENTATIVE LOCATIONS FOR TESTING.
 - b. THE CONTRACTOR SHALL HAVE THE SOIL TESTING LABORATORY PROVIDE RESULTS FOR THE FOLLOWING: SOIL TEXTURAL CLASS, GENERAL SOIL FERTILITY, pH, ORGANIC MATTER CONTENT, SALT (CEC), LIME, SODIUM ADSORPTION RATIO (SAR) AND BORON CONTENT.
 - c. THE CONTRACTOR SHALL ALSO SUBMIT THE PROJECT'S PLANT LIST TO THE LABORATORY ALONG WITH THE SOIL SAMPLES.
 - d. THE SOIL REPORT PRODUCED BY THE LABORATORY SHALL CONTAIN RECOMMENDATIONS FOR THE FOLLOWING (AS APPROPRIATE): SEPARATE SOIL PREPARATION AND BACKFILL MIX RECOMMENDATIONS FOR GENERAL ORNAMENTAL PLANTS, XERIC PLANTS, TURF, AND NATIVE SEED, AS WELL AS PRE-PLANT FERTILIZER APPLICATIONS AND RECOMMENDATIONS FOR ANY OTHER SOIL RELATED ISSUES. THE REPORT SHALL ALSO PROVIDE A FERTILIZER PROGRAM FOR THE ESTABLISHMENT PERIOD AND FOR LONG-TERM MAINTENANCE.
 - e. THE CONTRACTOR SHALL ALSO AMENDMENTS AND FERTILIZERS PER THE SOIL REPORT RECOMMENDATIONS, ANY CHANGE IN COST DUE TO THE SOIL REPORT RECOMMENDATIONS, EITHER INCREASE OR DECREASE, SHALL BE SUBMITTED TO THE OWNER WITH THE REPORT.
 3. FOR BIDDING PURPOSES ONLY, THE SOIL PREPARATION SHALL CONSIST OF THE FOLLOWING:
 - i. TURF: INCORPORATE THE FOLLOWING AMENDMENTS INTO THE TOP 6" OF SOIL BY MEANS OF ROTOTILLING AFTER CROSS RIPPING:
 - 1. NITROGEN STABILIZED ORGANIC AMENDMENT - 4 CU. YDS. PER 1,000 S.F.
 - 2. PRE-PLANT TURF FERTILIZER (20-10-10 OR SIMILAR, SLOW RELEASE, ORGANIC) - 15 LBS. PER 1,000 S.F.
 - 3. "CLAY BUSTER" OR EQUAL - USE MANUFACTURER'S RECOMMENDED RATE
 - ii. TREES, SHRUBS, AND PERENNIALS: INCORPORATE THE FOLLOWING AMENDMENTS INTO THE TOP 6" OF SOIL BY MEANS OF ROTOTILLING AFTER CROSS RIPPING:
 - 1. NITROGEN STABILIZED ORGANIC AMENDMENT - 4 CU. YDS. PER 1,000 S.F.
 - 2. 12-12-12 FERTILIZER (OR SIMILAR, ORGANIC, SLOW RELEASE) - 10 LBS. PER CU. YD.
 - 3. "CLAY BUSTER" OR EQUAL - USE MANUFACTURER'S RECOMMENDED RATE
 - 4. IRON SULPHATE - 2 LBS. PER CU. YD.
 4. IN THE CONTEXT OF THESE PLANS, NOTES, AND SPECIFICATIONS, "FINISH GRADE" REFERS TO THE FINAL ELEVATION OF THE SOIL SURFACE (NOT TOP OF MULCH) AS INDICATED ON THE GRADING PLANS.
 - a. BEFORE STARTING WORK, THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE ROUGH GRADES OF ALL LANDSCAPE AREAS ARE WITHIN +0.1' OF FINISH GRADE. SEE SPECIFICATIONS FOR MORE DETAILED INSTRUCTION ON TURF AREA AND PLANTING BED PREPARATION.
 - b. CONSTRUCT AND MAINTAIN FINISH GRADES AS SHOWN ON GRADING PLANS, AND CONSTRUCT AND MAINTAIN SLOPES AS RECOMMENDED BY THE GEOTECHNICAL REPORT. ALL LANDSCAPE AREAS SHALL HAVE POSITIVE DRAINAGE AWAY FROM STRUCTURES AT THE MINIMUM SLOPE SPECIFIED IN THE REPORT AND ON THE GRADING PLANS, AND AREAS OF POTENTIAL PONDING SHALL BE REGRADED TO BLEND IN WITH THE SURROUNDING GRADES AND ELIMINATE PONDING POTENTIAL.
 - c. THE LANDSCAPE CONTRACTOR SHALL DETERMINE WHETHER OR NOT THE EXPORT OF ANY SOIL WILL BE NEEDED, TAKING INTO ACCOUNT THE ROUGH GRADE PROVIDED, THE AMOUNT OF SOIL AMENDMENTS TO BE ADDED (BASED ON A SOIL TEST, PER SPECIFICATIONS), AND THE FINISH GRADES TO BE ESTABLISHED.
 - d. ENSURE THAT THE FINISH GRADE IN SHRUB AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 3" BELOW THE ADJACENT FINISH GRADE, IN ORDER TO ALLOW FOR PROPER MULCH DEPTH. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALKS.
 - e. ENSURE THAT THE FINISH GRADE IN TURF AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 1" BELOW THE FINISH GRADE OF THE WALKS. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALKS.
 - f. SHOULD ANY CONFLICTS AND/OR DISCREPANCIES ARISE BETWEEN THE GRADING PLANS, GEOTECHNICAL REPORT, THESE NOTES AND PLANS, AND ACTUAL CONDITIONS, THE CONTRACTOR SHALL IMMEDIATELY BRING SUCH ITEMS TO THE ATTENTION OF THE LANDSCAPE ARCHITECT, GENERAL CONTRACTOR, AND OWNER.
 5. ONCE SOIL PREPARATION IS COMPLETE, THE LANDSCAPE CONTRACTOR SHALL ENSURE THAT THERE ARE NO DEBRIS, TRASH, OR STONES LARGER THAN 1" REMAINING IN THE TOP 6" OF SOIL.
- B. SUBMITTALS
1. THE CONTRACTOR SHALL PROVIDE SUBMITTALS AND SAMPLES, IF REQUIRED, TO THE LANDSCAPE ARCHITECT, AND RECEIVE APPROVAL IN WRITING FOR SUCH SUBMITTALS BEFORE WORK COMMENCES.
 2. SUBMITTALS SHALL INCLUDE PHOTOS OF PLANTS WITH A RULER OR MEASURING STICK FOR SCALE, PHOTOS OR SAMPLES OF ANY REQUIRED MULCHES, AND SOIL TEST RESULTS AND PREPARATION RECOMMENDATIONS FROM THE TESTING LAB (INCLUDING COMPOST AND FERTILIZER RATES AND TYPES, AND OTHER AMENDMENTS FOR TREES, SHRUB, TURF, AND SEED AREAS AS MAY BE APPROPRIATE).
 3. SUBMITTALS SHALL ALSO INCLUDE MANUFACTURER CUT SHEETS FOR PLANTING ACCESSORIES SUCH AS TREE STAKES AND TIES, EDGING, AND LANDSCAPE FABRICS (IF ANY).
 4. WHERE MULTIPLE ITEMS ARE SHOWN ON A PAGE, THE CONTRACTOR SHALL CLEARLY INDICATE THE ITEM BEING CONSIDERED.
- C. GENERAL PLANTING
1. REMOVE ALL NURSERY TAGS AND STAKES FROM PLANTS.
 2. EXCEPT IN AREAS TO BE PLANTED WITH ORNAMENTAL GRASSES, APPLY PRE-EMERGENT HERBICIDES AT THE MANUFACTURER'S RECOMMENDED RATE.
 3. TRENCING NEAR EXISTING TREES:
 - a. CONTRACTOR SHALL NOT DISTURB ROOTS 1-1/2" AND LARGER IN DIAMETER WITHIN THE CRITICAL ROOT ZONE (CRZ) OF EXISTING TREES, AND SHALL EXERCISE ALL POSSIBLE CARE AND PRECAUTIONS TO AVOID INJURY TO TREE ROOTS, TRUNKS, AND BRANCHES. THE CRZ IS DEFINED AS A CIRCULAR AREA EXTENDING OUTWARD FROM THE TREE TRUNK, WITH A RADIUS EQUAL TO 1" FOR EVERY 1" OF TRUNK DIAMETER AT BREAST HEIGHT (4.5 ABOVE THE AVERAGE GRADE AT THE TRUNK).
 - b. ALL EXCAVATION WITHIN THE CRZ SHALL BE PERFORMED USING HAND TOOLS. NO MACHINE EXCAVATION OR TRENCING OF ANY KIND SHALL BE ALLOWED WITHIN THE CRZ.
 - c. ALTER ALIGNMENT OF PIPE TO AVOID TREE ROOTS 1-1/2" AND LARGER IN DIAMETER. WHERE TREE ROOTS 1-1/2" AND LARGER IN DIAMETER ARE ENCOUNTERED IN THE FIELD, TUNNEL UNDER SUCH ROOTS. WRAP EXPOSED ROOTS WITH SEVERAL LAYERS OF BURAP AND KEEP MOIST. CLOSE ALL TRENCHES WITHIN THE CANOPY DROP LINES WITHIN 24 HOURS.
 - d. ALL SEVERED ROOTS SHALL BE HAND PRUNED WITH SHARP TOOLS AND ALLOWED TO AIR DRY. DO NOT USE ANY SORT OF SEALERS OR WOUND PAINTS.



GENERAL GRADING AND PLANTING NOTES

1. BY SUBMITTING A PROPOSAL FOR THE LANDSCAPE PLANTING SCOPE OF WORK, THE CONTRACTOR CONFIRMS THAT HE HAS READ AND WILL COMPLY WITH THE ASSOCIATED NOTES, SPECIFICATIONS, AND DETAILS WITH THIS PROJECT.
2. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL EXISTING VEGETATION (EXCEPT WHERE NOTED TO REMAIN).
3. IN THE CONTEXT OF THESE PLANS, NOTES, AND SPECIFICATIONS, "FINISH GRADE" REFERS TO THE FINAL ELEVATION OF THE SOIL SURFACE (NOT TOP OF MULCH) AS INDICATED ON THE GRADING PLANS.
 - a. BEFORE STARTING WORK, THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE ROUGH GRADES OF ALL LANDSCAPE AREAS ARE WITHIN +0.1' OF FINISH GRADE. SEE SPECIFICATIONS FOR MORE DETAILED INSTRUCTION ON TURF AREA AND PLANTING BED PREPARATION.
 - b. CONSTRUCT AND MAINTAIN FINISH GRADES AS SHOWN ON GRADING PLANS, AND CONSTRUCT AND MAINTAIN SLOPES AS RECOMMENDED BY THE GEOTECHNICAL REPORT. ALL LANDSCAPE AREAS SHALL HAVE POSITIVE DRAINAGE AWAY FROM STRUCTURES AT THE MINIMUM SLOPE SPECIFIED IN THE REPORT AND ON THE GRADING PLANS, AND AREAS OF POTENTIAL PONDING SHALL BE REGRADED TO BLEND IN WITH THE SURROUNDING GRADES AND ELIMINATE PONDING POTENTIAL.
 - c. THE LANDSCAPE CONTRACTOR SHALL DETERMINE WHETHER OR NOT THE EXPORT OF ANY SOIL WILL BE NEEDED, TAKING INTO ACCOUNT THE ROUGH GRADE PROVIDED, THE AMOUNT OF SOIL AMENDMENTS TO BE ADDED (BASED ON A SOIL TEST, PER SPECIFICATIONS), AND THE FINISH GRADES TO BE ESTABLISHED.
 - d. ENSURE THAT THE FINISH GRADE IN SHRUB AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 3" BELOW THE ADJACENT FINISH GRADE, IN ORDER TO ALLOW FOR PROPER MULCH DEPTH. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALKS.
 - e. ENSURE THAT THE FINISH GRADE IN TURF AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 1" BELOW THE FINISH GRADE OF THE WALKS. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALKS.
 - f. SHOULD ANY CONFLICTS AND/OR DISCREPANCIES ARISE BETWEEN THE GRADING PLANS, GEOTECHNICAL REPORT, THESE NOTES AND PLANS, AND ACTUAL CONDITIONS, THE CONTRACTOR SHALL IMMEDIATELY BRING SUCH ITEMS TO THE ATTENTION OF THE LANDSCAPE ARCHITECT, GENERAL CONTRACTOR, AND OWNER.
4. ALL PLANT LOCATIONS ARE DIAGNOSTIC. ACTUAL LOCATIONS SHALL BE VERIFIED WITH THE LANDSCAPE ARCHITECT OR DESIGNER PRIOR TO PLANTING. THE LANDSCAPE CONTRACTOR SHALL ENSURE THAT ALL REQUIREMENTS OF THE PERMITTING AUTHORITY ARE MET (I.E., MINIMUM PLANT QUANTITIES, PLANTING METHODS, TREE PROTECTION METHODS, ETC.).
 - a. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR DETERMINING PLANT QUANTITIES, PLANT QUANTITIES SHOWN ON LEGENDS AND CALLOUTS ARE FOR GENERAL INFORMATION ONLY. IN THE EVENT OF A DISCREPANCY BETWEEN THE PLAN AND THE PLANT LEGEND, THE PLANT QUANTITY AS SHOWN ON THE PLAN (FOR INDIVIDUAL SYMBOLS) OR CALLOUT (FOR GROUNDCOVER PATTERNS) SHALL TAKE PRECEDENCE.
 - b. NO SUBSTITUTIONS OF PLANT MATERIALS SHALL BE ALLOWED WITHOUT THE WRITTEN PERMISSION OF THE LANDSCAPE ARCHITECT. IF SOME OF THE PLANTS ARE NOT AVAILABLE, THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT IN WRITING (VIA PROPER CHANNELS).
 - c. THE CONTRACTOR SHALL, AT A MINIMUM, PROVIDE REPRESENTATIVE PHOTOS OF ALL PLANTS PROPOSED FOR THE PROJECT. THE CONTRACTOR SHALL ALLOW THE LANDSCAPE ARCHITECT AND THE OWNER/OWNER'S REPRESENTATIVE TO INSPECT AND APPROVE OR REJECT ALL PLANTS DELIVERED TO THE PROJECT. REFER TO SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS FOR SUBMITTALS.
5. THE CONTRACTOR SHALL MAINTAIN THE LANDSCAPE IN A HEALTHY CONDITION FOR 90 DAYS AFTER ACCEPTANCE BY THE OWNER. REFER TO SPECIFICATIONS FOR CONDITIONS OF ACCEPTANCE FOR THE START OF THE MAINTENANCE PERIOD, AND FOR FINAL ACCEPTANCE AT THE END OF THE MAINTENANCE PERIOD.
6. SEE SPECIFICATIONS AND DETAILS FOR FURTHER REQUIREMENTS.



BOHLER

SITE CIVIL AND CONSULTING ENGINEERING
PROGRAM MANAGEMENT
LANDSCAPE ARCHITECTURE
SUSTAINABLE DESIGN
PERMITTING SERVICES
TRANSPORTATION SERVICES

REVISIONS			
REV	DATE	COMMENT	DRAWN BY

811

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ISSUED FOR MUNICIPAL & AGENCY REVIEW & APPROVAL

PROJECT No.: NSFIELDTX_LP_TEMP
DRAWN BY: SMMS
CHECKED BY: SS
DATE: 04/15/24
CAD LAYOUT: BOJANGLES-M

CONSTRUCTION PLANS

FOR

BOHLER

NEC US 287 & E DEBBIE LN,
MANSFIELD, TEXAS 76063
TARRANT COUNTY

BOHLER

2600 NETWORK BLVD., STE. 310,
FRISCO, TX 75034
Phone: (469) 458-7300
TX@BohlerEng.com
TBPE No. 180651 TBPLS No. 10194413

REGISTERED LANDSCAPE ARCHITECT
STATE OF TEXAS
3682
Sharon M. Bohler

SHEET TITLE:

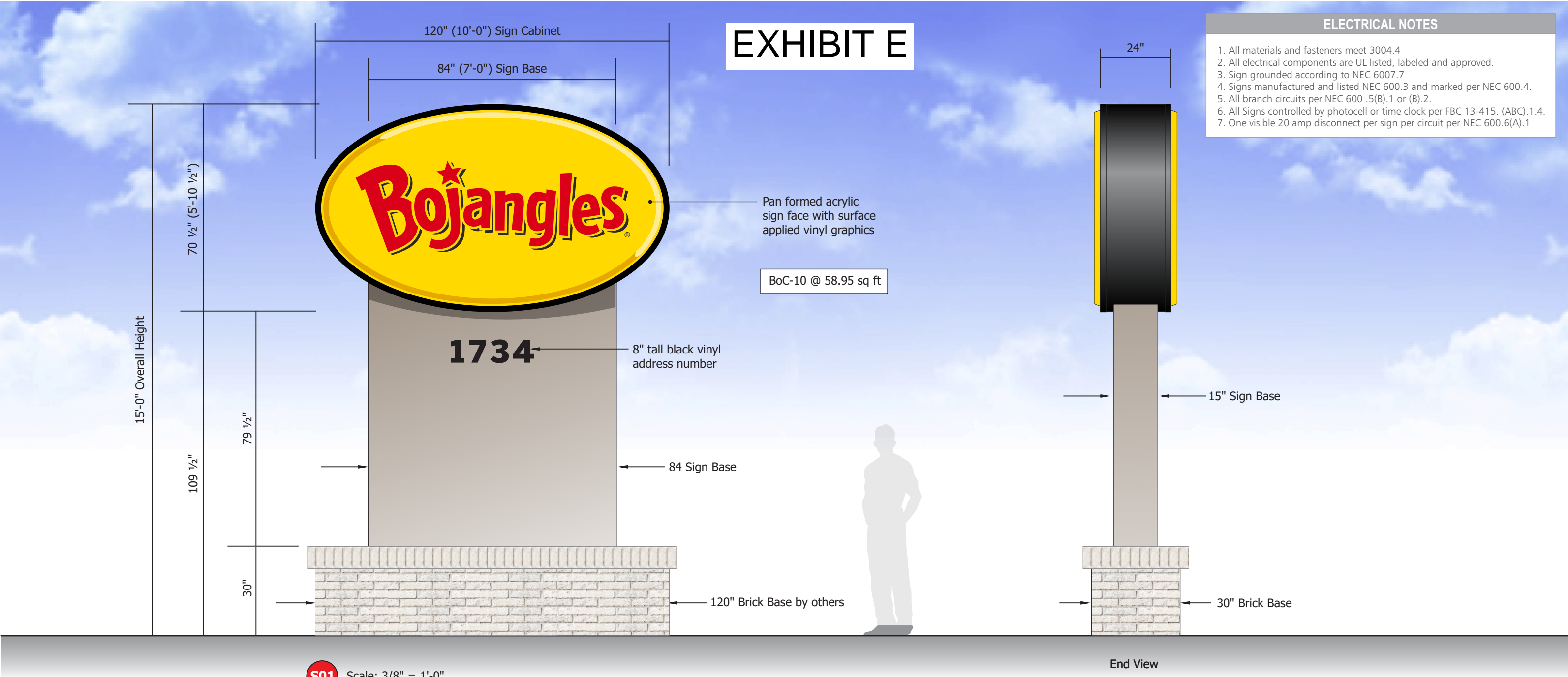
LANDSCAPE SPECIFICATIONS AND DETAILS

SHEET NUMBER:

D.2

EVERGREEN
DESIGN GROUP

(800) 680-6630
15455 Dallas Pkwy, Ste 600
Addicks, TX 75001
www.EvergreenDesignGroup.com

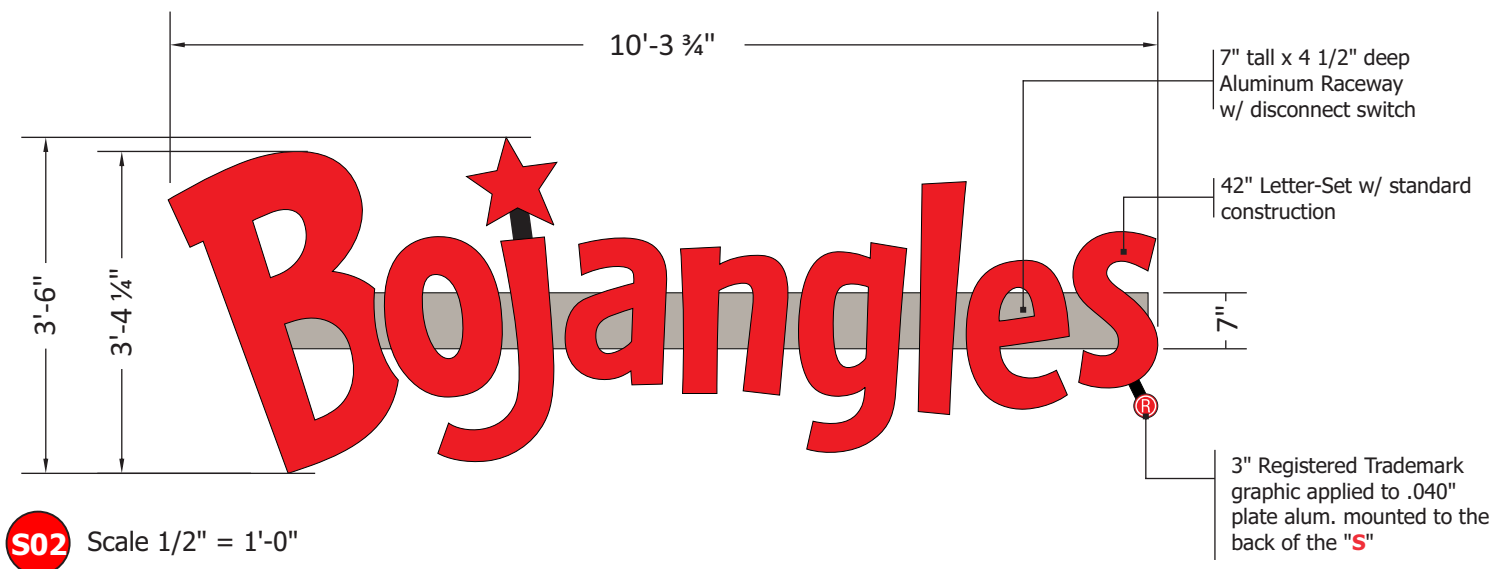


BOC-10 MAIN ID - Double face internally illuminated sign cabinet of aluminum. Cabinet finished in black acrylic urethane enamel. Panned acrylic face with surface applied vinyl graphics to match Bojangle's yellow, red & black.

Main ID cabinet is internal illumination by LEDs (as required). All wiring UL approved. 120 Volts.

Cabinet is mounted onto new steel post set in concrete foundation. Steel is inside an aluminum pole cover. Brick Base by others.

- Colors:**
- 7328 White acrylic
 - 3M 7725-12 Gloss Black Vinyl
 - 3M 3630-93 Fire Engine Red Translucent
 - 3M 3630-135 Yellow Rose Translucent
 - Akzo Noble SIGNM20082 Champagne Metallic (gloss)
 - Columbus Brick - Magnolia Bay



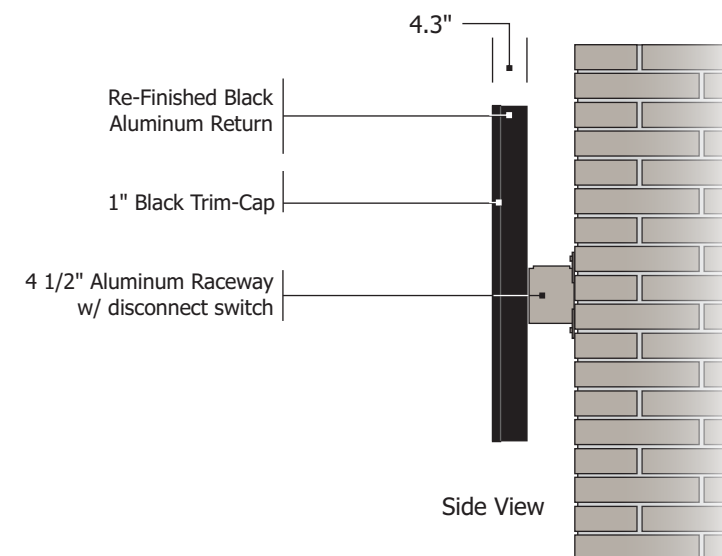
S02 Scale 1/2" = 1'-0"

Raceway Mount Letters

Internally illuminated letters fabricated of aluminum (.040 returns, .063 backs, 4.3" depth) Letter returns finished in black acrylic urethane enamel. Faces are 2793 red acrylic secured with black trimcap.

Internal illumination by LED lighting system. Power supply & wiring located in continuous aluminum raceway. All wiring UL approved.

Raceway installed flush to exterior fascia.



COLORS

Black returns (High Gloss)	Red LED's
Black Trimcap	Akzo Noble Black (gloss)
2793 red acrylic	Painted to match Meridian Brick Magnolia Bay (SW 7021 Simple White)

ELECTRICAL NOTES

1. All materials and fasteners meet 3004.4
2. All electrical components are UL listed, labeled and approved.
3. Sign grounded according to NEC 6007.7
4. Signs manufactured and listed NEC 600.3 and marked per NEC 600.4.
5. All branch circuits per NEC 600 .5(B).1 or (B).2.
6. All Signs controlled by photocell or time clock per FBC 13-415. (ABC).1.4.
7. One visible 20 amp disconnect per sign per circuit per NEC 600.6(A).1

SQUARE FOOTAGE:

42" x 123.75" = 36.09 Sq Ft



West (Non-Drive Thru) - Scale: 1/8" = 1'-0"

SUP#24-002



National Headquarters: 1077 West Blue Heron Blvd.
West Palm Beach, Florida 33404
800.772.7932
www.atlasbtw.com

Revisions:

04/15/24js revise all signs	...
05/01/24js rev Site Plan, Directionals	...
05/15/24js rev S1, del S4 & S5	...
...	...
...	...

Site: #1421

E.2

PM: Daphne E.

Drawn By: JS

Date: 04/12/2024

Address: US Hwy 287 & Debbie Ln






City State: Mansfield, TX 76063

Drawing Number:

192424-SC23

1. All materials and fasteners meet 3004.4
2. All electrical components are UL listed, labeled and approved.
3. Sign grounded according to NEC 6007.7
4. Signs manufactured and listed NEC 600.3 and marked per NEC 600.4.
5. All branch circuits per NEC 600 .5(B).1 or (B).2.
6. All Signs controlled by photocell or time clock per FBC 13-415. (ABC).1.4.
7. One visible 20 amp disconnect per sign per circuit per NEC 600.6(A).1

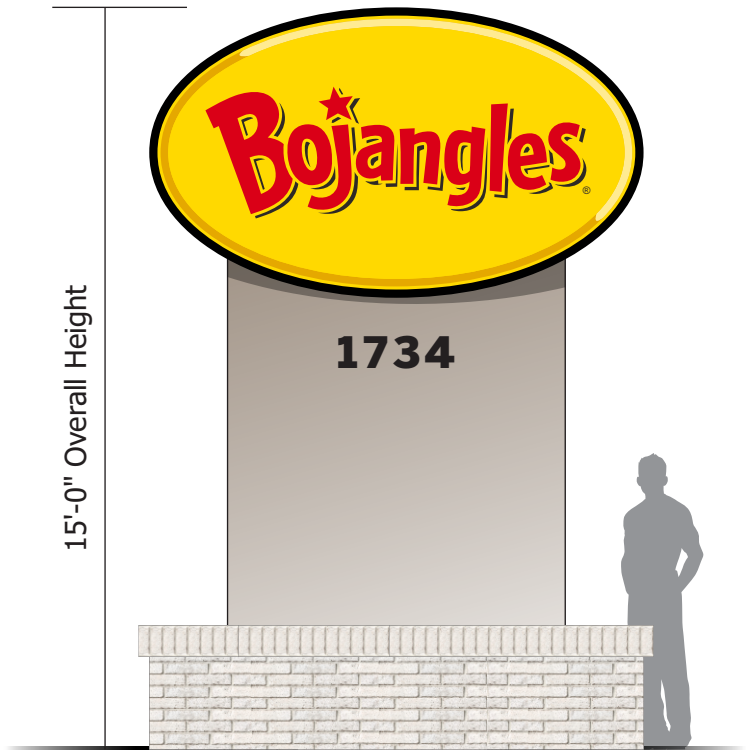
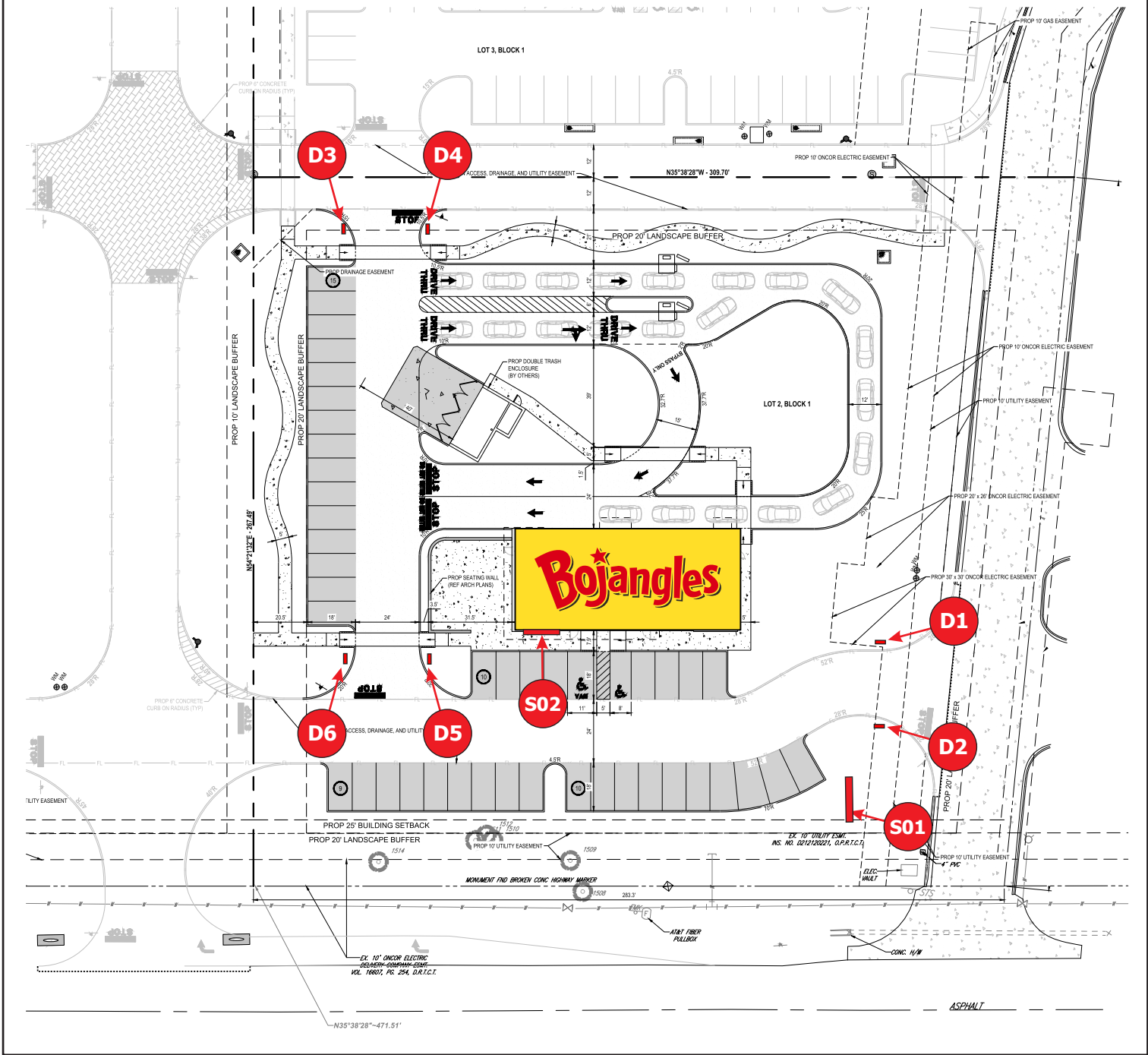


	7328 White acrylic
	3M 7725-12 Gloss Black Vinyl
	3M 3630-135 Yellow Rose Translucent
	3M 3630-25 Sunflower Translucent
	Akzo Noble Black (gloss)



Zoned: City of Mansfield C-2 Community Business District
Planner: : Helina Sarkodie-Minkah 817-276-4259 helina.sarkodie-minkah@mansfieldtexas.gov

Allowed: The width of a wall sign NTE 75% of building or storefront.
Free Standing Max. Area: 75.0 sq. ft. NTE 15' OAH
Minimum Setback from Street Right of way: 10 ft.
Minimum setback from side or rear property line: 15 ft.
Only Monument Signs are permitted in the C-2 zoning district.
A monument sign shall have a solid base at least two feet tall and the base shall have the same or greater width as the sign. The height of the sign base shall be included when measuring the sign height.



S01 D/F Monument Sign



S02 BO-42 Channel Letters



D1 Directional



D2 Directional



D3 Directional



D4 Directional



D5 Directional



D6 Directional

SUP#24-002



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Revisions:	
04/15/24js revise all signs	...
05/01/24js rev Site Plan, Directionals	...
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...	...
...	...

Site: #1421

E.4

PM: Daphne E.

Drawn By: JS

Date: 04/12/2024

Address: US Hwy 287 & Debbie Ln

City State: Mansfield, TX 76063

Drawing Number:

192424-S25