

AGENDA

PLANNING AND ZONING COMMISSION CITY OF MANSFIELD, TEXAS CITY HALL COUNCIL CHAMBERS TUESDAY, SEPTEMBER 3, 2019, 6:30 PM

1. CALL TO ORDER

2. APPROVAL OF LAST MEETING MINUTES

3. **CITIZEN COMMENTS:** Citizens wishing to address the Commission on non-public hearing agenda items and items not on the agenda may do so at this time. Once the business portion of the meeting begins, only comments related to public hearings will be heard. All comments are limited to 5 minutes. Please refrain from “personal criticisms”.

In order to be recognized during the “Citizens Comments” **or** during a public hearing (applicants included), please complete a yellow “Appearance Card” located at the entry to the Chambers and present it to the Planning Secretary.

4. **CONSENT AGENDA:** All matters listed under the consent agenda are considered routine. If discussion is desired, then an item will be removed from the consent agenda and considered separately.

A. SD#19-038: Final Plat of Lots 1, 2 and 3, Block 1, Stadium Plaza Addition

END OF CONSENT AGENDA

5. PUBLIC HEARINGS:

A. SD#19-029: Public hearing on a final plat to create 33 residential lots and 5 non-residential lots on 10.126 acres called Lake Park, an addition to the City of Mansfield

B. ZC#19-006: Public hearing for a change of zoning from PD Planned Development District to PD Planned Development District for age-restricted single-family residential uses on approximately 33.495 acres out of the S. Mitchell Survey, City of Mansfield, Abstract No. 593, Johnson County, TX and Abstract No. 1024, Tarrant County, TX, located at the northeast corner of Mitchell and Mathis Roads

6. COMMISSION ANNOUNCEMENTS

7. STAFF ANNOUNCEMENTS

8. ADJOURNMENT OF MEETING

9. NEXT MEETING DATE: September 16, 2019

I certify that the above agenda was posted on the bulletin board next to the main entrance of City Hall on **Thursday, August 29, 2019**, in accordance with Chapter 551 of the Texas Government Code.

Delia Jones, Planning and Zoning Secretary

- This building is wheelchair accessible. Disabled parking spaces are available. Request for sign interpreter services must be made 48 hours ahead of meeting to make arrangements. Call 817 473-0211 or TDD 1-800-RELAY TX, 1-800-735-2989.
- In deciding a zoning change application, the Planning & Zoning Commission and City Council are required to determine the highest and best use of the property in question. The Commission may recommend and the Council may approve a change in zoning to the category or district requested by the applicant or to any zoning category or district of lesser intensity. Notice is presumed sufficient for every District up to the intensity set forth in the zoning change application.

**PLANNING & ZONING COMMISSION MEETING
CITY OF MANSFIELD**

August 19, 2019

Chairman Wilshire called the meeting to order at 6:30 p.m. in the Council Chambers of City Hall, 1200 East Broad Street, with the meeting being open to the public and notice of said meeting, giving date, place, and subject thereof, having been posted as prescribed by Chapter 551, Texas Government Code.

Present:

| | |
|--------------------|---------------|
| Wayne Wilshire | Chairman |
| Cory Smithee | Vice-Chairman |
| Robert Klenzendorf | Commissioner |
| Andrew Papp | Commissioner |
| Tamera Bounds | Commissioner |
| Anne Weydeck | Commissioner |

Absent:

| | |
|-------------|--------------|
| Kent Knight | Commissioner |
|-------------|--------------|

Staff:

| | |
|--------------|------------------------------|
| Lisa Sudbury | Interim Director of Planning |
| Andrew Bogda | Planner |
| Delia Jones | Planning & Zoning Secretary |

Call to Order

Chairman Wilshire called the meeting to order at 6:30 p.m.

Minutes

Chairman Wilshire called for approval of the August 5, 2019, minutes. Commissioner Bounds made a motion to approve the minutes. Commissioner Klenzendorf seconded the motion which carried by the following vote:

Ayes: 5 – Wilshire, Klenzendorf, Papp, Bounds and Weydeck

Nays: 0

Abstain: 1 – Smithee

Citizen Comments

None

Consent Agenda

SD#19-035: Final Plat of Lot 2, Block 1, The Julian at Southpointe, Phase 2

Kim McCaslin, applicant and Joyce Stanton, applicant's representative, submitted cards in support of the request and were available for questions.

Commissioner Klenzendorf made a motion to approve the plat. Vice-Chairman Smithee seconded the motion which carried by the following vote:

Ayes: 6 – Wilshire, Smithee, Klenzendorf, Papp, Bounds and Weydeck

Nays: 0

Abstain: 0

Public Hearings:

SD#19-034: Public Hearing on a replat to create Lots 2R1 and 2R2, Block 1, Original Town of Mansfield

Ron Coombs, representing the applicant, was available for questions.

Chairman Wilshire opened the public hearing and called for anyone wishing to speak to come forward.

Seeing no one come forward to speak, Chairman Wilshire closed the public hearing.

Commissioner Papp made a motion to approve the request. Vice-Chairman Smithee seconded the motion which carried by the following vote:

Ayes: 6 – Wilshire, Smithee, Klenzendorf, Papp, Bounds and Weydeck

Nays: 0

Abstain: 0

ZC#19-011: Public Hearing for a change of zoning from SF-7.5/12, Single-Family Residential District to PD, Planned Development District for Single-Family Residential uses on approximately 0.62 acres being a portion of Blocks 36 and 36A of the Original Town of Mansfield, generally located at 506-508 W. Kimball Street

Andrew Bogda gave the Staff presentation and overview of the request. Ben Hartman, the applicant, continued the overview of the request and was available for questions.

Chairman Wilshire opened the public hearing and called for anyone wishing to speak to come forward.

Mike Osmus registered in support of the request.

Seeing no one else come forward to speak, Chairman Wilshire closed the public hearing.

After discussion regarding density, setbacks, masonry requirements, building lines and possible driveway to access the proposed accessory buildings, Vice-Chairman Smithee made a motion to approve the request with no commercial or residential rental uses allowed. Commissioner Klenzendorf seconded the motion which failed by the following vote:

Ayes: 3 – Wilshire, Smithee and Klenzendorf

Nays: 3 – Papp, Bounds and Weydeck

Abstain: 0

Commissioner Announcements

Vice-Chairman Smithee stated that he will be unable to attend the September 3, 2019, meeting.

Staff Announcements

Ms. Sudbury reminded Commissioners that the next meeting will be on Tuesday, September 3, 2019.

Adjournment

Commissioner Papp made a motion to adjourn the meeting. Commissioner Bounds seconded the motion which carried by the following vote:

Ayes: 6 – Wilshire, Smithee, Klenzendorf, Papp, Bounds and Weydeck

Nays: 0

Abstain: 0

With no further business, Chairman Wilshire adjourned the meeting at 7:12 p.m.

Wayne Wilshire, Chairman

Delia Jones, Planning & Zoning Secretary

PLANNING AND ZONING COMMUNICATION

Agenda: September 3, 2019

Subject: SD#19-038: Final Plat of Lots 1, 2 and 3, Block 1, Stadium Plaza Addition

GENERAL INFORMATION

| | |
|-----------------------------|--------------------------------------------------------------------------------------|
| Applicant: | Ellanu, LLP, owner Dynamic Engineering Consultants, engineer Geo-Nav, surveyor |
| Location: | 800 North SH 360 |
| Existing Zoning: | C-2 with SUP within the Freeway Overlay District |
| Proposed Use: | Commercial and auto repair garage |
| Size: | 5.732 acres |
| Total Number of Lots: | 3 |
| R.O.W. Dedication: | None required |
| Compliance with Ordinances: | Yes |

COMMENTS & CONSIDERATIONS

The purpose of this plat is to create three lots for commercial uses. Christian Brothers Automotive will be located on Lot 2. City Council approved a Specific Use Permit for this use on May 13, 2019. Lots 1 and 3 will be used for future commercial development.

The plat substantially conforms to the approved preliminary plat except for the following:

- Part of the drainage easement on Lot 3 has been relocated from the north end of the lot to the south end.
- The common access easement on Lot 3 has been realigned due to the change in the drainage and a new common access easement has been extended through Lot 1.

Staff recommends approval.

Attachments:

Approved Preliminary Plat

WHEREAS Ellanu, LLP is the owner of a 5.733 acre tract of land located in the Jacob Back Survey, Abstract No. 126, Tarrant County, Texas, being a portion of the tract of land described in the deed to 360 Matlock Road-Broad Street Partnership, a Texas limited partnership, recorded in Volume 16224, Page 136, Deed Records, Tarrant County, Texas. Said 5.733 acres of land being more particularly described as follows:

BEGINNING at an 1/2-inch iron rod found in the East line of a tract of land described in the deed to the State of Texas recorded in Volume 10111, Page 1985, Deed Records, Tarrant County, Texas, being an angle point in the Westerly lines of Lot 1, Block 1, Mansfield ISD Athletic Complex, an addition to the City of Mansfield, Tarrant County, Texas according to the plat recorded in Cabinet A, Slide 10068, (County Clerks Instrument No. D205101057), Plat Records, Tarrant County, Texas, said 1/2" iron rod lying N 13°05'22" E, a distance of 103.32 feet from the South corner of said Lot 1, being the Southeast corner of said State of Texas tract;

THENCE along said East line of said State of Texas Tract as follows:

1. North 13 degrees 06 minutes 32 seconds East, a distance of 599.81 feet to a 1/2-inch iron rod found for the point of beginning curvature of a non-tangent circular curve to the right having a radius of 2261.83 feet, whose chord bears North 18 degrees 01 minutes 22 seconds East, a distance of 394.65 feet;

2. Northerly, along said curve, through a central angle of 10 degrees 00 minutes 35 seconds, an arc distance of 395.15 feet to a 1/2-inch iron rod with a yellow plastic cap stamped "GEONAV" (hereinafter referred to as "with cap") set for an angle point in said Westerly lines of Lot 1;

THENCE along said Westerly lines of said Lot 1 as follows:

1. South 66 degrees 55 minutes 49 seconds East, a distance of 300.16 feet to a 1/2-inch iron rod with cap set for corner;

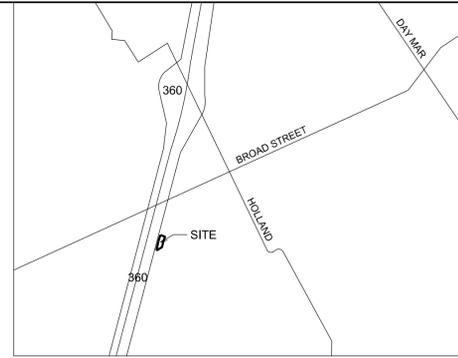
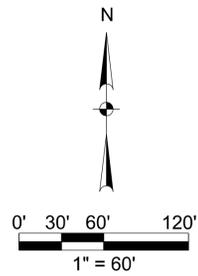
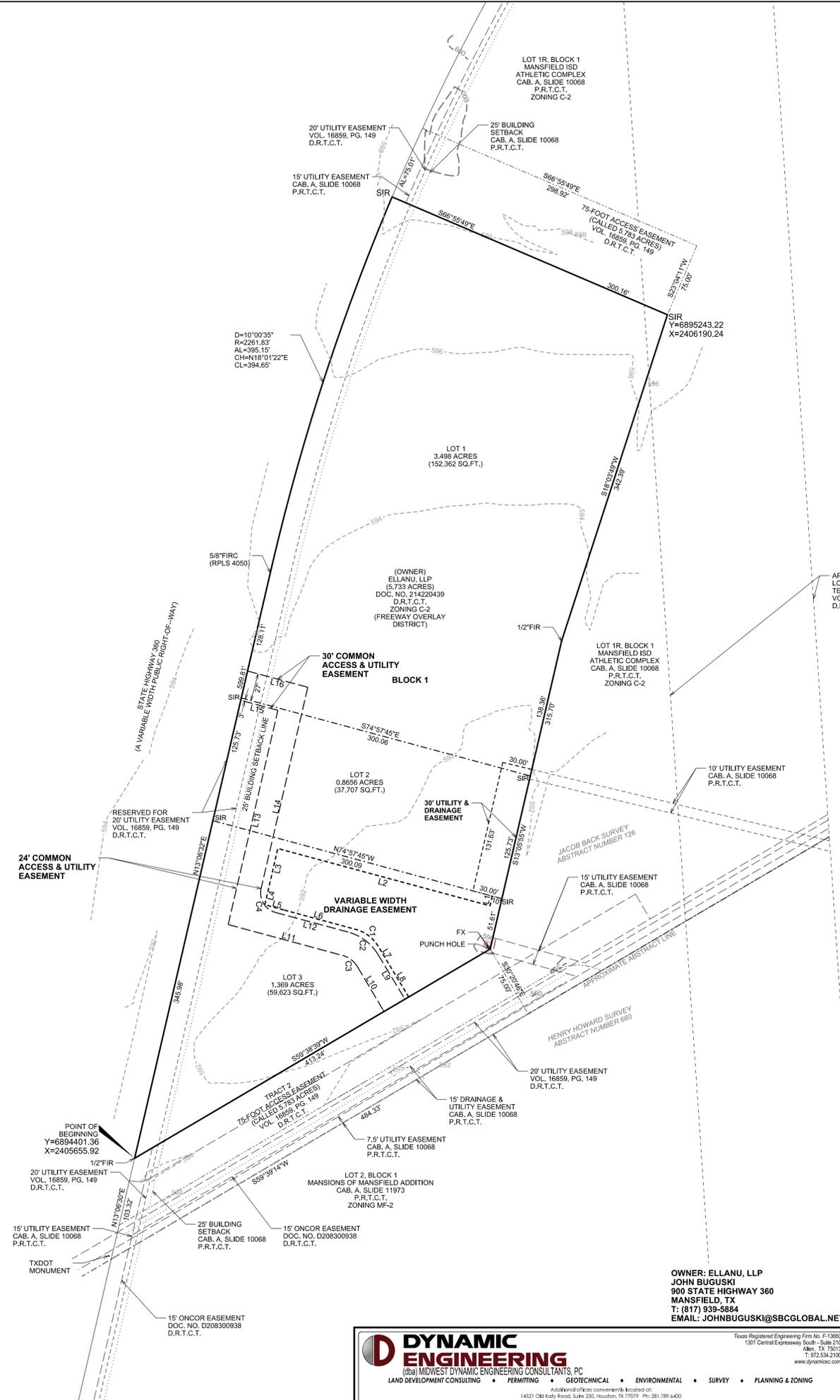
2. South 18 degrees 03 minutes 49 seconds West, a distance of 342.39 feet to an 1/2-inch iron rod found;

3. South 13 degrees 05 minutes 55 seconds West, a distance of 315.70 feet to an "X" -Cut found for corner from which an "X"-Cut found for witness bears N 54°03' 52" W a distance of 1.88 feet;

4. South 59 degrees 38 minutes 39 seconds West, a distance of 413.24 feet to the POINT OF BEGINNING AND CONTAINING 249,693 square feet or 5.732 acres of land, more or less.

| LINE | DIRECTION | DISTANCE |
|------|-----------------|----------|
| L1 | S 13° 05' 22" E | 103.32 |
| L2 | S 74° 57' 45" W | 290.92 |
| L3 | N 13° 06' 32" E | 599.81 |
| L4 | N 18° 01' 22" E | 394.65 |
| L5 | N 74° 57' 45" W | 290.92 |
| L6 | N 13° 06' 32" E | 599.81 |
| L7 | N 18° 01' 22" E | 394.65 |
| L8 | N 74° 57' 45" W | 290.92 |
| L9 | N 13° 06' 32" E | 599.81 |
| L10 | N 18° 01' 22" E | 394.65 |
| L11 | N 74° 57' 45" W | 290.92 |
| L12 | N 13° 06' 32" E | 599.81 |
| L13 | N 18° 01' 22" E | 394.65 |
| L14 | N 74° 57' 45" W | 290.92 |
| L15 | N 13° 06' 32" E | 599.81 |
| L16 | N 18° 01' 22" E | 394.65 |

| CURVE | DELTA | RADIUS | AL | DIRECTION | DISTANCE |
|-------|-------------|---------|-------|-----------------|----------|
| C1 | 43° 43' 10" | 38.00 R | 29.00 | S 53° 31' 40" E | 28.30 |
| C2 | 43° 48' 33" | 50.00 L | 38.20 | N 53° 4' 28" W | 37.28 |
| C3 | 44° 7' 13" | 25.00 L | 19.25 | N 52° 5' 49" W | 18.78 |
| C4 | 88° 4' 30" | 20.00 L | 30.74 | S 30° 55' 30" E | 27.81 |



APPROVED PRELIMINARY PLAT

SURVEYOR'S NOTES:

- The Basis of Bearings is the Texas Coordinate System of 1983, North Central Zone (4202).
- Elevations shown hereon are based upon the NAVD88 vertical datum, as derived by GPS measurement.
- In the preparation of this survey, the surveyor has relied upon that commitment for title insurance prepared by Alamo Title Insurance Company, GF Number ATD-24A-6000251900172-RA, having an effective date of January 13, 2019 and an issued date of January 25, 2019.
- Based upon graphical plotting of FEMA Flood Insurance Rate Map Number, dated, the subject property lies within Zone X (unshaded), designated as those areas outside the 0.2% annual chance floodplain.
- The common access easement is for the use of Lots #1, #2 and #3. No improvements shall be made that impede ingress and egress along this easement.
- The common access easement shall be maintained by the property owners.

SURVEYOR'S CERTIFICATION:

THIS IS TO CERTIFY THAT I, JOEL C. HOWARD, A REGISTERED PROFESSIONAL SURVEYOR OF THE STATE OF TEXAS, HAVING PLATTED THE ABOVE SUBDIVISION FROM AN ACTUAL SURVEY ON THE GROUND, AND THAT ALL OF THE LOT CORNERS AND ANGLE POINTS, AND POINTS OF CURVE SHALL BE PROPERLY MARKED ON THE GROUND, AND THAT THIS PLAT CORRECTLY REPRESENTS THAT SURVEY MADE BY ME OR UNDER MY DIRECTION AND SUPERVISION.

Joel C. Howard
 JOEL C. HOWARD
 REGISTERED PROFESSIONAL LAND SURVEYOR
 STATE OF TEXAS NO. 6267
 EMAIL: chris.howard@geo-nav.com



LEGEND
 D.R.T.C.T. DEED RECORDS OF TARRANT COUNTY, TEXAS
 P.R.T.C.T. PLAT RECORDS OF TARRANT COUNTY, TEXAS
 FIR(C) FOUND IRON ROD (WITH CAP)
 FX FOUND "X"-CUT
 SIR SET 1/2" IRON ROD WITH YELLOW CAP STAMPED "GEONAV"

SELLING A PORTION OF ANY LOT IN THIS ADDITION BY METES AND BOUNDS IS A VIOLATION OF STATE LAW AND CITY ORDINANCE AND IS SUBJECT TO PENALTIES IMPOSED BY LAW.

OWNER: ELLANU, LLP
 JOHN BUGUSKI
 900 STATE HIGHWAY 360
 MANSFIELD, TX
 T: (817) 939-5884
 EMAIL: JOHNBUGUSKI@SBCGLOBAL.NET

DYNAMIC ENGINEERING
 (a) MIDWEST DYNAMIC ENGINEERING CONSULTANTS, PC
 LAND DEVELOPMENT CONSULTING • PERMITTING • GEOTECHNICAL • ENVIRONMENTAL • SURVEY • PLANNING & ZONING

Additional offices conveniently located at:
 14521 Oak Park Road, Suite 250, Houston, TX 77039 Ph: 281.789.4400
 1245 Midway Street, Suite 113, Chester, New Jersey 07930 Ph: 908.879.9229 Fax: 908.879.0222
 529 North Commerce Street, Newtown, Pennsylvania 18941 Ph: 247.268.0274 Fax: 247.268.0141
 8 Bazzano Street, Suite 102, Torrington, New Jersey 08253 Ph: 320.974.0109 Fax: 320.974.3321



3410 MIDCOURT RD STE 110, CARROLLTON, TEXAS 75006
 SCALE 1"=60' (972) 243-2409 PROJECT NUMBER: 1541
 TBPLS FIRM NO. 10194205
 EMAIL: CHRIS.HOWARD@GEO-NAV.COM

DATED: JULY 09, 2019 DRAWN BY: JCH

PRELIMINARY PLAT
LOTS 1, 2 AND 3, BLOCK 1
STADIUM PLAZA ADDITION
5.732 ACRES OUT OF THE
JACOB BACK SURVEY, ABSTRACT NO. 126
CITY OF MANSFIELD, TARRANT COUNTY, TEXAS
3 LOTS
07/09/2019

PLANNING AND ZONING COMMUNICATION

Agenda: September 3, 2019

Subject: SD#19-029: Public hearing on a final plat to create 33 residential lots and 5 non-residential lots on 10.126 acres called Lake Park, an addition to the City of Mansfield

GENERAL INFORMATION

| | |
|-----------------------------|--------------------------------------------------------------------------------------------------------------------------------------|
| Applicant: | Mike Gavin on behalf of Bloomfield Homes, L.P. (owner) Brent Caldwell on behalf of Goodwin and Marshall, Inc. (engineer/surveyor) |
| Location: | Southeast corner of National Parkway and Seeton Road |
| Existing Zoning: | PD |
| Proposed Use: | Single-family residential |
| Size: | 10.126 acres |
| Total Number of Lots: | 38 |
| R.O.W. Dedication: | Internal residential streets |
| R.O.W. Abandonment: | 15' on Seeton Road |
| Compliance with Ordinances: | Yes |

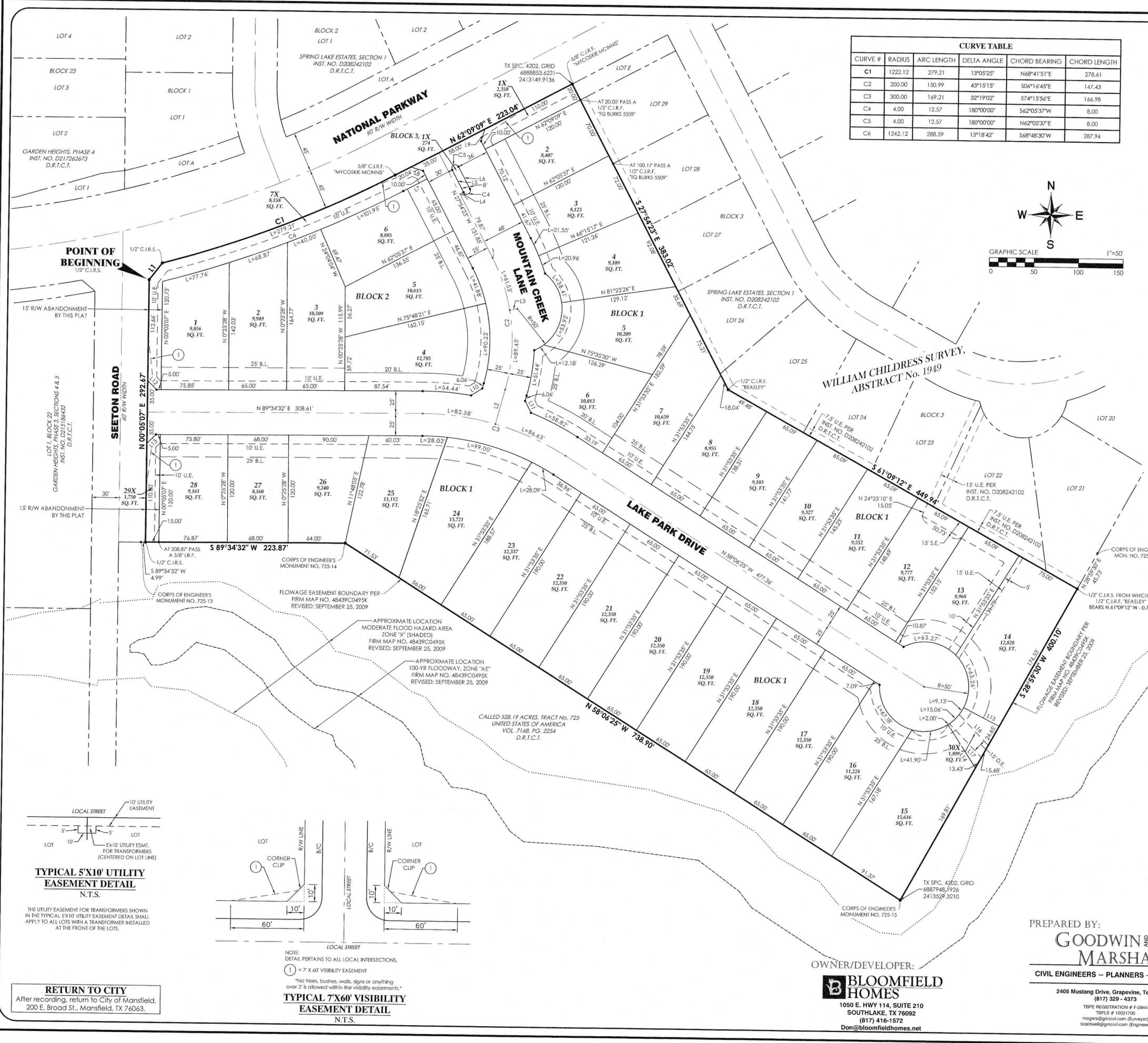
COMMENTS & CONSIDERATIONS

The purpose of this plat is to create 33 residential lots and 5 open space lots from a portion of Lots 1R1 & 1R2, Change of Scenery, and 1.27 acres out of the William Childress Survey, Abstract No. 1949. This will create 33 buildable lots for single-family residences in accordance with the approved planned development. The lots generally conform to the approved planned development aside from slight adjustments to some of the lot sizes and shifting the end of the cul-de-sac on Lake Park Drive to accommodate drainage requirements. All lots meet the standards of the approved planned development.

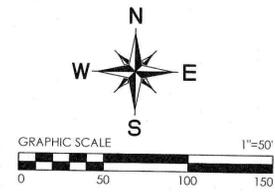
Staff recommends approval.

Attachments:

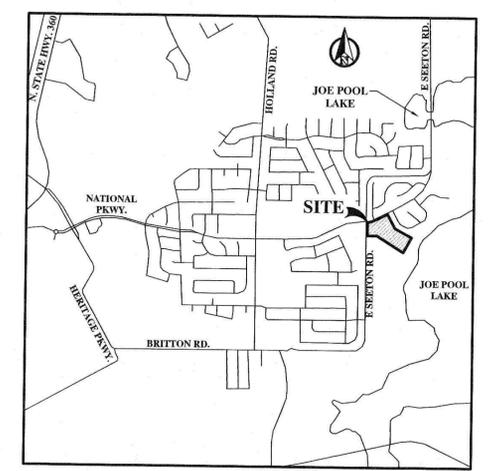
Previously Approved Plat
Approved Development Plan



| CURVE TABLE | | | | | |
|-------------|---------|------------|-------------|---------------|--------------|
| CURVE # | RADIUS | ARC LENGTH | DELTA ANGLE | CHORD BEARING | CHORD LENGTH |
| C1 | 1222.12 | 279.21 | 13°05'25" | N68°41'51"E | 278.61 |
| C2 | 200.00 | 150.99 | 43°15'15" | S06°16'45"E | 147.43 |
| C3 | 300.00 | 169.21 | 32°19'02" | S74°15'56"E | 166.98 |
| C4 | 4.00 | 12.57 | 180°00'00" | S62°05'37"W | 8.00 |
| C5 | 4.00 | 12.57 | 180°00'00" | N62°05'37"E | 8.00 |
| C6 | 1242.12 | 288.59 | 13°18'42" | S68°48'30"W | 287.94 |



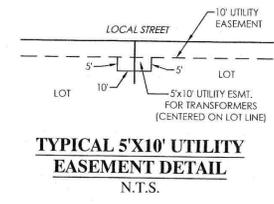
| LINE TABLE | | |
|------------|-------------|----------|
| LINE # | BEARING | DISTANCE |
| L1 | N37°50'23"E | 23.72 |
| L2 | S15°20'53"W | 40.10 |
| L3 | S79°43'20"W | 8.75 |
| L4 | S62°05'37"W | 4.50 |
| L5 | N27°54'23"E | 28.00 |
| L6 | S27°54'23"E | 28.00 |
| L7 | S62°09'09"W | 30.06 |
| L8 | S72°52'37"E | 14.15 |
| L9 | S17°07'23"W | 14.13 |
| L10 | S57°42'05"W | 14.78 |
| L11 | S27°00'20"E | 14.78 |
| L12 | N45°10'10"W | 14.08 |
| L13 | S44°49'50"W | 14.20 |
| L14 | S33°06'25"E | 57.45 |
| L15 | S63°06'25"E | 45.02 |
| L16 | S44°01'13"E | 47.56 |
| L17 | S44°01'13"E | 52.14 |



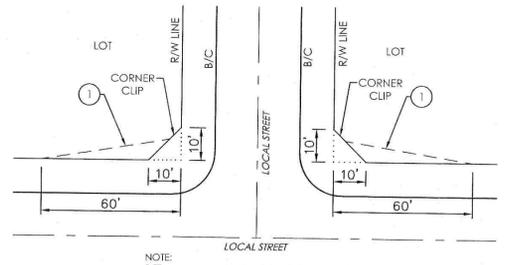
VICINITY MAP
N.T.S.

| LEGEND | |
|-----------------------|------------------------------------------|
| ● | BOUNDARY CORNER AS NOTED |
| SQ. FT. | SQUARE FEET |
| U.E. | UTILITY EASEMENT |
| D.E. | DRAINAGE EASEMENT |
| S.E. | SEWER EASEMENT |
| B.L. | BUILDING LINE |
| R/W | RIGHT-OF-WAY |
| INST. NO. | INSTRUMENT NUMBER |
| CAB. | CABINET |
| SL | SLIDE |
| VOL. | VOLUME |
| PG. | PAGE |
| P.A. | PEDESTRIAN ACCESS |
| L.S. | LANDSCAPE |
| H.O.A. | HOME OWNERS ASSOCIATION |
| D.E.R.C.T. | DEED RECORDS, TARRANT COUNTY, TEXAS |
| P.R.T.C.T. | PLAT RECORDS, TARRANT COUNTY, TEXAS |
| I.R.F. | IRON ROD FOUND |
| C.I.R.F. | CAPPED IRON ROD FOUND |
| C.I.R.S. | CAPPED IRON ROD SET (GOODWIN & MARSHALL) |
| --- | BOUNDARY LINE |
| - - - | ADJOINER LINE |
| - · - · - | ABSTRACT LINE |
| - · - · - · - | EASEMENT LINE |
| - · - · - · - · - | 100-YEAR FLOODWAY |
| - · - · - · - · - · - | MODERATE FLOOD HAZARD AREA |

| LAND USE SUMMARY | |
|----------------------|------------|
| TOTAL LAND AREA | 10.126 AC. |
| RESIDENTIAL USE AREA | 8.082 AC. |
| ROW AREA | 1.713 AC. |
| OPEN SPACE AREA | 0.331 AC. |
| RESIDENTIAL LOTS | 33 |
| OPEN SPACE LOTS | 5 |



TYPICAL 5'X10' UTILITY EASEMENT DETAIL
N.T.S.



TYPICAL 7'X60' VISIBILITY EASEMENT DETAIL
N.T.S.

RETURN TO CITY
After recording, return to City of Mansfield,
200 E. Broad St., Mansfield, TX 76063.

OWNER/DEVELOPER:
B BLOOMFIELD HOMES
1050 E. HWY 114, SUITE 210
SOUTHLAKE, TX 76092
(817) 416-1572
Don@bloomfieldhomes.net

PREPARED BY:
GOODWIN AND MARSHALL
CIVIL ENGINEERS - PLANNERS - SURVEYORS
2405 Mustang Drive, Grapevine, Texas 76051
(817) 329 - 4373
TPE REGISTRATION # F-2944
TBPLS # 10021700
mgers@gmci.com (Surveyor)
broadwell@gmci.com (Engineer)

FINAL PLAT OF LAKE PARK
BEING A REVISION OF A PORTION OF LOTS 1R1 & 1R2,
CHANGE OF SCENERY AND 1.27 ACRES OUT OF THE
WILLIAM CHILDRESS SURVEY, ABSTRACT No. 1949
CITY OF MANSFIELD, TARRANT COUNTY, TEXAS
33 RESIDENTIAL LOTS, 5 NON-RESIDENTIAL LOTS
Date of Preparation: August 2019

LEGAL DESCRIPTION:

WHEREAS, BLOOMFIELD HOMES, L.P., a Texas limited partnership, acting by and through the undersigned, its duly authorized agent, is the sole owner of a 10.126 acre tract of land located in the William Childress Survey, Abstract No. 1949, City of Mansfield, Tarrant County, Texas, said tract being a portion of Lots 1R1 and 1R2 of Change of Scenery, an addition to the City of Mansfield, Tarrant County, Texas, according to the plat recorded in Cabinet B, Slide 2399, P.R.T.C.T., and being all of that certain called 10.009 acre tract described in a deed to Knox Street Partners No. 20, Ltd, recorded in Instrument No. D217090480 of the Deed Records of Tarrant County, Texas (DRTCT), said tract being more completely described as follows:

BEGINNING at a 1/2" capped iron rod set stamped "GOODWIN & MARSHALL", hereinafter referred to as 1/2" capped iron rod set, at the beginning of a corner clip at the intersection of Seeton Road and National Parkway (90' right-of-way width), said point being 30.00 feet at right angles to the centerline of said Seeton Road;

THENCE North 37 deg. 50 min. 23 sec. East along said corner clip, a distance of 23.72 feet to a 1/2" capped iron rod set at end of said corner clip, said point being a Point of Curvature of a non-tangent circular curve to the left, having a radius of 1,222.12 feet, a central angle of 13 deg. 5 min. 25 sec., and being subtended by a chord which bears North 68 deg. 41 min. 51 sec. East - 278.61 feet;

THENCE in an Easterly direction along said curve to the left, the Northwest line of said 10.009 acre tract, and the Southeast right-of-way line of said National Parkway, a distance of 279.21 feet to a 5/8" capped iron rod found stamped "MYCOSKIE MCINNIS";

THENCE North 62 deg. 9 min. 9 sec. East tangent to said curve and continue along said Northwest line and Southeast right-of-way line, a distance of 223.04 feet to a 5/8" capped iron rod found stamped "MYCOSKIE MCINNIS" for the most northerly corner of said 10.009 acre tract and the Northwest corner of Lot E, Block 3 of Spring Lake Estates, Section One, an addition to the City of Mansfield, Tarrant County Texas, according to the plat recorded in Instrument No. D208242102 (DRTCT);

THENCE South 27 deg. 54 min. 23 sec. East departing said Southeast right-of-way line and continue along the Northeast line of said 10.009 acre tract and the Southwest line of said Spring Lakes Estates, Section One, at 20.00 feet pass a 1/2" capped iron rod found stamped "TQ BURKS 5509" for the Southwest corner of said Lot E, same being the Northwest corner of Lot 29, Block 3 of said Spring Lakes Estates, Section One, at 100.17 feet pass a 1/2" capped iron rod found stamped "TQ BURKS 5509" for the Southwest corner of said Lot 29, Block 3, continue a total distance of 383.02 feet to a 1/2" capped iron rod found stamped "BEASLEY";

THENCE South 61 deg. 9 min. 12 sec. East along said Northeast and Southwest lines, a distance of 449.94 feet to a 1/2" capped iron rod set stamped "GOODWIN & MARSHALL" for the most southerly corner of said Spring Lake Estates, Section One, the most easterly corner of said 10.009 acre tract, and being in the Northwest line of a called 528.19 acre tract described as Tract No. 725 in a deed to the United States of America recorded in Volume 71 68, Page 2254 (DRTCT), from which a 1/2" capped iron rod found stamped "BEASLEY" bears North 61 deg. 9 min. 12 sec. West - 0.73 feet, and from which a found Corps of Engineer's Monument No. 725-15-A bears North 28 deg. 59 min. 30 sec. East - 45.73 feet;

THENCE South 28 deg. 59 min. 30 sec. West along the Southeast line of said 10.009 acre tract and the Northwest line of said 528.19 acre tract, a distance of 400.10 feet to a found Corps of Engineer's Monument Number 725-15 found for the most southerly corner of said 10.009 acre tract and being an ell corner of said 528.19 acre tract;

THENCE North 58 deg. 6 min. 25 sec. West along the Southwest line of said 10.009 acre tract and the Northeast line of said 528.19 acre tract, a distance of 738.90 feet to a found Corps of Engineer's Monument No. 725-14 found;

THENCE South 89 deg. 34 min. 32 sec. West along the South line of said 10.009 acre tract and the North line of said 528.19 acre tract, at 208.87 feet pass a 5/8" iron rod found for the Southwest corner of said 10.009 acre tract, and the Southwest corner of said Lot 1R1, continue a total distance of 223.87 feet to a 1/2" capped iron rod set, from which a found Corps of Engineer's Monument No. 725-13 bears South 89 deg. 34 min. 32 sec. West - 4.99 feet;

THENCE North 0 deg. 5 min. 7 sec. East, being 30.00 feet East of and parallel with the centerline of said Seeton Road, a distance of 292.67 feet to the **POINT OF BEGINNING**, containing 441,075 square feet or 10.126 acres of land, more or less.

OWNER'S DEDICATION:

NOW THEREFORE KNOW ALL MEN BY THESE PRESENTS: That, Bloomfield Homes, L.P., a Texas limited partnership, being the sole owner of the above described parcel, acting by and through the undersigned, its duly authorized agent, does hereby adopt the herein above described property as Lake Park, an addition to the City of Mansfield, Tarrant County, Texas, and does hereby dedicate to the public's use the streets and easements as shown thereon.

Witness our hand, this the 13TH day of AUGUST, 2019.

BLOOMFIELD HOMES, L.P.
a Texas limited partnership

By: BLOOMFIELD PROPERTIES, INC.
a Texas corporation, General Partner

By: [Signature]
Donald J. Dykstra, President

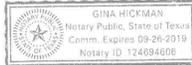
STATE OF TEXAS §
COUNTY OF TARRANT §

Before me, the undersigned Notary Public in and for said County and State, on this day personally appeared Donald J. Dykstra, President of BLOOMFIELD PROPERTIES, INC., the General Partner of BLOOMFIELD HOMES, L.P., known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and considerations therein expressed.

Given under my hand and seal of office this the 13 day of August, 2019.

[Signature]
Notary Public, State of Texas

My commission expires: _____



SURVEYOR'S CERTIFICATE

This is to certify that I, John N. Rogers, a Registered Professional Land Surveyor of the State of Texas, have platted the above subdivision from an actual on the ground survey, and that all lot corners, angle points and points of the curve shall be properly marked on the ground and that this plat correctly represents that survey made by me or under my direction and supervision.

[Signature] 8/13/2019
John N. Rogers
Registered Professional Land Surveyor No. 6372
Surveyed on the ground September 2018
Goodwin & Marshall, Inc.
2405 Mustang Drive
Grapevine, Texas 76051
(817) 329-4373



NOTES

- 1. Bearings are referenced to Texas State Plane Coordinate System, North Central Zone (4202), North American Datum of 1983 as derived from GPS observation. The combined scale factor for this is 0.99989017. This factor is to be applied to any ground coordinate or distance values in order to reduce said values to State Plane grid.
- 2. According to the Flood Insurance Rate Map (FIRM) panel 48439C0495K, revised September 25, 2009, this survey is located in Flood Insurance Zone "X" (non-shaded), being defined as areas outside the 0.2% annual chance floodplain. Approximate location of floodplain and/or floodway lines are shown on the survey.
- 3. All 1/2" iron rod set with yellow plastic cap stamped "Goodwin & Marshall" unless otherwise noted.
- 4. Notice: Selling a portion of any lot in this addition by metes and bounds is a violation of state law and city ordinance and is subject to penalties imposed by law.
- 5. The utility easement for transformers shown in the typical 5'X10' utility easement detail shall apply to all lots with a transformer installed at the front of all lots.
- 6. Any retaining walls constructed will be contained within the subdivision and within residential lots and will be maintained by the Home Owner's Association.
- 7. It is currently intended that development will be constructed in one phase.
- 8. Lot 1X, Block 1 and 7X, Block 2 are for the placement of sidewalk, landscaping, and screening wall.
- 9. No trees, bushes, walls, signs or anything over 2' is allowed within the visibility easements.
- 10. A mandatory homeowners association will be responsible for the maintenance of the masonry walls along National Parkway and Seeton Road, including the parkway between the screening wall or device and the street; the open space lots and medians; and the enhanced entryway features, including but not limited to, medians, landscaping, any non-standard pavement, and the enhanced masonry walls with signage.
- 11. The Owners Association and associated documents shall be filed in accordance with the City of Mansfield policies. These documents must be reviewed by the City Attorney prior to filing the final plat. The documents shall be filed with the final plat at Tarrant County when deemed necessary by the attorney. The documents shall be submitted in a timely manner to allow for a minimum of 60 days review. Failure to submit the documents or incomplete documents may result in delay of construction, acceptance of the subdivision or delay in approval of a building permit. The City does not accept the responsibility for any delays in construction, approval or acceptance of the subdivision caused by the failure to submit the association documents or the inaccuracy of the documents.

CONDITIONS OF ACCEPTANCE OF DRAINAGE & FLOODWAY EASEMENTS:

THIS PLAT IS PROPOSED BY THE OWNERS OF PROPERTIES DESCRIBED HEREIN (HEREINAFTER REFERRED TO AS "PROPERTY OWNERS") AND IS APPROVED BY THE CITY OF MANSFIELD SUBJECT TO THE FOLLOWING CONDITIONS WHICH SHALL BE BINDING UPON THE PROPERTY OWNERS, HIS HEIRS, GRANTEEES, SUCCESSORS AND ASSIGNS.

NO OBSTRUCTION TO THE FLOW OF STORMWATER RUN-OFF SHALL BE PERMITTED BY FILLING OR BY CONSTRUCTION OF ANY TYPE OF DAM, BUILDING, BRIDGE, FENCE, OR ANY OTHER STRUCTURE WITHIN THE DRAINAGE EASEMENT SHOWN HEREIN ON THIS PLAT, UNLESS APPROVED BY THE CITY OF MANSFIELD. PROVIDED, HOWEVER, IT IS UNDERSTOOD THAT IN THE EVENT IT BECOMES NECESSARY FOR THE CITY OF MANSFIELD TO ERECT DRAINAGE FACILITIES IN ORDER TO IMPROVE THE STORM DRAINAGE THAT MAY BE OCCASIONED BY THE STREETS AND ALLEYS IN OR ADJACENT TO THE SUBDIVISION, THEN IN SUCH EVENT, THE CITY OF MANSFIELD SHALL HAVE THE RIGHT TO ENTER SAID DRAINAGE EASEMENT AT ANY POINT OR POINTS TO ERECT, CONSTRUCT AND MAINTAIN ANY FACILITY DEEMED NECESSARY FOR DRAINAGE PURPOSES.

THE PROPERTY OWNERS WILL BE RESPONSIBLE FOR MAINTAINING SAID DRAINAGE EASEMENT. THE PROPERTY OWNERS SHALL KEEP SAID DRAINAGE EASEMENT CLEAN AND FREE OF DEBRIS, SILT, HIGH WEEDS, AND ANY SUBSTANCE WHICH WOULD RESULT IN UNSANITARY OR UNDESIRABLE CONDITIONS. THE CITY OF MANSFIELD SHALL HAVE THE RIGHT OR INGRESS AND EGRESS FOR THE PURPOSE OF INSPECTING AND SUPERVISING MAINTENANCE WORK DONE BY THE PROPERTY OWNERS. IF AT ANY TIME THE PROPERTY OWNERS FAIL TO SATISFY ANY OF THEIR AFOREMENTIONED RESPONSIBILITIES OR OBLIGATIONS, THE CITY OF MANSFIELD, UPON TEN (10) DAYS PRIOR NOTICE TO THE OWNERS, MAY ENTER SAID DRAINAGE EASEMENT AT ANY POINT OR POINTS TO PERFORM MAINTENANCE OR CLEAN-UP, AND BILL THE PROPERTY OWNERS THE COST INCURRED, OR PLACE A LIEN ON SAID PROPERTIES IF THE BILL IS NOT PAID WITHIN THIRTY (30) DAYS OF ITS MAILING.

SAID DRAINAGE EASEMENT, AS IN THE CASE OF ALL DRAINAGE EASEMENTS, IS SUBJECT TO STORMWATER OVERFLOW AND EROSION TO AN EXTENT WHICH CANNOT BE SPECIFICALLY DEFINED. THE CITY OF MANSFIELD SHALL NOT BE HELD LIABLE FOR ANY DAMAGES RESULTING FROM THE OCCURRENCE OF THESE NATURAL PHENOMENA OR THE FAILURE OF ANY FACILITIES WITHIN SAID DRAINAGE EASEMENT. FURTHER, THE CITY OF MANSFIELD WILL NOT BE RESPONSIBLE FOR EROSION CONTROL OR ANY DAMAGE TO PRIVATE PROPERTIES OR PERSONS RESULTING FROM THE FLOW OF WATER WITHIN SAID DRAINAGE EASEMENT AND PROPERTIES.

RETURN TO CITY
After recording, return to City of Mansfield,
200 E. Broad St., Mansfield, TX 76063.

APPROVED BY THE CITY OF MANSFIELD
_____, 2019
APPROVED BY: P&Z COMMISSION CHAIRMAN
_____, 2019
ATTEST: PLANNING & ZONING SECRETARY

OWNER/DEVELOPER:
BLOOMFIELD HOMES
1050 E. HWY 114, SUITE 210
SOUTH LAKE, TX 76092
(817) 416-1572
Don@bloomfieldhomes.net

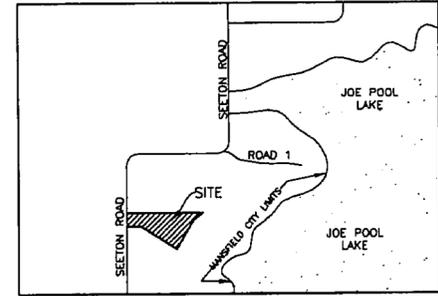
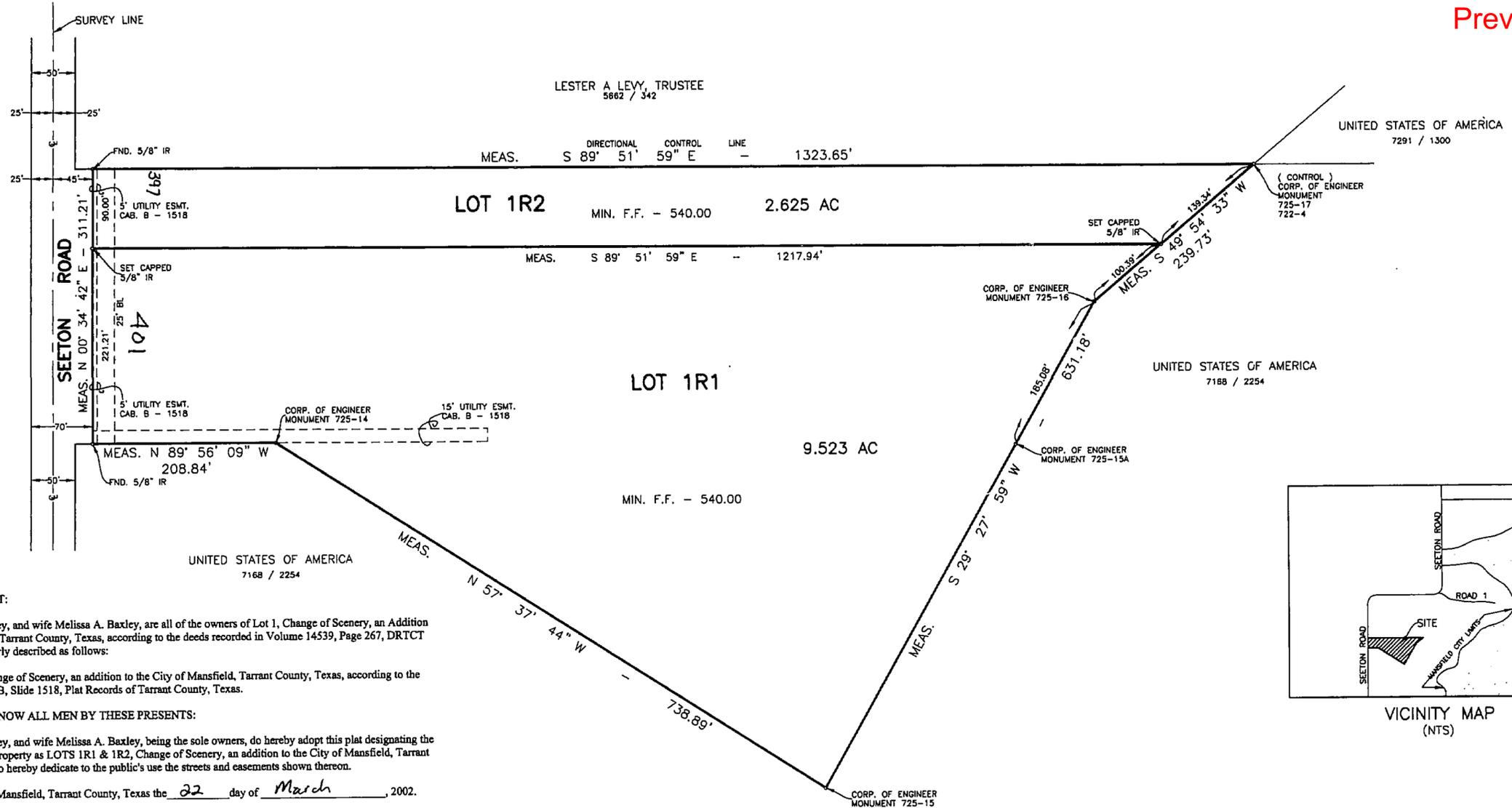
PREPARED BY:
GOODWIN & MARSHALL INC.
CIVIL ENGINEERS - PLANNERS - SURVEYORS
2405 Mustang Drive, Grapevine, Texas 76051
(817) 329 - 4373
TBPE REGISTRATION # F-2944
TBPLS # 10021700
rogers@gmci.com (Surveyor)
boardwell@gmci.com (Engineer)

FINAL PLAT OF LAKE PARK
BEING A REVISION OF A PORTION OF LOTS 1R1 & 1R2,
CHANGE OF SCENERY AND 1.27 ACRES OUT OF THE
WILLIAM CHILDERESS SURVEY, ABSTRACT No. 1949
CITY OF MANSFIELD, TARRANT COUNTY, TEXAS
33 RESIDENTIAL LOTS, 5 NON-RESIDENTIAL LOTS
Date of Preparation: August 2019

This plat filed in Instrument No. _____
Date: _____, 2019.

SD#19-029
SHEET 2 of 2

EV18883 - Mansfield - Bloomfield - Doc: \C:\G:\PLAT\PLAT.dwg



STATE OF TEXAS
COUNTY OF TARRANT:

THAT WE, Jay W. Baxley, and wife Melissa A. Baxley, are all of the owners of Lot 1, Change of Scenery, an Addition to the City of Mansfield, Tarrant County, Texas, according to the deeds recorded in Volume 14539, Page 267, DRTCT and being more particularly described as follows:

BEING all of Lot 1, Change of Scenery, an addition to the City of Mansfield, Tarrant County, Texas, according to the plat recorded in Cabinet B, Slide 1518, Plat Records of Tarrant County, Texas.

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

THAT WE, Jay W. Baxley, and wife Melissa A. Baxley, being the sole owners, do hereby adopt this plat designating the herein above described property as LOTS 1R1 & 1R2, Change of Scenery, an addition to the City of Mansfield, Tarrant County, Texas, and we do hereby dedicate to the public's use the streets and easements shown thereon.

WITNESS our hands at Mansfield, Tarrant County, Texas the 22 day of March, 2002.

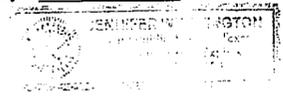
Jay W. Baxley
 JAY W. BAXLEY

Melissa A. Baxley
 MELISSA A. BAXLEY

STATE OF TEXAS
COUNTY OF TARRANT

BEFORE ME, the undersigned authority, on this day personally appeared JAY BAXLEY, known to me to be the person whose name is subscribed to the above and foregoing instrument, and acknowledged to me that he executed the same for the purposes and consideration expressed and in the capacity therein stated.
GIVEN UNDER MY HAND AND SEAL OF OFFICE on this the 22nd day of March, 2002.

Jennifer Whittington
 Notary Public, The State of Texas



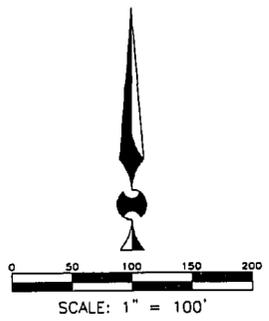
BEFORE ME, on this day personally appeared, Melissa Baxley, known to me to be the person whose name is subscribed to the above and foregoing instrument, and acknowledged to me that he executed the same for the purposes and consideration expressed and in the capacity therein stated.
GIVEN UNDER MY HAND AND SEAL OF OFFICE on this the 22nd day of March, 2002.

Jennifer Whittington
 Notary Public, The State of Texas



SURVEYOR'S CERTIFICATE
THIS is to certify that I, William H. Moss, a Registered Professional Land Surveyor, of the State of Texas, have platted the above subdivision from an actual survey on the ground, and that all lot corners, angle points, and points of curve shall be properly marked on the ground, and that this plat correctly represents that survey made by me or under my direction and supervision.

William H. Moss
 WILLIAM H. MOSS
 Registered Professional Land Surveyor
 Texas Registration No. 5122



After recording, return to City of Mansfield
1305 E. Broad Street, Mansfield, TX 76063

APPROVED BY THE CITY OF MANSFIELD
4/1 2002 *M. Grauman*
 APPROVED BY: P & Z COMMISSION CHAIRMAN
4/1 2002 *Melissa Jones*
 ATTEST: PLANNING & ZONING SECRETARY

TXU ELECTRIC/LONG STAR GAS
 APPROVED BY: *Robert Meeker*

SOUTHWESTERN BELL TELEPHONE CO.
 APPROVED BY: *Patricia G. Birds* 03-22-02

CHARTER COMMUNICATIONS
 APPROVED BY: *Wendy M. Gaudel* 3-22-02

REPLAT

LOTS 1R1 & 1R2, CHANGE OF SCENERY

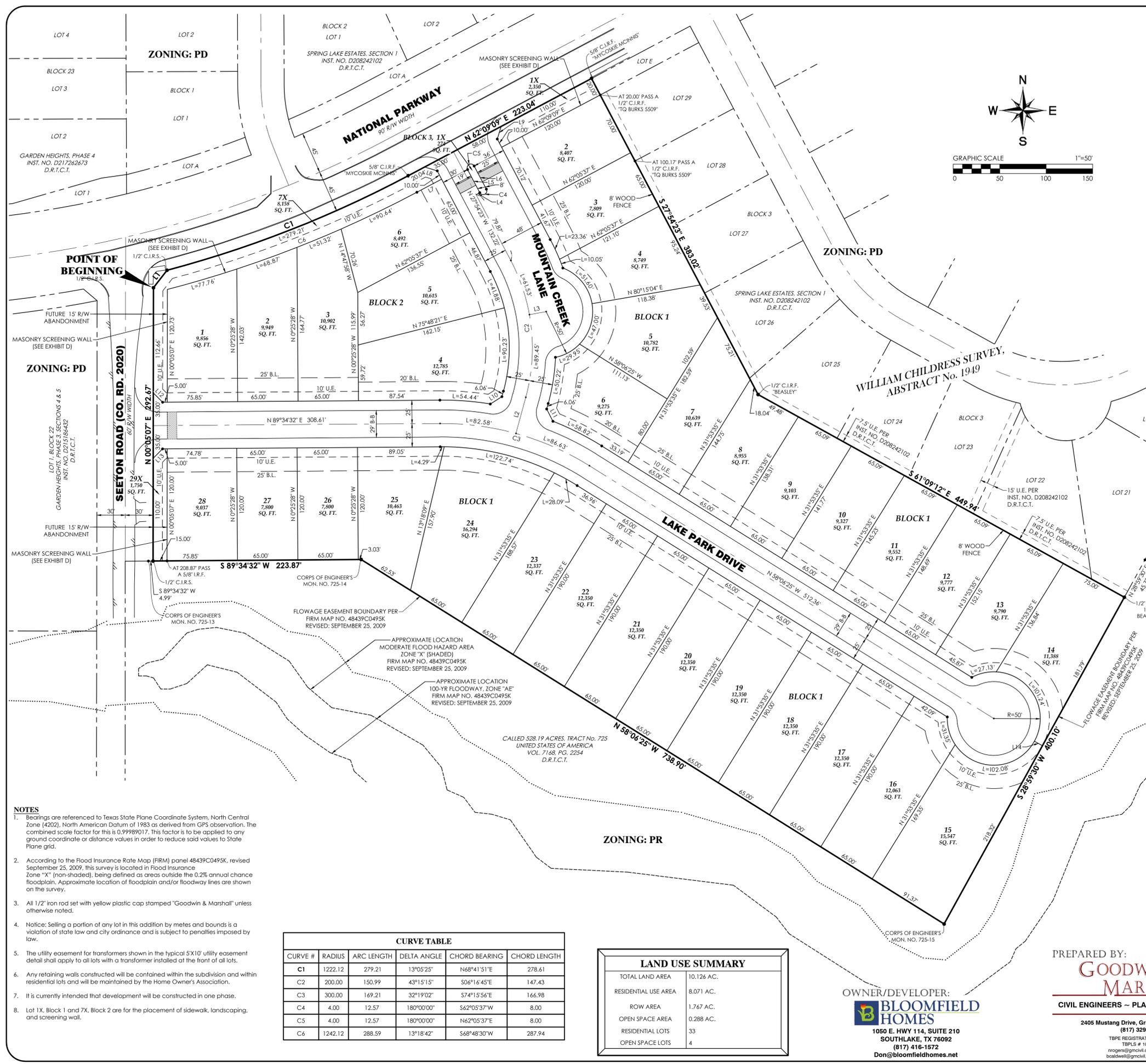
BEING A REPLAT OF LOT 1, CHANGE OF SCENERY, AN ADDITION TO THE CITY OF MANSFIELD, TARRANT COUNTY, TEXAS, AS RECORDED IN CABINET B, SLIDE 1518 P.R.T.C.T.

DATE: 2-12-02. 2 LOTS - 12.291 ACRES

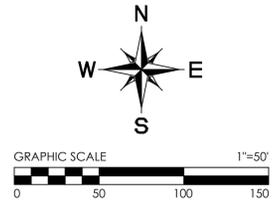
OWNER:
 JAY AND MELISSA BAXLEY
 401 SEETON ROAD
 MANSFIELD, TX 76065
 (817) 453-5013

William H. Moss
 Professional Land Surveying, P.C.
 P.O. Box 924
 Arlington, Texas 76004
 (817) 276-1148
 FAX (817) 276-1147

THIS PLAT FILED IN CABINET B, SLIDE 2399, DATE 4/29/02



| LINE # | BEARING | DISTANCE |
|--------|-------------|----------|
| L1 | N37°50'23"E | 23.72 |
| L2 | S15°20'53"W | 40.10 |
| L3 | S79°43'20"W | 18.25 |
| L4 | S62°05'37"W | 4.50 |
| L5 | N27°54'23"W | 28.00 |
| L6 | S27°54'23"E | 28.00 |
| L7 | S62°09'09"W | 30.06 |
| L8 | S72°52'37"E | 14.15 |
| L9 | S17°07'23"W | 14.13 |
| L10 | S57°42'05"W | 14.78 |
| L11 | S27°00'20"E | 14.78 |
| L12 | N45°10'10"W | 14.08 |
| L13 | S44°49'50"W | 14.20 |
| L14 | S61°00'30"E | 10.00 |



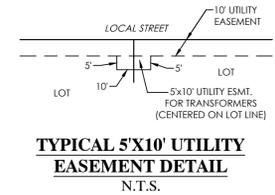
VICINITY MAP
N.T.S.

| LEGEND | |
|------------|------------------------------------------|
| ● | BOUNDARY CORNER AS NOTED |
| SQ. FT. | SQUARE FEET |
| U.E. | UTILITY EASEMENT |
| B.L. | BUILDING LINE |
| R/W | RIGHT-OF-WAY |
| INST. NO. | INSTRUMENT NUMBER |
| CAB. | CABINET |
| SL. | SLIDE |
| VOL. | VOLUME |
| PAGE | PAGE |
| D.R.T.C.T. | DEED RECORDS, TARRANT COUNTY, TEXAS |
| P.R.T.C.T. | PLAT RECORDS, TARRANT COUNTY, TEXAS |
| I.R.F. | IRON ROD FOUND |
| C.I.R.F. | CAPPED IRON ROD FOUND |
| C.I.R.S. | CAPPED IRON ROD SET (GOODWIN & MARSHALL) |
| --- | BOUNDARY LINE |
| - - - | ADJOINER LINE |
| --- | ABSTRACT LINE |
| --- | EASEMENT LINE |
| --- | 100-YEAR FLOODWAY |
| --- | MODERATE FLOOD HAZARD AREA |

- NOTES**
- Bearings are referenced to Texas State Plane Coordinate System, North Central Zone (4202), North American Datum of 1983 as derived from GPS observation. The combined scale factor for this is 0.99989017. This factor is to be applied to any ground coordinate or distance values in order to reduce said values to State Plane grid.
 - According to the Flood Insurance Rate Map (FIRM) panel 48439C0495K, revised September 25, 2009, this survey is located in Flood Insurance Zone "X" (non-shaded), being defined as areas outside the 0.2% annual chance floodplain. Approximate location of floodplain and/or floodway lines are shown on the survey.
 - All 1/2" iron rod set with yellow plastic cap stamped "Goodwin & Marshall" unless otherwise noted.
 - Notice: Selling a portion of any lot in this addition by metes and bounds is a violation of state law and city ordinance and is subject to penalties imposed by law.
 - The utility easement for transformers shown in the typical 5'x10' utility easement detail shall apply to all lots with a transformer installed at the front of all lots.
 - Any retaining walls constructed will be contained within the subdivision and within residential lots and will be maintained by the Home Owner's Association.
 - It is currently intended that development will be constructed in one phase.
 - Lot 1X, Block 1 and 7X, Block 2 are for the placement of sidewalk, landscaping, and screening wall.

| CURVE TABLE | | | | |
|-------------|---------|------------|-------------|---------------|
| CURVE # | RADIUS | ARC LENGTH | DELTA ANGLE | CHORD BEARING |
| C1 | 1222.12 | 279.21 | 13°05'25" | N68°41'51"E |
| C2 | 200.00 | 150.99 | 43°15'15" | S06°16'45"E |
| C3 | 300.00 | 169.21 | 32°19'02" | S74°15'56"E |
| C4 | 4.00 | 12.57 | 180°00'00" | S62°05'37"E |
| C5 | 4.00 | 12.57 | 180°00'00" | N62°05'37"E |
| C6 | 1242.12 | 288.59 | 13°18'42" | S68°48'30"W |

| LAND USE SUMMARY | |
|----------------------|------------|
| TOTAL LAND AREA | 10.126 AC. |
| RESIDENTIAL USE AREA | 8.071 AC. |
| ROW AREA | 1.767 AC. |
| OPEN SPACE AREA | 0.288 AC. |
| RESIDENTIAL LOTS | 33 |
| OPEN SPACE LOTS | 4 |



TYPICAL 5'X10' UTILITY EASEMENT DETAIL
N.T.S.

THE UTILITY EASEMENT FOR TRANSFORMERS SHOWN IN THE TYPICAL 5'X10' UTILITY EASEMENT DETAIL SHALL APPLY TO ALL LOTS WITH A TRANSFORMER INSTALLED AT THE FRONT OF THE LOTS.

PREPARED BY:
GOODWIN & MARSHALL INC.
CIVIL ENGINEERS - PLANNERS - SURVEYORS
2405 Mustang Drive, Grapevine, Texas 76051
(817) 329 - 4373
TBPE REGISTRATION # F-2944
TBPLS # 10021700
mrogers@gmcivil.com (Surveyor)
baldwell@gmcivil.com (Engineer)

OWNER/DEVELOPER:
BLOOMFIELD HOMES
1050 E. HWY 114, SUITE 210
SOUTH LAKE, TX 76092
(817) 416-1572
Don@bloomfieldhomes.net

PRELIMINARY, this document shall not be recorded for any purpose and shall not be used or viewed or relied upon as a final survey document.
Issued for review 4/29/2019 11:30 AM

EXHIBIT "C"
DEVELOPMENT PLAN
OF
LAKE PARK
BEING
10.126 ACRES
SITUATED IN THE
WILLIAM CHILDRESS SURVEY, ABSTRACT No. 1949
CITY OF MANSFIELD, TARRANT COUNTY, TEXAS
33 RESIDENTIAL LOTS, 4 NON-RESIDENTIAL LOTS
Date: April 2019
ZC # 19-001

SECTION 1: DEVELOPMENT PLAN

The proposed development will be in complete accordance with the provisions of the approved Planned Development District and that all Development Plans recorded hereunder shall be binding upon the applicant thereof, his successors and assigns, and shall limit and control all building permits.

SECTION 2: RESIDENTIAL LOT STANDARDS

Lake Park will have front-entry, minimum 2 ½ car garage, single-family detached residential lots as shown on Exhibit C. The residential single-family lots must comply with the following area and setback requirements:

| Zoning District | Minimum Lot Area | Minimum Lot Width ** | Minimum Lot Depth * | Minimum Front Yard | Minimum Rear Yard | Minimum Interior Side Yard | Min. Exterior Side Yard (backing up to an abutting side yard) | Min. Exterior Side Yard (backing up to an abutting rear yard) *** | Maximum Lot Coverage | Minimum Floor Area |
|----------------------------------------------------------------------------------------------------------------------------------------------|------------------|----------------------|---------------------|--------------------|-------------------|----------------------------|---------------------------------------------------------------|-------------------------------------------------------------------|----------------------|--------------------|
| Lake Park | 7,500 sf | 65' | 110' | 25' | 15' | 5' & 10' | 20' | 15' | 45% | 2,200 sf |
| * The typical lot depth provided is 120'. | | | | | | | | | | |
| ** Corner lots that are adjacent to ROW must be at least 10' wider than the minimum lot width. | | | | | | | | | | |
| *** Requires two side yards to have a combined total of not less than 15' with a 5' minimum on one side and a 10' minimum on the other side. | | | | | | | | | | |

SECTION 3: COMMUNITY DESIGN STANDARDS

Residential development in Lake Park must comply with the community design standards in Section 4600 of the Zoning Ordinance and the Subdivision Control Ordinance, and amendments thereof. All lots within the community will be front-entry, minimum 2 ½ car garage with Cedar doors. Lots that back or side against National Parkway or Seeton Road Road will provide full masonry (brick or stone) on these roadway facing facades. This condition will apply to Lot 1-3, & 6, Block 2; and Lot 2 & 28, Block 1 as depicted on the Development Plan, Exhibit “C”. The Planned Development is requesting a variance from the City’s maximum allowable cul-de-sac length per the length shown on the Development Plan Exhibit “C” for Lake Park Drive. The boundary conditions for the property do not allow the City’s maximum allowable cul-de-sac length of 600’ to be met.

SECTION 4: GENERAL CONDITIONS

A. Landscaping:

1. All landscaping on each lot must meet the requirements of the Residential Landscape Requirements described in Section 7300 of the Zoning Ordinance.

B. Perimeter Walls/ Screening:

1. A minimum six (6) foot masonry screening wall must be provided along National Parkway and Seeton Road in accordance with Ordinance No. 1270.
2. A minimum eight (8) foot wood fence must be provided along the northeast property line adjacent to Spring Lake Estates.

SECTION 5: HOMEOWNERS ASSOCIATION

A mandatory homeowners association will be responsible for the maintenance of the masonry walls along National Parkway and Seeton Road, including the parkway between the screening wall or device and the street; the open space lots and medians; and the enhanced entryway features, including but not limited to, medians, landscaping, any non-standard pavement, and the enhanced masonry walls with signage.

The Owners Association and associated documents shall be filed in accordance with the City of Mansfield policies. These documents must be reviewed by the City Attorney prior to filing the final plat. The documents shall be filed with the final plat at Tarrant County when deemed necessary by the attorney. The documents shall be submitted in a timely manner to allow for a minimum of 60 days review. Failure to submit the documents or incomplete documents may result in delay of construction, acceptance of the subdivision or delay in approval of a building permit. The City does not accept the responsibility for any delays in construction, approval or acceptance of the subdivision caused by the failure to submit the association documents or the inaccuracy of the documents.

PLANNING AND ZONING COMMUNICATION

Agenda: September 3, 2019

Subject: ZC#19-006: Public hearing for a change of zoning from PD Planned Development District to PD Planned Development District for age-restricted single-family residential uses on approximately 33.495 acres out of the S. Mitchell Survey, City of Mansfield, Abstract No. 593, Johnson County, TX and Abstract No. 1024, Tarrant County, TX, located at the northeast corner of Mitchell and Mathis Roads

GENERAL INFORMATION

| | |
|----------------------------------|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| Applicant: | John Delin of Integrity Group, LLC (developer) James Cornelius on behalf of Sowell Reserve Associates, L.P. (owner) Bill Bryant (owner) Patricia Fant on behalf of G&A McAdams Co. (planner/designer) |
| Size: | 33.495 acres |
| Proposed Use: | Age-restricted single-family residential |
| Existing Land Use: | Vacant land; single-family residence & farm |
| Surrounding Land Use & Zoning: | North - Vacant land (PD) South – Mathis Road; Single-family residential (PD) across the street East - Vacant land (PD) West - Mitchell Rd.; Vacant land and single-family residential (PD) across the street |
| Thoroughfare Plan Specification: | Mitchell Road – Minor Collector (three-lane undivided) Mathis Road – Minor Collector (three-lane undivided) River Birch Drive – Minor Collector (three-lane undivided) |

COMMENTS AND CONSIDERATIONS

The subject property consists of 33.495 acres on the east side of Mitchell Road and the north side of Mathis Road. 27.785 acres is vacant land and was previously approved for Phase II of the View at the Reserve; Phase II included 82 single-family residential lots. The balance of the detailed site plan for the View at the Reserve is also in the process of being re-worked. The remaining 5.71 acres of the subject property consists of a small farm and residence under separate ownership.

The applicant is requesting to re-zone the subject property from PD Planned Development District for single-family residential uses to PD Planned Development District for age-restricted single-family residential uses.

Development Plan and Standards

The applicant plans to develop a 159-unit age-restricted single-family residential neighborhood called Ladera at the Reserve. The dwelling units will not be platted into individual residential lots and will remain as one lot with condominium-style individual ownership of the individual dwelling units. The established setbacks will be measured as distances between buildings and from the private streets. The applicant is proposing the following development standards:

Front Setback: 20'

Side Setback: 6' between units

Rear Setback: 20' between units

Min. Dwelling Size: 1,400 sq. ft. (defined as air-conditioned space)

Max. Height: 2 stories/35'

Max. Lot Coverage: 65% (based on total building coverage for the entire 33.495-acre site, excluding accessory uses)

Density: 4.75 dwelling units per acre

Total Number of Dwelling Units by Type*:

Unit 1 (44.5' x 80'): 33

Unit 2 (42' x 77'): 60

Unit 3 (42' x 70'): 37

Unit 4 (53' x 57'): 19

Unit 5 (64' x 50'): 10

Total Units: 159

*Note: Unit breakdown subject to change based on homeowner preference

The applicant notes that the dwelling units and activity center shall generally be constructed in accordance with the building elevations shown in Exhibit E. The development will comply with Section 4600 of the Zoning Ordinance, with the following deviations:

4600.A.4: Facades with large expanses of uninterrupted, exterior materials

4600.D.8: The majority minimum roof pitch shall be 10:12 with a back pitch minimum of 5:12

4600.D.13: The various floor plans shall comply with Exhibit F

4600.D.14: J-swing garages are not required

4600.D.15: Not applicable since the property is not being subdivided into individual lots

4600.D.16: The minimum depth of front porches shall be five (5) feet

4600.D.17: The minimum front yard setback and garage setback shall be twenty (20) feet

4600.D.18: The enhanced entryway shall be consistent with the detail shown in Exhibit D

In addition, residential buildings and the "Activity Center" shall be eighty (80) percent masonry including brick or stone on the main floor. The craftsman/farmhouse style may be used in the "Activity Center" or "The Shack"; this style may have up to one hundred (100) percent cementitious fiberboard lap siding.

Access and Circulation

The community will be gated and served by a private street network. The primary access point will be on the north end of the property off River Birch Drive, a new east-west thoroughfare that will connect to Mitchell Road and also serve the balance of the View at the Reserve development. A secondary access point will be located in the southeast corner of the development and will be for residents and emergency personnel only. This access point will

connect to Rendon Place, a new north-south thoroughfare that will connect to Mathis Road and also serve the View at the Reserve.

Amenities

The development will include several amenities, including an “Activity Center” building, swimming pool, and pickle ball courts near the entrance to the development, as well as a secondary activity center called “The Shack” in the southeast portion of the development, and a putting green in the southwest portion of the development. All three amenities will have off-street parking. The central portion of the development will include ponds with walking trails, and there will also be internal sidewalks along the streets as well as a perimeter trail around the development.

Phasing Plan

The applicant has provided a Phasing Plan for the development. Phase I will encompass the northeastern portion of the development and will include 89 units, as well as the main entrance, the “Activity Center”, “The Shack”, and the central ponds and trails. Phase II consists of the southwestern portion of the development and will include 70 units as well as the putting green.

Landscaping and Screening

The applicant has provided a Landscape Plan showing the overall landscaping to be provided throughout the development, as well as tables noting how they are meeting the requirements, and details for each planting and screening device. Along Mitchell and Mathis Roads, the applicant will provide a 6’ masonry screening wall, as well as clusters of canopy and ornamental trees; all of the clusters of trees will be located on the inside of the walls adjacent to the walking trail and the rear of the residences. Along River Birch Drive, the applicant will provide a 6’ board-on-board fence with masonry columns and clusters of canopy and ornamental trees located both inside and outside of the wall. Along Rendon Place, the applicant will provide a 6’ board-on-board fence with clusters of canopy and ornamental trees on the inside of the fence (adjacent to the walking trail and the residences) and ornamental grass beds on the outside of the fence facing Rendon Place. Clusters of trees will be planted in the interior blocks in between residences and adjacent to the ponds and interior walking trails. In addition, nearly all of the residences will include a builder’s tree in the front yard. The landscaping details around the “Activity Center” and “The Shack” will be provided with construction plans for those buildings.

Enhanced Entryway Plan

The enhanced entrance into the development deviates from the typical requirements in that it only includes three of the five required elements and they do not match on both sides. A divided boulevard section is included, however enhanced pavers and decorative street lighting are not. In lieu of enhanced architectural elements on both sides, the developer will provide an entrance monument elevation with boulders, water feature, and signage on one side, with a curved accent wall on the other side. In lieu of decorative street lighting, the developer will include more enhanced lighting for the landscaping features. The proposed entryway landscaping is abundant and includes a mix of ornamental and canopy trees, shrubs, grasses, and seasonal color, as well as boulders. At the entrance, the masonry walls will transition to an ornamental fence with masonry columns, and the entrance will include swing gates.

Furthermore, at the corners of Mitchell & River Birch and Mathis & Rendon, there are plans for enhanced entrances by the developer of the View at the Reserve and the applicant has included the renderings for these entry features in the plans.

Elevations and Floor Plans

The applicant has provided front building elevations and floor plans for 11 models, with anywhere from 1 to 8 variations of each model (most models have 3-5 variations). The provided elevations include a mix of brick and stone construction and are predominantly single-story.

Recommendation

The subject property is located in the Southpointe Expansion sub-district of The Reserve. The development standards for this sub-district call for the continued expansion of Southpointe development regulations in this area, which include a mix of single-family residential products, which were included in the View at Reserve detailed site plan that had previously been approved for this property. While the proposed density of 4.75 dwelling units per acre exceeds the 2.95 units per acre that had originally been proposed here as part of Phase II of the View at the Reserve, the proposed Ladera at the Reserve development will still include single-family residential uses that will complement the surrounding uses. Age-restricted uses also create less strain on the school system and the private gated arrangement will create less strain on public infrastructure. In addition, the development will help fulfill demand for low-maintenance, age-restricted, single-family living, and further diversify the range of products in this area, which is healthy for creating balanced neighborhoods. The development will include a variety of building elevations and floor plans, abundant neighborhood amenities, and significant landscaping and adequate screening. Staff recommends approval with the condition that the following Engineering-related comments are adequately addressed by the applicant:

- Define drainage sub-area more precisely (possibly are A, B and C) in existing drainage area map. Separate areas drain to the southeast and to the southwest.
- Add a note that explains how the developed condition is accommodated offsite. Existing and proposed flow rates can be shown at discharge points for better understanding.
- How post-construction water quality measure will be addressed?
- A WB left turn lane needs to be provided on River Birch at the proposed access point.
- Typically the ingress lane for a divided entry is only 18' wide, is the proposed 24' in width to allow residents direct access while visitors use the key pad?

Attachments:

Maps and Supporting Information

Exhibit A – Property Description

Exhibit B – Development Regulations

Exhibit C – Development Plan

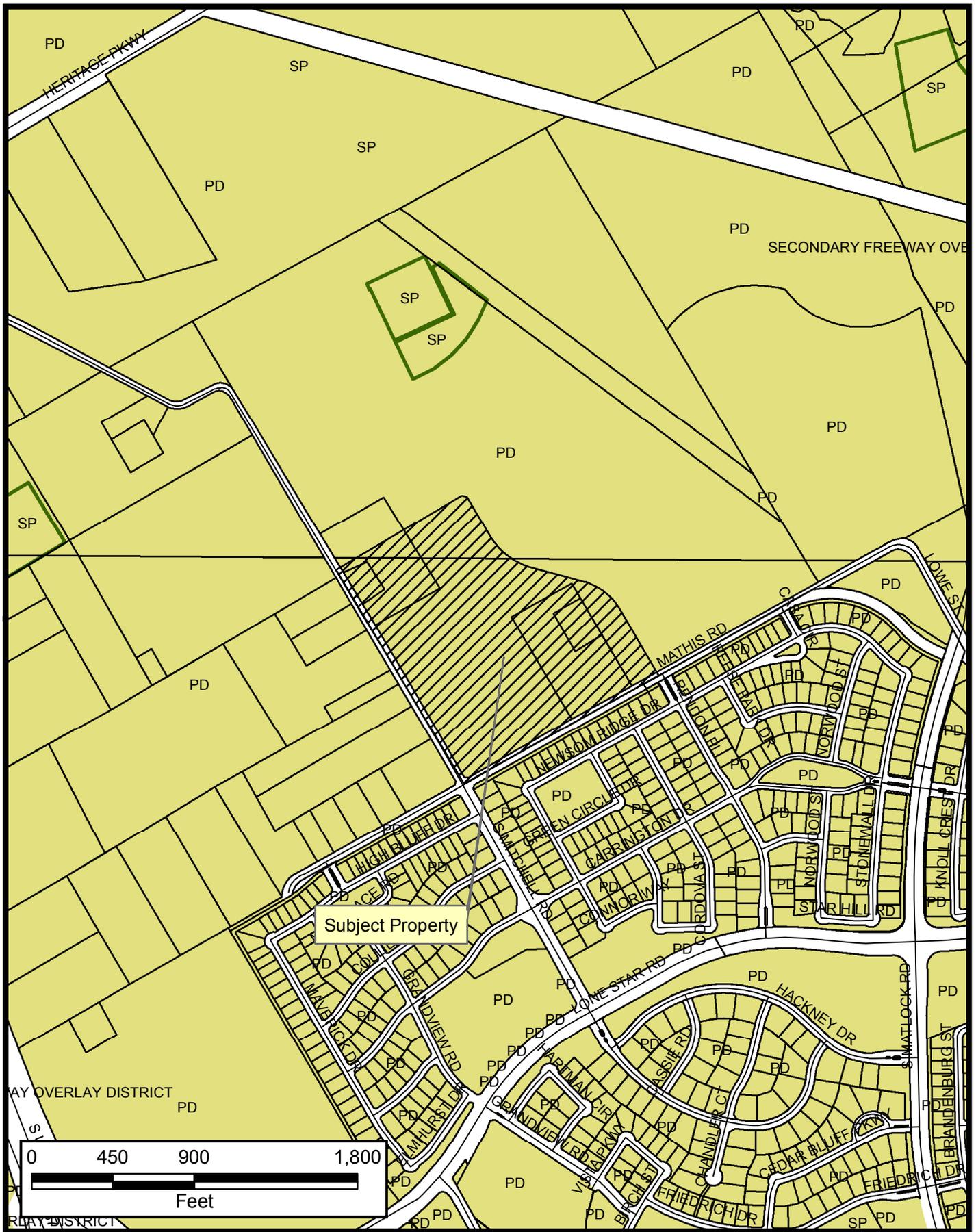
Exhibit D – Landscape Plan

Exhibit E – Elevations

Exhibit F – Floor Plans

Exhibit G – Phasing Plan

Previously Approved Site Plan



ZC#19-006

This information is for illustrative purposes only. Not for design or development purposes. Site-specific studies may be required to obtain accurate feature locations. Every effort is made to ensure the information displayed here is accurate; however, the City of Mansfield makes no claims to its accuracy or completeness.

8/20/2019

Property Owner Notification for ZC#19-006

| LEGAL DESC 1 | LEGAL DESC 2 | OWNER NAME | OWNER ADDRESS | CITY | ZIP |
|-------------------------|--------------|-------------------------------------|------------------------|-----------------|------------|
| | | | *** NO ADDRESS *** | *** NO CITY *** | * NO ZIP * |
| | | | *** NO ADDRESS *** | *** NO CITY *** | * NO ZIP * |
| MITCHELL, SAMUEL SURVEY | A 1024 | SOWELL RESERVE ASSOC LP | 1601 ELM ST STE 3500 | DALLAS, TX | 75201 |
| MITCHELL, SAMUEL SURVEY | A 1024 | HAVENS, BOBBY FLOYD | 874 ONE MILE LN | RIESEL, TX | 76682 |
| MITCHELL, SAMUEL SURVEY | A 1024 | SOWELL RESERVE ASSOC LP | 1601 ELM ST STE 3500 | DALLAS, TX | 75201 |
| S MITCHELL | TR 1 | HAVENS BOBBY F ETUX MARY A | 874 ONE MILE LN | RIESEL, TX | 76682-2725 |
| S MITCHELL | TR 11 | PHILLIPS DOROTHY ETVIR CLARENCE | P O BOX 42 | MANSFIELD, TX | 76063 |
| S MITCHELL | TR 12 | BRYANT WILLIAM C ETUX DEBBIE | PO BOX 207 | MAYPEARL, TX | 76064-0207 |
| S MITCHELL | TR 12 PT | BRYANT WILLIAM C ETUX DEBBIE | PO BOX 207 | MAYPEARL, TX | 76064-0207 |
| S MITCHELL | TR 13 | SOWELL RESERVE ASSOCIATES LP | 1601 ELM ST STE 3500 | DALLAS, TX | 75201-4703 |
| S MITCHELL | TR 13 PT | SOWELL RESERVE ASSOCIATES LP | 1601 ELM ST STE 3500 | DALLAS, TX | 75201-4703 |
| S MITCHELL | TR 13B | SOWELL RESERVE ASSOCIATES LP | 1601 ELM ST STE 3500 | DALLAS, TX | 75201-4703 |
| S MITCHELL | TR 4, 4A | RAY L R & TOMMIE A RAY TRUST | 214 CEDAR ST | MANSFIELD, TX | 76063 |
| S MITCHELL | TR 5 | TORRES KARINA | 1050 S MITCHELL RD | MANSFIELD, TX | 76063 |
| S MITCHELL | TR 6 | LUTTRELL ROBERT R & SUSAN | 1092 MITCHELL RD | MANSFIELD, TX | 76063 |
| SOUTHPOINTE PH 1A SEC 1 | BLK 11 | VALDERAS MARCOS | 3001 NEWSOM RIDGE DR | MANSFIELD, TX | 76063 |
| SOUTHPOINTE PH 1A SEC 1 | BLK 11 | HAIRSTON VALERIE ETVIR EDRIAN JEVON | 3003 NEWSOM RIDGE DR | MANSFIELD, TX | 76063 |
| SOUTHPOINTE PH 1A SEC 1 | BLK 11 | IPRR SOUTH POINTE-1 LLC | 6723 WEAVER RD STE 108 | ROCKFORD, IL | 61114-8021 |
| SOUTHPOINTE PH 1A SEC 1 | BLK 19 | IPRR SOUTH POINTE-1 LLC | 6723 WEAVER RD STE 108 | ROCKFORD, IL | 61114-8021 |

Property Owner Notification for ZC#19-006

| LEGAL DESC 1 | LEGAL DESC 2 | OWNER NAME | OWNER ADDRESS | CITY | ZIP |
|-------------------------|---------------------|--------------------------------------------|-----------------------------------|---------------|------------|
| SOUTHPOINTE PH 1A SEC 1 | BLK 20 | IPRR SOUTH POINTE-1 LLC | 6723 WEAVER RD STE 108 | ROCKFORD, IL | 61114-8021 |
| SOUTHPOINTE PH 1A SEC 1 | BLK 20 | OKAN TIMOTHY | 2915 NEWSOM RIDGE DR | MANSFIELD, TX | 76063 |
| SOUTHPOINTE PH 1A SEC 2 | BLK 20 | TROTTER VINITA | 1101 MONTAIGNE RD | MANSFIELD, TX | 76063 |
| SOUTHPOINTE PH 1A SEC 2 | BLK 20 | J HOUSTON HOMES LLC | PO BOX 2829 | RED OAK, TX | 75154-1585 |
| SOUTHPOINTE PH 1A SEC 2 | BLK 20 | J HOUSTON HOMES LLC | PO BOX 2829 | RED OAK, TX | 75154-1585 |
| SOUTHPOINTE PH 1A SEC 2 | BLK 20 | VEASLEY LATONYA | 2913 NEWSOM RIDGE DR | MANSFIELD, TX | 76063 |
| SOUTHPOINTE PH 1A SEC 2 | BLK 20 | LUGO JAVIER MIRELES | 2415 JEFFERSON POINT DR APT 62 | ARLINGTON, TX | 76006 |
| SOUTHPOINTE PH 1A SEC 2 | BLK 20 | MHI PARTNERSHIP LTD | 7676 WOODWAY DR STE 104 | HOUSTON, TX | 77063-1521 |
| SOUTHPOINTE PH 1A SEC 2 | BLK 20 | DAVIS TALON ETUX KRISTIN L | 2907 NEWSOM RIDGE DR | MANSFIELD, TX | 76063 |
| SOUTHPOINTE PH 1A SEC 2 | BLK 20 | BOBO CHRISTOPHER J ETUX MELODY ZANDI | 2905 NEWSOM RIDGE DR | MANSFIELD, TX | 76063 |
| SOUTHPOINTE PH 1A SEC 2 | BLK 20 | HATHAWAY MICHAEL S ETUX BARBARA D | 2903 NEWSOM RIDGE DR | MANSFIELD, TX | 76063 |
| SOUTHPOINTE PH 1A SEC 2 | BLK 20 | CASAREZ DAVID ETUX HEATHER | 2901 NEWSOM RIDGE DR | MANSFIELD, TX | 76063 |
| SOUTHPOINTE PH 1A SEC 2 | BLK 20 | STEDMAN ERIC ETUX CALLIE | 2817 NEWSOM RIDGE DR | MANSFIELD, TX | 76063 |
| SOUTHPOINTE PH 1A SEC 2 | BLK 20 | TANCAK DANIEL R ETUX JANETTE B | 2815 NEWSOM RIDGE DR | MANSFIELD, TX | 76063 |
| SOUTHPOINTE PH 1A SEC 2 | BLK 20 | JAMIL FAISAL ETUX HINA HAROON | 2813 NEWSOM RIDGE DR | MANSFIELD, TX | 76063 |
| SOUTHPOINTE PH 1A SEC 2 | BLK 20 | HARDIN MATTIE | 2811 NEWSOM RIDGE DR | MANSFIELD, TX | 76063 |
| SOUTHPOINTE PH 1A SEC 2 | BLK 20 | HUYNH HELEN HANH ETVIR NHAN VIET NGUYEN | 2809 NEWSOM RIDGE DR | MANSFIELD, TX | 76063 |
| SOUTHPOINTE PH 1A SEC 2 | BLK 20 | KALUBI THIERRY K ETUX | 2807 NEWSOM RIDGE DR | MANSFIELD, TX | 76063 |
| SOUTHPOINTE PH 1A SEC 2 | BLK 20 | ADAMS DARREN & MARIA M | 2805 NEWSOME RIDGE DR | MANSFIELD, TX | 76063 |

Property Owner Notification for ZC#19-006

| LEGAL DESC 1 | LEGAL DESC 2 | OWNER NAME | OWNER ADDRESS | CITY | ZIP |
|-------------------------|---------------------|----------------------------------------|------------------------|---------------|------------|
| SOUTHPOINTE PH 1A SEC 2 | BLK 20 | BROWN DESMOND | 2803 NEWSOM RIDGE DR | MANSFIELD, TX | 76063 |
| SOUTHPOINTE PH 1A SEC 2 | BLK 20 | HARSORA DHRUV ETUX JIWANJOT HARSORA | 2801 NEWSOM RIDGE DR | MANSFIELD, TX | 76063 |
| SOUTHPOINTE PH 1A SEC 2 | BLK 20 | IPRR SOUTH POINTE-1 LLC | 6723 WEAVER RD STE 108 | ROCKFORD, IL | 61114-8021 |
| SOUTHPOINTE PH 1A SEC 2 | BLK 20 | ADAMS MARIA M & DARREN | 2805 NEWSOME RIDGE DR | MANSFIELD, TX | 76063 |
| SOUTHPOINTE PH 2 | BLK 25 | RUBY 07 SPMTGE LLC | 6723 WEAVER RD STE 108 | ROCKFORD, IL | 61114-8021 |
| SOUTHPOINTE PH 2 | BLK 25 | RUBY 07 SPMTGE LLC | 6723 WEAVER RD STE 108 | ROCKFORD, IL | 61114-8021 |
| SOUTHPOINTE PH 2 | BLK 25 | RUBY 07 SPMTGE LLC | 6723 WEAVER RD STE 108 | ROCKFORD, IL | 61114-8021 |
| SOUTHPOINTE PH 2 | BLK 25 | RUBY 07 SPMTGE LLC | 6723 WEAVER RD STE 108 | ROCKFORD, IL | 61114-8021 |
| THE RANCH | BLK 1 | RODRIGUEZ MARIO O ETUX MARIA G | 940 S MITCHELL | MANSFIELD, TX | 76063 |
| THE RANCH | BLK 1 | SCHNEBERGER PAUL O | 960 S MITCHELL RD | MANSFIELD, TX | 76063 |

LEGAL DESCRIPTION

ZC#19-006

EXHIBIT "A"

33.495 Acres

Being all that certain lot, tract or parcel of land situated in the S. Mitchell Survey, Abstract Number 593 and Abstract Number 1024, City of Mansfield, Johnson County and Tarrant County, Texas, and being part of that certain called 110.120 acre tract of land described as Tract 1 in deed to Sowell Reserve Associates, L.P., recorded in Document Number D214209293 of the Official Public Records of Tarrant County, Texas, being part of that certain called 5.954 acre tract of land described in deed to Sowell Reserve Associates, L.P. recorded in Document Number D214209294 of the Official Public Records of Tarrant County, Texas, being all of that certain called 6.00 acre tract of land described in deed to William C. Bryant and wife, Debbie T. Bryant recorded in Volume 2557, Page 741 of the Real Property Records of Johnson County, Texas and being more particularly described as follows:

BEGINNING at the southwest corner of said Tract 1, and being in the intersection of Mathis Road and Mitchell Road;

THENCE N 30°47'58" W in Mitchell Road and the southwesterly line of said Tract 1 passing at 951.9 feet the south corner of said 5.954 acre tract and continuing with the west line thereof for a total distance of 1377.93 feet;

THENCE N 59°15'33" E, passing at 417.3 the east line of said 5.954 acre tract and the west line of said tract 1, continuing for a total distance of 807.35 feet;

THENCE S 75°43'12" E, 28.27 feet;

THENCE S 30°41'58" E, 257.86 to a point of curvature;

THENCE with the arc of a curve to the left, having a radius of 375.00 feet, a central angle of 44°17'44", whose chord bears S 52°50'50" E, 282.75 feet, an arc length of 289.91 feet;

THENCE S 75°08'16" E, 296.68 feet to a point for curvature;

THENCE with the arc of a curve to the right, having a radius of 325.00 feet, a central angle of 44°35'51", whose chord bears S 52°50'21" E, 246.63 feet, an arc length of 252.97 feet;

THENCE S 30°32'26" E, 429.76 feet to the south line of said tract 1 and being in said Mathis Road;

THENCE S 60°47'40 W, in said Mathis Road and with the south line of said Tract 1, passing at 139.5 feet the east corner of said 6.00 acre tract, continuing with the south line thereof, passing at 535.5 feet the south corner thereof, continuing with the south line of said Tract 1 a total distance of 1231.48 feet to the POINT OF BEINNING and containing approximately 33.495 acres of land.

LADERA AT THE RESERVE
DEVELOPMENT REGULATIONS
Planned Development – 33.495 Acres

I. PURPOSE

Ladera at the Reserve is a proposed aged-restricted, low-maintenance gated residential community integrated with quality amenities such as walking trails, activity center with pool, pickle ball courts, and additional activity building called "The Shack", amenity pond, parks, and open space areas that provide for an enhanced quality of life for active adults seeking a lock and leave, low-maintenance lifestyle within the City of Mansfield.

II. DEVELOPMENT PLAN

The property shall be developed in accordance with the City of Mansfield regulations unless stated otherwise herein or shown otherwise on the Development Plan (Exhibit "C"), Landscape Plan (Exhibit "D"), Elevations (Exhibit "E"), Floorplans (Exhibit "F"), or Phasing Plan (Exhibit "G").

III. USES

A. Permitted Uses - The following uses shall be permitted by right:

- 1) Single Family Detached Dwelling
- 2) Activity Center (HUB)
- 3) Community Pool
- 4) The Shack (reduced size additional amenity building)

B. Accessory Uses - The following uses shall be permitted as accessory uses:

- 1) Gazebos
- 2) Pavilions
- 3) Tennis and Sport Courts
- 4) Accessory Buildings
- 5) Pond

IV. LANDSCAPE SETBACK REQUIREMENTS

There shall be a landscape setback with a minimum width of twenty (20) feet from the property line to a residential structure. Screening walls/residential fencing shall be permitted within the landscape setback.

V. AREA REQUIREMENTS

Ladera at the Reserve dwelling units will not be platted into individual residential lots. The site will remain as one lot with a total of one hundred and fifty-nine (159) dwellings units. Therefore, the reference to setbacks shall be used as building separation from other buildings and from the private street.

ZC#19-006
EXHIBIT "B"

| | | |
|------------------------------------------|--------------------------------------------------------------|------------------------------------------|
| Side Yard Setback (Between Buildings) | Front Yard Setback (Front of Building to Back of Curb) | Rear Yard Setback (Between Buildings) |
| 6' Minimum | 20' Minimum | 20' Minimum |

VI. DEVELOPMENT AND PERFORMANCE STANDARDS

| Minimum Lot Size | Minimum Lot Width | Minimum Lot Depth | Maximum Height | Maximum Lot Coverage (percent of lot area) | Minimum Dwelling Size (square feet) |
|------------------|-------------------|-------------------|--------------------|--------------------------------------------|-------------------------------------|
| N/A | N/A | N/A | 35' or 2 ½ Stories | 65%* | 1,400** |

* Lot Coverage based on total building coverage (excluding accessory uses) for the entire 33.495-acre site.

** Air-conditioned space.

VII. RESIDENTIAL DENSITY

The residential density for Ladera at the Reserve shall not exceed 4.75 units per gross acre (du/ac). Residential density shall be calculated using the gross land area of 33.495 acres.

VIII. BUILDING DESIGN

A. The dwelling units and activity center shall be generally constructed in accordance with the building elevations shown in Exhibit "E".

B. The development shall comply with Section 4600 of the City's Zoning Ordinance with the following exceptions:

1) Section 4600(A)4: Facades with large expanses of uninterrupted, exterior materials.

2) Section 4600(D)8: The majority minimum roof pitch shall be 10:12 with a back pitch minimum of 5:12.

3) Section 4600(D)13: The various floorplans shall comply with Exhibit "F".

4) Section 4600(D)14: "J" Swing garages are not required.

5) Section 4600(D)15: Ladera at the Reserve is a condominium association on one lot and since the property is not being subdivided into individual residential lots this requirement is not applicable.

6) Section 4600(D)16: The minimum depth of front porches shall be five (5) feet.

7) Section 4600(D)17: The minimum front yard setback and garage setback shall be twenty (20) feet.

8) Section 4600(D)18: The enhanced entrance into Ladera at the Reserve shall be consistent with the detail shown in Exhibit "D" and in Exhibit "H".

- C. Residential buildings and the activity center shall be eighty (80) percent masonry including brick or stone on the main floor. The Craftsman/Farmhouse style may be used in the Activity Center or The Shack. Craftsman/Farm house style may have up to one hundred (100) percent cementaceous fiberboard lap-siding.

IX. SCREENING AND LANDSCAPING

Screening and landscaping shall be generally installed in accordance with the Landscape Plan, Exhibit "D".

- A. A screening wall of at least six (6) feet in height shall be required along perimeter property lines, and located within the required landscape setback, along Rendon, Mitchell, and Mathis and shall be set back at least ten (10) feet along River Birch, as indicated on Exhibit "D". Said screening wall shall be masonry along Mitchell and Mathis and can include ornamental metal portions as shown in Exhibit "D". Along River Birch and Rendon, the required screening wall shall be a wood fence. Masonry columns are required along River Birch.
- B. Each front yard shall have one (1) canopy tree with a minimum caliper size of three (3) inches, as measured six (6) inches above grade, from the approved plant list for the City of Mansfield.
- C. A cluster of three (3) canopy trees (of three (3) inch minimum caliper size), alternating with a cluster of three (3) ornamental trees, every eighty (80) linear feet, shall be required within the landscape setbacks along all perimeter property lines.
- D. Residential fencing shall consist of ornamental metal or vinyl and have a minimum height of four (4) feet and a maximum height of six (6) feet.

X. PARKING

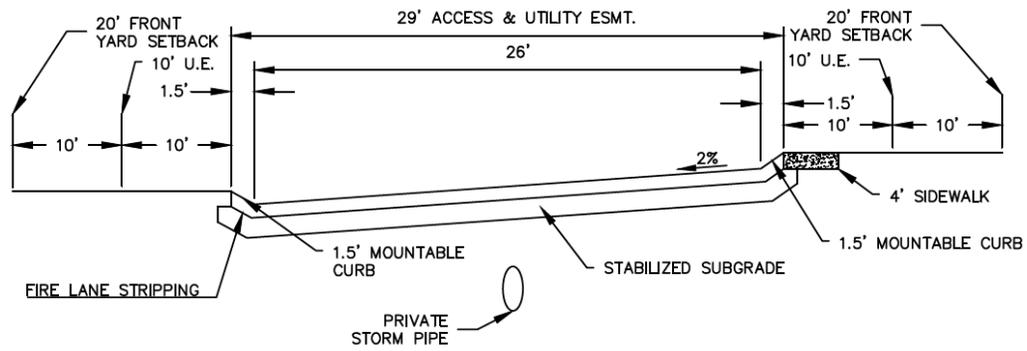
Off street parking shall be allowed in areas shown on the approved Development Plan, Exhibit "C".

XI. STREETS AND ACCESS

- A. The proposed streets shall be privately maintained by the Homeowner's Association of Ladera at the Reserve.
- B. The proposed streets shall have fire lane striping along the low side as shown on Exhibit "C".
- C. The private streets shall conform to the following street section:



ZC#19-006
EXHIBIT "B"



PROPOSED STREET SECTION (NTS)
*PARKING ALLOWED ON ONE
SIDE OF STREET ONLY (THE
HIGH SIDE OF STREET)

XII. OPEN SPACE

The minimum required designated open space area shall be thirty five percent (35%) of the gross land area.

XIII. TREE SURVEY

A tree survey has been prepared which shows the existing tree canopy on the property. These trees are generally located along the perimeter property lines along River Birch and Rendon, in the northern most areas of the property. Mitigation shall not be required for any trees removed during the development of this property

XIV. PHASING

Ladera at the Reserve is subject to the Phasing Plan as shown in Exhibit "G".

XV. SPECIAL PROVISIONS

The property may be used only for the uses described in this PD, or in compliance with the Reserve PD (South Pointe expansion Sub-District). The use developed first will determine which PD standards apply for that use, and all further uses of the Property.



80 0 80 160 240 Feet
SCALE: 1"=80'

PLANT LEGEND

- 4" CALIPER CANOPY TREE
- 3" CALIPER CANOPY TREE
- 3" CALIPER BUILDER'S TREE
- ORNAMENTAL TREE
- BERMUDA SOD
- SEASONAL COLOR
- 6' BOARD ON BOARD FENCE
- 6' ORNAMENTAL METAL FENCE
- 6' MASONRY WALL

NOTE: TREE PLACEMENT SUBJECT TO CHANGE PENDING FINAL UTILITY AND GRADING PLANS

| SUMMARY CHART - BUFFERYARDS/SETBACKS | | | | | | |
|--------------------------------------|-------------------|-----------|----------------------------------|------------------------------|---------------------------------|-------------------------------------------------------------------------------------------|
| LOCATION OF BUFFERYARD OR SETBACK | REQUIRED/PROVIDED | LENGTH | BUFFERYARD OR SETBACK WIDTH/TYPE | CANOPY TREES | ORNAMENTAL TREES | SCREENING WALL/DEVICE HEIGHT AND MATERIAL |
| Rendon Place | REQUIRED | 1555 L.F. | BY20, SW6 | 10 clusters of canopy trees | 10 clusters of ornamental trees | 6' screening device |
| | PROVIDED | | | 10 clusters of canopy trees | 10 clusters of ornamental trees | 6' board on board fence |
| River Birch Drive | REQUIRED | 807 L.F. | BY20, SW6 | 807 L.F./30'-27 canopy trees | 5 clusters of ornamental trees | 6' screening device |
| | PROVIDED | | | 27 canopy trees | 5 clusters of ornamental trees | 6' board on board fence with masonry columns; ornamental metal fence with masonry columns |
| Mitchell Road | REQUIRED | 1347 L.F. | BY20, SW6 | 9 clusters of canopy trees | 8 clusters of ornamental trees | 6' screening device |
| | PROVIDED | | | 9 clusters of canopy trees | 10 clusters of ornamental trees | 6' masonry brick wall |
| Mathis Road | REQUIRED | 1201 L.F. | BY20, SW6 | 8 clusters of canopy trees | 7 clusters of ornamental trees | 6' screening device |
| | PROVIDED | | | 8 clusters of canopy trees | 8 clusters of ornamental trees | 6' masonry brick wall |

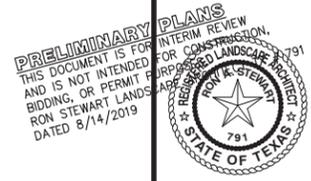
NOTE ANY CREDITS USED IN CALCULATIONS
OTHER COMMENTS:

The John R. McAdams Company, Inc. (DBA, G&A McAdams)
Landscape Architecture
7921 County View Drive
Roanoke, Texas 76262
Tel: 817-430-3318
www.mcadams.com



Ladera at the Reserve
33.495 Acres
in the
MITCHELL SURVEY, ABSTRACT NO. 593
TARRANT/JOHNSON COUNTY, TEXAS

Landscape Plan
Exhibit "D"
ZC #19-006



Drawn By: XD
Date: 04/15/2019
Scale: 1"=80'
Revisions:
6/24/2019
8/14/2019

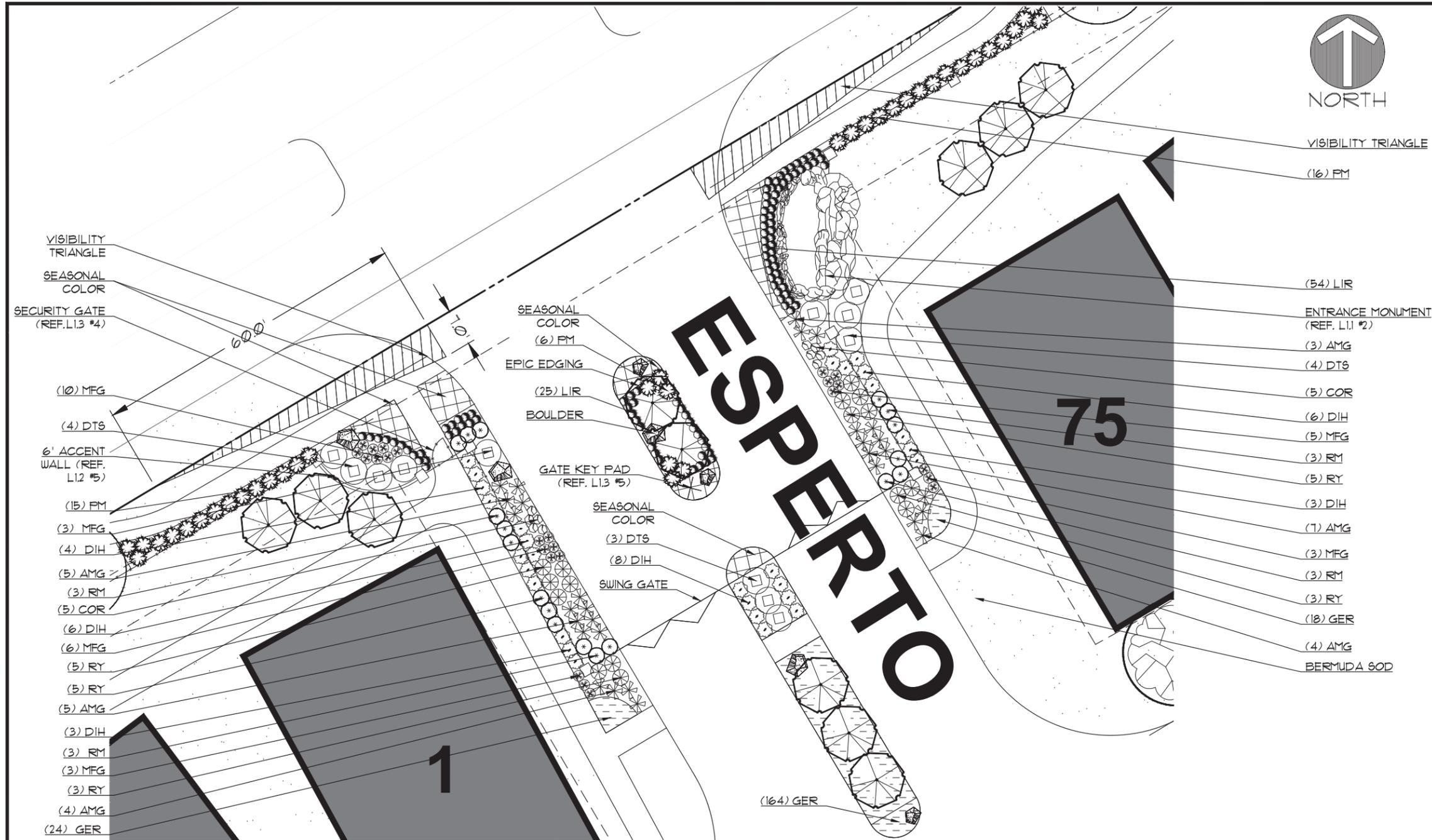
OWNER/DEVELOPER
INTEGRITY GROUP
361 W BYRON NELSON BLVD STE. 104
ROANOKE, TX 76262
Ph. 817-430-3318
Contact: John Dellin

ITG-19010

L1.0

Ladera at the Reserve

File: D:\Projects\19010\Drawings\19010-Landscape-Plan-Submittal.dwg Date: 8/14/2019 2:51 PM by: jerry



VISIBILITY TRIANGLE
(16) FM

- (54) LIR
- ENTRANCE MONUMENT
(REF. L1.1 #2)
- (3) AMG
- (4) DTS
- (5) COR
- (6) DIH
- (5) MFG
- (3) RM
- (5) RY
- (3) DIH
- (1) AMG
- (3) MFG
- (3) RM
- (3) RY
- (18) GER
- (4) AMG
- BERMUDA SOD

PLANT LEGEND

- (YH) YAUPOH HOLLY
Ilex vomitoria
- (DTS) DESPERADO TEXAS SAGE
Leucophyllum frutescens 'Desperado'
- (RM) ROSEMARY
Rosmarinus officinalis
- (DIH) DWARF INDIAN HAWTHORN
Raphiolepis indica
- (RY) RED YUCCA
Hesperaloe parvifolia
- (PG) PINK GAURA
Gaura lindheimeri 'Siskiyou Pink'
- (AMG) ADAGIO MAIDEN GRASS
Miscanthus sinensis 'Adagio'
- (PM) PINK MULHY
Muhlenbergia capillaris
- (RY) RED YUCCA
Hesperaloe parvifolia
- (ULC) WALKER'S LOU CATMINT
Napeta x faassenii 'Walker's Lou'
- (PG) PINK GAURA
Gaura lindheimeri 'Siskiyou Pink'
- (MFG) MEXICAN FEATHER GRASS
Nassella tenuissima
- (LIR) LIRIOPE
Liriope muscari
- (COR) COREOPSIS
Coreopsis sp.
- (GER) GERMANDER
Teucrium chamaedrya
- SEASONAL COLOR

The John R. McAdams Company, Inc.
(DBA: G&A McAdams)
Landscape Architecture
7922 W. Loop South, Suite 700
Houston, Texas 77057
972.436.9712
201 Country View Drive
Roanoke, Texas 76262
940.240.1012
www.jrmc.com
TBP# 19194440



Ladera at the Reserve
33.495 Acres
in the
MITCHELL SURVEY, ABSTRACT NO. 593
TARRANT/JOHNSON COUNTY, TEXAS

Landscape Plan
Exhibit "D"
ZC #19-006



Drawn By: XD
Date: 04/15/2019
Scale:
Revisions:
6/24/2019
8/14/2019

OWNER/DEVELOPER
INTEGRITY GROUP
361 W BYRON NELSON BLVD STE. 104
ROANOKE, TX 76262
Ph. 817-430-3318
Contact: John Dellin

ITG-19010

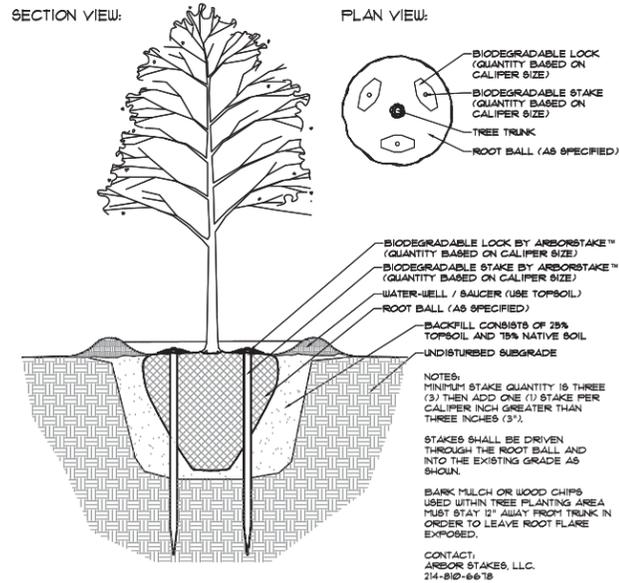
L1.1

1. ENHANCED ENTRANCE LANDSCAPE
1"=10'

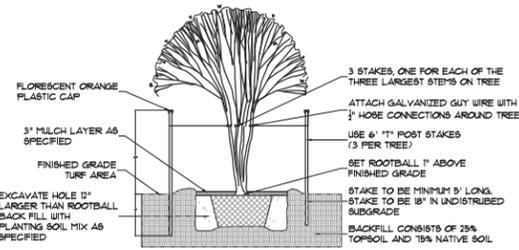


2. ENTRANCE MONUMENT ELEVATION
1/2"=1'

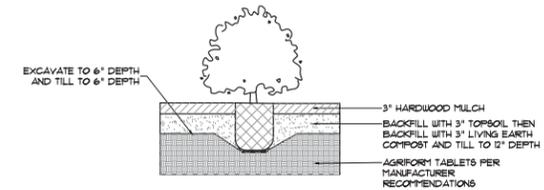
File: D:\Projects\19194440\Drawings\19194440-19010_LANDSCAPE_PLAN_SUBMITTAL.dwg
Date: 8/14/2019 10:52 AM by: Ron Stewart
Title: 19194440-19010_LANDSCAPE_PLAN_SUBMITTAL.dwg



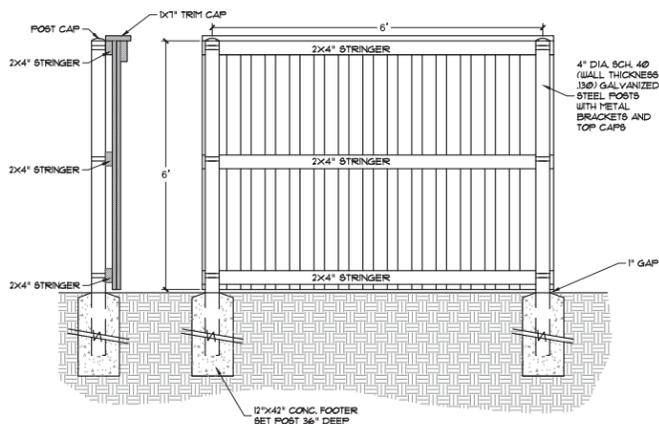
1. BELOWGROUND TREE STAKING DETAIL
1/4" = 1'



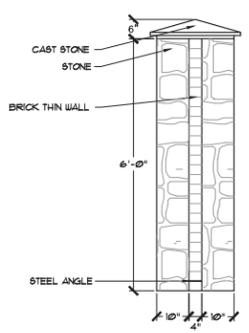
2. MULTI TRUNK TREE STAKING
1/4" = 1'



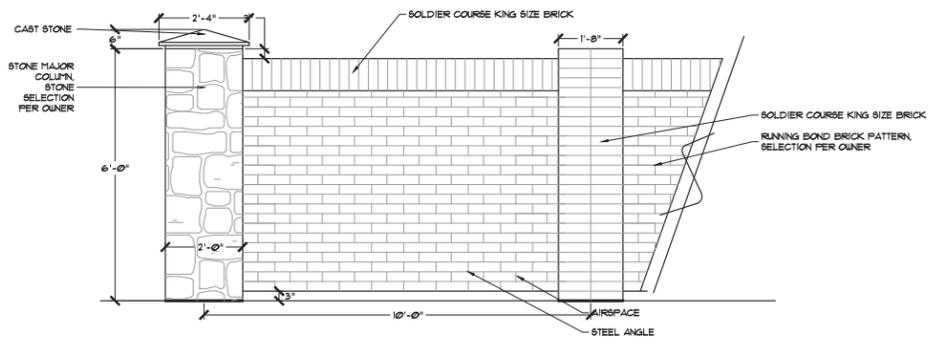
3. SHRUB PLANTING DETAIL
1/2" = 1'



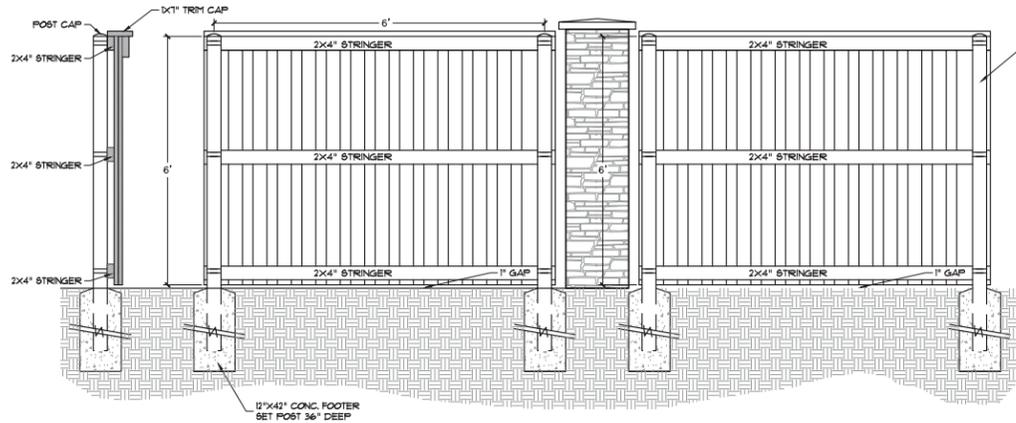
5. 6' BOARD ON BOARD FENCE
1/2" = 1'



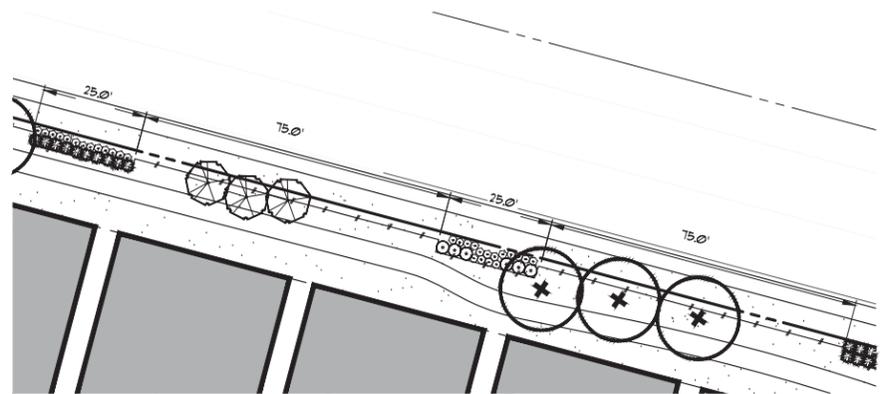
6. TYPICAL THIN WALL
1/2" = 1'



** TYPICAL SCHEMATIC DETAIL. FINAL FOOTINGS AND WALL DESIGN MUST BE SIGNED AND SEALED BY STRUCTURAL ENGINEER



7. STONE COLUMN & BOARD ON BOARD FENCE DETAIL
1/2" = 1'



PLAN VIEW SCALE: 1" = 20'

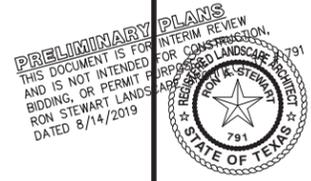
The John R. McAdams Company, Inc. (DBA, G&A McAdams) 201 Country View Drive Roanoke, Texas 76262
Tel: 817-430-3318 Fax: 817-430-3318
www.mcadams.com



Ladera at the Reserve
33.495 Acres
in the
MITCHELL SURVEY, ABSTRACT NO. 593
TARRANT/JOHNSON COUNTY, TEXAS

Landscape Plan
Exhibit "D"
ZC #19-006

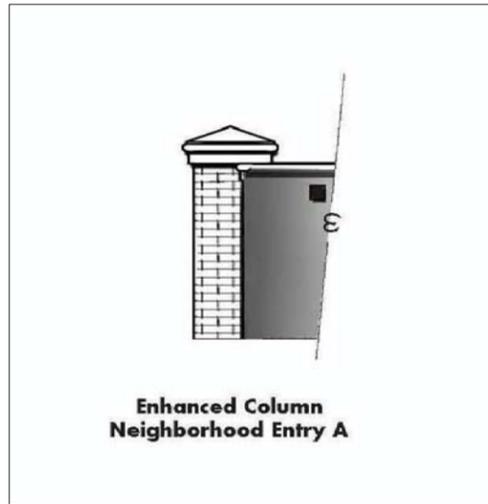
ITG-19010
L1.2



Drawn By: XD
Date: 04/15/2019
Scale:
Revisions:
6/24/2019
8/14/2019

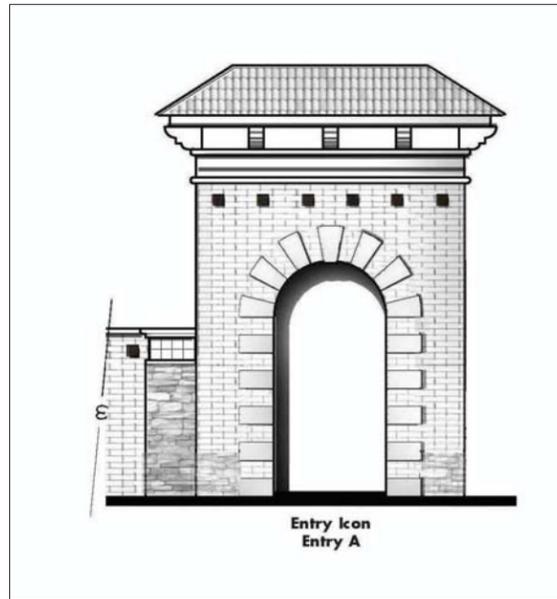
OWNER/DEVELOPER
INTEGRITY GROUP
361 W BYRON NELSON BLVD STE. 104
ROANOKE, TX 76262
Ph. 817-430-3318
Contact: John Dell

Ladera at the Reserve



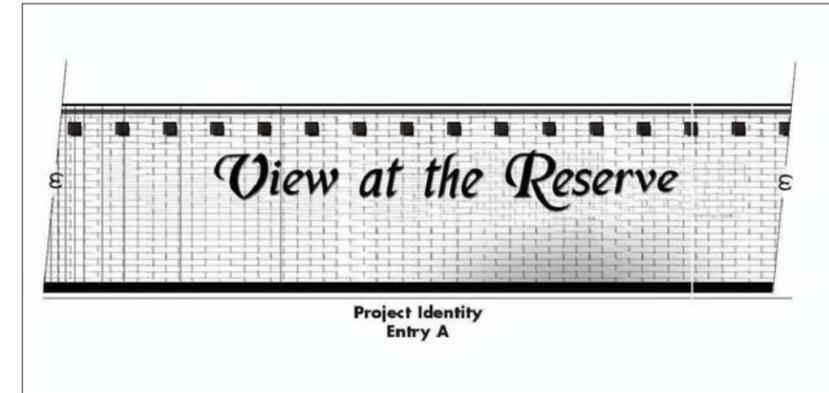
Enhanced Column
Neighborhood Entry A

1. ENHANCED COLUMN DETAIL
3/8" = 1'-0"



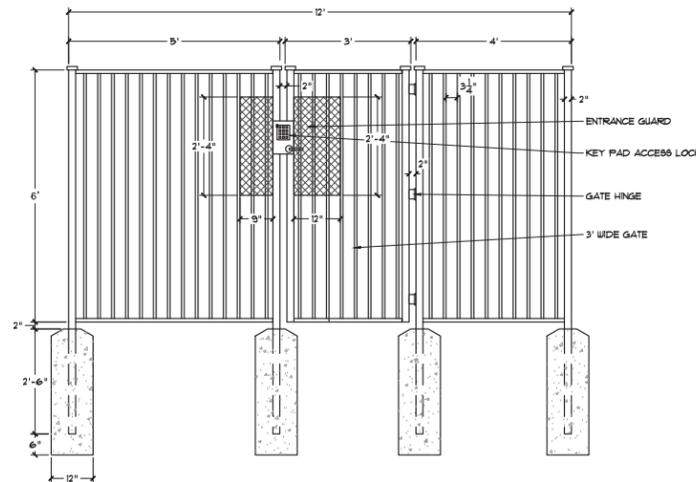
Entry Icon
Entry A

2. ENTRY ICON DETAIL
3/8" = 1'-0"

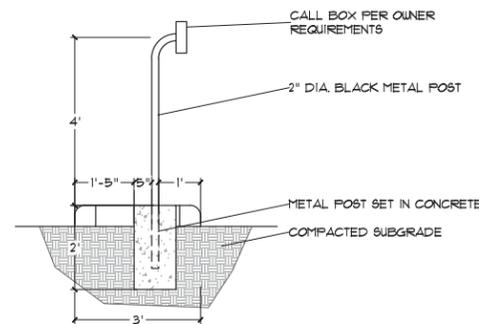


Project Identity
Entry A

3. PROJECT IDENTITY DETAIL
3/8" = 1'-0"



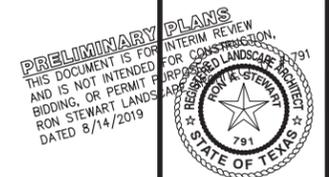
4. 6' ORNAMENTAL METAL SECURITY GATE DETAIL
1/2" = 1'



5. GATE KEY PAD POST
1/2" = 1'

LANDSCAPE NOTES:

- 1) Contractor shall stake out tree locations and bed configuration for approval by owner prior to installation.
- 2) Contractor is responsible for verifying location of all underground utilities prior to construction.
- 3) It is the responsibility of the contractor to advise the owners representative of any condition found on site which prohibits installation as shown on these plans
- 4) All shrub and groundcover beds shall have a minimum of 3" of hardwood bark mulch
- 5) Landscape edging shall be located as noted on plan.
- 6) Trees overhanging walks and parking areas shall have a clear trunk height of seven feet.
- 7) Multi trunk and ornamental trees will be allowed in the city's right of way with staff approval only. Must be outside any visibility triangles.
- 8) A visibility triangle must be provided at all intersections as required by the thoroughfare standards code. Trees will have a minimum clear trunk branching height of nine feet.
- 9) All plant material shall be maintained in a healthy and growing condition, and must be replaced with plant material of similar variety and size if damaged, destroyed, or removed.
- 10) Landscape areas shall be kept free of trash, litter and weeds.
- 11) An automatic irrigation system shall be provided to maintain all landscape areas. Over spray on streets and walks is prohibited. A permit from the building inspection department is required for each irrigation system. Impact fees must be paid to the development services department for separate irrigation meters prior to any permit release.
- 12) Irrigation Controller to have a Rain and Freeze Stat.
- 13) All landscape is to be greater than 8 feet from all underground utilities.
- 14) All areas of grading disturbance are to have grass reestablished at 75% coverage prior to letter of acceptance from the city. Means and methods of grass establishment and application of water for grass establishment are at the discretion of the owner and contractor.



Drawn By: XD
Date: 04/15/2019
Scale:
Revisions:
6/24/2019
8/14/2019

OWNER/DEVELOPER
INTEGRITY GROUP
361 W BYRON NELSON BLVD STE. 104
ROANOKE, TX 76262
Ph. 817-430-3318
Contact: John Dellin

ITG-19010

L1.2

Ladera at the Reserve
33.495 Acres
in the
MITCHELL SURVEY, ABSTRACT NO. 593
TARRANT/JOHNSON COUNTY, TEXAS

Landscape Plan
Exhibit "D"
ZC #19-006



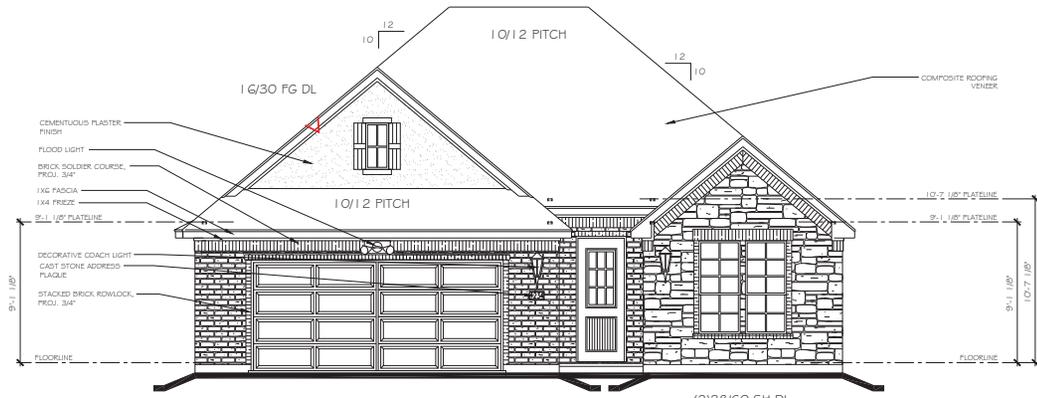
The John R. McAdams
Company, Inc.
(DBA: C&A McAdams)
201 Country View Drive
Levelland, Texas 75057
972-436-9712
201 Country View Drive
Roanoke, Texas 76262
940-240-1012
www.jrmc.com
TBP# 190194440

Ladera at the Reserve



FRONT ELEVATION "B1"

SCALE: 1/4" = 1'-0" (22"x34" SHEET)
1/8" = 1'-0" (11"x17" SHEET)



FRONT ELEVATION "B2"

SCALE: 1/4" = 1'-0" (22"x34" SHEET)
1/8" = 1'-0" (11"x17" SHEET)

REV #2.0
CONCEPT DATE:
2-27-19
DATE PRINTED:
3-1-19 NB, 3-30-19 NB,
4-23-19 NB

Epcon Communities Franchising, Inc. expressly warrants that copyright and other rights in the design and construction documents are owned by Epcon Communities Franchising, Inc. and that the design and construction documents are intended to provide the user with a complete set of design and construction documents. The user agrees that these documents are not to be used for any other purpose, and that the user will indemnify and hold Epcon Communities Franchising, Inc. harmless from and against all claims, damages, losses and expenses, including reasonable attorneys' fees, arising out of or from the use of these documents in any way other than that intended by Epcon Communities Franchising, Inc. This warranty is void where prohibited by law and may be amended or modified by the terms and conditions of any license or agreement between the user and Epcon Communities Franchising, Inc.

(c) 2013 Epcon Communities Franchising, Inc.

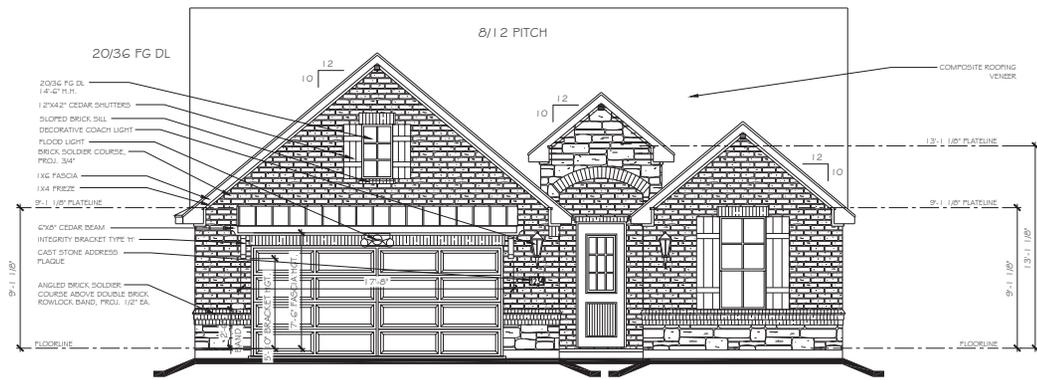
INTEGRITY GROUP
Developing & Building Dreams

PLAN NUMBER
XXXX
PROMENADE



FRONT ELEVATION "D"

SCALE: 1/4" = 1'-0" (22"x34" SHEET)
1/8" = 1'-0" (11"x17" SHEET)



FRONT ELEVATION "E"

SCALE: 1/4" = 1'-0" (22"x34" SHEET)
1/8" = 1'-0" (11"x17" SHEET)

REV #2.0
CONCEPT DATE:
2-27-19
DATE PRINTED:
3-1-19 NB, 3-30-19 NB,
4-23-19 NB

Epcon Communities Franchising, Inc. expressly warrants that copyright and other rights in the design and construction documents are reserved to Epcon Communities Franchising, Inc. All other rights are reserved to the applicable owner. The design and construction documents are prepared by the architect, engineer, interior designer, landscape architect, and other professionals and are not to be construed as a contract. The design and construction documents are subject to change without notice. The design and construction documents are not to be used for any other project without the written consent of Epcon Communities Franchising, Inc. The design and construction documents are not to be used for any other project without the written consent of Epcon Communities Franchising, Inc. The design and construction documents are not to be used for any other project without the written consent of Epcon Communities Franchising, Inc.

(c) 2013 Epcon Communities Franchising, Inc.



PLAN NUMBER
XXXX
PROMENADE



FRONT ELEVATION "D"

SCALE: 3/16" = 1'-0" (22"x34" SHEET)
3/32" = 1'-0" (11"x17" SHEET)



FRONT ELEVATION "A"

SCALE: 3/16" = 1'-0" (22"x34" SHEET)
3/32" = 1'-0" (11"x17" SHEET)



FRONT ELEVATION "C"

SCALE: 3/16" = 1'-0" (22"x34" SHEET)
3/32" = 1'-0" (11"x17" SHEET)



FRONT ELEVATION "E"

SCALE: 3/16" = 1'-0" (22"x34" SHEET)
3/32" = 1'-0" (11"x17" SHEET)



FRONT ELEVATION "B"

SCALE: 3/16" = 1'-0" (22"x34" SHEET)
3/32" = 1'-0" (11"x17" SHEET)

REV #2.3
CONCEPT DATE:
1-3-18
DATE PRINTED:
1-4-18 NB, 3-8-18 NB,
1-26-18 NB, 2-9-18 NB,
3-1-18 NB, 4-5-18 NB,
4-8-18 NB, 6-5-18 NB

These architectural drawings, including all text, are the property of Integrity Group, Inc. and are not to be used, copied, or reproduced in any form without the written consent of Integrity Group, Inc. Note: Construction documents are subject to change without notice. The user of these drawings is responsible for obtaining all necessary permits and for complying with all applicable laws and regulations. The user of these drawings is also responsible for obtaining all necessary information and for complying with all applicable laws and regulations. The user of these drawings is also responsible for obtaining all necessary information and for complying with all applicable laws and regulations.

(c) 2013 Epcon Communities Franchising, Inc.

INTEGRITY GROUP
Developing & Building Dreams

RESERVE SERIES
PLAN #1550
CASINA
BROCHURE
ELEVATIONS

SHEET 7 OF 18



FRONT ELEVATION "C"

SCALE: 3/16" = 1'-0" (22"x34" SHEET)
3/32" = 1'-0" (11"x17" SHEET)



FRONT ELEVATION "A"

SCALE: 3/16" = 1'-0" (22"x34" SHEET)
3/32" = 1'-0" (11"x17" SHEET)



FRONT ELEVATION "B"

SCALE: 3/16" = 1'-0" (22"x34" SHEET)
3/32" = 1'-0" (11"x17" SHEET)

REV #2.0
CONCEPT DATE:
6-9-17
DATE PRINTED:
12-19-17 NB, 1-18-19 NB,
6-12-19 NB

Color materials, textures, or finishes shown in this drawing are for illustrative purposes only. In some cases, the color and texture of the materials shown may vary from the actual materials used in construction. The contractor is responsible for obtaining the correct materials and finishes for the job. All dimensions, notes, and conditions, 2 sheets, 12 to be used in conjunction with the other sheets of this drawing. All dimensions and notes are subject to change without notice and are to be used in conjunction with the other sheets of this drawing.

(c) 2013 Epcor Communities Franchising, Inc.

INTEGRITY GROUP
Developing & Building Dreams

RESERVE SERIES
PLAN #2100
AVANTI
BROCHURE
ELEVATIONS
SHEET 9 OF 29



FRONT ELEVATION "D"

SCALE: 3/16" = 1'-0" (22"x34" SHEET)
3/32" = 1'-0" (11"x17" SHEET)



FRONT ELEVATION "A"

SCALE: 3/16" = 1'-0" (22"x34" SHEET)
3/32" = 1'-0" (11"x17" SHEET)



FRONT ELEVATION "C"

SCALE: 3/16" = 1'-0" (22"x34" SHEET)
3/32" = 1'-0" (11"x17" SHEET)



FRONT ELEVATION "E"

SCALE: 3/16" = 1'-0" (22"x34" SHEET)
3/32" = 1'-0" (11"x17" SHEET)



FRONT ELEVATION "B"

SCALE: 3/16" = 1'-0" (22"x34" SHEET)
3/32" = 1'-0" (11"x17" SHEET)

REV #2.5
CONCEPT DATE:
8-1-18
DATE PRINTED:
8-5-18 NB, 9-14-18 NB,
9-18-18 NB, 10-17-18 NB,
2-6-19 NB, 4-8-19 NB

Epcon Communities Franchising, Inc. expressly agrees that copyright and other rights in all drawings, specifications, reports, and other documents prepared by or for Epcon Communities Franchising, Inc. shall remain the property of Epcon Communities Franchising, Inc. and shall not be used, copied, or reproduced in any form or manner without the prior written consent of Epcon Communities Franchising, Inc. This consent shall not be given for the purpose of the drawings, specifications, reports, or other documents being prepared by or for Epcon Communities Franchising, Inc. for use in any other project. The drawings, specifications, reports, or other documents shall be used only for the project for which they were prepared and shall not be used for any other project. The drawings, specifications, reports, or other documents shall be used only for the project for which they were prepared and shall not be used for any other project.

(c) 2013 Epcon Communities Franchising, Inc.



PLAN NUMBER
1500
VERONA
BROCHURE
ELEVATIONS
SHEET 9 OF 27



FRONT ELEVATION A
SCALE 1/8" = 1'-0"

| | |
|----------|--|
| Date | |
| Design | |
| Drawn | |
| Checked | |
| Approved | |

| REVISIONS | |
|-----------|----------|
| 1 | 6-13-16 |
| 2 | 6-20-16 |
| 3 | 7-05-16 |
| 4 | 8-05-16 |
| 5 | 10-30-16 |

Upon completion, IntegriCity, Inc. expressly warrants that copyright and other property rights in the drawings and specifications are retained by IntegriCity, Inc. and shall remain the property of IntegriCity, Inc. These drawings are intended to provide the basic construction information necessary to construct the project in accordance with the applicable codes, ordinances, rules and regulations, and to comply with the applicable laws, rules, regulations, codes and requirements. IntegriCity, Inc. does not warrant, represent or guarantee that the drawings, specifications and requirements fully represent the project or that the project will conform to the applicable codes, ordinances, rules and regulations. IntegriCity, Inc. is not responsible for any errors or omissions in these drawings, specifications and requirements, and shall not be held liable for any errors or omissions in these drawings, specifications and requirements.

(c) 2015 Epcos Communities Franchising, Inc.

INTEGRITY GROUP
Developing & Building Dreams



FRONT ELEVATION "D"

SCALE: 3/16" = 1'-0" (22"x34" SHEET)
3/32" = 1'-0" (11"x17" SHEET)



FRONT ELEVATION "A"

SCALE: 3/16" = 1'-0" (22"x34" SHEET)
3/32" = 1'-0" (11"x17" SHEET)



FRONT ELEVATION "C"

SCALE: 3/16" = 1'-0" (22"x34" SHEET)
3/32" = 1'-0" (11"x17" SHEET)



FRONT ELEVATION "E"

SCALE: 3/16" = 1'-0" (22"x34" SHEET)
3/32" = 1'-0" (11"x17" SHEET)



FRONT ELEVATION "B"

SCALE: 3/16" = 1'-0" (22"x34" SHEET)
3/32" = 1'-0" (11"x17" SHEET)

REV #2.5
CONCEPT DATE:
4-12-18
DATE PRINTED:
4-17-18 NB, 7-3-18 NB,
7-7-18 NB, 8-30-18 NB,
8-1-18 NB, 8-15-18 NB,
11-5-18 NB, 2-7-19 NB,
4-8-19 NB

Epcon Communities Franchising, Inc. warrants, represents, covenants, agrees, reserves its copyright and other rights in and to the drawings, specifications, and other documents prepared by it for the project. These documents are prepared for the project and are not to be used for any other project. The drawings, specifications, and other documents are the property of Epcon Communities Franchising, Inc. and are to be used only for the project. The drawings, specifications, and other documents are to be used only for the project and are not to be used for any other project. The drawings, specifications, and other documents are to be used only for the project and are not to be used for any other project. The drawings, specifications, and other documents are to be used only for the project and are not to be used for any other project.

(c) 2013 Epcon Communities Franchising, Inc.



PLAN NUMBER
1300
TORINO
BROCHURE
ELEVATIONS

SHEET 11 OF 30



FRONT ELEVATION "C"
 SCALE: 3/16" = 1'-0" (22"x34" SHEET)
 3/32" = 1'-0" (11"x17" SHEET)



FRONT ELEVATION "A"
 SCALE: 3/16" = 1'-0" (22"x34" SHEET)
 3/32" = 1'-0" (11"x17" SHEET)



FRONT ELEVATION "B"
 SCALE: 3/16" = 1'-0" (22"x34" SHEET)
 3/32" = 1'-0" (11"x17" SHEET)

REV #2.4
 CONCEPT DATE:
 5-3-16
 DATE PRINTED:
 5-10-16 10:57:31 AM
 5-20-16 10:57:31 AM
 11-30-16 10:57:31 AM
 4-8-19 10:57:31 AM

Epcon Communities Franchising, Inc. expressly warrants that copyright and other rights in the design and construction documents are reserved to Epcon Communities Franchising, Inc. and its affiliates. These documents are intended to provide the user with a design and construction plan for a specific project. These documents are not to be used for any other purpose without the express written consent of Epcon Communities Franchising, Inc. All other rights are reserved. No part of these documents may be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of Epcon Communities Franchising, Inc. These documents are the property of Epcon Communities Franchising, Inc. and are to be used only for the project and site identified in the documents. All other rights are reserved.

(c) 2013 Epcon Communities Franchising, Inc.



PLAN NUMBER
 1310
 TORINO 2
 BROCHURE
 ELEVATIONS
 SHEET 13 OF 35



FRONT ELEVATION "A"
SCALE 1/8"=1'-0"



FRONT ELEVATION 'B'
SCALE 1/8"=1'-0"



FRONT ELEVATION "C"
SCALE 1/8"=1'-0"

| | |
|----------|--|
| Date | |
| Design | |
| Drawn | |
| Checked | |
| Approved | |

| REVISIONS | |
|-----------|--|
| 1 | |
| 2 | |
| 3 | |
| 4 | |
| 5 | |

Upon completion, Integrity, Inc. expressly reserves all copyright and other property rights in and to the drawings. These drawings are intended to provide the basic construction information necessary to construct the project in accordance with the applicable building codes, zoning ordinances, and other applicable laws and regulations. It is the responsibility of the contractor to verify the accuracy, completeness, and consistency of the drawings with the applicable building codes, zoning ordinances, and other applicable laws and regulations. No liability shall be assumed by Integrity, Inc. for any errors, omissions, or inaccuracies in the drawings, or for any consequences arising from the use of these drawings without the express written consent of Integrity, Inc.

(c) 2013 Epcos Communities Franchising, Inc.

INTEGRITY GROUP
Developing & Building Dreams

REV #2.0
CONCEPT DATE:
2-27-19
DATE PRINTED:
3-1-19 NB, 3-20-19 NB,
4-23-19 NB, 6-18-19 NB

Epcor Communities Franchising, Inc. expressly reserves its copyright and other intellectual property rights in these plans. These plans are intended to provide the basic construction information necessary to substantially complete this structure. The contractor shall be responsible for obtaining all necessary permits and for compliance with all applicable laws, codes, ordinances and regulations. It is the responsibility of the contractor to verify the accuracy of the information shown on these plans. Epcor Communities Franchising, Inc. is not responsible for any errors or omissions, if found, in these plans. All local codes, ordinances and regulations take precedence over these plans and shall be adhered to before and during all construction.

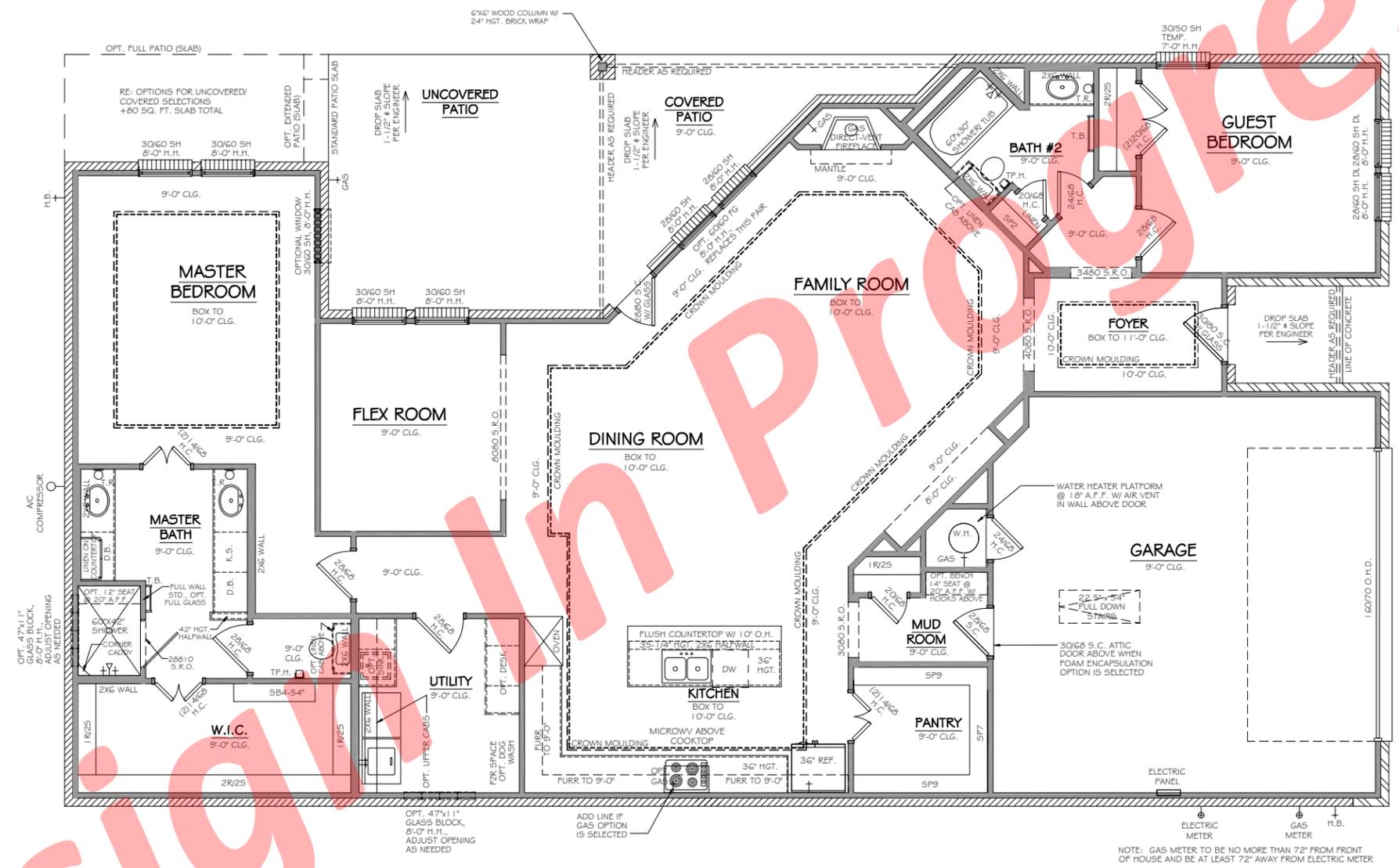
(c) 2013 Epcor Communities Franchising, Inc.

INTEGRITY GROUP
Developing & Building Dreams

SIGNATURE SERIES
PLAN #1400
PROMENADE
FIRST FLOOR
PLAN
SHEET 7 OF 24

**BANK CALCS
SQUARE FOOTAGES**

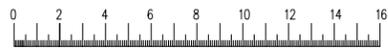
| AREA | SQ. FT. |
|-----------------|---------|
| FIRST FLOOR | 2114 |
| SECOND FLOOR | XX |
| TOTAL A/C | 2114 |
| PORCH | 33 |
| PATIO | 124 |
| GARAGE | 521 |
| TOTAL A.U.R. | 2792 |
| UNCOVERED PATIO | 208 |
| OVERALL WIDTH | 41' 11" |
| OVERALL DEPTH | 74' 0" |



HATCH LEGEND

| | |
|--|----------------|
| | BRICK |
| | STONE |
| | STONE WAINSCOT |

FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0" (22"x34" SHEET)
1/8" = 1'-0" (11"x17" SHEET)



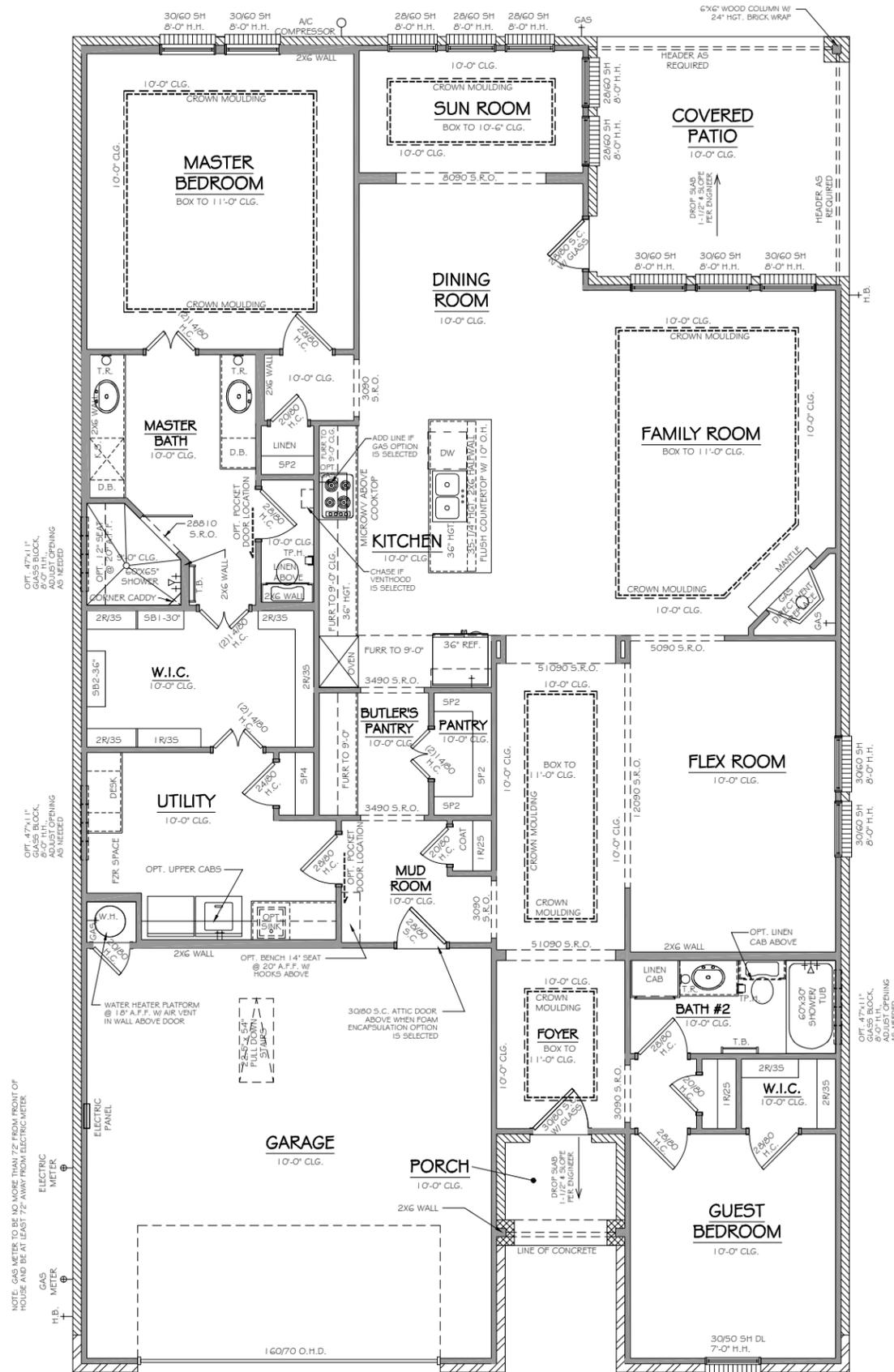
NOTE: GAS METER TO BE NO MORE THAN 72" FROM FRONT OF HOUSE AND BE AT LEAST 72" AWAY FROM ELECTRIC METER.

BANK CALCS
SQUARE FOOTAGES

| AREA | SQ. FT. |
|---------------|---------|
| FIRST FLOOR | 2231 |
| SECOND FLOOR | XX |
| TOTAL A/C | 2231 |
| PORCH | 33 |
| PATIO | 176 |
| GARAGE | 533 |
| TOTAL A.U.R. | 2973 |
| OVERALL WIDTH | 41' 11" |
| OVERALL DEPTH | 71' 11" |

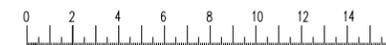
HATCH LEGEND

| | |
|--|----------------|
| | BRICK |
| | STONE |
| | STONE WAINSCOT |



FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0" (22"x34" SHEET)
1/8" = 1'-0" (11"x17" SHEET)



REV. #2.3

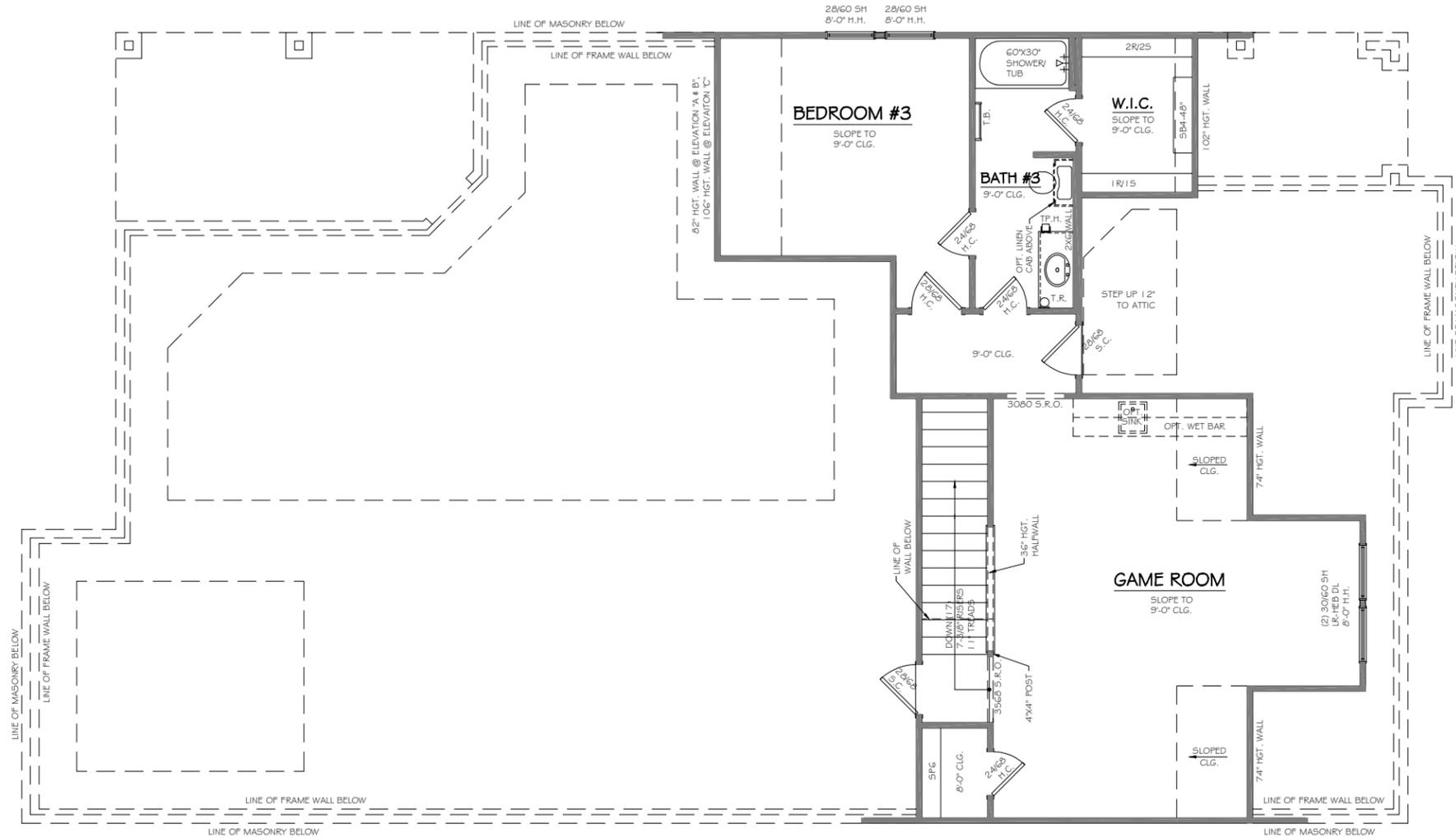
CONCEPT DATE:
1-3-18
DATE PRINTED:
1-4-18 NB, 3-8-18 NB,
7-26-18 NB, 8-30-18 NB,
9-14-18 NB, 2-21-19 NB,
4-8-19 NB, 6-5-19 NB

Epcor Communities Franchising, Inc. expressly reserves its copyright and other property rights in these plans and drawings. These plans and related drawings are not to be copied in any form or manner. These plans are intended to provide the user with a general idea of the proposed construction. This means these plans must be verified and checked completely by the person in authority for the job. Any discrepancy, error, and/or omission, if found, is to be the responsibility of the user. All local codes, ordinances and requirements take precedence over any part of these drawings which may conflict with these agencies' rules and/or regulations and be adhered to before and during all construction.

(c) 2013 Epcor Communities Franchising, Inc.

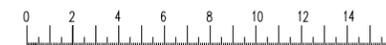
INTEGRITY GROUP
Developing & Building Dreams

RESERVE SERIES
PLAN #1550
CASINA
FIRST FLOOR
PLAN
SHEET 8 OF 18



SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0" (22"x34" SHEET)
1/8" = 1'-0" (11"x17" SHEET)



REV #2.4

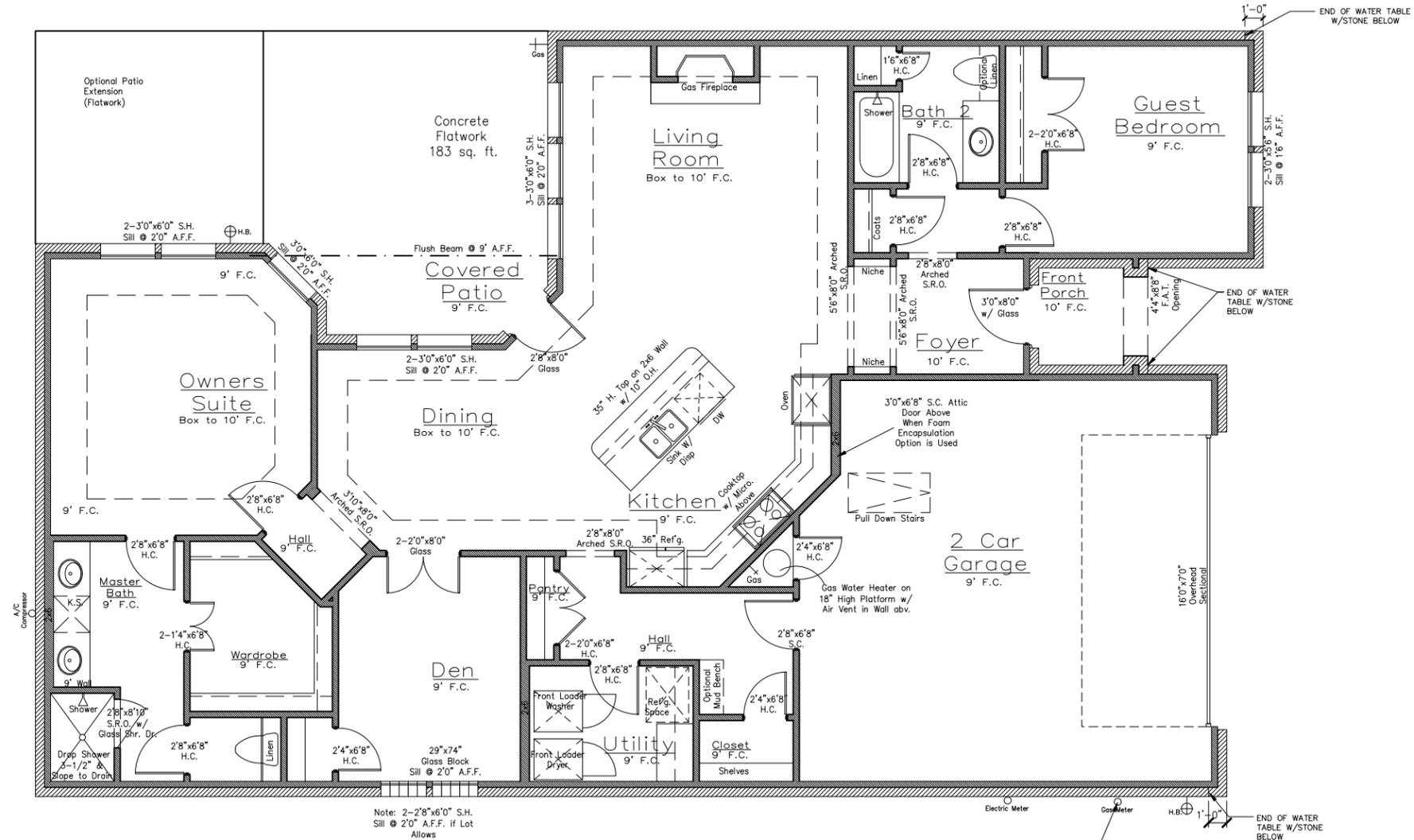
CONCEPT DATE:
9-10-18
DATE PRINTED:
9-11-18 NB, 12-13-18 NB,
1-7-19 NB, 2-6-19 NB,
4-8-19 NB

Epcor Communities Franchising, Inc. expressly reserves its copyright and other property rights in these plans and drawings. These plans and related drawings are not to be copied in any form or manner. These plans are intended to provide the user with a general overview of the project. It is the responsibility of the user to verify the accuracy of these plans and drawings. This means these plans must be verified and checked completely by the person in authority for the job. Any discrepancy, error, and/or omission, if found, is to be the responsibility of the user. No liability shall be assumed by Epcor Communities Franchising, Inc. for any errors or omissions. All local codes, ordinances and regulations shall be followed. All drawings shall be in accordance with the applicable rules and/or regulations and be adhered to before and during all construction.

(c) 2013 Epcor Communities Franchising, Inc.



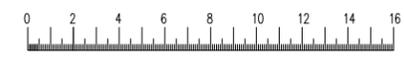
PLAN NUMBER
1510
VERONA
SECOND FLOOR
PLAN
SHEET 13 OF 32



Note: 2'-2" x 6'-0" S.H. Sill @ 2'-0" A.F.F. if Lot Allows

Note: Gas Meter to be no more than 6' from front corner of house and be at least 6' away from electric meter.

1st FLOOR PLAN
SCALE 1/8" = 1'-0"



| SQUARE FOOTAGES | |
|----------------------------|-----------|
| FIRST FLOOR | 1792 S.F. |
| SECOND FLOOR | 0 S.F. |
| TOTAL AREA | 1792 S.F. |
| GARAGE AND/OR STORAGE | |
| COVERED PATIO AND/OR PORCH | 539 S.F. |
| TOTAL UNDER ROOF | 2425 S.F. |
| OVERALL WIDTH | 42'-0" |
| OVERALL DEPTH | 67'-6" |

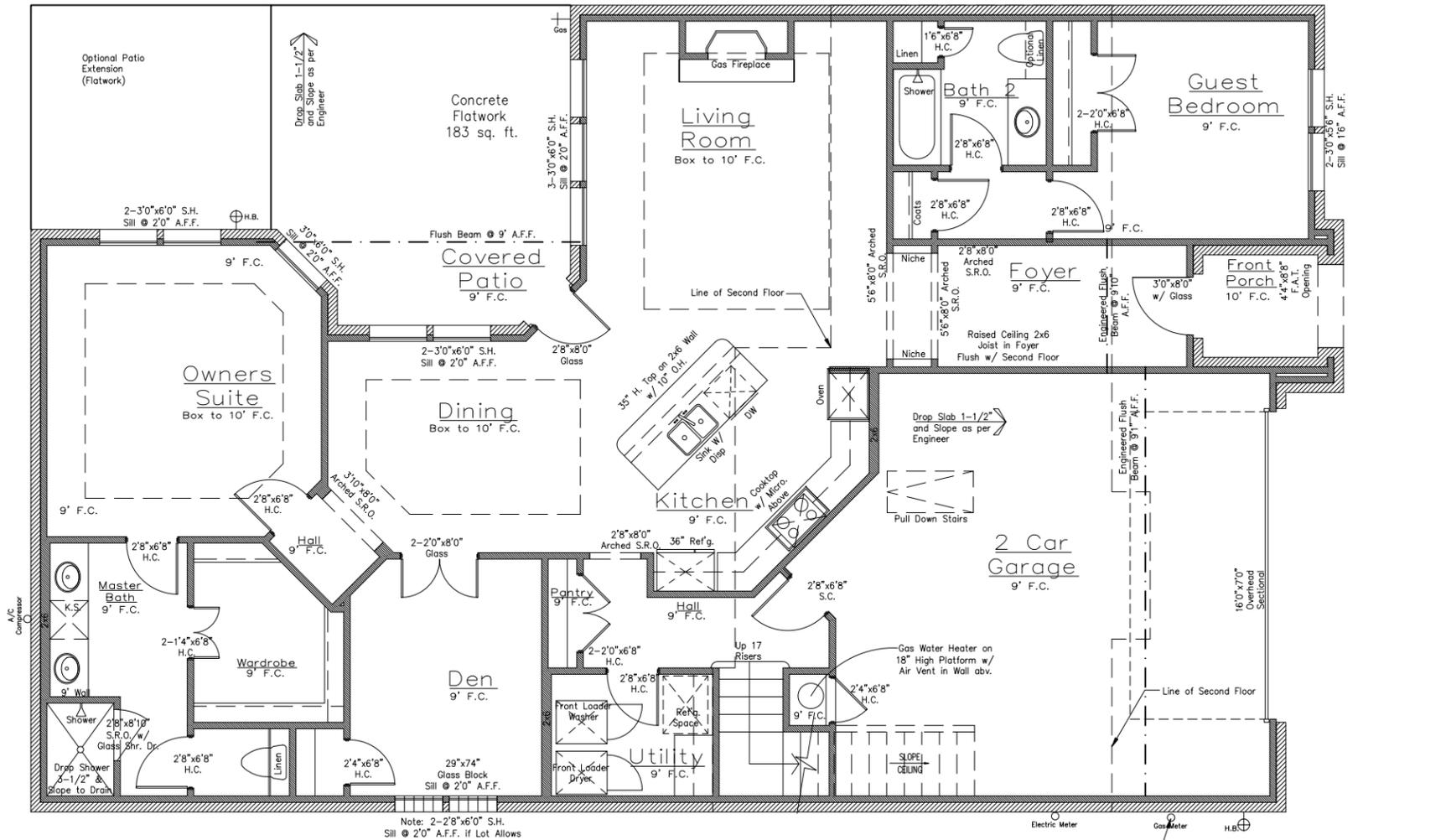
| | |
|----------|--|
| Date | |
| Designed | |
| Drawn | |
| Checked | |
| Approved | |

| REVISIONS | |
|-----------|----------|
| 1 | 6-13-16 |
| 2 | 6-20-16 |
| 3 | 7-05-16 |
| 4 | 8-05-16 |
| 5 | 10-30-16 |

Econ Communities Franchising, Inc. expressly reserves its copyright and other property rights in these plans and drawings. These plans and drawings are not to be copied in any form or by any means, electronic or mechanical, including photocopying, recording, or by any information storage and retrieval system, without the prior written consent of Econ Communities Franchising, Inc. Any reproduction, copying, or distribution of these plans and drawings without the prior written consent of Econ Communities Franchising, Inc. is strictly prohibited. The contractor shall be responsible for obtaining all necessary permits and for complying with all applicable laws, codes, and regulations. The contractor shall be responsible for obtaining all necessary approvals from the appropriate authorities. The contractor shall be responsible for obtaining all necessary approvals from the appropriate authorities. The contractor shall be responsible for obtaining all necessary approvals from the appropriate authorities.

(c) 2013 Econ Communities Franchising, Inc.

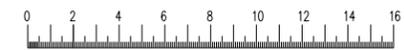
INTEGRITY GROUP
Developing & Building Dreams



Note: 2-2'8\"/>

Note: Gas Meter to be no more than 6\"/>

1st FLOOR PLAN
SCALE 1/8\"/>



| SQUARE FOOTAGES | |
|----------------------------|-----------|
| FIRST FLOOR | 1823 S.F. |
| SECOND FLOOR | 720 S.F. |
| TOTAL AREA | 2543 S.F. |
| GARAGE AND/OR STORAGE | |
| COVERED PATIO AND/OR PORCH | 540 S.F. |
| TOTAL UNDER ROOF | 1083 S.F. |
| OVERALL WIDTH | 42'-0" |
| OVERALL DEPTH | 67'-6" |

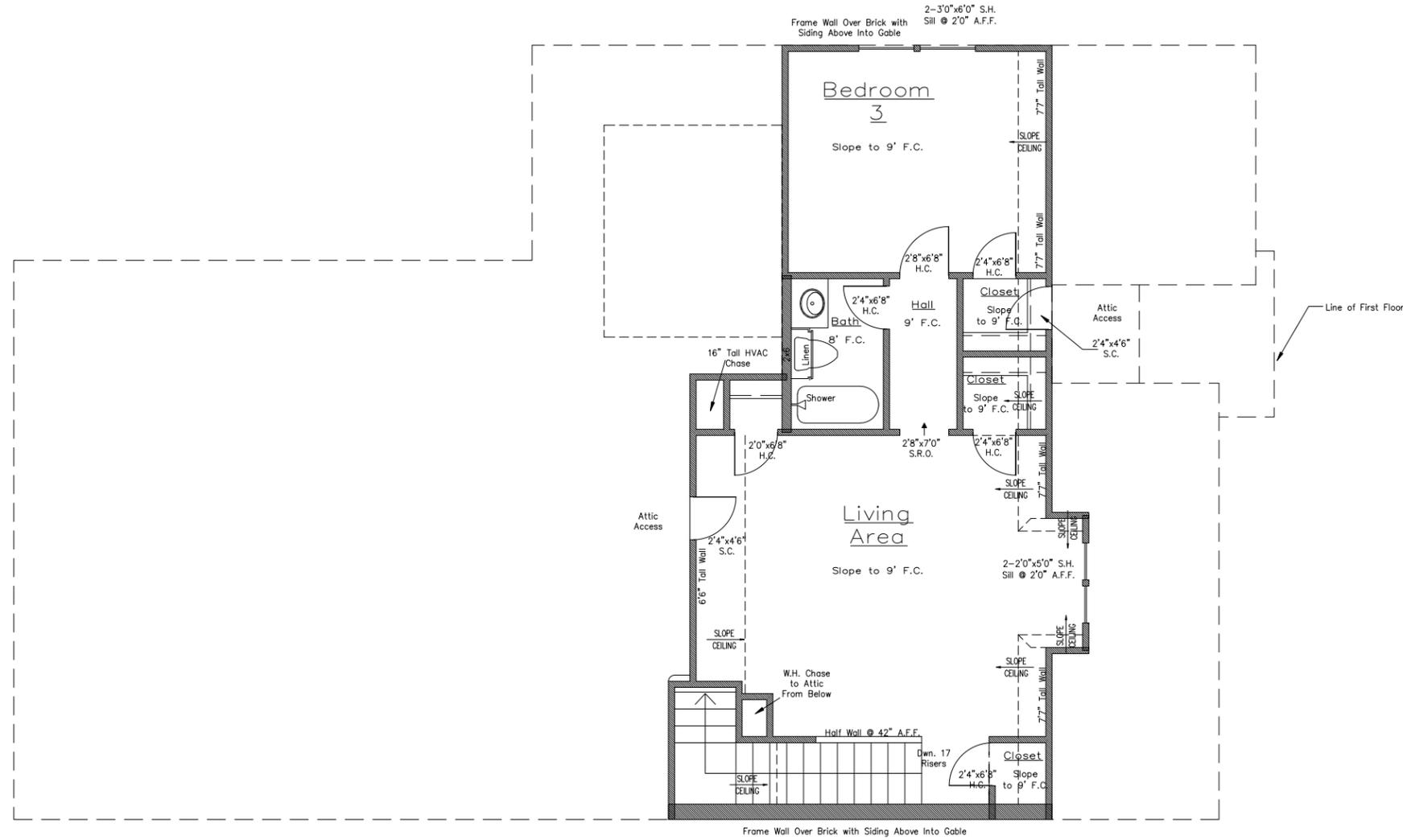
| | |
|----------|--|
| Date | |
| Designed | |
| Drawn | |
| Checked | |
| Approved | |

| REVISIONS | |
|-----------|----------|
| 1 | 6-13-16 |
| 2 | 6-20-16 |
| 3 | 7-05-16 |
| 4 | 8-05-16 |
| 5 | 10-30-16 |

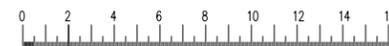
Epcor Communities Franchising, Inc. expressly reserves its copyright and other property rights in these plans and drawings. These plans and related drawings are not to be copied in any form or by any means, electronic or mechanical, including photocopying, recording, or by any information storage and retrieval system, without the prior written permission of Epcor Communities Franchising, Inc. No part of these drawings may be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic or mechanical, including photocopying, recording, or by any information storage and retrieval system, without the prior written permission of Epcor Communities Franchising, Inc. Any discrepancy, error, and/or omission, if found, is to be brought immediately to the attention of the builder before any construction, work, or materials are used. Epcor Communities Franchising, Inc. and its agents, representatives, and employees shall not be liable for any damages, including consequential damages, arising out of the use of these drawings which may conflict with these approvals, rules and/or regulations and any part of these drawings which may conflict with these approvals, rules and/or regulations and shall be adhered to before and during all construction.

(c) 2013 Epcor Communities Franchising, Inc.

INTEGRITY GROUP
Developing & Building Dreams



2nd FLOOR PLAN
SCALE 1/8"=1'-0"



| | |
|----------|--|
| Date | |
| Designed | |
| Drawn | |
| Checked | |
| Approved | |

| REVISIONS | |
|-----------|----------|
| 1 | 6-13-16 |
| 2 | 6-20-16 |
| 3 | 7-05-16 |
| 4 | 8-05-16 |
| 5 | 10-30-16 |

Epcor Communities Franchising, Inc. expressly reserves its copyright and other property rights in these plans and drawings. These plans and related drawings are not to be copied in any form or by any means, electronic or mechanical, including photocopying, recording, or by any information storage and retrieval system, without the prior written consent of Epcor Communities Franchising, Inc. Epcor Communities Franchising, Inc. does not warrant that the information contained in these plans and drawings is complete, accurate, or that the use of the information contained in these plans and drawings will not infringe on the rights of others. Epcor Communities Franchising, Inc. is not responsible for any errors or omissions in these plans and drawings, and is not liable for any damages, including consequential damages, arising from the use of these plans and drawings. It is the responsibility of the contractor to verify all dimensions and conditions before construction, work, or installation. Epcor Communities Franchising, Inc. may be contacted at 1-800-441-1111 for more information. Any part of these drawings which may conflict with these agreements, rules and/or regulations and any other applicable laws and regulations shall be deemed to be null and void.

(c) 2013 Epcor Communities Franchising, Inc.

INTEGRITY GROUP
Developing & Building Dreams

REV #2.7

CONCEPT DATE:
4-12-18
DATE PRINTED:
4-17-18 NB, 7-17-18 NB,
8-30-18 NB, 10-2-18 NB,
11-5-18 NB, 2-7-19 NB,
4-8-19 NB, 5-9-19 NB,
6-7-19 NB

Epcor Communities Franchising, Inc. expressly reserves its copyright and other intellectual property rights in and to these plans. These plans are intended to provide the basic construction information necessary to substantially complete this structure. The owner must obtain all necessary permits and approvals from the appropriate authorities. The owner must verify and correct any errors or omissions in the plans before any construction, work, or purchases are made. NOTE: All local codes, ordinances and requirements, including but not limited to zoning, building, fire, and other applicable codes, rules and/or regulations and be observed before and during all construction.

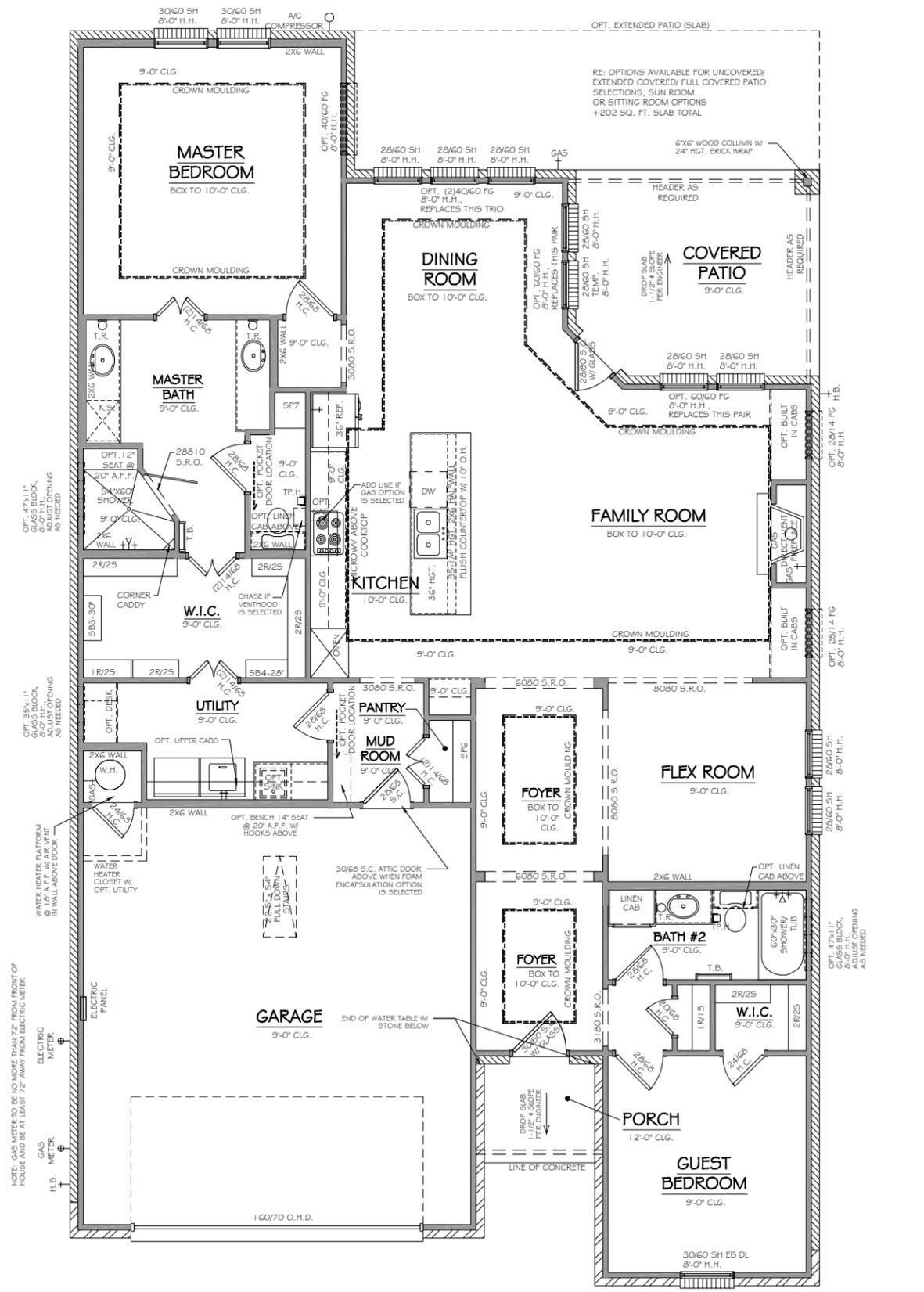
(c) 2013 Epcor Communities Franchising, Inc.



SIGNATURE SERIES
PLAN #1300
TORINO
FIRST FLOOR PLAN
SHEET 12 OF 30

BANK CALCS
SQUARE FOOTAGES

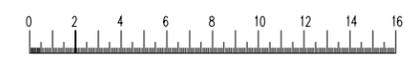
| AREA | SQ. FT. |
|---------------|---------|
| FIRST FLOOR | 1884 |
| SECOND FLOOR | XX |
| TOTAL A/C | 1884 |
| PORCH | 34 |
| PATIO | 152 |
| GARAGE | 558 |
| TOTAL A.U.R. | 2628 |
| OVERALL WIDTH | 41' 11" |
| OVERALL DEPTH | 70' 0" |



HATCH LEGEND

| | |
|--|----------------|
| | BRICK |
| | STONE |
| | STONE WAINSCOT |

FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0" (22"x34" SHEET)
1/8" = 1'-0" (11"x17" SHEET)



NOTE: GAS METER TO BE NO MORE THAN 7'-2" FROM FRONT OF HOUSE AND BE AT LEAST 7'-2" AWAY FROM ELECTRIC METER.

RE: OPTIONS AVAILABLE FOR UNCOVERED/ EXTENDED COVERED/ FULL COVERED PATIO SELECTIONS, SUN ROOM OR SITTING ROOM OPTIONS +202 SQ. FT. SLAB TOTAL

REV #2.6
CONCEPT DATE:
5-3-18
DATE PRINTED:
5-10-18 NB, 7-31-18 NB,
8-30-18 NB, 10-1-18 NB,
1-5-19 NB, 2-7-19 NB,
4-8-19 NB, 5-9-19 NB,
6-7-19 NB

Epcor Communities Franchising, Inc. expressly reserves its copyright and other intellectual property rights in these plans. These plans are intended to provide the basic construction information necessary to substantially complete this structure. The contractor shall be responsible for obtaining all necessary permits and for complying with all applicable laws, codes, ordinances and regulations. The contractor shall be responsible for the accuracy of the information provided and for obtaining all necessary approvals for the job. Any discrepancy, error, omission, or conflict, if found, shall be the responsibility of the contractor. The contractor shall be responsible for obtaining all necessary permits and for complying with all applicable laws, codes, ordinances and regulations. The contractor shall be responsible for the accuracy of the information provided and for obtaining all necessary approvals for the job. Any discrepancy, error, omission, or conflict, if found, shall be the responsibility of the contractor.

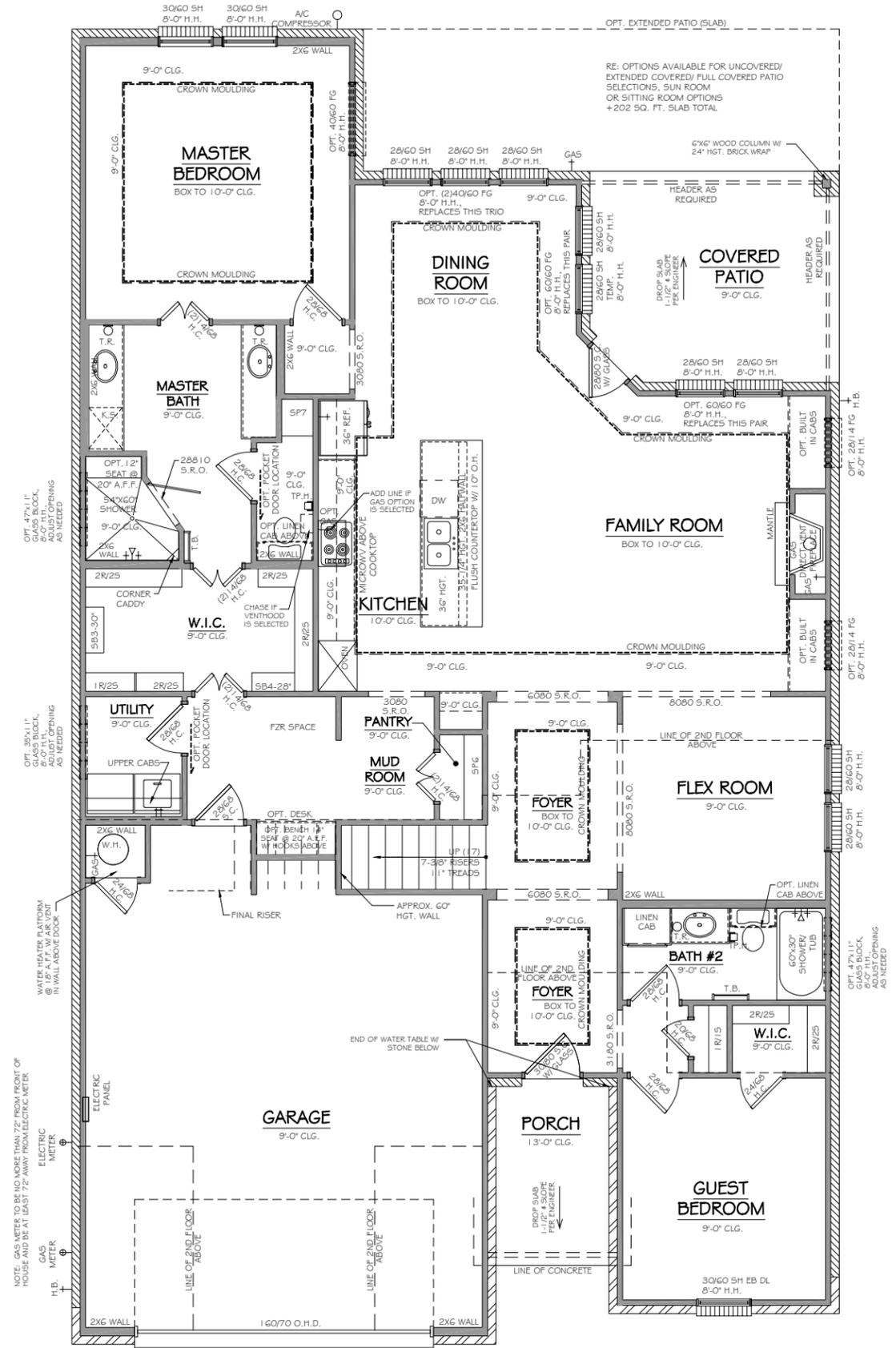
(c) 2013 Epcor Communities Franchising, Inc.



SIGNATURE SERIES
PLAN #1310
TORINO 2
FIRST FLOOR
PLAN
SHEET 14 OF 35

BANK CALCS
SQUARE FOOTAGES

| AREA | SQ. FT. |
|---------------|---------|
| FIRST FLOOR | 1937 |
| SECOND FLOOR | 792 |
| TOTAL A/C | 2729 |
| PORCH | 60 |
| PATIO | 152 |
| GARAGE | 606 |
| TOTAL A.U.R. | 3547 |
| OVERALL WIDTH | 41' 11" |
| OVERALL DEPTH | 71' 8" |



HATCH LEGEND

| | |
|--|----------------|
| | BRICK |
| | STONE |
| | STONE WAINSCOT |

FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0" (22"x34" SHEET)
1/8" = 1'-0" (11"x17" SHEET)

NOTE: GAS METER TO BE NO MORE THAN 72" FROM FRONT OF HOUSE AND BE AT LEAST 72" AWAY FROM ELECTRIC METER.

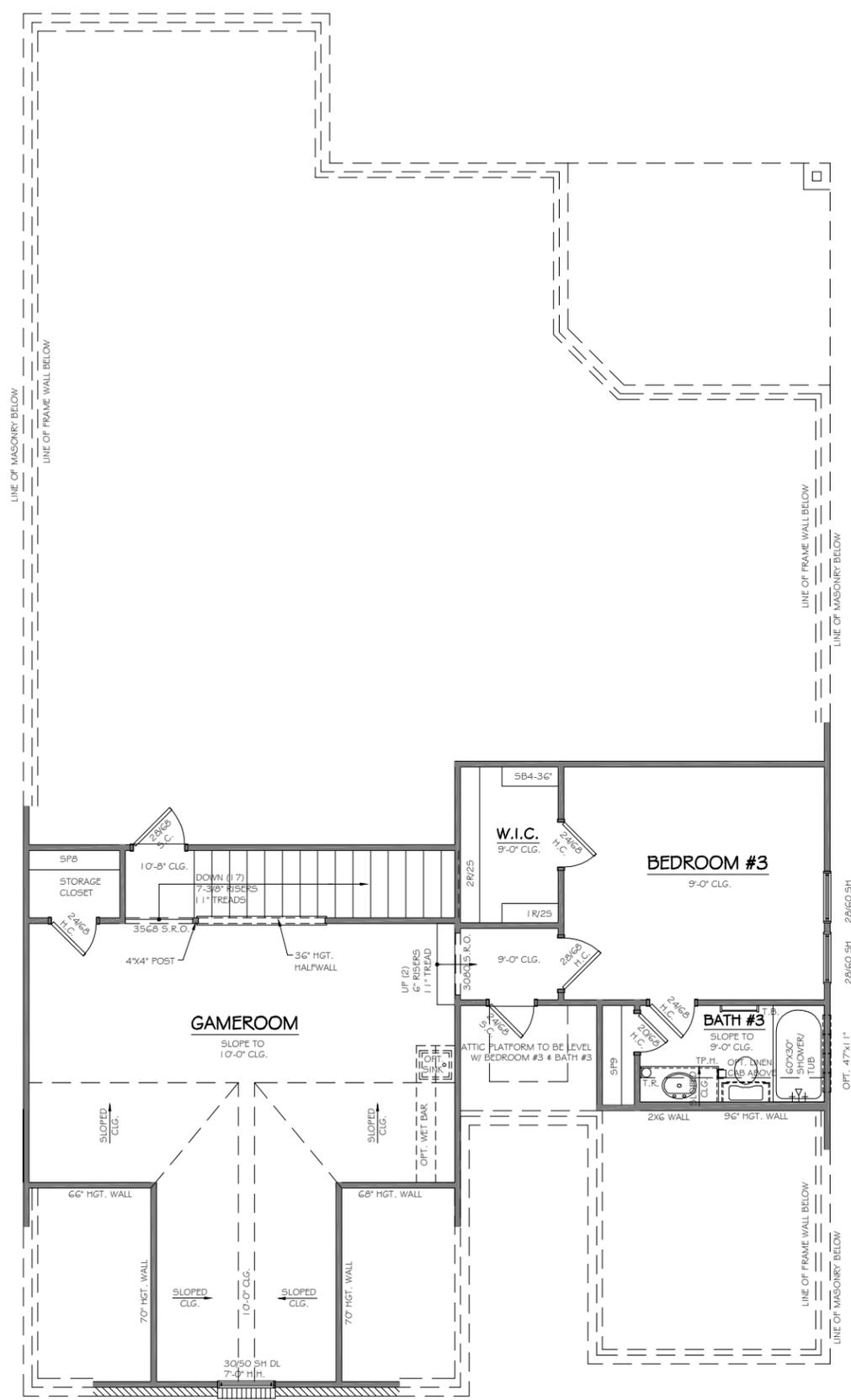
REV #2.6
CONCEPT DATE:
5-3-18
DATE PRINTED:
5-10-18 NB, 7-31-18 NB,
8-30-18 NB, 10-1-18 NB,
11-5-18 NB, 2-7-19 NB,
4-8-19 NB, 5-9-19 NB,
6-7-19 NB

Epcor Communities Franchising, Inc. expressly reserves its copyright and other intellectual property rights in and to these plans. These plans are intended to provide the basic construction information necessary to substantially complete this structure. Epcor Communities Franchising, Inc. does not warrant, represent or guarantee the accuracy, completeness or reliability of these plans. No liability shall be incurred by Epcor Communities Franchising, Inc. for any errors, omissions or for any damages, direct or indirect, arising from the use of these plans. All local codes, ordinances and requirements take precedence over these plans and shall be adhered to before and during all construction.

(c) 2013 Epcor Communities Franchising, Inc.



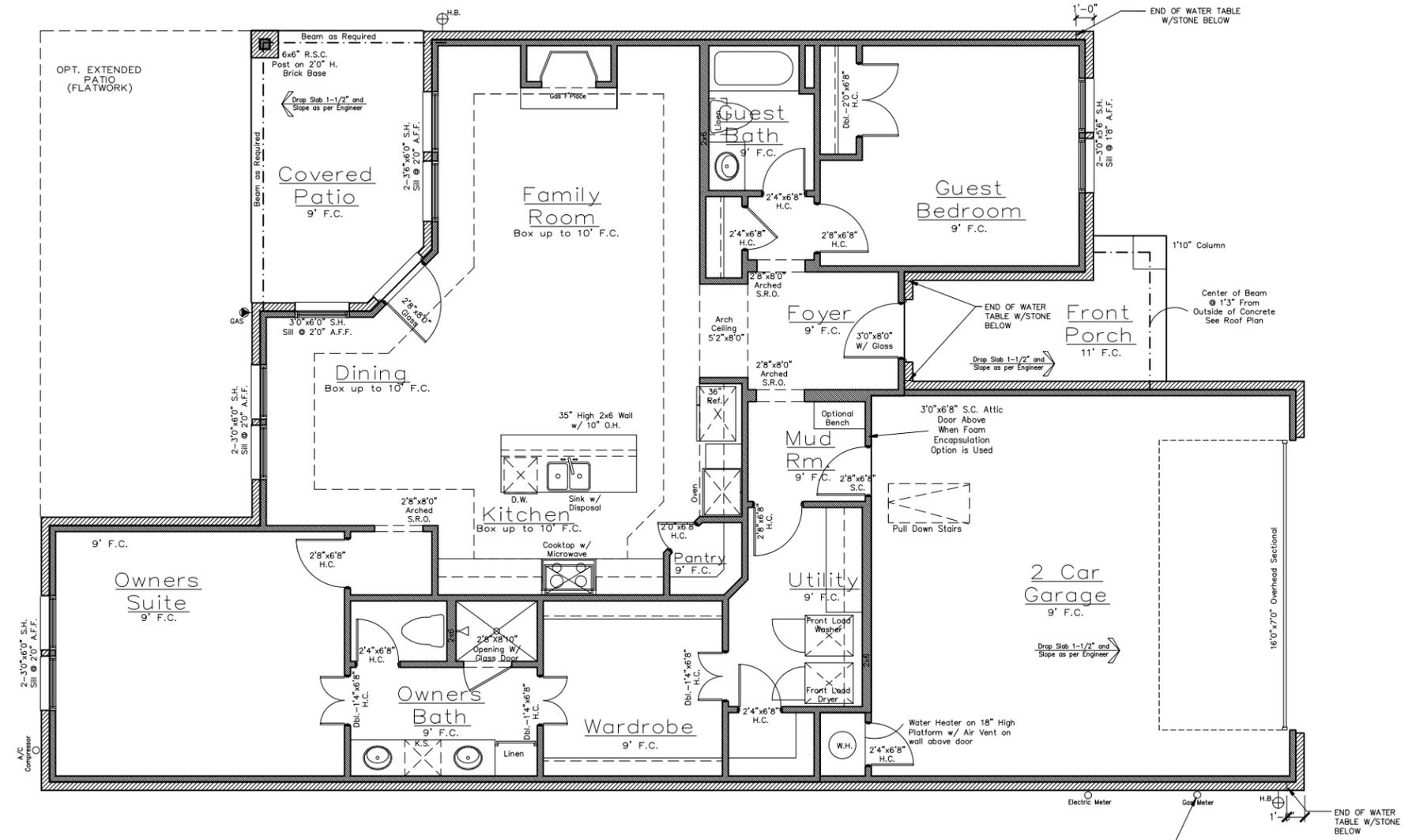
SIGNATURE SERIES
PLAN #1310
TORINO 2
SECOND FLOOR PLAN
SHEET 15 OF 35



| HATCH LEGEND | |
|--------------|----------------|
| | BRICK |
| | STONE |
| | STONE WAINSCOT |

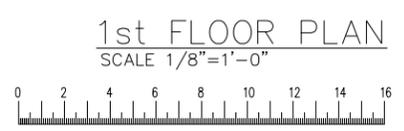
SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0" (22"x34" SHEET)
1/8" = 1'-0" (11"x17" SHEET)

| LEGEND | |
|--------|----------------------|
| H.C. | HOLLOW CORE |
| S.C. | SOLID CORE |
| F.D. | FRENCH DOOR |
| S.H. | SINGLE HUNG WINDOW |
| D.H. | DOUBLE HUNG WINDOW |
| F.G. | FIXED GLASS WINDOW |
| CSMT. | CASEMENT WINDOW |
| F.A.T. | FULL ARCHED TOP |
| S.A.T. | SEGMENTED ARCHED TOP |
| TRANS. | TRANSOM |
| A.F.F. | ABOVE FINISHED FLOOR |
| C.O. | CASED OPENING |
| K.S. | KNEE SPACE |
| E.C. | ENTERTAINMENT CENTER |
| H.B. | HOSE BIBB |
| F.C. | FLAT CEILING |
| G.B. | GLASS BLOCK |
| GL. | GLASS |
| R.S.C. | ROUGH SAWN CEDAR |
| ⊕ | CENTER LOCATION |



| GENERAL NOTES | |
|--------------------------------------------------------------------------------------------------------------------------------|--|
| Recess Slab in Garage 1-1/2" & Slope 1/4" Per Foot | |
| Recess Slab @ Patios 1-1/2" & Slope 1/4" Per Foot | |
| Recess Slab in Owners Shower 3-1/2" | |
| Floor trusses Designed to be 1'-6" Open Web w/1- 1/8" Sturdy Floor Decking (Framing Contractor to Adjust if Truss size Varies) | |
| BEDROOM EGRESS WINDOWS | |
| Minimum 5.7 S.F. Openable Area | |
| Maximum 44" Sill Height | |
| Minimum 20" Clear Width | |
| Minimum 24" Clear Height | |

| SQUARE FOOTAGES | |
|-------------------------------------|-----------|
| FIRST FLOOR | 1654 S.F. |
| SECOND FLOOR | 0 S.F. |
| TOTAL AREA | 1654 S.F. |
| GARAGE AND/OR STORAGE 555 S.F. | |
| COVERED PATIO AND/OR PORCH 225 S.F. | |
| TOTAL UNDER ROOF 2434 S.F. | |
| OVERALL WIDTH | 42'-0" |
| OVERALL DEPTH | 70'-0" |



Note: Gas Meter to be no more than 6' from front corner of house and be at least 6' away from electric meter.

| REVISIONS | |
|-----------|------------------------------------|
| 1 | CHD 1st WINDS - 2860 4-2-18 MDS-SE |
| 2 | |
| 3 | |
| 4 | |
| 5 | |

Econ Communities Franchising, Inc. expressly reserves its copyright and other property rights in these plans and drawings. These plans and related drawings are not to be copied in any form or by any means, electronic or mechanical, including photocopying, recording, or by any information storage and retrieval system, without the prior written permission of Econ Communities Franchising, Inc. Any reproduction, copying, or distribution of these plans and drawings, in whole or in part, without the prior written permission of Econ Communities Franchising, Inc. is strictly prohibited. The contractor shall be responsible for obtaining all necessary permits and for complying with all applicable laws, codes, and regulations. The contractor shall be responsible for obtaining all necessary approvals and for complying with all applicable laws, codes, and regulations. The contractor shall be responsible for obtaining all necessary approvals and for complying with all applicable laws, codes, and regulations. The contractor shall be responsible for obtaining all necessary approvals and for complying with all applicable laws, codes, and regulations.

(c) 2013 Econ Communities Franchising, Inc.

INTEGRITY GROUP
Developing & Building Dreams



VICINITY MAP

LOT TABULATION

| | PHASE I | PHASE II | PHASE III | TOTAL |
|------------------------------------|------------------|------------------|------------------|-------------------|
| RM - MANOR LOTS (75'x120' MIN.) | 47 29.4% | 18 22.0% | 25 24.0% | 90 26.0% |
| RT - TOWNSHIP LOTS (65'x120' MIN.) | 80 50.0% | 48 58.5% | 55 52.9% | 183 52.9% |
| RV - VILLAGE LOTS (55'x115' MIN.) | 33 20.6% | 16 19.5% | 24 23.1% | 73 21.1% |
| X LOTS (UNBUILDABLE) | 13 Lots | 4 Lots | 7 Lots | 24 Lots |
| TOTAL LOTS | 160 | 82 | 104 | 346 Lots |
| PARK/OPEN SPACE* | 6.7 Acres | 3.0 Acres | 3.0 Acres | 12.7 Acres |

* PARK/OPEN SPACE TO BE OWNED & MAINTAINED BY HOA

PARK LAND DEDICATION 18.4 Acres

TARRANT COUNTY WATER CONTROL AND IMPROVEMENT DISTRICT 6.95 AC.

PROJECT DENSITY

346 LOTS / 138.20 ACRES = 2.5 LOTS PER ACRE

DISTRIBUTED OPEN SPACE

REQUIRED TO BE PROVIDED AT A RATE OF 579.35 SF PER DWELLING UNITS (1.33 ACRES PER 100 LOTS)

| | TOTAL LOTS | TOTAL REQUIRED | TOTAL PROVIDED |
|--------------|------------|--------------------------------|---------------------------------|
| PHASE I | 160 | 92,696 SF (2.13 ACRES) | 311,454 SF (7.15 ACRES) |
| PHASE II | 82 | 47,507 SF (1.09 ACRES) | 138,521 SF (3.18 ACRES) |
| PHASE III | 104 | 60,252 SF (1.38 ACRES) | 135,036 SF (3.10 ACRES) |
| TOTAL | 346 | 200,455 SF (4.60 ACRES) | 585,011 SF (13.43 ACRES) |

NOTES:
AMENITIES WILL BE PROVIDED IN DISTRIBUTED OPEN SPACE IN ACCORDANCE WITH THE SOUTH POINTE PLANNED DEVELOPMENT DISTRICT STANDARDS.

OTHER OPEN SPACE

| DESCRIPTION | TOTAL PROVIDED |
|------------------------------------------|---------------------------------|
| OPEN SPACE (TO BE DEDICATED TO CITY) | 758,510 SF (17.41 ACRES) |
| LANDSCAPE BUFFER ALONG MATHIS & MITCHELL | 57,752 SF (1.33 ACRES) |
| TOTAL | 816,262 SF (18.74 ACRES) |

NOTES:

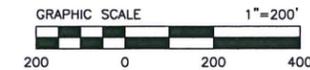
- LANDSCAPING INDICATED IN THESE DRAWINGS IS CONCEPTUAL IN NATURE. ACTUAL PLANTINGS SHALL CONFORM WITH THE SOUTH POINTE DEVELOPMENT DISTRICT STANDARDS AND SHALL BE PROVIDED IN ACCORDANCE WITH FINAL APPROVED LANDSCAPE DOCUMENTS, AS PROVIDED BY MESA DESIGN GROUP.
- LOT PRODUCT TYPE REPRESENTED HERE SHALL CONFORM WITH THE SOUTH POINTE DEVELOPMENT DISTRICT STANDARDS SECTION 8, 10 AND EXHIBITS 17 THROUGH 26.
- EACH RESIDENTIAL VILLAGE SHALL CONTAIN AT LEAST TWO AMENITIES IN THE OPEN SPACE AREAS PROVIDED. THE AMENITIES SHALL BE SELECTED FROM THE LIST PROVIDED IN THE SOUTH POINTE DEVELOPMENT DISTRICT STANDARDS.
- A MANDATORY HOME OWNERS ASSOCIATION WILL BE RESPONSIBLE FOR THE MAINTENANCE OF THE MASONRY WALLS ALONG S. MITCHELL ROAD AND MATHIS ROADS, INCLUDING PARKWAY BETWEEN THE SCREENING WALL AND THE STREET; THE OPEN SPACE LOTS; AND THE ENTRYWAY FEATURES, INCLUDING BUT NOT LIMITED TO, THE MEDIANS, MONUMENTS, SUBDIVISION SIGNS, LANDSCAPING, AND ANY AMENITY OR STRUCTURE WITHIN THE RIGHTS-OF-WAY.
- THE OWNERS ASSOCIATION AND ASSOCIATED DOCUMENTS SHALL BE FILED IN ACCORDANCE WITH THE CITY OF MANSFIELD POLICIES. THE DOCUMENTS SHALL BE FILED WITH THE FINAL PLAT. THE DOCUMENTS SHALL BE SUBMITTED IN A TIMELY MANNER TO ALLOW FOR A MAXIMUM OF SIXTY (60) DAYS REVIEW. FAILURE TO SUBMIT THE DOCUMENTS OR INCOMPLETE DOCUMENTS MAY RESULT IN DELAY OF CONSTRUCTION, ACCEPTANCE OF THE DEVELOPMENT OR DELAY IN APPROVAL OF A BUILDING PERMIT. THE CITY DOES NOT ACCEPT THE RESPONSIBILITY FOR ANY DELAYS CAUSED BY THE FAILURE TO SUBMIT THE ASSOCIATION DOCUMENTS OR THE INACCURACY OF THE DOCUMENTS.
- THE FRONT ENTRY VILLAGE LOTS SHALL HAVE AN ADDITIONAL GARAGE SETBACK AS SHOWN ON THE BULK STANDARD DETAIL IN THE SOUTHPOINTE PD. THE GARAGE DOORS SHALL HAVE COMPLIMENTARY ARCHITECTURAL DETAILS.



VILLAGE PLAN

SHEET INDEX

| | |
|------|----------------------------------------|
| DP-1 | VILLAGE PLAN |
| DP-2 | CIRCULATION PLAN |
| DP-3 | OPEN SPACE PLAN |
| DP-4 | TREE SURVEY PLAN |
| DP-5 | GEOMETRIC STUDY |
| L-1 | PRIMARY ENTRY PLAN |
| L-2 | PRIMARY ENTRY PLAN - CORRIDOR PLANTING |
| L-3 | SECONDARY ENTRY PLAN |
| L-4 | NEIGHBORHOOD ENTRY PLAN |
| L-5 | ARCHITECTURAL ENTRY ELEMENTS |
| L-6 | ARCHITECTURAL ENTRY ELEMENTS |
| L-7 | PARK CHARACTER PLAN |
| L-8 | LANDSCAPE PLAN |



PLOTTED BY: JAMES RYAN
 PLOTTED ON: 9/26/2014 2:56 PM
 FILE NAME: J:\MANSFIELD\VIEW AT THE RESERVE\PLANNING\PRELIM SITE PLAN\SHEETS\WIR-VILLAGE PLANING
 SHEET SIZE: A3 (11.00 X 22.00 INCHES) 1" = 1'

DEVELOPER
SOWELL & CO.
 1601 ELM STREET
 SUITE 300, THANKSGIVING TOWER
 DALLAS, TX 75201
 CONTACT: JAMIE CORNELIUS
 (214) 871-3320
 jcornelius@sowellco.com

ENGINEER/SURVEYOR

Graham Associates, Inc.
 CONSULTING ENGINEERS & PLANNERS
 600 SIX FLAGS DRIVE, SUITE 500
 ARLINGTON, TEXAS 76011 (817) 646-8835
 TBPE FRM: F-19197BPLS FRM: 101538-00
 CONTACT: BRIAN M. AVIRETT, P.E.
 (817) 640-5335
 bavirett@grahamcivl.com

DETAILED SITE PLAN
The View at the Reserve
 BEING 138.20 ACRES OUT OF THE
 SAMUEL MITCHELL SURVEY, ABSTRACT #1024 & 593J,
 CITY OF MANSFIELD, TARRANT COUNTY AND
 JOHNSON COUNTY, TEXAS
 PREPARED: 9/26/2014
 346 RESIDENTIAL LOTS
 24 OPEN SPACE LOTS

Summary of City Council Actions

August 26, 2019

Third and Final Reading of an Ordinance approving a change of zoning from PR, Pre-Development District and C-2, Community Business District to PD, Planned Development District for Single-Family Residential, Multi-Family Residential, Senior Living, and C-2, Community Business Uses on Approximately 76.734 acres out of the S.S. Callender Survey, Abstract No. 359, Tarrant County, TX, generally located on the East sides of FM 157 and House Road, the North side of Mouser Way and West of Towne Crossing and Cedar Point, Tim Coltart of Realty Capital Management, LLC on behalf of Glenn Day, et al and Sowell Property Partners, Mansfield, LP (ZC#19-005)

Approved with significant conditions 5 – 2 (Leyman and Moore)

Public Hearing Continuation and Second Reading of an Ordinance approving a change of zoning from SF-7.5/12 Single-Family Residential District to PD Planned Development District for Single-Family Residential Uses on approximately 0.475 acres being a portion of Lot 6, Block 2 of the Original Town of Britton, generally located at 924 Cope Street; Ben Hartman (ZC#19-008)

Approved 7 – 0

Public Hearing and First Reading of an Ordinance approving a change of zoning from PR, Pre-Development District to PD, Planned Development for Professional Office Uses on approximately 0.608 acres located at 1089 Matlock Road; Adam Rope on behalf of A. Rope Investments, LLC (ZC#19-010)

Approved 6 – 1 (Moore)