



# CITY OF MANSFIELD

1200 E. Broad St.  
Mansfield, TX 76063  
mansfieldtexas.gov

## Meeting Agenda - Final

### Planning and Zoning Commission

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Monday, October 4, 2021

6:00 PM

City Hall Council Chambers

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1. **CALL TO ORDER**

2. **APPROVAL OF MINUTES**

[21-4333](#) Minutes - Approval of the September 20, 2021 Planning and Zoning Commission Meeting Minutes

**Attachments:** [Meeting Minutes Sep-20-2021.pdf](#)

3. **CITIZENS COMMENTS**

*Citizens wishing to address the Commission on non-public hearing agenda items and items not on the agenda may do so at this time. Once the business portion of the meeting begins, only comments related to public hearings will be heard. All comments are limited to 5 minutes. Please refrain from "personal criticisms".*

*In order to be recognized during the "Citizens Comments" or during a public hearing (applicants included), please complete a blue "Appearance Card" located at the entry to the Chambers and present it to the Planning Secretary.*

4. **PUBLIC HEARINGS**

[21-4331](#) SD#21-047: Public hearing on a replat to create Lot 1R-2, Block 1, Klein Tools Addition on 65.705 acres located at 500 Klein Tools Blvd by Wier and Associates, Inc., engineer/surveyor; Klein Tools, Inc., owner

**Attachments:** [Previously Approved Plat.pdf](#)

[Replat.pdf](#)

[21-4334](#) SD#21-039: Replat to create Lot 1R, Block 1, Steadfast Heritage Addition being 1.537 acres located at 1700 Commerce Drive; JPH Land Surveying Inc., surveyor, Vaquero Heritage Parkway Partners LP, developer and Steadfast Heritage LLC, owner

**Attachments:** [Replat.pdf](#)

[21-4276](#)

SUP#20-006: Public hearing continuation for a request for a Specific Use Permit for a gasoline service station on approximately 1.483 acres known as Lot 1, Block 2, Newport Addition, located at 2919 N. Main St.; Cody Brooks of Bannister Engineering, LLC (engineer), Jack Romigh of Knight Group Architects (architect), and Mark Feuling of Turnkey Construction and Development Group (developer) on behalf of Akram H. Chowdhury (owner)

**Attachments:** [Maps and Supporting Information.pdf](#)

[Exhibit A - Property Description.pdf](#)

[Exhibit B - Site Plan.pdf](#)

[Exhibit C - Floor Plans & Elevations.pdf](#)

[Exhibit D - Landscape Plan.pdf](#)

[Exhibit E - Sign Plan.pdf](#)

[Letter of Opposition.pdf](#)

[Request to Table to 10.4.21.pdf](#)

[Request to Table to 10.18.21.pdf](#)

[21-4301](#)

ZC#21-008: Public hearing on a change of zoning from PR, Pre-Development District to PD, Planned Development District for Single-Family Residential Uses on approximately 11.76 acres out of the J. McDonald Survey, Abstract No. 997, generally located west of the Union Pacific railroad track, east of St Giles Drive and Cancun Drive, and approximately 120 feet north of Alpine Industrial Rd on property addressed at 6239 Newt Patterson Road; Testudo Land LLC, owner, Bayley Yandell Development LTD, developer and MMA, engineer (*Tabled from the September 20, 2021, meeting*)

**Attachments:** [Maps and Supporting Information.pdf](#)

[EXHIBIT A.pdf](#)

[EXHIBIT B.pdf](#)

[EXHIBIT C.pdf](#)

[21-4332](#)

ZC#21-015: Public hearing for change of zoning from C-2 Community Business District to PD, Planned Development District for 2F, Two Family Residential District plus triplex for a Duplex and Triplex, Attached Single-Family Development on approximately 6.56 acre tract of land situated in the Henry McGehee Survey, Abstract Number 998, located in the City of Mansfield, Tarrant Co., TX, being all of Lots 6,7,8, and 9, Matlock Center Addition and being part of a called 12.974 Acre Tract in Substitute Trustee's Deed to Kingdom Work Foundation, recorded in Instrument D214023663 located in the City of Mansfield, Tarrant Co., TX, generally located at 1701 Country Club Drive and 1107-1110 Alexis Court; Brian Cotter of Cotter Associates (planner) on behalf of Louis Scoma of Kingdom Work Foundation (owner)

**Attachments:** [Maps and Supporting Information.pdf](#)

[EXHIBIT A Property Description.pdf](#)

[EXHIBIT B Development Plan.pdf](#)

[EXHIBIT C S Enhanced Entryway Plan.pdf](#)

[EXHIBIT D Landscape Plan.pdf](#)

[EXHIBIT E Residential Elevations.pdf](#)

5. **SUMMARY OF CITY COUNCIL ACTIONS**
6. **COMMISSION ANNOUNCEMENTS**
7. **STAFF ANNOUNCEMENTS**
8. **ADJOURNMENT OF MEETING**
9. **NEXT MEETING DATE:Monday, October 18, 2021**

I certify that the above agenda was posted on the bulletin board next to the main entrance of City Hall on September 30, 2021 in accordance with Chapter 551 of the Texas Government Code.

\_\_\_\_\_  
Jennifer Johnston, Development Coordinator

\* This building is wheelchair accessible. Disabled parking spaces are available. Request for sign interpreter services must be made 48 hours ahead of meeting to make arrangements. Call 817 473-0211 or TDD 1-800-RELAY TX,

\* In deciding a zoning change application, the Planning & Zoning Commission and City Council are required to determine the highest and best use of the property in question. The Commission may recommend and the Council may approve a change in zoning to the category or district requested by the applicant or to any zoning category or district of lesser intensity. Notice is presumed sufficient for every District up to the intensity set forth in the zoning change application.



# CITY OF MANSFIELD

1200 E. Broad St.  
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## STAFF REPORT

File Number: 21-4333

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**Agenda Date:** 10/4/2021

**Version:** 1

**Status:** Approval of Minutes

**In Control:** Planning and Zoning Commission

**File Type:** Meeting Minutes

**Agenda Number:**

**Title**

Minutes - Approval of the September 20, 2021 Planning and Zoning Commission Meeting Minutes

**Description/History**

The minutes of the September 20, 2021 Planning and Zoning Commission meeting are in DRAFT form and will not become effective until approved by the Board at this meeting.



# CITY OF MANSFIELD

1200 E. Broad St.  
Mansfield, TX 76063  
mansfieldtexas.gov

## Meeting Minutes - Draft

### Planning and Zoning Commission

Monday, September 20, 2021

6:00 PM

City Hall Council Chambers

#### 1. CALL TO ORDER

*Chairman Knight called the meeting to order at 6:00 p.m. in the City Council Chambers of City Hall, 1200 East Broad Street, with the meeting being open to the public and notice of said meeting, giving the date, place, and subject thereof, having been posted as prescribed by Chapter 551, Texas Government Code.*

*Staff:*

*Matt Jones, Assistant City Manager  
Jason Alexander, Director of Planning  
Arty Wheaton-Rodriguez, Assistant Director of Planning  
Shirley Emerson, Planner  
Jennifer Johnston, Development Coordinator*

*Commissioners:*

**Absent** 2 - Blake Axen and Stephen Groll

**Present** 5 - Anne Weydeck; Kent Knight; Justin Gilmore; David Goodwin and Michael Mainer

#### 3. APPROVAL OF MINUTES

[21-4304](#)

Minutes - Approval of the September 7, 2021 Planning and Zoning Commission Meeting Minutes

**Commissioner Gilmore made a motion to approve the September 7, 2021 minutes as presented. Commissioner Weydeck seconded the motion which carried by the following vote:**

**Aye:** 5 - Anne Weydeck; Kent Knight; Justin Gilmore; David Goodwin and Michael Mainer

**Nay:** 0

**Absent:** 2 - Blake Axen and Stephen Groll

**Abstain:** 0

[21-4305](#)

Minutes - Approval of the September 13, 2021 Planning and Zoning Commission Meeting Minutes

**Commissioner Gilmore made a motion to approve the September 13, 2021**

minutes as presented. Commissioner Weydeck seconded the motion which carried by the following vote:

**Aye:** 5 - Anne Weydeck; Kent Knight; Justin Gilmore; David Goodwin and Michael Mainer

**Nay:** 0

**Absent:** 2 - Blake Axen and Stephen Groll

**Abstain:** 0

**4. CITIZENS COMMENTS**

*None*

**6. PUBLIC HEARINGS**

[21-4274](#)

SUP#21-006: Continuation of public hearing and consideration of a request for a Specific Use Permit for an Auto Rental on approximately 2.754 acres being Lot 5, Block 1, Mansfield Commons located at 990 N US 287; The Commons at Walnut Creek 18, Owner; Avis Budget, proposed tenant/applicant

*Jeff Wagner, Avis Budget representative, provided a written statement requesting additional time*

*Planning and Zoning requested the case be continued to the October 18, 2021 meeting.*

*Chairman Knight opened the public hearing at 6:03pm and called for anyone wishing to speak to come forward.*

*Seeing no one come forward to speak, Chairman Knight closed the public hearing at 6:03pm.*

**Commissioner Goodwin made a motion to continue this matter until the October 18, 2021 meeting. Commissioner Gilmore seconded the motion which carried by the following vote:**

**Aye:** 5 - Anne Weydeck; Kent Knight; Justin Gilmore; David Goodwin and Michael Mainer

**Nay:** 0

**Absent:** 2 - Blake Axen and Stephen Groll

**Abstain:** 0

[21-4299](#)

ZC#21-013: Public hearing for a change of zoning from SF-7.5/12, Single-Family Residential and C-1, Neighborhood Business Districts to PD, Planned Development District for a church and other church related facilities, a pre-school, day care, education, coffee shop, eating place without drive-through service and other OP uses as allowed on

approximately 10.97 acres, being Lot 1R1, Block 1, Bethlehem Baptist Church Addition and a 0.1 acre tract situated in the T.J. Hanks Survey, Abstract No. 644, City of Mansfield, Tarrant Co. TX, addressed at 1188 W Broad Street; Shank Architects, architect and Bethlehem Baptist Church, owner

*Mr. Wheaton-Rodriguez gave a presentation and was available for questions.*

*David Shanks and David Waite, of Shanks Architects, were available for questions.*

*Michael Peterson, of Graham Associates Inc., was available for questions.*

*Chairman Knight opened the public hearing at 6:13 pm and called for anyone wishing to speak to come forward.*

*Bridgett Oneal of 6321 Glen Knoll, made inquiries into the project on behalf of her parents who live at 372 Morgan*

*Seeing no one come forward to speak, Chairman Knight closed the public hearing at 6:16 pm.*

*Commissioner Mainer advised the commission he would be abstaining from voting as he has personal interest in this manner.*

**Commissioner Goodwin made a motion to approve the zoning change as presented. Commissioner Weydeck seconded the motion which carried by the following vote:**

**Aye:** 4 - Anne Weydeck; Kent Knight; Justin Gilmore and David Goodwin

**Nay:** 0

**Absent:** 2 - Blake Axen and Stephen Groll

**Abstain:** 1 - Michael Mainer

[21-4301](#)

ZC#21-008: Public hearing on a change of zoning from PR, Pre-Development District to PD, Planned Development District for Single-Family Residential Uses on approximately 11.76 acres out of the J. McDonald Survey, Abstract No. 997, generally located west of the Union Pacific railroad track, east of St Giles Drive and Cancun Drive, and approximately 120 feet north of Alpine Industrial Rd on property addressed at 6239 Newt Patterson Road; Testudo Land LLC, owner, Bayley Yandell Development LTD, developer and MMA, engineer

*Mr. Alexander gave a presentation and was available for questions.*

*Jacob Sumpter and Rick Swogger, of MMA, were available for questions.*

*Doug Skomer, of Bayley Yandell Development LTD, was available for questions.*

*Chairman Knight opened the public hearing at 6:40 pm and called for anyone wishing to speak to come forward.*

*Jessica Ross, of 1725 Abaco Dr., voiced her concerns with the rezoning.*

*Seeing no one come forward to speak, Chairman Knight closed the public hearing at 6:45 pm.*

**After some discussion, Commissioner Gilmore made a motion to continue this matter until the October 4, 2021 meeting. Commissioner Weydeck seconded the motion which carried by the following vote:**

**Aye:** 4 - Anne Weydeck; Justin Gilmore; David Goodwin and Michael Mainer

**Nay:** 1 - Kent Knight

**Absent:** 2 - Blake Axen and Stephen Groll

**Abstain:** 0

[21-4293](#)

OA#21-0021: Public hearing to consider a zoning change from various districts to D, Downtown District and Amending the Mansfield Code of Ordinances by Amending Special Purpose District Regulations and Creating a New Section 155.071 "Form-Based Code Districts" and Section 155.072 "D, Downtown District". The amendments necessary also including Amending Certain Sections Necessary to Enable the D, Downtown District and Repealing C-4 Downtown District and All References Related Thereto.

*Mr. Jones spoke about the proposed zoning change.*

*Mr. Wheaton-Rodriguez gave a presentation and was available for questions.*

*Chairman Knight opened the public hearing at 7:36 pm and called for anyone wishing to speak to come forward.*

*Gary Mueller, of 206 W Kimball St., voiced his concerns with the rezoning.*

*Ben Hartman, of 500 Alvarado St., voiced his support of the rezoning.*

*Seeing no one come forward to speak, Chairman Knight closed the public hearing at 7:46 pm.*

**After some discussion, Commission Goodwin made a motion to approve the Zoning Change with staff recommendations. Commissioner Gilmore seconded the motion which carried by the following vote:**

**Aye:** 5 - Anne Weydeck; Kent Knight; Justin Gilmore; David Goodwin and Michael Mainer

**Nay:** 0

**Absent:** 2 - Blake Axen and Stephen Groll

**Abstain:** 0

**9. SUMMARY OF CITY COUNCIL ACTIONS**

*Planning Director Jason Alexander advised the Commission of the following:*

- 2021/2022 Fiscal Budget was approved
- ZC#21-012 Andy's Frozen Custard 1st reading was approved
- OA #21-002 Smoking Ordinance 2nd reading was approved.
- SUP#21-002 Java Lounge was approved

**10. COMMISSION ANNOUNCEMENTS**

*Commissioner Mainer announced Bethlehem Baptist Church is having a Community Event at 1188 W Broad from 6:30 to 8 pm on September 30, 2021*

*Commission Weydeck announced an event for the weekend of November 6th at the Lot in Downtown in honor of the veterans.*

**11. STAFF ANNOUNCEMENTS**

*None*

**12. ADJOURNMENT OF MEETING**

**Commissioner Mainer made a motion to adjourn the meeting. Commissioner Weydeck seconded the motion which carried by the following vote:**

**Aye:** 5 - Anne Weydeck; Kent Knight; Justin Gilmore; David Goodwin and Michael Mainer

**Nay:** 0

**Absent:** 2 - Blake Axen and Stephen Groll

**Abstain:** 0

With no further business, Chairman Knight adjourned the meeting at 8:12 p.m.

\_\_\_\_\_  
Kent Knight, Chairman

\_\_\_\_\_  
Jennifer Johnston, Development Coordinator



# CITY OF MANSFIELD

1200 E. Broad St.  
Mansfield, TX 76063  
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## STAFF REPORT

File Number: 21-4331

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**Agenda Date:** 10/4/2021

**Version:** 1

**Status:** Public Hearing

**In Control:** Planning and Zoning Commission

**File Type:** Plat

### **Title**

SD#21-047: Public hearing on a replat to create Lot 1R-2, Block 1, Klein Tools Addition on 65.705 acres located at 500 Klein Tools Blvd by Wier and Associates, Inc., engineer/surveyor; Klein Tools, Inc., owner

### **Description/History**

The purpose of the replat is to add additional area to the existing Lot 1R-1, Block 1.

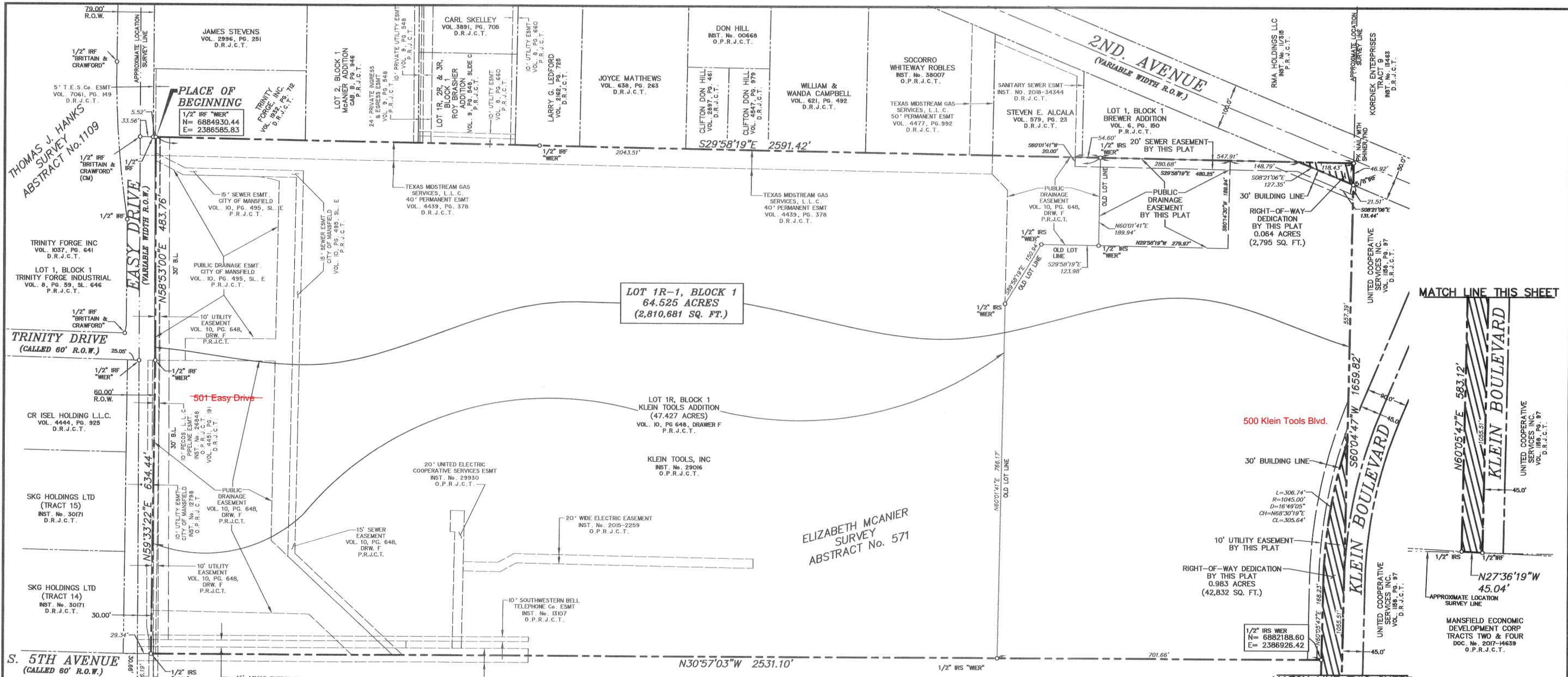
Although the digital copy of the plat in the Commission's packet does not have signatures, the filing copy has been signed.

### **Recommendation**

The plat meets the requirements of the Subdivision Control Ordinance. Staff recommends approval.

### **Attachments**

Previously Approved Plat  
Replat



**ACREAGE SUMMARY TABLE**

EXISTING LOT 1R, BLOCK 1	47.427 ACRES
ADDITIONAL DEED TRACT	18.145 ACRES
TOTAL LAND AREA	65.572 ACRES GROSS
2ND AVE R.O.W. DEDICATION	-0.064 ACRES
KLEIN BLVD R.O.W. DEDICATION	-0.983 ACRES
NEW LOT 1R-1, BLOCK 1	64.525 ACRES NET

**\* PURPOSE NOTE \***  
 THE PURPOSE OF THIS PLAT IS TO INCORPORATE ADDITIONAL LAND AREA INTO THE EXISTING LOT FOR THE PHASE 3 DEVELOPMENT.

- \* GENERAL NOTES \***
- ALL 1/2" IRON RODS SET ARE WITH A CAP STAMPED "WER & ASSOC INC" UNLESS NOTED OTHERWISE.
  - ALL EASEMENTS SHOWN HEREON ARE BY THIS PLAT, UNLESS NOTED OTHERWISE.
  - ALL LOTS WILL COMPLY WITH THE CITY OF MANSFIELD RESIDENTIAL PROXIMITY STANDARDS.
  - SELLING A PORTION OF ANY LOT IN THIS ADDITION BY METES AND BOUNDS IS A VIOLATION OF STATE LAW AND CITY ORDINANCE AND IS SUBJECT TO PENALTIES IMPOSED BY LAW.

**\* BASIS OF BEARINGS NOTE \***  
 BEARINGS BASED ON THE TEXAS STATE PLANE COORDINATE SYSTEM, NORTH CENTRAL ZONE 4202, NAD 83, AS DERIVED BY FIELD OBSERVATION UTILIZING THE RTK NETWORK ADMINISTERED BY WESTERN DATA SYSTEMS AND CITY OF MANSFIELD MONUMENTS 17-07 AND TNP "E".

**\* LEGEND \***

IRF	IRON ROD FOUND
IRS	IRON ROD SET
"WER"	CAP STAMPED "WER & ASSOC INC"
(CM)	CONTROLLING MONUMENT
ESMT.	EASEMENT
B.L.	BUILDING SETBACK LINE
U.E.	UTILITY EASEMENT
P.R.J.C.T.	PLAT RECORDS, JOHNSON COUNTY, TEXAS
D.R.J.C.T.	DEED RECORDS, JOHNSON COUNTY, TEXAS
O.P.R.J.C.T.	OFFICIAL PUBLIC RECORDS, JOHNSON COUNTY, TEXAS

FILED FOR RECORD 02-21-2019, 2019  
 PLAT RECORDED IN VOLUME 11, PAGE 745, DRAWER J  
*Becky Dwyer*  
 COUNTY CLERK, JOHNSON COUNTY, TEXAS  
*Jayra Nelson*  
 DEPUTY CLERK

REFER TO SHEET 2 OF 2 FOR LEGAL DESCRIPTION

**OWNER / DEVELOPER**  
 KLEIN TOOLS, INC.  
 1250 W. HERITAGE PKWY  
 MANSFIELD, TX 76063  
 CONTACT: MATT MARINOVIC  
 PH: (817) 477-8450  
 MAMARINOVIC@KLEINTOOLS.COM

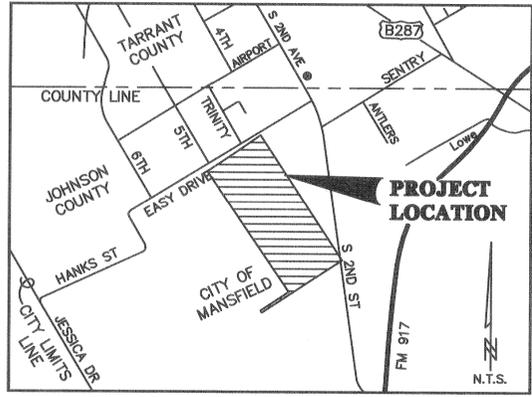
**ENGINEER:**  
 WIER AND ASSOCIATES, Inc.  
 2201 E. LAMAR BLVD, STE. 200E  
 ARLINGTON, TEXAS 76016  
 CONTACT: RANDY EARDLEY  
 PH: (817) 467-7700  
 FAX: (817) 467-7713

**WIA WIER & ASSOCIATES, INC.**  
 ENGINEERS SURVEYORS LAND PLANNERS  
 2201 E. LAMAR BLVD., SUITE 200E ARLINGTON, TEXAS 76016 METRO (817) 467-7700  
 Texas Fire Registration No. F-2776 www.WierAssociates.com  
 Texas Board of Professional Land Surveying Registration No. 0033300

SD#18-045

SHEET 1 OF 2

DATE: 1/4/2019  
 W.A. No. 18089



**PREVIOUSLY APPROVED PLAT**

STATE OF TEXAS  
COUNTY OF JOHNSON

WHEREAS KLEIN TOOLS, INC., ACTING BY AND THROUGH THE UNDERSIGNED ITS DULY AUTHORIZED AGENT, IS THE SOLE OWNER OF A TRACT OF LAND LOCATED IN THE ELIZABETH McANIER SURVEY, ABSTRACT No. 571, CITY OF MANSFIELD, JOHNSON COUNTY, TEXAS, ACCORDING TO THE DEED RECORDED IN INSTRUMENT NUMBER 29016, OFFICIAL PUBLIC RECORDS, JOHNSON COUNTY, TEXAS (O.P.R.J.C.T.), AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEING ALL OF LOT 1R, BLOCK 1, KLEIN TOOLS ADDITION, AN ADDITION TO THE CITY OF MANSFIELD, JOHNSON COUNTY, TEXAS, RECORDED IN VOLUME 10, PAGE 648, DRAWER F, PLAT RECORDS, JOHNSON COUNTY, TEXAS (P.R.J.C.T.) AND A PORTION OF SAID KLEIN TOOLS TRACT;

BEGINNING AT A 1/2" IRON ROD FOUND WITH A CAP STAMPED "WIER & ASSOC INC" IN THE SOUTHEAST RIGHT-OF-WAY LINE OF EASY DRIVE (A VARIABLE-WIDTH RIGHT-OF-WAY), IN THE SOUTHWEST LINE OF A TRACT OF LAND DESCRIBED IN A DEED TO TRINITY FORGE, INC., RECORDED IN VOLUME 1932, PAGE 712, DEED RECORDS, JOHNSON COUNTY, TEXAS (D.R.J.C.T.), SAID IRON ROD BEING THE NORTH CORNER OF SAID LOT 1R, FROM WHICH 1/2" IRON ROD FOUND WITH A CAP STAMPED "BRITTAIN & CRAWFORD", BEARS N 29°58'19" E, 33.56 FEET, SAID IRON ROD BEING THE NORTH CORNER OF SAID KLEIN TOOLS TRACT;

THENCE S 29°58'19" E, ALONG THE NORTHEAST LINE OF SAID KLEIN TOOLS TRACT, AT 2043.51 FEET PASSING A 1/2" IRON ROD FOUND WITH A CAP STAMPED "WIER & ASSOC INC", SAID IRON ROD BEING THE EAST CORNER OF SAID LOT 1R, AND CONTINUING IN ALL A TOTAL DISTANCE OF 2591.42 FEET TO A PK NAIL FOUND IN SECOND AVENUE (A VARIABLE-WIDTH RIGHT-OF-WAY), SAID PK NAIL BEING THE EAST CORNER OF SAID KLEIN TOOLS TRACT;

THENCE S 60°04'47" W, ALONG THE SOUTHEAST LINE OF SAID KLEIN TOOLS TRACT AND THE NORTHWEST LINE OF A TRACT OF LAND DESCRIBED IN A DEED TO UNITED COOPERATIVE SERVICES, INC., RECORDED IN VOLUME 1158, PAGE 97, D.R.J.C.T., 1659.82 FEET TO A 1/2" IRON ROD FOUND IN THE NORTHEAST LINE OF A TRACT OF LAND DESCRIBED IN A DEED TO MANSFIELD ECONOMIC DEVELOPMENT CORPORATION, RECORDED IN DOCUMENT NUMBER 2017-14639, O.P.R.J.C.T., SAID IRON ROD BEING THE SOUTH CORNER OF SAID KLEIN TOOLS TRACT AND THE NORTHWEST CORNER OF SAID UNITED COOPERATIVE SERVICES TRACT;

THENCE N 27°36'19" W, ALONG THE SOUTHWEST LINE OF SAID KLEIN TOOLS TRACT AND THE NORTHEAST LINE OF SAID MANSFIELD ECONOMIC DEVELOPMENT CORPORATION TRACT, 45.04 FEET TO A 1/2" IRON ROD SET WITH A CAP STAMPED "WIER & ASSOC INC";

THENCE N 60°05'47" E, DEPARTING THE SOUTHWEST LINE OF SAID KLEIN TOOLS TRACT AND THE NORTHEAST LINE OF SAID MANSFIELD ECONOMIC DEVELOPMENT CORPORATION TRACT, 583.12 FEET TO A 1/2" IRON ROD SET WITH A CAP STAMPED "WIER & ASSOC INC";

THENCE N 30°57'03" W, AT 701.66 FEET PASSING A 1/2" IRON ROD FOUND WITH A CAP STAMPED "WIER & ASSOC INC", SAID IRON ROD BEING THE SOUTH CORNER OF SAID LOT 1R, AND CONTINUING IN ALL A TOTAL DISTANCE OF 2531.10 FEET TO A 1/2" IRON ROD SET WITH A CAP STAMPED "WIER & ASSOC INC", SAID IRON ROD BEING IN THE SOUTHEAST RIGHT-OF-WAY LINE OF SAID EASY DRIVE;

THENCE N 59°33'22" E, ALONG THE NORTHWEST LINE OF SAID KLEIN TOOLS TRACT AND THE SOUTHEAST RIGHT-OF-WAY LINE OF SAID EASY DRIVE, 634.44 FEET TO A 1/2" IRON ROD FOUND WITH A CAP STAMPED "WIER & ASSOC INC";

THENCE N 58°53'00" E, ALONG THE NORTHWEST LINE OF SAID LOT 1R, BLOCK 1, KLEIN TOOLS ADDITION AND THE SOUTHEAST RIGHT-OF-WAY LINE OF SAID EASY DRIVE, 483.76 FEET TO THE PLACE OF BEGINNING AND CONTAINING 65.572 ACRES (2,856,308 SQUARE FEET) OF LAND, MORE OR LESS.

CITY OF MANSFIELD  
CONDITIONS OF ACCEPTANCE OF DRAINAGE AND FLOODWAY EASEMENTS  
THIS PLAT IS PROPOSED BY THE OWNERS OF PROPERTIES DESCRIBED HEREIN (HEREIN AFTER REFERRED TO AS "PROPERTY OWNERS") AND IS APPROVED BY THE CITY OF MANSFIELD SUBJECT TO THE FOLLOWING CONDITIONS WHICH SHALL BE BINDING UPON THE PROPERTY OWNERS, HIS HEIRS, GRANTEEES, SUCCESSORS AND ASSIGNS.  
NO OBSTRUCTION TO THE FLOW OF STORMWATER RUN-OFF SHALL BE PERMITTED BY FILLING OR BY CONSTRUCTION OF ANY TYPE OF DAM, BUILDING, BRIDGE, FENCE, OR ANY OTHER STRUCTURE WITHIN THE DRAINAGE EASEMENT SHOWN HEREIN ON THIS PLAT, UNLESS APPROVED BY THE CITY OF MANSFIELD. PROVIDED, HOWEVER, IT IS UNDERSTOOD THAT IN THE EVENT IT BECOMES NECESSARY FOR THE CITY OF MANSFIELD TO ERECT DRAINAGE FACILITIES IN ORDER TO IMPROVE THE STORM DRAINAGE THAT MAY BE OCCASIONED BY THE STREETS AND ALLEYS IN OR ADJACENT TO THE SUBDIVISION, THEN IN SUCH EVENT, THE CITY OF MANSFIELD SHALL HAVE THE RIGHT TO ENTER SAID DRAINAGE EASEMENT AT ANY POINT OR POINTS TO ERECT, CONSTRUCT AND MAINTAIN ANY FACILITY DEEMED NECESSARY FOR DRAINAGE PURPOSES.  
THE PROPERTY OWNERS WILL BE RESPONSIBLE FOR MAINTAINING SAID DRAINAGE EASEMENT. THE PROPERTY OWNERS SHALL KEEP SAID DRAINAGE EASEMENT CLEAN AND FREE OF DEBRIS, SILT, HIGH WEEDS, AND ANY SUBSTANCE WHICH WOULD RESULT IN UNSANITARY OR UNDESIRABLE CONDITIONS. THE CITY OF MANSFIELD SHALL HAVE THE RIGHT OF INGRESS AND EGRESS FOR THE PURPOSE OF INSPECTING AND SUPERVISING MAINTENANCE WORK DONE BY THE PROPERTY OWNERS. IF AT ANY TIME THE PROPERTY OWNERS FAIL TO SATISFY ANY OF THEIR AFOREMENTIONED RESPONSIBILITIES OR OBLIGATIONS, THE CITY OF MANSFIELD, UPON TEN (10) DAYS PRIOR NOTICE TO THE OWNERS, MAY ENTER SAID DRAINAGE EASEMENT AT ANY POINT OR POINTS TO PERFORM MAINTENANCE OR CLEAN-UP, AND BILL THE PROPERTY OWNERS THE COST INCURRED, OR PLACE A LIEN ON SAID PROPERTIES IF THE BILL IS NOT PAID WITHIN THIRTY(30) DAYS OF ITS MAILING.  
SAID DRAINAGE EASEMENT, AS IN THE CASE OF ALL DRAINAGE EASEMENTS, IS SUBJECT TO STORMWATER OVERFLOW AND EROSION TO AN EXTENT WHICH CANNOT BE SPECIFICALLY DEFINED. THE CITY OF MANSFIELD SHALL NOT BE HELD LIABLE FOR ANY DAMAGES RESULTING FROM THE OCCURRENCE OF THESE NATURAL PHENOMENA OR THE FAILURE OF ANY FACILITIES WITHIN SAID DRAINAGE EASEMENT. FURTHER, THE CITY OF MANSFIELD WILL NOT BE RESPONSIBLE FOR EROSION CONTROL OR ANY DAMAGE TO PRIVATE PROPERTIES OR PERSONS RESULTING FROM THE FLOW OF WATER WITHIN SAID DRAINAGE EASEMENT AND PROPERTIES.

NOW THEREFORE KNOW ALL MEN BY THESE PRESENTS:

THAT, KLEIN TOOLS, INC., BEING THE SOLE OWNER OF THE ABOVE DESCRIBED PARCEL, ACTING BY AND THROUGH THE UNDERSIGNED, ITS DULY AUTHORIZED AGENT, DOES HEREBY ADOPT THE HEREIN ABOVE DESCRIBED PROPERTY AS LOT 1R-1, BLOCK 1, KLEIN TOOLS ADDITION, AN ADDITION TO THE CITY OF MANSFIELD, JOHNSON COUNTY, TEXAS AND DOES DEDICATE TO THE PUBLIC USE THE STREETS AND EASEMENTS AS SHOWN THEREON.

WITNESS MY HAND AT Mansfield, TEXAS THIS THE 4 DAY OF January, 2019.

FOR: KLEIN TOOLS, INC.  
A TEXAS CORPORATION

BY: [Signature]  
Printed Name: MATT MARINOVIC  
Title: VP OF MFG

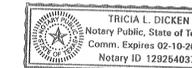
STATE OF TEXAS  
COUNTY OF Johnson

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Matt Marinovic, REPRESENTATIVE FOR KLEIN TOOLS, INC., KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT AND ACKNOWLEDGED TO ME THAT HE/SHE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATION THEREIN EXPRESSED, AND IN THE CAPACITY THEREIN STATED.

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THE 4 DAY OF January, 2019.

Tricia L. Dickon  
NOTARY PUBLIC OF THE STATE OF TEXAS

COMMISSION EXPIRES: 02-10-2021



SURVEYOR'S STATEMENT

THIS IS TO CERTIFY THAT I, AARON L. STRINGFELLOW, A REGISTERED PROFESSIONAL LAND SURVEYOR OF THE STATE OF TEXAS, HAVING PLATTED THE ABOVE SUBDIVISION FROM AN ACTUAL SURVEY ON THE GROUND, AND THAT ALL LOT CORNERS, AND ANGLE POINTS, AND POINTS OF CURVE SHALL BE PROPERLY MARKED ON THE GROUND, AND THAT THIS PLAT CORRECTLY REPRESENTS THAT SURVEY MADE BY ME OR UNDER MY DIRECTION AND SUPERVISION.

[Signature]  
AARON L. STRINGFELLOW  
REGISTERED PROFESSIONAL LAND SURVEYOR  
STATE OF TEXAS NO. 6373  
AARONLS@WIERASSOCIATES.COM



FILED FOR RECORD 02-21-2019, 2019  
PLAT RECORDED IN VOLUME 11, PAGE 716, DRAWER J  
Bucky D. Wiley  
COUNTY CLERK, JOHNSON COUNTY, TEXAS  
Jane M. Matson  
DEPUTY CLERK

APPROVED BY THE CITY OF MANSFIELD  
1/22, 2019  
APPROVED BY: [Signature] P & Z COMMISSION CHAIRMAN  
1/22, 2019  
ATTEST: [Signature] PLANNING & ZONING SECRETARY

REFER TO SHEET 1 OF 2  
FOR THE EXHIBIT  
PORTION OF THIS PLAT

OWNER / DEVELOPER  
KLEIN TOOLS, INC.  
1250 W. HERITAGE PKWY  
MANSFIELD, TX 76063  
CONTACT: MATT MARINOVIC  
PH: (817) 477-8450  
MMARINOVIC@KLEINTOOLS.COM

ENGINEER:  
WIER AND ASSOCIATES, Inc.  
2201 E. LAMAR BLVD, STE. 200E  
ARLINGTON, TEXAS 76016  
CONTACT: RANDY EARDLEY  
PH: (817) 467-7700  
FAX: (817) 467-7713

AFTER RECORDING, RETURN TO CITY OF MANSFIELD  
1200 EAST BROAD STREET, MANSFIELD, TX. 76063

### REPLAT LOT 1R-1, BLOCK 1 KLEIN TOOLS ADDITION

BEING A REVISION OF LOT 1R, BLOCK 1, KLEIN TOOLS ADDITION, ACCORDING TO THE PLAT FILED IN VOLUME 10, PAGE 648, DRAWER F, P.R.J.C.T., CITY OF MANSFIELD, JOHNSON COUNTY, TEXAS, AND A 34.256 ACRE TRACT OF LAND OUT OF THE THE ELIZABETH McANIER SURVEY, ABSTRACT No. 571, CITY OF MANSFIELD, JOHNSON COUNTY, TEXAS.

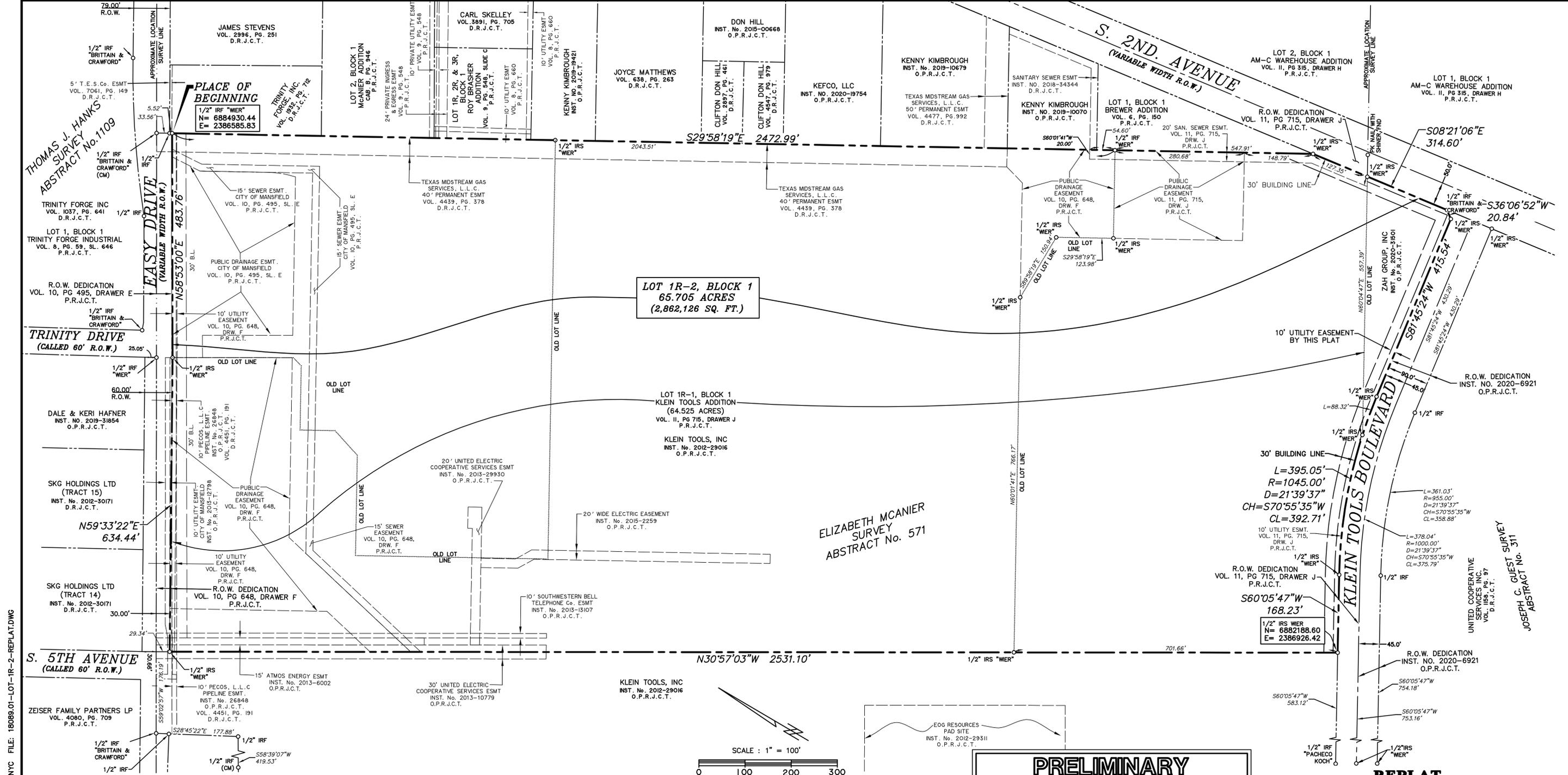
1 LOT TOTAL  
65.572 ACRES GROSS  
DATE OF PREPARATION: 12/2018

PREPARED BY:  
**WIA WIER & ASSOCIATES, INC.**  
ENGINEERS SURVEYORS LAND PLANNERS  
2201 E. LAMAR BLVD., SUITE 200E ARLINGTON, TEXAS 76006 METRO (817) 467-7700  
Texas Firm Registration No. F-2776 www.WierAssociates.com  
Texas Board of Professional Land Surveying Registration No. 0003900

SD#18-045

SHEET 2 OF 2

DATE: 1/4/2019  
W.A. No. 18089

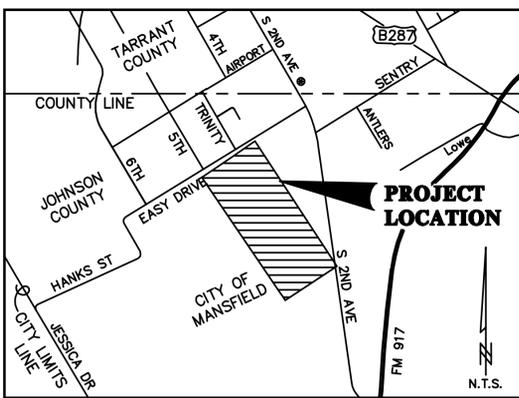


**LOT 1R-2, BLOCK 1**  
**65.705 ACRES**  
**(2,862,126 SQ. FT.)**

**LOT 1R-1, BLOCK 1**  
**KLEIN TOOLS ADDITION**  
**(64.525 ACRES)**  
**VOL. II, PG. 715, DRAWER J**  
**P.R.J.C.T.**

**KLEIN TOOLS, INC**  
**INST. NO. 2012-29016**  
**O.P.R.J.C.T.**

**KLEIN TOOLS, INC**  
**INST. NO. 2012-29016**  
**O.P.R.J.C.T.**



ACREAGE SUMMARY TABLE	
EXISTING LOT 1R-1, BLOCK 1	64.525 ACRES
ADDITIONAL DEED TRACT	1.180 ACRES
NEW LOT 1R-2, BLOCK 1	65.705 ACRES NET

**\* PURPOSE NOTE \***  
 THE PURPOSE OF THIS PLAT IS TO INCORPORATE ADDITIONAL LAND AREA INTO THE EXISTING LOT.

- \* GENERAL NOTES \***
- ALL 1/2" IRON RODS SET ARE WITH A CAP STAMPED "MER & ASSOC INC" UNLESS NOTED OTHERWISE.
  - ALL EASEMENTS SHOWN HEREON ARE BY THIS PLAT, UNLESS NOTED OTHERWISE.
  - ALL LOTS WILL COMPLY WITH THE CITY OF MANSFIELD RESIDENTIAL PROXIMITY STANDARDS.
  - SELLING A PORTION OF ANY LOT IN THIS ADDITION BY METES AND BOUNDS IS A VIOLATION OF STATE LAW AND CITY ORDINANCE AND IS SUBJECT TO PENALTIES IMPOSED BY LAW.
  - THIS PLAT DOES NOT INCREASE THE NUMBER OF LOTS OR ALTER OR REMOVE EXISTING COVENANTS OR RESTRICTIONS, IF ANY, ON THIS PROPERTY.

**\* BASIS OF BEARINGS NOTE \***  
 BEARINGS BASED ON THE TEXAS STATE PLANE COORDINATE SYSTEM, NORTH CENTRAL ZONE 4202, NAD 83, AS DERIVED BY FIELD OBSERVATION UTILIZING THE RTK NETWORK ADMINISTERED BY ALLTERRA CENTRAL, INC. AND CITY OF MANSFIELD MONUMENTS 17-07 AND TNP "E".

**\* LEGEND \***

IRF	IRON ROD FOUND
IRS	IRON ROD SET
"MER"	CAP STAMPED "MER & ASSOC INC"
(CM)	CONTROLLING MONUMENT
ESMT.	EASEMENT
B.L.	BUILDING SETBACK LINE
U.E.	UTILITY EASEMENT
P.R.J.C.T.	PLAT RECORDS, JOHNSON COUNTY, TEXAS
D.R.J.C.T.	DEED RECORDS, JOHNSON COUNTY, TEXAS
O.P.R.J.C.T.	OFFICIAL PUBLIC RECORDS JOHNSON COUNTY, TEXAS

AFTER RECORDING, RETURN TO CITY OF MANSFIELD  
 1200 EAST BROAD STREET, MANSFIELD, TX. 76063

**PRELIMINARY FOR REVIEW PURPOSES ONLY**  
 THIS DOCUMENT SHALL NOT BE RECORDED FOR ANY PURPOSE AND SHALL NOT BE USED OR VIEWED OR RELIED UPON AS A FINAL SURVEY DOCUMENT.

PLAT FILED \_\_\_\_\_, 2021  
 INSTRUMENT# \_\_\_\_\_  
 DRAWER \_\_\_\_\_ SLIDE \_\_\_\_\_  
 BECKY IVEY, JOHNSON COUNTY CLERK  
 BY \_\_\_\_\_  
 DEPUTY CLERK

**OWNER / DEVELOPER**  
**KLEIN TOOLS, INC.**  
 1250 W. HERITAGE PKWY  
 MANSFIELD, TX 76063  
 CONTACT: MATT MARINOVIC  
 PH: (817) 477-8450  
 MMARINOVIC@KLEINTOOLS.COM

**ENGINEER:**  
**WIER AND ASSOCIATES, Inc.**  
 2201 E. LAMAR BLVD, STE. 200E  
 ARLINGTON, TEXAS 76016  
 CONTACT: RANDY EARDLEY  
 PH: (817) 467-7700  
 FAX: (817) 467-7713

**REPLAT**  
**LOT 1R-2, BLOCK 1**  
**KLEIN TOOLS ADDITION**  
 BEING A REVISION OF LOT 1R-1, BLOCK 1, KLEIN TOOLS ADDITION, ACCORDING TO THE PLAT FILED IN VOLUME 11, PAGE 715, DRAWER J, P.R.J.C.T., CITY OF MANSFIELD, JOHNSON COUNTY, TEXAS, AND A 1.180 ACRE TRACT OF LAND OUT OF THE THE ELIZABETH MCANIER SURVEY, ABSTRACT No. 571, AND THE JOSEPH C. GUEST, ABSTRACT No. 311 CITY OF MANSFIELD, JOHNSON COUNTY, TEXAS.

1 LOT TOTAL  
 65.705 ACRES GROSS  
 DATE OF PREPARATION: 9/2021  
 PREPARED BY:  
**WIA WIER & ASSOCIATES, INC.**  
**ENGINEERS SURVEYORS LAND PLANNERS**  
 2201 E. LAMAR BLVD., SUITE 200E ARLINGTON, TEXAS 76006 METRO (817) 467-7700  
 Texas Firm Registration No. F-2716 www.WierAssociates.com  
 Texas Board of Professional Land Surveying Registration No. 10033300  
 SD#21-047  
 SHEET 1 OF 2  
 DATE: 9/24/2021  
 W.A. No. 18089.01

STATE OF TEXAS  
COUNTY OF JOHNSON

WHEREAS KLEIN TOOLS, INC. AND ZAH GROUP, INC. ACTING BY AND THROUGH THE UNDERSIGNED THEIR DULY AUTHORIZED AGENTS, ARE THE SOLE OWNERS OF A TRACT OF LAND LOCATED IN THE ELIZABETH MCANIER SURVEY, ABSTRACT NO. 571, AND THE JOSEPH C. GUEST SURVEY, ABSTRACT NO. 311, CITY OF MANSFIELD, JOHNSON COUNTY, TEXAS, ACCORDING TO THE DEEDS RECORDED IN INSTRUMENT NUMBERS 2012-29016 AND 2020-31501, OFFICIAL PUBLIC RECORDS, JOHNSON COUNTY, TEXAS (O.P.R.J.C.T.), AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEING ALL OF LOT 1R-1, BLOCK 1, KLEIN TOOLS ADDITION, AN ADDITION TO THE CITY OF MANSFIELD, JOHNSON COUNTY, TEXAS, RECORDED IN VOLUME 11, PAGE 715, DRAWER J, PLAT RECORDS, JOHNSON COUNTY, TEXAS (P.R.J.C.T.) AND ALL OF SAID ZAH GROUP TRACT;

BEGINNING AT A 1/2" IRON ROD FOUND WITH A CAP STAMPED "WIER & ASSOC INC" IN THE SOUTHEAST RIGHT-OF-WAY LINE OF EASY DRIVE (A VARIABLE-WIDTH RIGHT-OF-WAY), AND IN THE SOUTHWEST LINE OF A TRACT OF LAND DESCRIBED IN A DEED TO TRINITY FORGE, INC., RECORDED IN VOLUME 1932, PAGE 712, DEED RECORDS, JOHNSON COUNTY, TEXAS (D.R.J.C.T.), SAID IRON ROD BEING THE NORTH CORNER OF SAID LOT 1R-1, FROM WHICH A 1/2" IRON ROD FOUND WITH A CAP STAMPED "BRITTAIN & CRAWFORD", BEARS N 29°58'19" E, 33.56 FEET, SAID IRON ROD BEING THE NORTH CORNER OF SAID KLEIN TOOLS TRACT;

THENCE S 29°58'19" E, ALONG THE NORTHEAST LINE OF SAID LOT 1R-1, AT 2043.51 FEET PASSING A 1/2" IRON ROD FOUND WITH A CAP STAMPED "WIER & ASSOC INC", SAID IRON ROD BEING IN THE WEST LINE OF LOT 1, BLOCK 1, BREWER ADDITION, AN ADDITION TO THE CITY OF MANSFIELD, JOHNSON COUNTY, TEXAS, RECORDED IN VOLUME 6, PAGE 150, P.R.J.C.T., AND CONTINUING IN ALL A TOTAL DISTANCE OF 2472.99 FEET TO A 1/2" IRON ROD SET WITH A CAP STAMPED "WIER & ASSOC INC" IN THE WEST RIGHT-OF-WAY LINE OF SOUTH SECOND AVENUE (A VARIABLE-WIDTH RIGHT-OF-WAY);

THENCE S 08°21'06" E, ALONG THE WEST RIGHT-OF-WAY LINE OF SAID SECOND AVENUE, A DISTANCE OF 314.60 FEET TO A 1/2" IRON ROD FOUND WITH A CAP STAMPED "BRITTAIN & CRAWFORD", BEING THE NORTHEAST END OF A RIGHT-OF-WAY CORNER CLIP AT THE INTERSECTION OF THE WEST RIGHT-OF-WAY LINE OF SAID SOUTH SECOND AVENUE WITH THE NORTH RIGHT-OF-WAY LINE OF KLEIN TOOLS BOULEVARD (90' RIGHT-OF-WAY);

THENCE S 36°06'52" W, ALONG SAID CORNER CLIP, 20.84 FEET TO A 1/2" IRON ROD SET WITH A CAP STAMPED "WIER & ASSOC INC", BEING THE SOUTHWEST END OF SAID CORNER CLIP;

THENCE ALONG THE NORTH RIGHT-OF-WAY LINE OF SAID KLEIN TOOLS BOULEVARD AS FOLLOWS:

- 1) S 81°45'24" W, A DISTANCE OF 415.54 FEET TO A 1/2" IRON ROD SET WITH A CAP STAMPED "WIER & ASSOC INC" AT THE BEGINNING OF A CURVE TO THE LEFT;
- 2) SOUTHWESTERLY, AN ARC LENGTH OF 395.05 FEET ALONG SAID CURVE TO THE LEFT, HAVING A RADIUS OF 1045.00 FEET, A DELTA ANGLE OF 21°39'37", AND A CHORD BEARING OF S 70°55'35" W, 392.71 FEET TO A 1/2" IRON ROD SET WITH A CAP STAMPED "WIER & ASSOC INC";
- 3) S 60°05'47" W, A DISTANCE OF 168.23 FEET TO A 1/2" IRON ROD SET WITH A CAP STAMPED "WIER & ASSOC INC";

THENCE N 30°57'03" W, DEPARTING THE NORTH RIGHT-OF-WAY LINE OF SAID KLEIN TOOLS BOULEVARD, AT 701.66 FEET PASSING A 1/2" IRON ROD SET WITH A CAP STAMPED "WIER & ASSOC INC", AND CONTINUING IN ALL A TOTAL DISTANCE OF 2531.10 FEET TO A 1/2" IRON ROD SET WITH A CAP STAMPED "WIER & ASSOC INC" IN THE SOUTHEAST RIGHT-OF-WAY LINE OF SAID EASY DRIVE;

THENCE N 59°33'22" E, ALONG THE SOUTHEAST RIGHT-OF-WAY LINE OF SAID EASY DRIVE, A DISTANCE OF 634.44 FEET TO A 1/2" IRON ROD SET WITH A CAP STAMPED "WIER & ASSOC INC";

THENCE N 58°53'00" E, CONTINUING ALONG THE SOUTHEAST RIGHT-OF-WAY LINE OF SAID EASY DRIVE, A DISTANCE OF 483.76 FEET TO THE PLACE OF BEGINNING AND CONTAINING 65.705 ACRES (2,862,126 SQUARE FEET) OF LAND, MORE OR LESS.

**PRELIMINARY**  
**FOR REVIEW PURPOSES ONLY**  
THIS DOCUMENT SHALL NOT BE RECORDED FOR ANY PURPOSE AND SHALL NOT BE USED OR VIEWED OR RELIED UPON AS A FINAL SURVEY DOCUMENT.

AFTER RECORDING, RETURN TO CITY OF MANSFIELD  
1200 EAST BROAD STREET, MANSFIELD, TX. 76063

NOW THEREFORE KNOW ALL MEN BY THESE PRESENTS:

THAT, KLEIN TOOLS, INC. AND ZAH GROUP, INC., BEING THE SOLE OWNERS OF THE ABOVE DESCRIBED PARCEL, ACTING BY AND THROUGH THE UNDERSIGNED, THEIR DULY AUTHORIZED AGENTS, DO HEREBY ADOPT THE HEREIN ABOVE DESCRIBED PROPERTY AS LOT 1R-2, BLOCK 1, KLEIN TOOLS ADDITION, AN ADDITION TO THE CITY OF MANSFIELD, JOHNSON COUNTY, TEXAS AND DO DEDICATE TO THE PUBLIC USE THE STREETS AND EASEMENTS AS SHOWN THEREON.

WITNESS MY HAND AT \_\_\_\_\_, TEXAS THIS THE \_\_\_\_ DAY OF \_\_\_\_\_, 2021.

FOR: KLEIN TOOLS, INC.  
A TEXAS CORPORATION

BY: \_\_\_\_\_

Printed Name: \_\_\_\_\_

Title: \_\_\_\_\_

STATE OF TEXAS  
COUNTY OF \_\_\_\_\_

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED \_\_\_\_\_ REPRESENTATIVE FOR KLEIN TOOLS, INC., KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT AND ACKNOWLEDGED TO ME THAT HE/SHE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATION THEREIN EXPRESSED, AND IN THE CAPACITY THEREIN STATED.

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THE \_\_\_\_ DAY OF \_\_\_\_\_, 2021.

NOTARY PUBLIC OF THE STATE OF TEXAS

COMMISSION EXPIRES: \_\_\_\_\_

WITNESS MY HAND AT \_\_\_\_\_, TEXAS THIS THE \_\_\_\_ DAY OF \_\_\_\_\_, 2021.

FOR: ZAH GROUP, INC.  
A DELAWARE CORPORATION

BY: \_\_\_\_\_

Printed Name: \_\_\_\_\_

Title: \_\_\_\_\_

STATE OF TEXAS  
COUNTY OF \_\_\_\_\_

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED \_\_\_\_\_ REPRESENTATIVE FOR ZAH GROUP, INC., KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT AND ACKNOWLEDGED TO ME THAT HE/SHE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATION THEREIN EXPRESSED, AND IN THE CAPACITY THEREIN STATED.

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THE \_\_\_\_ DAY OF \_\_\_\_\_, 2021.

NOTARY PUBLIC OF THE STATE OF TEXAS

COMMISSION EXPIRES: \_\_\_\_\_

SURVEYOR'S STATEMENT

THIS IS TO CERTIFY THAT I, AARON L. STRINGFELLOW, A REGISTERED PROFESSIONAL LAND SURVEYOR OF THE STATE OF TEXAS, HAVING PLATTED THE ABOVE SUBDIVISION FROM AN ACTUAL SURVEY ON THE GROUND, AND THAT ALL LOT CORNERS, AND ANGLE POINTS, AND POINTS OF CURVE SHALL BE PROPERLY MARKED ON THE GROUND, AND THAT THIS PLAT CORRECTLY REPRESENTS THAT SURVEY MADE BY ME OR UNDER MY DIRECTION AND SUPERVISION.

"THIS DOCUMENT IS RELEASED FOR THE PURPOSE OF REVIEW UNDER THE AUTHORITY OF AARON L. STRINGFELLOW, RPLS. NO. 8373 ON September 24, 2021. IT IS NOT TO BE USED FOR RECORDING, CONSTRUCTION, BIDDING, OR PERMIT PURPOSES. THIS DOCUMENT IS NOT TO BE RELIED UPON AS A COMPLETE SURVEY AND SHALL NOT BE RECORDED."

AARON L. STRINGFELLOW  
REGISTERED PROFESSIONAL LAND SURVEYOR  
STATE OF TEXAS NO. 6373  
AARONLS@WIERASSOCIATES.COM

PLAT FILED \_\_\_\_\_, 2021

INSTRUMENT# \_\_\_\_\_ - \_\_\_\_\_

DRAWER \_\_\_\_\_ SLIDE \_\_\_\_\_

BECKY IVEY, JOHNSON COUNTY CLERK

BY \_\_\_\_\_  
DEPUTY CLERK

REFER TO SHEET 1 OF 2  
FOR THE EXHIBIT  
PORTION OF THIS PLAT

OWNER / DEVELOPER

KLEIN TOOLS, INC.  
1250 W. HERITAGE PKWY  
MANSFIELD, TX 76063  
CONTACT: MATT MARINOVIC  
PH: (817) 477-8450  
MMARINOVIC@KLEINTOOLS.COM

ENGINEER:

WIER AND ASSOCIATES, Inc.  
2201 E. LAMAR BLVD, STE. 200E  
ARLINGTON, TEXAS 76016  
CONTACT: RANDY EARDLEY  
PH: (817) 467-7700  
FAX: (817) 467-7713

CITY OF MANSFIELD  
CONDITIONS OF ACCEPTANCE OF DRAINAGE AND FLOODWAY EASEMENTS

THIS PLAT IS PROPOSED BY THE OWNERS OF PROPERTIES DESCRIBED HEREIN (HEREIN AFTER REFERRED TO AS "PROPERTY OWNERS") AND IS APPROVED BY THE CITY OF MANSFIELD SUBJECT TO THE FOLLOWING CONDITIONS WHICH SHALL BE BINDING UPON THE PROPERTY OWNERS, HIS HEIRS, GRANTEEES, SUCCESSORS AND ASSIGNS.

NO OBSTRUCTION TO THE FLOW OF STORMWATER RUN-OFF SHALL BE PERMITTED BY FILLING OR BY CONSTRUCTION OF ANY TYPE OF DAM, BUILDING, BRIDGE, FENCE, OR ANY OTHER STRUCTURE WITHIN THE DRAINAGE EASEMENT SHOWN HEREIN ON THIS PLAT, UNLESS APPROVED BY THE CITY OF MANSFIELD. PROVIDED, HOWEVER, IT IS UNDERSTOOD THAT IN THE EVENT IT BECOMES NECESSARY FOR THE CITY OF MANSFIELD TO ERECT DRAINAGE FACILITIES IN ORDER TO IMPROVE THE STORM DRAINAGE THAT MAY BE OCCASIONED BY THE STREETS AND ALLEYS IN OR ADJACENT TO THE SUBDIVISION, THEN IN SUCH EVENT, THE CITY OF MANSFIELD SHALL HAVE THE RIGHT TO ENTER SAID DRAINAGE EASEMENT AT ANY POINT OR POINTS TO ERECT, CONSTRUCT AND MAINTAIN ANY FACILITY DEEMED NECESSARY FOR DRAINAGE PURPOSES.

THE PROPERTY OWNERS WILL BE RESPONSIBLE FOR MAINTAINING SAID DRAINAGE EASEMENT. THE PROPERTY OWNERS SHALL KEEP SAID DRAINAGE EASEMENT CLEAN AND FREE OF DEBRIS, SILT, HIGH WEEDS, AND ANY SUBSTANCE WHICH WOULD RESULT IN UNSANITARY OR UNDESIRABLE CONDITIONS. THE CITY OF MANSFIELD SHALL HAVE THE RIGHT OF INGRESS AND EGRESS FOR THE PURPOSE OF INSPECTING AND SUPERVISING MAINTENANCE WORK DONE BY THE PROPERTY OWNERS. IF AT ANY TIME THE PROPERTY OWNERS FAIL TO SATISFY ANY OF THEIR AFOREMENTIONED RESPONSIBILITIES OR OBLIGATIONS, THE CITY OF MANSFIELD, UPON TEN (10) DAYS PRIOR NOTICE TO THE OWNERS, MAY ENTER SAID DRAINAGE EASEMENT AT ANY POINT OR POINTS TO PERFORM MAINTENANCE OR CLEAN-UP, AND BILL THE PROPERTY OWNERS THE COST INCURRED, OR PLACE A LIEN ON SAID PROPERTIES IF THE BILL IS NOT PAID WITHIN THIRTY(30) DAYS OF ITS MAILING.

SAID DRAINAGE EASEMENT, AS IN THE CASE OF ALL DRAINAGE EASEMENTS, IS SUBJECT TO STORMWATER OVERFLOW AND EROSION TO AN EXTENT WHICH CANNOT BE SPECIFICALLY DEFINED. THE CITY OF MANSFIELD SHALL NOT BE HELD LIABLE FOR ANY DAMAGES RESULTING FROM THE OCCURRENCE OF THESE NATURAL PHENOMENA OR THE FAILURE OF ANY FACILITIES WITHIN SAID DRAINAGE EASEMENT. FURTHER, THE CITY OF MANSFIELD WILL NOT BE RESPONSIBLE FOR EROSION CONTROL OR ANY DAMAGE TO PRIVATE PROPERTIES OR PERSONS RESULTING FROM THE FLOW OF WATER WITHIN SAID DRAINAGE EASEMENT AND PROPERTIES.

**\*NOTES\***

1. ACCORDING TO SURVEYOR'S INTERPRETATION OF INFORMATION SHOWN ON THE NATIONAL FLOOD INSURANCE PROGRAM (NFIP) "FLOOD INSURANCE RATE MAP" (FIRM), MAP No. 48251C0100J, MAP REVISED DECEMBER 4, 2012, ALL OF THE SUBJECT TRACT LIES WITHIN ZONE "X". "AREAS DETERMINED TO BE OUTSIDE THE 2.0% ANNUAL CHANCE FLOODPLAIN" AS DEFINED BY THE U.S. DEPARTMENT OF HOUSING AND URBAN DEVELOPMENT, FEDERAL INSURANCE ADMINISTRATION, OR THE FEDERAL EMERGENCY MANAGEMENT AGENCY.

2. THE ABOVE REFERENCED "FIRM" MAP IS FOR USE IN ADMINISTERING THE "NFIP". IT DOES NOT NECESSARILY SHOW ALL AREAS POTENTIALLY SUBJECT TO FLOODING, PARTICULARLY AREAS WHICH COULD BE FLOODED BY SEVERE, CONCENTRATED RAINFALL COUPLED WITH INADEQUATE LOCAL DRAINAGE SYSTEMS. THERE MAY BE OTHER STREAMS, CREEKS, LOW AREAS, DRAINAGE SYSTEMS OR OTHER SURFACE OR SUBSURFACE CONDITIONS EXISTING ON OR NEAR THE SUBJECT PROPERTY WHICH ARE NOT STUDIED OR ADDRESSED AS PART OF THE "NFIP".

APPROVED BY THE CITY OF MANSFIELD

APPROVED BY: \_\_\_\_\_ 2021 \_\_\_\_\_

P & Z COMMISSION CHAIRMAN

ATTEST: \_\_\_\_\_ 2021 \_\_\_\_\_

PLANNING & ZONING SECRETARY

**REPLAT**  
**LOT 1R-2, BLOCK 1**  
**KLEIN TOOLS ADDITION**

BEING A REVISION OF LOT 1R-1, BLOCK 1, KLEIN TOOLS ADDITION, ACCORDING TO THE PLAT FILED IN VOLUME 11, PAGE 715, DRAWER J, P.R.J.C.T., CITY OF MANSFIELD, JOHNSON COUNTY, TEXAS, AND A 1.180 ACRE TRACT OF LAND OUT OF THE THE ELIZABETH MCANIER SURVEY, ABSTRACT No. 571, AND THE JOSEPH C. GUEST, ABSTRACT No. 311 CITY OF MANSFIELD, JOHNSON COUNTY, TEXAS.

1 LOT TOTAL  
65.705 ACRES GROSS  
DATE OF PREPARATION: 9/2021

PREPARED BY:  
**WIA WIER & ASSOCIATES, INC.**  
ENGINEERS SURVEYORS LAND PLANNERS  
2201 E. LAMAR BLVD., SUITE 200E ARLINGTON, TEXAS 76006 METRO (817) 467-7700  
Texas Firm Registration No. F-2776 www.WierAssociates.com  
Texas Board of Professional Land Surveying Registration No. 1003390

SD#21-047

SHEET 2 OF 2

DATE: 9/24/2021  
W.A. No. 18089.01



# CITY OF MANSFIELD

1200 E. Broad St.  
Mansfield, TX 76063  
mansfieldtexas.gov

## STAFF REPORT

File Number: 21-4334

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**Agenda Date:** 10/4/2021

**Version:** 1

**Status:** Public Hearing

**In Control:** Planning and Zoning Commission

**File Type:** Plat

**Agenda Number:**

**Title**

SD#21-039: Replat to create Lot 1R, Block 1, Steadfast Heritage Addition being 1.537 acres located at 1700 Commerce Drive; JPH Land Surveying Inc., surveyor, Vaquero Heritage Parkway Partners LP, developer and Steadfast Heritage LLC, owner

**Description/History**

The purpose of this plat is to revise Note 5 to clarify that the maintenance responsibility for the access easement is on Lot 2 and not Lot 1R. Lot 1R has access on Commerce Drive and will not use or connect to the access easement on Lot 2. The revision conforms to an existing property owners' agreement to that effect recorded at Tarrant County.

Although there are no signatures on copy of the plat in the Commission's packet, the filing copy has been signed. The plat meets the requirements of the Subdivision Control Ordinance.

**Recommendation**

Staff recommends approval.

**Attachments**

Replat

**MONUMENTS / DATUMS / BEARING BASIS**

Monuments are found if not marked MNS or CRS.  
1/2" rebar stamped "JPH Land Surveying" set  
Vertex or common point (not a monument)  
Coordinate values, if shown, are US.SYFT/TXCS/83,NCZ  
Bearings are based on grid north (TXCS/83,NCZ)

**LEGEND OF ABBREVIATIONS**

US.SyFt. United States Survey Feet  
TXCS/83,NCZ Texas Coordinate System of 1983, North Central Zone  
P.R.T.C.T. Plat Records of Tarrant County, Texas  
O.P.R.T.C.T. Official Public Records of Tarrant County, Texas  
D.R.T.C.T. Deed Records of Tarrant County, Texas  
VOL/PG/INST# Volume/Page/Instrument Number  
POB/POC Point of Beginning/Point of Commencing  
ESMT/BL Easement/Building Line  
R.O.W. Right of Way

**SURVEYOR'S CERTIFICATE**

This is to certify that I, Jewel Chadd, a Registered Professional Land Surveyor of the State of Texas, having plotted the above subdivision from an actual survey on the ground, and that all lot corners, and angle points, and points of curve shall be properly marked on the ground, and that this plat correctly represents that survey made by me or under my direction and supervision.

**PRELIMINARY: THIS DOCUMENT SHALL NOT BE RECORDED FOR ANY PURPOSE AND SHALL NOT BE USED OR VIEWED OR RELIED UPON AS A FINAL SURVEY DOCUMENT.**

Jewel Chadd  
Registered Professional  
Land Surveyor No. 5754  
jewel@jphls.com  
Date: TBD

STATE OF TEXAS §  
COUNTY OF TARRANT §

BEFORE ME, the undersigned, a Notary Public in and for the State of Texas, on this day personally appeared Jewel Chadd, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledge to me that he executed the same for the purposes and considerations therein expressed.

WITNESS MY HAND, this the \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_.

Notary Public in and for the state of Texas

**GENERAL NOTES:**

- 1. The purpose of this replat is to revise note number 5 shown on the final plat of Steadfast Heritage Addition, recorded under Inst.# D217282441, O.P.R.T.C.T. Note Number 5 reads as follows: The Common Access easement is for the use of Lots 1, 2, 3. No improvements shall be made that impede ingress or egress along this easement. The revised note (per this replat) reads as follows: The common Access easement is for the use of Lots 2 and 3. No improvements shall be made that impede ingress or egress along this easement, notwithstanding anything to the contrary contained in Steadfast Heritage Addition (original plat), Lot 1R will not be benefited nor will it be burdened by Common Access shown on Steadfast Heritage Addition (original plat).
- 2. Bearings and coordinates shown hereon for the plat are created from our actual field survey, related to the Texas Coordinate System of 1983, North Central Zone (4202), grid values.
- 3. NOTICE: Selling a portion of any lot in this addition by metes and bounds is a violation of state law and City ordinance and is subject to penalties imposed by law.
- 4. This replat was performed with the benefit of a title commitment provided by Fidelity National Title Insurance Company, GF# FT-44122-9001222100066-LE, Commitment # 9001222100066, effective January 6, 2021, and issued January 19, 2021.

- 5. The common Access easement is for the use of Lots 2 and 3. No improvements shall be made that impede ingress or egress along this easement, notwithstanding anything to the contrary contained in Steadfast Heritage Addition (original plat), Lot 1R will not be benefited nor will it be burdened by Common Access shown on Steadfast Heritage Addition (original plat).
- 6. The Common Access Easement shall be maintained by the property owners.
- 7. This property lies within ZONE(S) X of the Flood Insurance Rate Map for Tarrant County, Texas and Incorporated Areas, map no. 48439C0490K, dated 2009/09/25, via scaled map location and graphic plotting and/or the National Flood Hazard Layer (NFHL) Web Map Service (WMS) at http://hazards.fema.gov.
- 8. The fieldwork was completed on May 10, 2021.



JPH Job/Drawing No. (see below)  
2021.022.029 Commerce Dr., Mansfield, Tarrant Co., Tx - Final Plat.dwg  
© 2021 JPH Land Surveying, Inc. - All Rights Reserved  
785 Lonesome Dove Trail, Hurst, Texas 76054  
Telephone (817) 431-4971 www.jphlandsurveying.com  
TBPELS Firm #10019500 #10194073 #10193867  
DFW-Houston | Central Texas | West Texas

AFTER RECORDING, RETURN TO THE CITY OF MANSFIELD  
1200 E BROAD STREET, MANSFIELD, TX 76063

**SURVEYOR:**

JPH Land Surveying, Inc.  
Jewel Chadd, R.P.L.S.  
785 Lonesome Dove Trail  
Hurst, Texas 76054  
Office/Fax (817) 431-4971  
jewel@jphls.com

**DEVELOPER:**

Vaquero Heritage Parkway Partners, LP  
2900 Wingate Street, Suite 200  
Fort Worth, TX 76107  
Telephone (512) 983-1793  
kagnor@vaqueroventures.com

**OWNER:**

Steadfast Heritage, LLC  
a Texas limited liability company  
Brian M. Wertz, President  
2525 Knight Street Suite 300  
Dallas, TX 75219  
Telephone (214) 775-0023  
Brian@arrowcapital.com

APPROVED BY THE CITY OF MANSFIELD

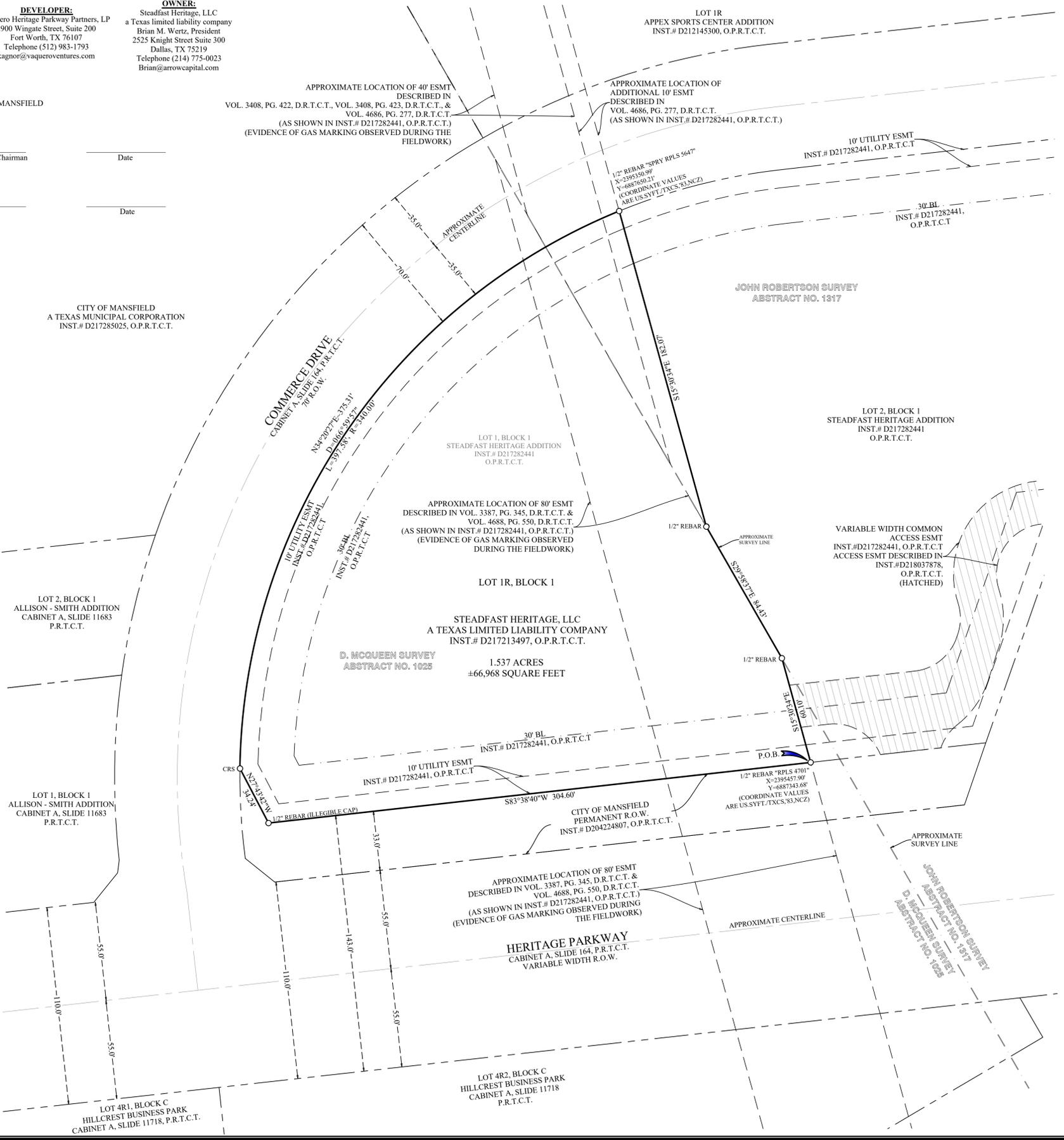
APPROVED BY:

Planning & Zoning Commission Chairman \_\_\_\_\_ Date \_\_\_\_\_

ATTEST:

Planning & Zoning Secretary \_\_\_\_\_ Date \_\_\_\_\_

CITY OF MANSFIELD  
A TEXAS MUNICIPAL CORPORATION  
INST.# D217285025, O.P.R.T.C.T.



**OWNER'S CERTIFICATE & DEDICATION**

STATE OF TEXAS §  
COUNTY OF TARRANT §

WHEREAS, Steadfast Heritage, LLC, a Texas limited liability company, acting by and through the undersigned, its duly authorized agent, is the sole owner of Lot 1, Block 1, Steadfast Heritage Addition, an addition in the City of Mansfield, Tarrant County, Texas, according to the plat thereof recorded under Instrument Number D217282441, Official Public Records, Tarrant County, Texas (O.P.R.T.C.T.), said Lot 1 is a portion of the tract described in the deed to said Steadfast Heritage, LLC, a Texas limited liability company, recorded under Instrument Number D217213497, O.P.R.T.C.T.; the subject tract is more particularly described as follows:

**Beginning** at a 1/2 inch capped rebar stamped "RPLS 4701" found at the southeast corner of Lot 1, Block 1, Steadfast Heritage Addition, recorded under Instrument Number D217282441, Official Public Records, Tarrant County, Texas;

**THENCE** with the perimeter and to the corners of Lot 1, the following calls:

- 1. SOUTH 83°38'40" WEST, a distance of 304.60 feet to a found 1/2 inch capped rebar (illegible cap);
- 2. NORTH 27°43'42" WEST, a distance of 34.24 feet to a 1/2 inch capped rebar stamped "JPH Land Surveying" set at the beginning of a non-tangent curve to the right (concave southeast) having a radius of 340.00 feet;
- 3. In a northeasterly direction, along the arc of the said non-tangent curve, an arc length of 397.58 feet (a chord bearing of NORTH 34°20'27" EAST, a chord distance of 375.31 feet) to a 1/2 inch capped rebar stamped "SPRY RPLS 5647" found on the curve;
- 4. SOUTH 15°30'34" EAST, a distance of 182.07 feet to a found 1/2 inch rebar;
- 5. SOUTH 29°58'37" EAST, a distance of 84.43 feet to a found 1/2 inch rebar;
- 6. SOUTH 15°30'34" EAST, a distance of 60.10 feet returning to the POINT OF BEGINNING and enclosing 1.537 acres (±66,968 Square Feet).

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

That, Steadfast Heritage, LLC, being the sole owner of the above tract, acting by and through the undersigned, its president, does hereby adopt the herein above property as Lot 1R, Block 1, Steadfast Heritage Addition, an addition in the City of Mansfield, Tarrant County, Texas, and does dedicate to the public use the streets and easements as shown thereon.

WITNESS MY HAND, this the \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_.

By: Steadfast Heritage, LLC, a Texas limited liability company  
By: Steadfast Retail, LLC, a Texas limited liability company, Its Sole Manager

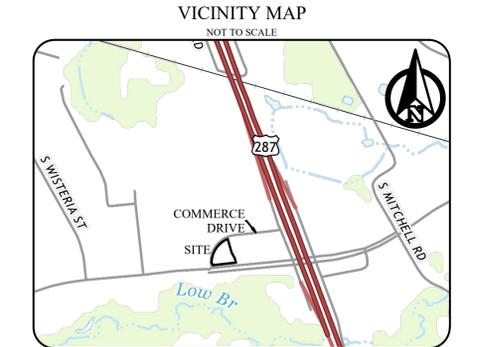
Brian M. Wertz, President

STATE OF \_\_\_\_\_ §  
COUNTY OF \_\_\_\_\_ §

BEFORE ME, the undersigned, a Notary Public in and for the State of \_\_\_\_\_ on this day personally appeared Brian M. Wertz, president, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledge to me that they executed the same for the purposes and considerations therein expressed.

WITNESS MY HAND, this the \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_.

Notary Public in and for the state of \_\_\_\_\_



**REPLAT**  
**LOT 1R, BLOCK 1**  
**STEADFAST HERITAGE ADDITION**  
BEING A REVISION OF LOT 1, BLOCK 1, STEADFAST HERITAGE ADDITION  
ACCORDING TO THE PLAT THEREOF RECORDED UNDER INST.# D217282441, O.P.R.T.C.T.  
CITY OF MANSFIELD, TARRANT COUNTY, TEXAS  
ONE (1) LOT, ONE (1) BLOCK  
1.537 ACRES

CASE NUMBER: SD#21-039  
This plat filed in Instrument No. \_\_\_\_\_ Date \_\_\_\_\_, 20\_\_.



# CITY OF MANSFIELD

1200 E. Broad St.  
Mansfield, TX 76063  
mansfieldtexas.gov

## STAFF REPORT

File Number: 21-4276

**Agenda Date:** 10/4/2021

**Version:** 2

**Status:** Public Hearing

**In Control:** Planning and Zoning Commission

**File Type:** Zoning Case

**Agenda Number:**

**Title**

SUP#20-006: Public hearing continuation for a request for a Specific Use Permit for a gasoline service station on approximately 1.483 acres known as Lot 1, Block 2, Newport Addition, located at 2919 N. Main St.; Cody Brooks of Bannister Engineering, LLC (engineer), Jack Romigh of Knight Group Architects (architect), and Mark Feuling of Turnkey Construction and Development Group (developer) on behalf of Akram H. Chowdhury (owner)

**Description/History**

*Future Land Use designation:* Sub-Area 1

*Existing Use:* Vacant land

*Existing Zoning:* C-2 Community Business District

*Surrounding Land Use & Zoning:*

North - Vacant land, C-2

South - Turner Warnell Rd.; discount store, C-2 (across the street)

East - N. Main St. (Business U.S. 287); gas station, City of Arlington (across the street)

West - Gertie Barrett Rd.; church, PR (across the street)

*Thoroughfare Plan Specification:*

N. Main St. (Business U.S. 287) - major arterial (four-lane divided)

Turner Warnell Rd. - minor collector (three-lane undivided)

Gertie Barrett Rd. - minor collector (three-lane undivided)

**Continuation to October 4, 2021**

The Planning & Zoning Commission held a public hearing on September 7, 2021 and voted 6-0-1 (Goodwin absent) to table consideration until October 4, 2021 to allow the applicant more time to work with staff to revise the architectural elevations based on ongoing discussions they have had with staff. The applicant requests to table consideration until the next meeting on October 18, 2021, which staff fully supports.

**Comments and Considerations**

The subject property consists of 1.483 acres of vacant land, located on the north side of Turner Warnell Road, the west side of North Main Street (Business U.S. 287), and the east side of Gertie Barrett Road. The applicant is requesting a Specific Use Permit to develop a gasoline service station, which will also include an attached convenience store, office, and retail building.

### Site Plan

The site will be developed in two phases. Phase 1, situated on the eastern portion of the property, will include a two-story building with a 3,150 sq. ft. convenience store on the first floor and a 1,100 sq. ft. office on the second floor. A fuel pump canopy with 12 fueling stations will be attached to the building. The trash enclosure will be located on the north side of the building; the trash enclosure and all equipment will be screened in accordance with the City's Code of Ordinances. In addition, it is noted that there will be no outside storage of materials or vehicles on the property.

Phase 2, situated on the western portion of the site, will include a one-story building with 7,344 sq. ft. of retail space. This building will be connected to the convenience store/office building in Phase 1.

Including both phases, the site will include a total of 52 parking spaces, sidewalks along the perimeter of the building, and outdoor seating areas.

### Access and Circulation

On-site full access will be provided from Turner Warnell Road. Additional off-site full access points will be provided from Gertie Barrett Road and North Main Street (Business U.S. 287) through the property to the north. The off-site access to Gertie Barrett will temporarily use asphalt paving until such time that the property to the north develops. Two-way access will be provided on the west, south, and east sides of the building, with the east access point traveling under a covering that connects the building to the fuel pump canopy; 15' vertical clearance is provided. Due to site constraints, one-way access will be provided around the south and east sides of the fuel pump canopy.

The 52 total parking spaces to be provided meets the Zoning Ordinance requirements for the different mix of uses (1 space per 200 sq. ft. for service station uses, 1 space per 100 sq. ft. for eating places, 1 space per 300 sq. ft. for office uses, and 1 space per 250 sq. ft. for the first 3,000 sq. ft. of retail uses, and 1 space per 300 sq. ft. for the additional retail area beyond 3,000 sq. ft.). 26 parking spaces will be provided with Phase 1 to accommodate the mix of uses and the size of the spaces in that phase. 26 parking spaces will be provided in Phase 2 to accommodate the retail uses anticipated.

Sidewalks will be provided around the convenience store building to provide access to the building from the parking spaces, as well as access to the trash enclosure. Sidewalks are not proposed along the surrounding roadways.

### Floor Plans and Elevations

Floor plans, elevations, and perspectives have been provided for the proposed development. For Phase 1, the floor plans and interior perspectives show a convenience store with accessory kitchen and eating area and a small office on the second floor. The provided elevations and exterior perspectives show that the building will be predominantly brick with a stone base with water table, as well as areas of stucco along the upper portions of the building. Phase 1 will be 82.3% masonry and Phase 2 will be 80.7% masonry. The building will be accented by windows and metal awnings; the second-story office over the convenience store will also include some smaller windows. A parapet cap

and metal trim will accent the top portions of the building. The fuel pump canopy will be metal with brick & stone columns. A low stone wall to match the building will accent the patio area on the west side of the building and the trash enclosure will also be constructed of stone and will include metal gates.

#### Landscaping and Screening

Landscaping proposed for the site includes canopy trees in the required 20' landscape setback along Gertie Barrett Road, Turner Warnell Road, and North Main Street (Business US 287); the canopy trees along North Main and a portion of Turner Warnell will be placed in a detention/flood storage basin in front of a 1.5' - 2' tall retaining wall. Canopy trees will also be provided in the landscape buffer along the north property line. Trees will be provided in the parking lot islands and all parking areas and drive aisles will be screened from street frontages by dense evergreen shrubs. Foundation plantings will accent the west and east sides of the building, as well as the outdoor seating areas. Shrubs will accent the monument sign and screen the north side of the trash enclosure.

#### Signage

The plans specify that all signage will comply with the regulations applicable to C-2 zoning. A Sign Plan has been provided, showing the monument signage and wall signage planned for the development. A monument sign that adheres to the standard requirements will be provided at the entrance off Turner Warnell Road; the monument sign will also include an electronic message center sign that is less than 50% of the sign area. Wall signs will be provided on the front of each business, with the corner retail business to be allowed an additional wall sign on the side elevation facing Gertie Barrett Road as allowed by the City's signage regulations. The convenience store/office building will include signage on south, west, and east sides (with the sign on the west side to be removed when the Phase 2 retail building is developed), while the fuel pump canopy will include signage on all four sides.

#### Land Use Plan

In the City's Land Use Plan, this property is located in Sub-Area 1. Recommendations for this area note that any commercial development should be limited in size and scope, may have to make road improvements, and should be focused at the intersections of arterials/collectors. Furthermore, it recommends rehabilitating and revitalizing North Main Street as a primary entrance into the City. In the Commercial Land Use Goals & Strategies, one identified strategy is to ensure that standards related to the development of non-residential uses along major corridors are the highest possible so that a positive visual perception of Mansfield is projected to citizens and visitors.

#### **Recommendation**

The subject property is located in the C-2 Community Business District, which allows for a gasoline service station with a Specific Use Permit. Staff notes that the applicant worked cooperatively with staff to address the site planning, landscaping, and engineering-related items. The architecture, however, does not set a high standard for the rehabilitation and revitalization of a key entrance to the City in accordance with the Land Use Plan recommendations. In addition, the signage on the fuel pump canopy is excessive and staff is concerned about the lack of transparency with regard to the proposed tenants in Phase 1. The Zoning Ordinance specifies that a Specific Use Permit shall only be issued

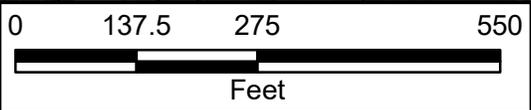
if all seven conditions have been met; staff does not believe that condition 1 is met. Condition 1 specifies “That the specific use permit will be compatible with and not injurious to the use and enjoyment of other property, nor significantly diminish or impair property values within the immediate vicinity.” Staff believes that a higher standard of architecture with this development would better ensure the improvement of property values at this key gateway to the City. Staff recommends denial as currently presented.

**Attachments**

- Maps and Supporting Information
- Exhibit A - Property Description
- Exhibit B - Site Plan
- Exhibit C - Floor Plans & Elevations
- Exhibit D - Landscape Plan
- Exhibit E - Sign Plan
- Letter of Opposition
- Request to Table to 10.4.21
- Request to Table to 10.18.21



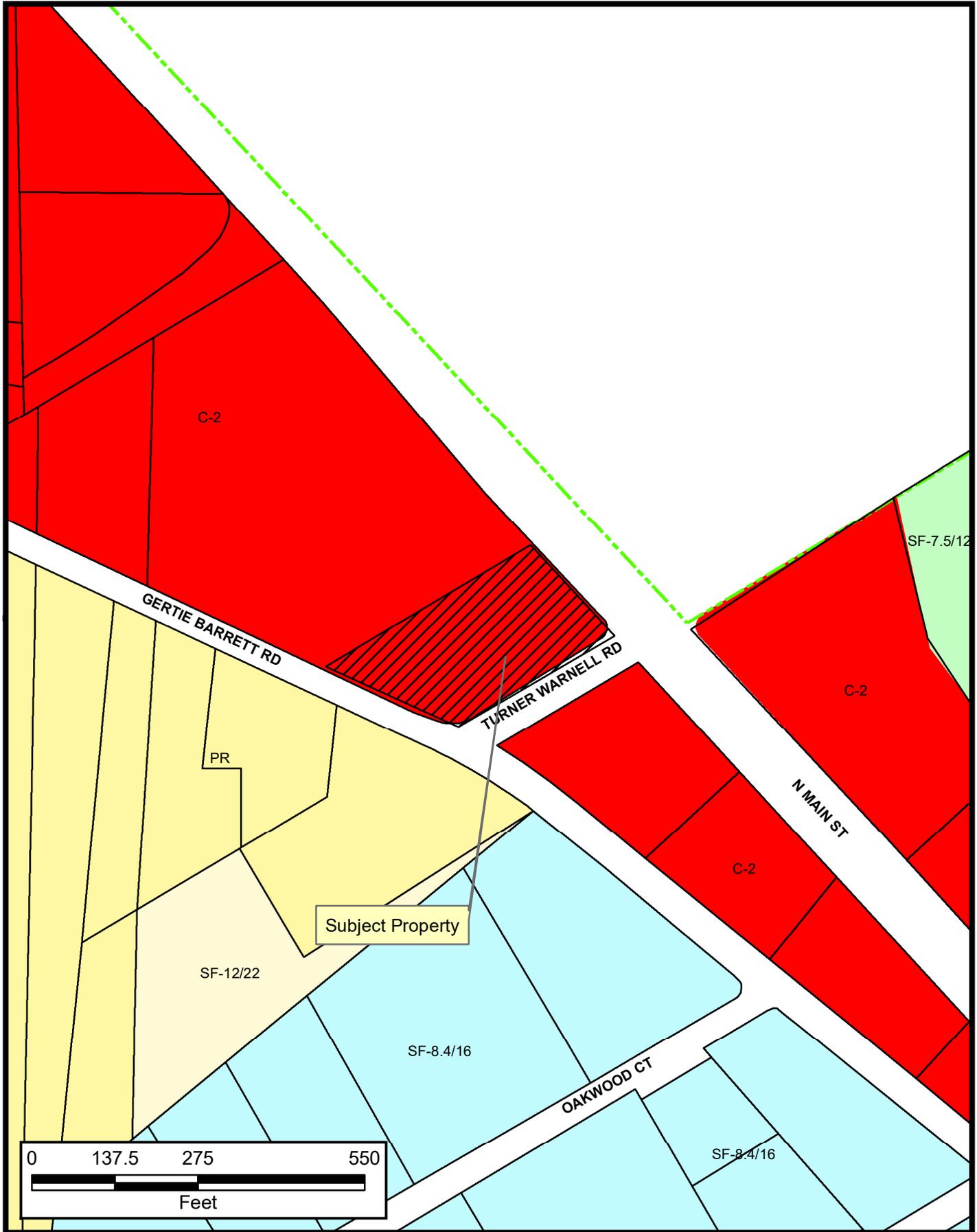
Subject Property



**SUP#20-006**

This information is for illustrative purposes only. Not for design or development purposes. Site-specific studies may be required to obtain accurate feature locations. Every effort is made to ensure the information displayed here is accurate; however, the City of Mansfield makes no claims to its accuracy or completeness.

8/25/2021



**SUP#20-006**

This information is for illustrative purposes only. Not for design or development purposes. Site-specific studies may be required to obtain accurate feature locations. Every effort is made to ensure the information displayed here is accurate; however, the City of Mansfield makes no claims to its accuracy or completeness.

8/25/2021

## Property Owner Notification for SUP#20-006

<b>LEGAL DESC 1</b>	<b>LEGAL DESC 2</b>	<b>OWNER NAME</b>	<b>OWNER ADDRESS</b>	<b>CITY</b>	<b>ZIP</b>
MABRA ACRES ADDITION	LOT 1	MILAN, OMAR M & MICHELLE DAWN	160 OAKWOOD CT	MANSFIELD, TX	76063
MEP & PRR CO SURVEY	A 1828	CHOWDURY, AKRAM H	3100 HAZELWOOD CT	BEDFORD, TX	76021
MEP & PRR CO SURVEY	A 1828	PREUSSER, WILLIAM & CAROL	3029 GERTIE BARRETT RD	MANSFIELD, TX	76063-8599
MEP & PRR CO SURVEY	A 1828	BISBEE BAPTIST CHURCH OF MANSFIELD	3001 GERTIE BARRETT RD	MANSFIELD, TX	76063-8599
MEP & PRR CO SURVEY	A 1828	BISBEE BAPTIST CHRUCH OF MANSFIELD	3001 GERTIE BARRETT RD	MANSFIELD, TX	76063-8599
MEP & PRR CO SURVEY	A 1828	CHOWDURY, AKRAM H	3100 HAZELWOOD CT	BEDFORD, TX	76021
MEP & PRR CO SURVEY	A 1828	BISBEE BAPTIST CHURCH OF MANSFIELD	3001 GERTIE BARRETT RD	MANSFIELD, TX	76063-8599
R & C BUSINESS CENTER ADDN	BLK 1	SUMMERS, CRAIG	171 BUSHNELL RD	BOZEMAN, MT	59718
ROLLING ACRES ADDITION-MANSFLD	BLK	B & B FAMILY LP	2925 E DIVISION ST	ARLINGTON, TX	76011-6710

LEGAL LAND DESCRIPTION:

**(PROPOSED LOT 1, BLOCK 2, NEWPORT ADDITION)**

BEING 1.578 acres (68,720 square feet) of land in the El Paso & Pacific Railroad Company Survey, Abstract Number 1828, City of Mansfield, Tarrant County, Texas; said 1.578 acres (68,720 square feet) of land being a portion of that certain tract of land described in Special Warranty Deed with Vendor's Lien to Akram H. Chowdury (hereinafter referred to as Chowdury tract), as recorded in Instrument Number D217282120, Official Public Records, Tarrant County, Texas (O.P.R.T.C.T.); said 1.578 acres (68,720 square feet) being more particularly described, by metes and bounds, as follows:

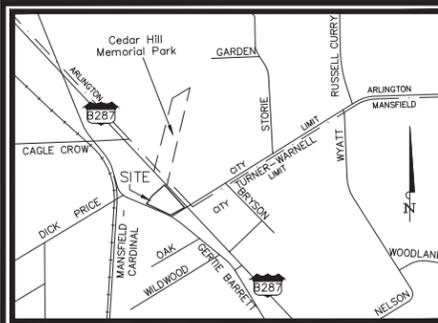
**BEGINNING** at a five-eighths inch iron rod with plastic cap stamped "RPLS 4838" found for the Easterly corner of said Chowdury tract, same being on the existing Southwesterly right-of-way line of U. S. Highway Number 287 (Business) (100' right-of-way), as recorded in Volume 1117, Page 505, Deed Records, tarrant County, Texas (D.R.T.C.T.);

**THENCE** South 59 degrees 45 minutes 28 seconds West with the common line between said Chowdury tract and the existing Northwesterly right-of-way line of Turner-Warnell Road, also known as County Road Number 2033 (variable width right-of-way, no record found), a distance of 298.61 feet to a five-eighths inch iron rod with plastic cap stamped "RPLS 4838" found for the Southerly corner of said Tally tract, same being the existing Northeasterly right-of-way line of said Gertie Barrett Road (variable width right-of-way, no record found);

**THENCE** North 65 degrees 23 minutes 40 seconds West, departing the existing Northwesterly right-of-way line of said Turner-Warnell Road, with the common line between said Chowdury tract and the Existing Northeasterly right-of-way line of said Gertie Barrett Road, a distance of 240.73 feet to a five-eighths inch iron rod with plastic cap stamped "RPLS 4838" found for corner, same being the Southerly corner of the remainder of that certain tract of land described in a Warranty Deed to Jim Tally (hereinafter referred to as Tally tract), as recorded in Instrument Number D215198846, O.P.R.T.C.T.;

**THENCE** North 59 degrees 21 minutes 06 seconds East, departing the existing Northeasterly right-of-way line of said Gertie Barrett Road, with the common line between said Chowdury tract and said Tally tract, pass ata distance of 153.82 feet, a five-eighths inch iron rod with plastic cap stamped "RPLS 4838" found for the Southerly corner of that certain tract of land described in a deed to WE-Cedar Hill Memorial Park, Inc. (hereinafter referred to as WE-Cedar Hill Memorial Park tract), as recorded in Instrument Number D218018144, O.P.R.T.C.T. and continue with said course and the common line between said Chowdury tract and said WE-Cedar Hill Memorial Park tract for a total distance of 393.50 feet to a five-eighths inch iron rod with plastic cap stamped "RPLS 4838" found for corner, same being the Northerly corner of said Chowdury tract, same being the Easterly corner of said Tally tract, same also being the existing Southwesterly right-of-way line of said U. S. Highway Number 287 (Business);

**THENCE** South 42 degrees 35 minutes 45 seconds East, with the common line between said Chowdury tract and the existing Southwesterly right-of-way line of said U. S. Highway Number 287 (Business), a distance of 204.34 feet to the **PLACE OF BEGINNING**, and containing a calculated area of 1.578 acres (68,720 square feet) of land, 0.100 acre (4,317 square feet) to be dedicated in a future right-of-way, leaving a net calculated are of 1.478 acres (64,403 square feet).

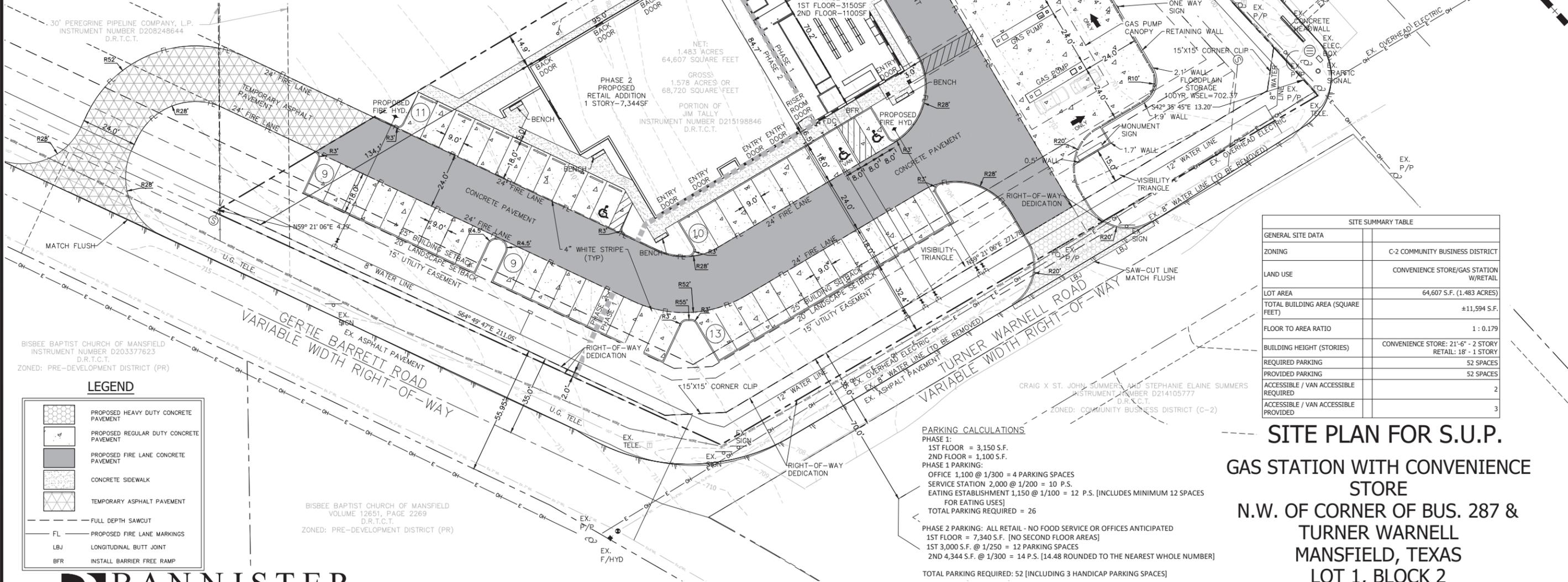
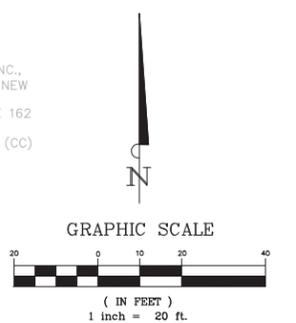


**VICINITY MAP**  
NOT TO SCALE  
**MANSFIELD, TEXAS**

- NOTES:**
1. ALL SIGNAGE WILL COMPLY WITH THE REGULATIONS FOR C-2 ZONED PROPERTY AS OUTLINED IN SECTION 7100 OF THE ZONING ORDINANCE.
  2. ALL EQUIPMENT SHALL BE DESIGNED AND SCREENED IN ACCORDANCE WITH THE REGULATIONS OUTLINED IN SECTION 7301.A OF THE ZONING ORDINANCE.
  3. THE TRASH ENCLOSURE WILL BE SCREENED IN ACCORDANCE WITH THE REGULATIONS OUTLINED IN SECTION 7301.B OF THE ZONING ORDINANCE.
  4. THERE WILL BE NO OUTSIDE STORAGE OF MATERIALS OR VEHICLES ON THE PROPERTY.
  5. ALL ROOFTOP EQUIPMENT WILL BE SCREENED BY BUILDING PARAPETS AT LEAST ONE FOOT TALLER THAN THE TALLEST PIECE OF EQUIPMENT.

MATCHLINE THIS SHEET

NOBLE BUSINESS, INC.,  
D/B/A J'S FOOD & NEW  
STORE #1  
VOLUME 13612, PAGE 162  
D.R.T.C.T.  
ZONED: COMMERCIAL (CC)



SITE SUMMARY TABLE	
GENERAL SITE DATA	
ZONING	C-2 COMMUNITY BUSINESS DISTRICT
LAND USE	CONVENIENCE STORE/GAS STATION W/RETAIL
LOT AREA	64,607 S.F. (1.483 ACRES)
TOTAL BUILDING AREA (SQUARE FEET)	±11,594 S.F.
FLOOR TO AREA RATIO	1 : 0.179
BUILDING HEIGHT (STORIES)	CONVENIENCE STORE: 21'-6" - 2 STORY RETAIL: 18' - 1 STORY
REQUIRED PARKING	52 SPACES
PROVIDED PARKING	52 SPACES
ACCESSIBLE / VAN ACCESSIBLE REQUIRED	2
ACCESSIBLE / VAN ACCESSIBLE PROVIDED	3

**SITE PLAN FOR S.U.P.**  
**GAS STATION WITH CONVENIENCE STORE**  
N.W. OF CORNER OF BUS. 287 &  
TURNER WARNELL  
MANSFIELD, TEXAS  
LOT 1, BLOCK 2  
NEWPORT ADDITION  
1.483 ACRES

**PARKING CALCULATIONS**  
PHASE 1:  
1ST FLOOR = 3,150 S.F.  
2ND FLOOR = 1,100 S.F.  
PHASE 1 PARKING:  
OFFICE 1,100 @ 1/300 = 4 PARKING SPACES  
SERVICE STATION 2,000 @ 1/200 = 10 P.S.  
EATING ESTABLISHMENT 1,150 @ 1/100 = 12 P.S. [INCLUDES MINIMUM 12 SPACES FOR EATING USES]  
TOTAL PARKING REQUIRED = 26  
PHASE 2 PARKING: ALL RETAIL - NO FOOD SERVICE OR OFFICES ANTICIPATED  
1ST FLOOR = 7,340 S.F. [NO SECOND FLOOR AREAS]  
1ST 3,000 S.F. @ 1/250 = 12 PARKING SPACES  
2ND 4,344 S.F. @ 1/300 = 14 P.S. [14.48 ROUNDED TO THE NEAREST WHOLE NUMBER]  
TOTAL PARKING REQUIRED: 52 [INCLUDING 3 HANDICAP PARKING SPACES]

**LEGEND**

	PROPOSED HEAVY DUTY CONCRETE PAVEMENT
	PROPOSED REGULAR DUTY CONCRETE PAVEMENT
	PROPOSED FIRE LANE CONCRETE PAVEMENT
	CONCRETE SIDEWALK
	TEMPORARY ASPHALT PAVEMENT
	FULL DEPTH SAWCUT
	PROPOSED FIRE LANE MARKINGS
	LONGITUDINAL BUTT JOINT
	INSTALL BARRIER FREE RAMP

BISBEE BAPTIST CHURCH OF MANSFIELD  
VOLUME 12651, PAGE 2269  
D.R.T.C.T.  
ZONED: PRE-DEVELOPMENT DISTRICT (PR)

CRAIG X ST. JOHN SUMMERS AND STEPHANIE ELAINE SUMMERS  
INSTRUMENT NUMBER D214105777  
D.R.T.C.T.  
ZONED: COMMUNITY BUSINESS DISTRICT (C-2)

**BANNISTER ENGINEERING**  
240 North Mitchell Road | Mansfield, TX 76063 | 817.842.2094 | 817.842.2095 fax  
REGISTRATION # F-10599 (TEXAS)

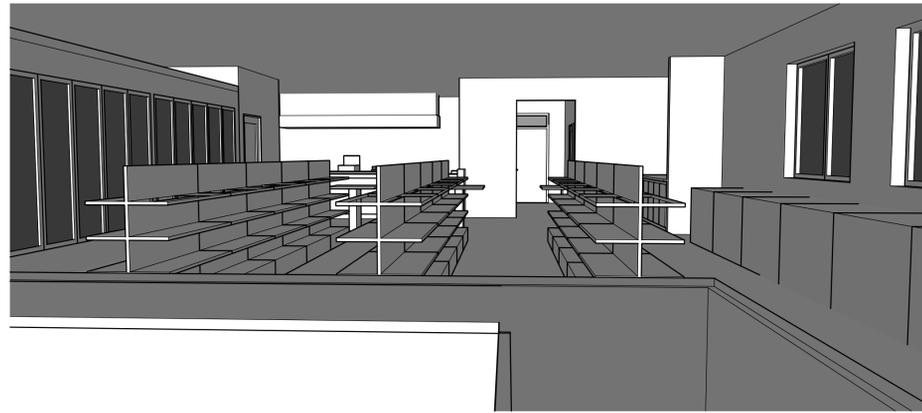
CONTACT: CODY R. BROOKS, P.E.

**ENGINEER/SURVEYOR:**  
BANNISTER ENGINEERING, LLC  
240 NORTH MITCHELL ROAD  
MANSFIELD, TEXAS 76063  
CONTACT: CODY R. BROOKS, P.E.  
PHONE: 817-842-2094  
cody@bannistereng.com

**OWNER:**  
AKRAM H. CHOWDHURY  
3100 HAZELWOOD COURT  
BEDFORD, TEXAS 76021  
PHONE: 817-779-0757  
EMAIL: achow001@gmail.com

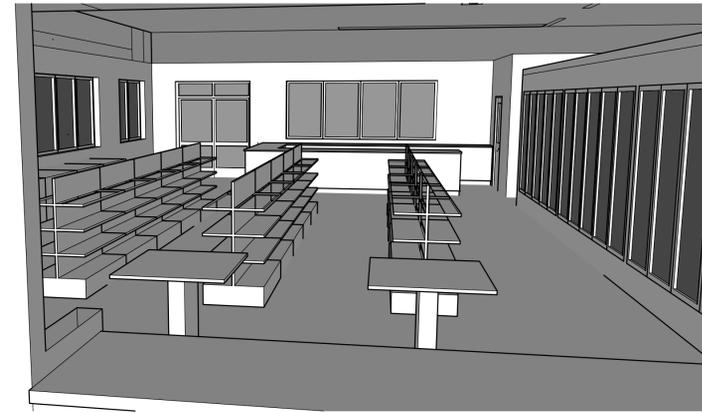
Date Prepared: 06-29-2021

SUP#20-006  
EXHIBIT B



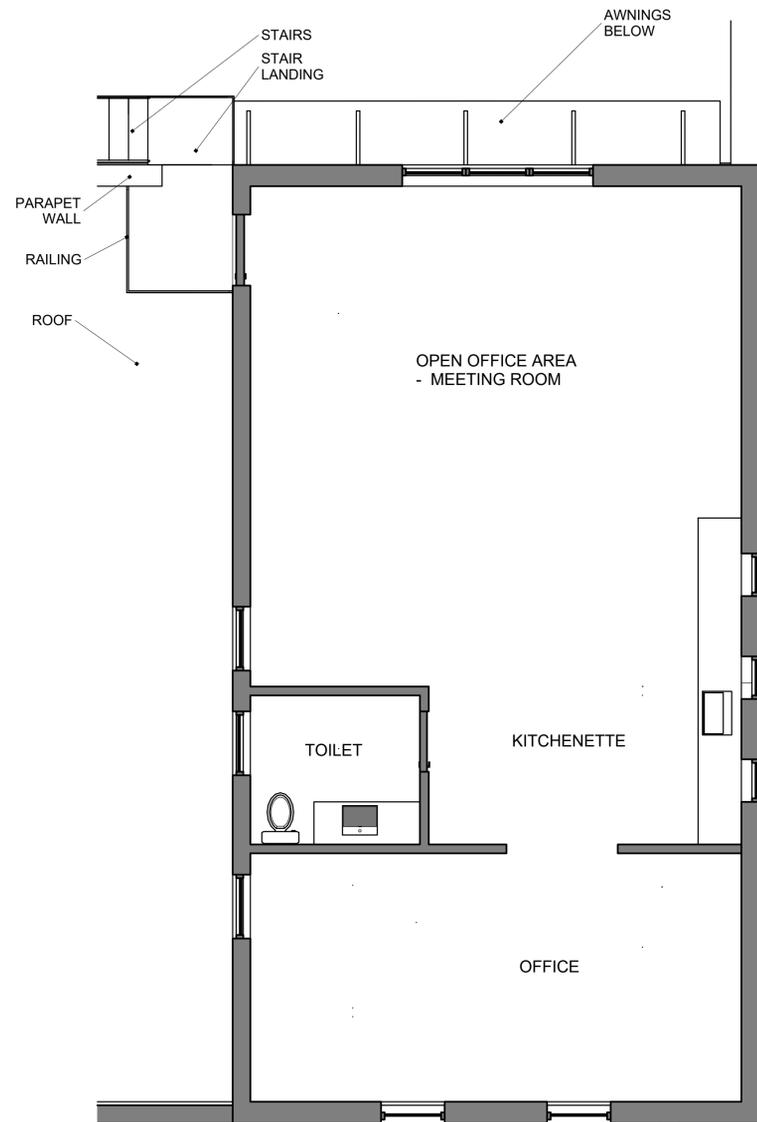
INTERIOR PERSPECTIVE VIEW; FROM CHECK-OUT COUNTER

SCALE: NO SCALE



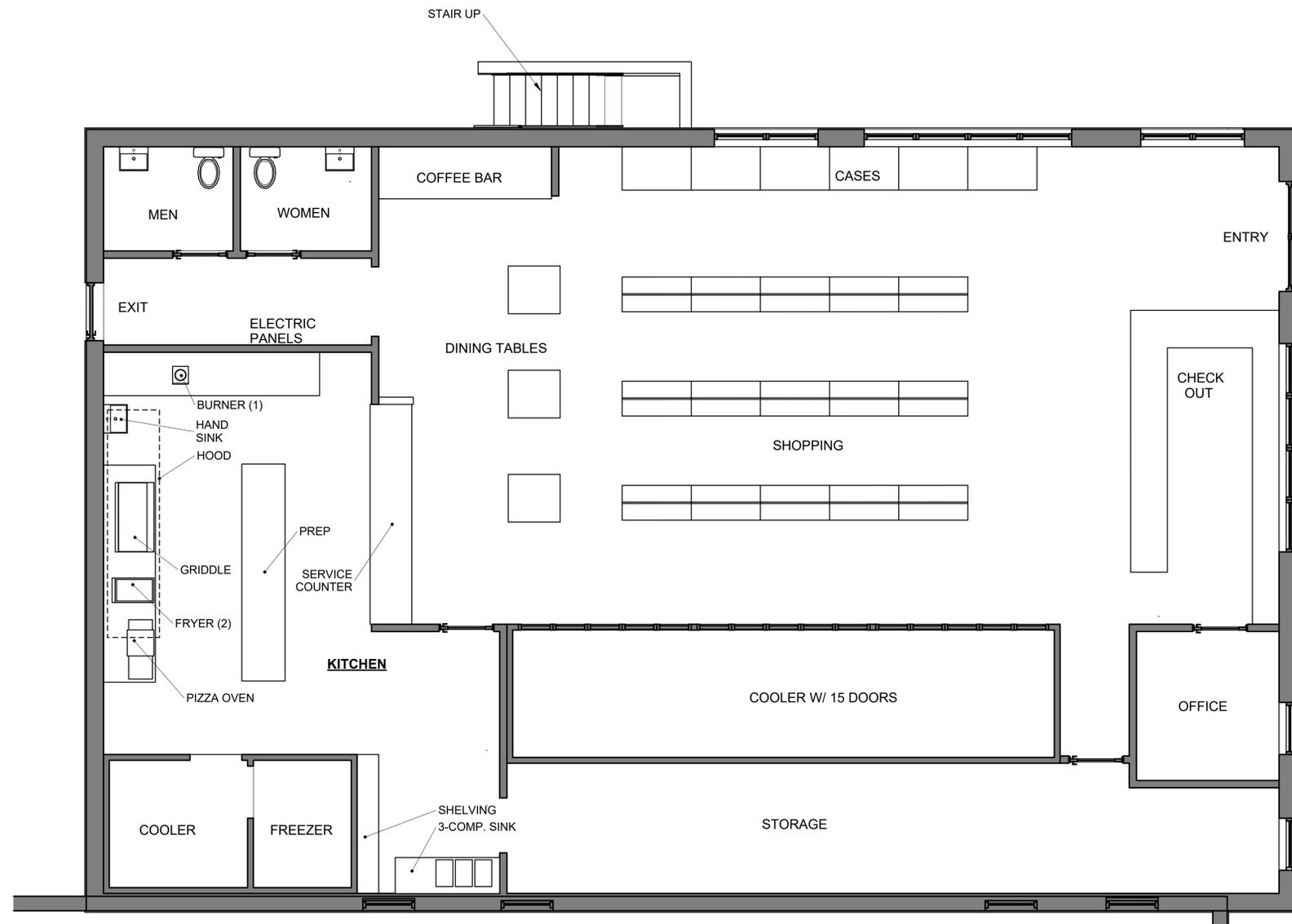
INTERIOR PERSPECTIVE VIEW; FROM KITCHEN COUNTER

SCALE: NO SCALE



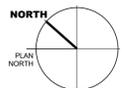
SECOND FLOOR PLAN

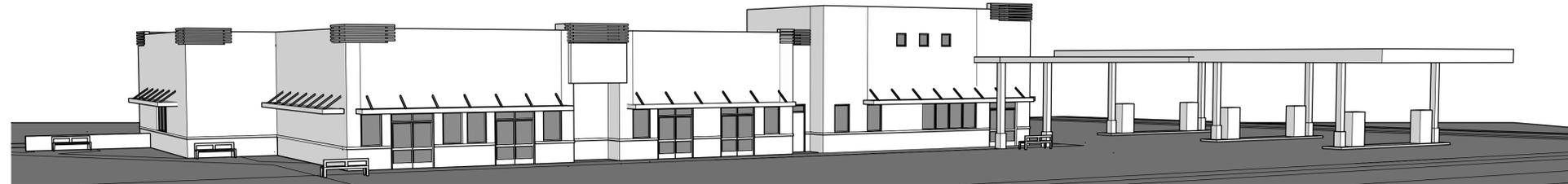
SCALE: 1/4" = 1'-0"



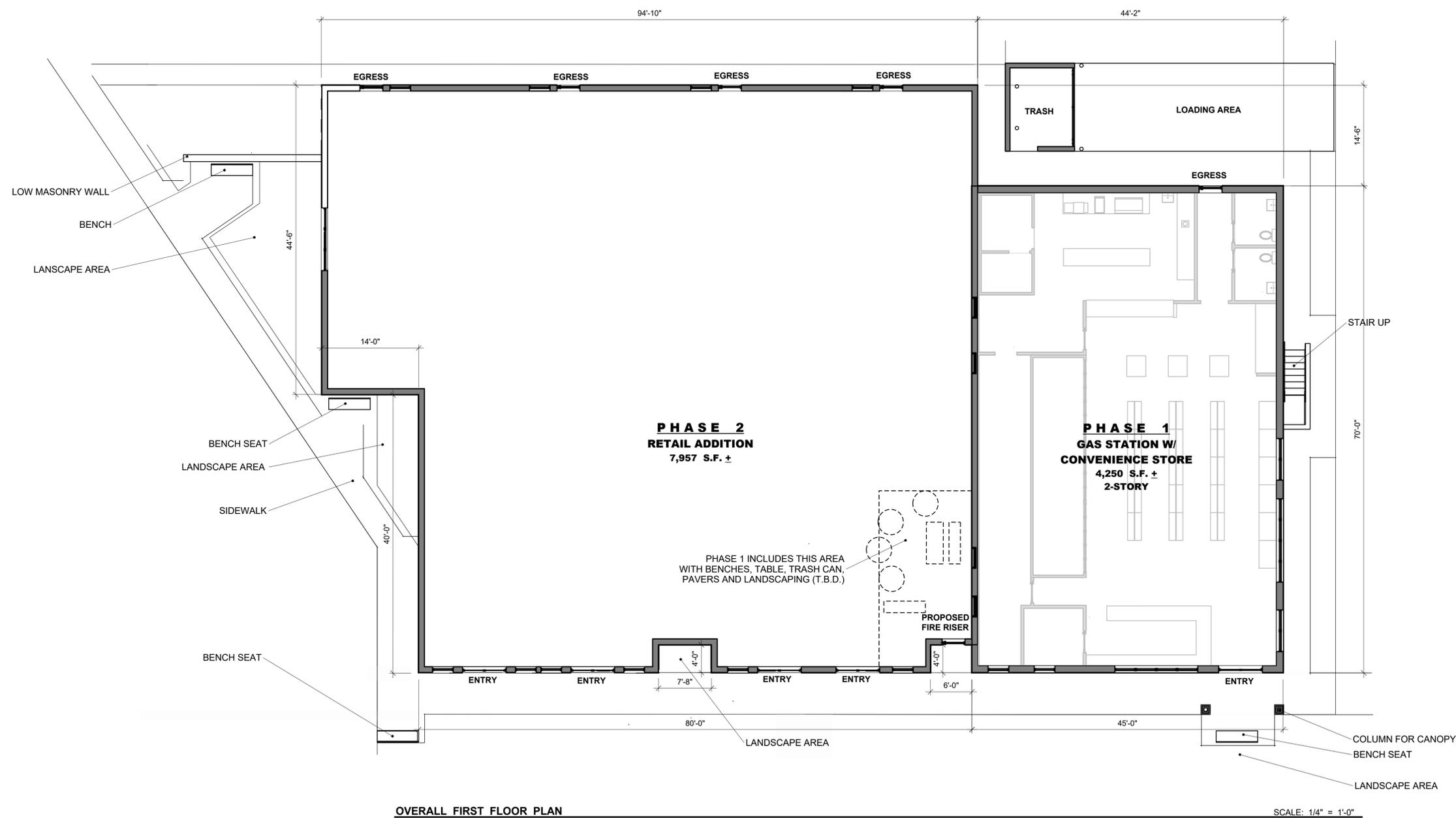
FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"



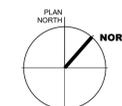


PERSPECTIVE VIEW FROM TURNER WARNELL ROAD



OVERALL FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"



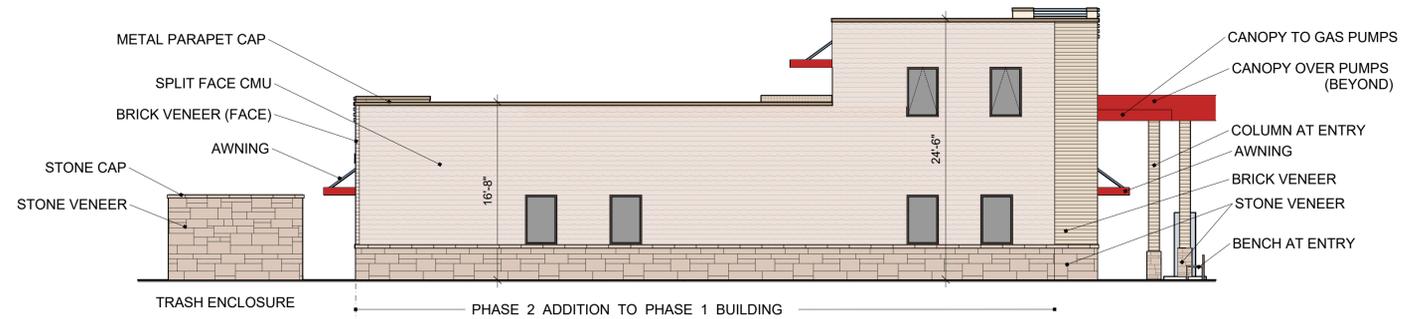
MASONRY CALCULATIONS	MATERIALS	AREAS PHASE 1	AREAS PHASE 2: TOTAL BUILDING
	TOTAL WALL *	4,330.2 SQUARE FEET	8,255.7 SQUARE FEET
	BRICK & STONE	3,563.9 SQUARE FEET	6,661.6 SQUARE FEET
	STUCCO	766.3 SQUARE FEET	1,594.1 SQUARE FEET
	PERCENTAGE MASONRY	82.30 %	80.7 %
	ACCENT METALS **	110.1 SQUARE FEET = 2.5%	197.2 SQUARE FEET = 2.2%

\* TOTAL EXTERIOR WALL EXCLUDING WINDOWS & DOORS  
 \*\* METALS, INCLUDES STAIRS & DECORATIVE TRIM - ATTACHED TO WALLS

**ARCHITECTURAL ATTRIBUTES & FEATURES**

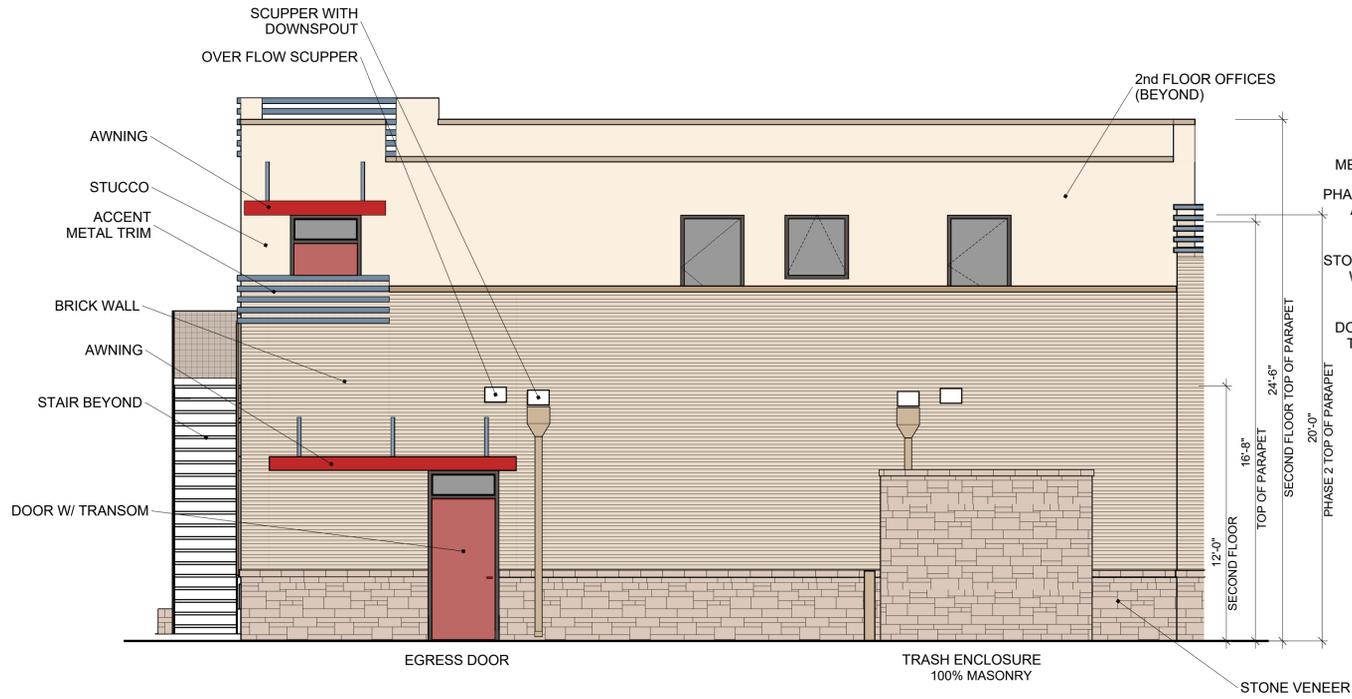
ALL FOUR SIDES: STONE, WATER TABLE, & BRICK FEATURES INCLUDE:

- 4' DEEP RECESSES
- 2' OR MORE CHANGES IN PARAPET HEIGHT
- AWNINGS OVER WINDOWS AND DOORS
- METAL ACCENTS (DETAILS) AT CORNERS
- HORIZONTALLY REPEATING ELEMENTS
- COVERED WALKWAY TO FUELING CANOPY BENCHES AT FOUR CORNERS



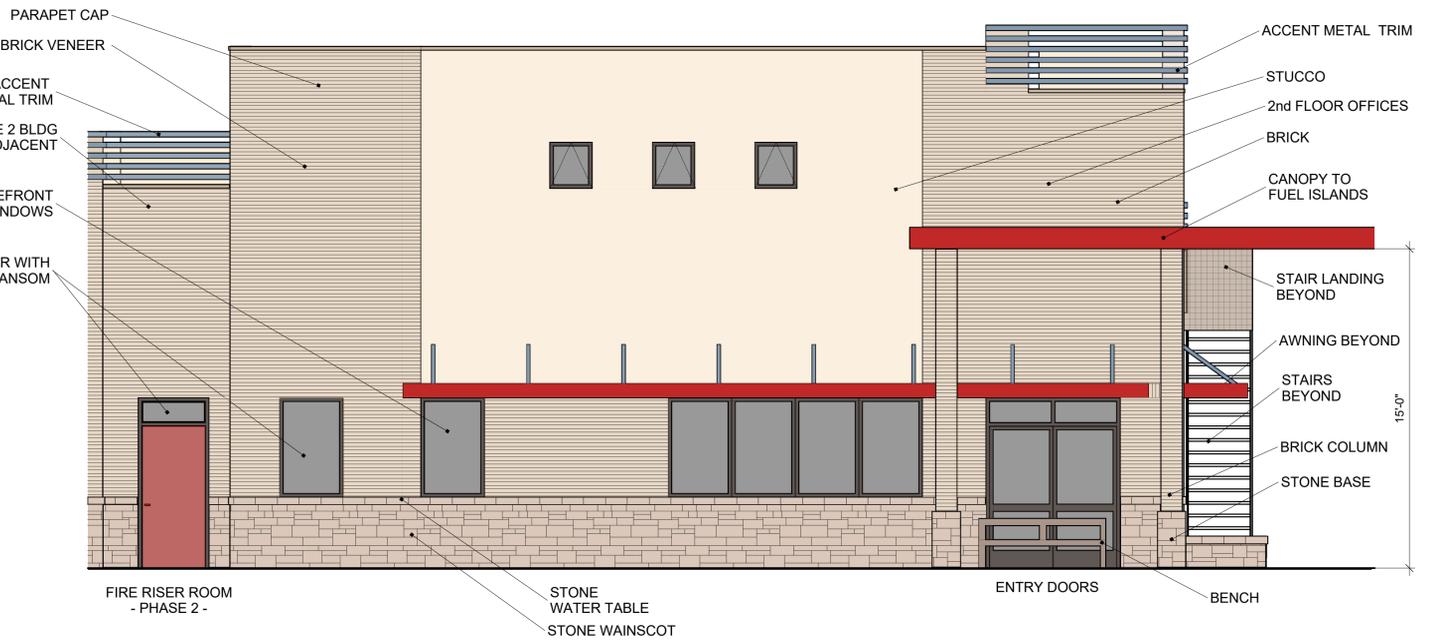
**WEST SIDE ELEVATION: PHASE 1** SCALE: 1/8" = 1'-0"

WALL MATERIALS: BRICK, CMU & STONE = 1,362.5 SQUARE FEET  
 PERCENTAGE MASONRY = 100% (EXCLUDING METAL TRIMS)



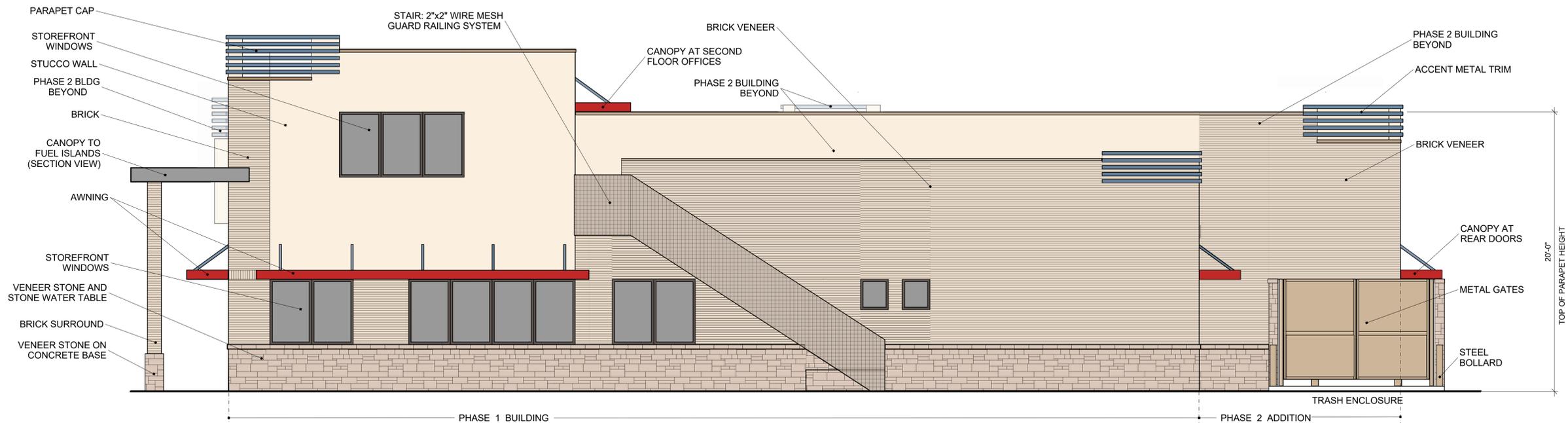
**NORTH ELEVATION: REAR** SCALE: 1/8" = 1'-0"

WALL MATERIALS: MASONRY (BRICK & STONE) = 720.7 SQUARE FEET  
 STUCCO (MASONRY LIKE) = 221.9 SQUARE FEET (VISIBLE ABOVE PARAPET)  
 PERCENTAGE MASONRY = 76.5% (EXCLUDING WINDOWS, DOORS & METAL TRIMS)



**SOUTH FRONT ELEVATION: TURNER WARNELL SIDE** SCALE: 1/4" = 1'-0"

WALL MATERIALS: MASONRY (BRICK & STONE) = 617.4 SQUARE FEET  
 STUCCO (MASONRY LIKE) = 278.3 SQUARE FEET  
 PERCENTAGE MASONRY = 67.8% (EXCLUDING WINDOWS, DOORS & METAL TRIMS)



**EAST ELEVATION: HWY 287 SIDE** SCALE: 1/4" = 1'-0"

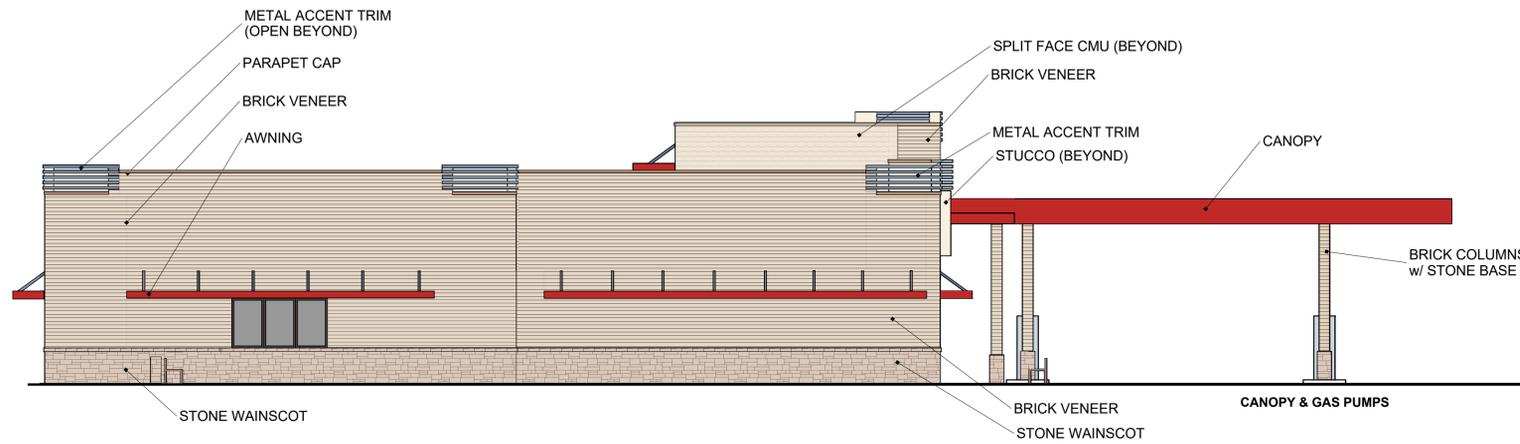
WALL MATERIALS: MASONRY (BRICK & STONE) = 863.3 SQUARE FEET  
 STUCCO (MASONRY LIKE) = 266.0 SQUARE FEET (VISIBLE ABOVE PARAPET)  
 PERCENTAGE MASONRY = 76.4% (EXCLUDING WINDOWS, DOORS & METAL TRIMS)

**PHASE 2:** WALL MATERIALS: MASONRY (BRICK & STONE) = 1,152.4 SQUARE FEET  
 STUCCO (MASONRY LIKE) = 416.0 SQUARE FEET (VISIBLE ABOVE PARAPET)  
 PERCENTAGE MASONRY = 73.5% (EXCLUDING WINDOWS, DOORS & METAL TRIMS)

KNIGHT GROUP ARCHITECTS  
 JACK A. KNIGHT, AIA  
 817.791.3235 + 212 VERNAL TRAIL N + FORT WORTH, TX  
 JULY 6, 2020  
 REV: MARCH 31, 2021  
 REV: AUGUST 15, 2021

DESIGN DEVELOPMENT PLANS  
 NOT FOR PERMITTING OR CONSTRUCTION

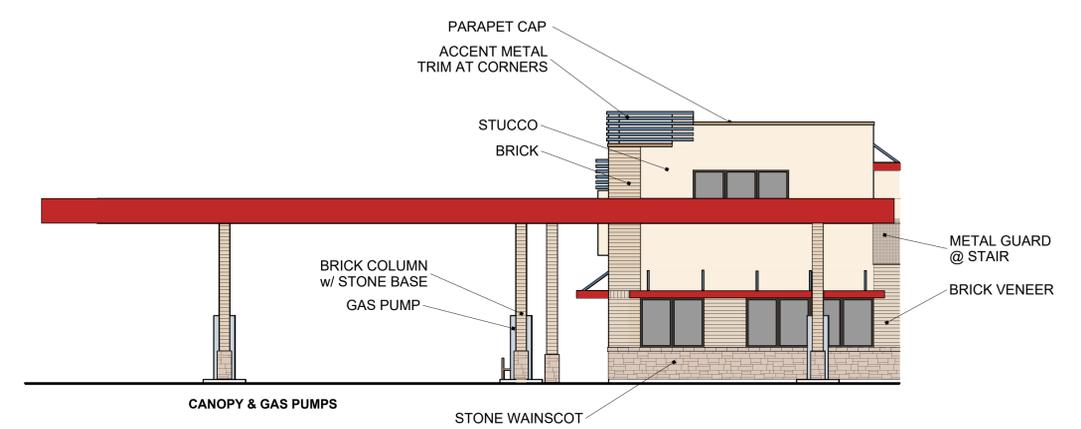
COLORED ELEVATIONS  
 PHASE 1 BUILDING



**WEST ELEVATION: ELEVATION (GERTIE BARRETT ROAD SIDE)**

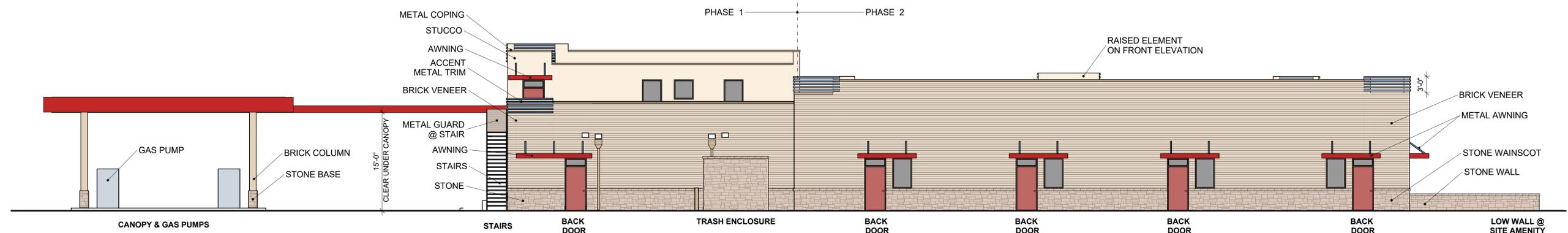
SCALE: 1/8" = 1'-0"

WALL MATERIALS: MASONRY (BRICK & STONE) = 1,625.9 SQUARE FEET  
 STUCCO (MASONRY LIKE) = 33.0 SQUARE FEET (VISIBLE OVER PARAPET)  
 PERCENTAGE MASONRY = 98% (EXCLUDING WINDOWS, DOORS & METAL TRIMS)



**EAST ELEVATION: FUEL ISLAND CANOPY FROM Hwy 287**

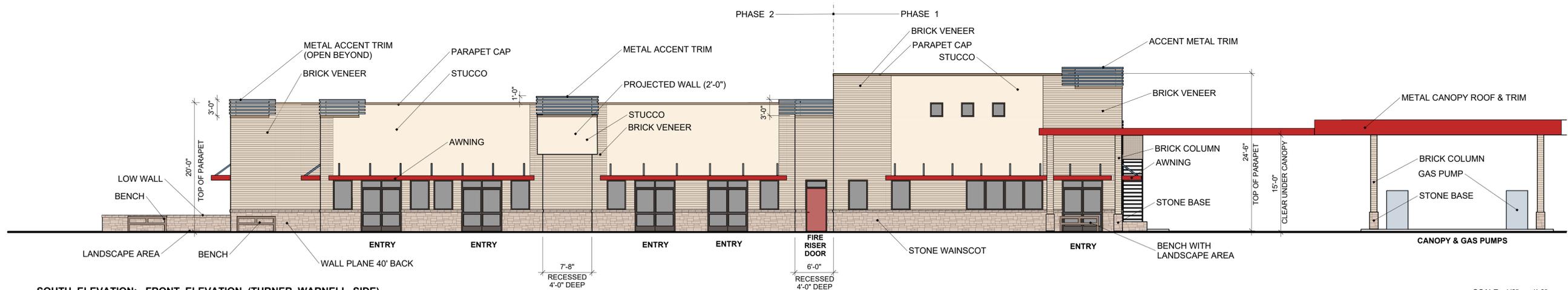
SCALE: 1/8" = 1'-0"



**NORTH ELEVATION: REAR ELEVATION**

SCALE: 1/8" = 1'-0"

WALL MATERIALS: MASONRY (BRICK & STONE) = 2,495.2 SQUARE FEET  
 STUCCO (MASONRY LIKE) = 221.9 SQUARE FEET  
 PERCENTAGE MASONRY = 91.7% (EXCLUDING WINDOWS, DOORS & METAL TRIMS)



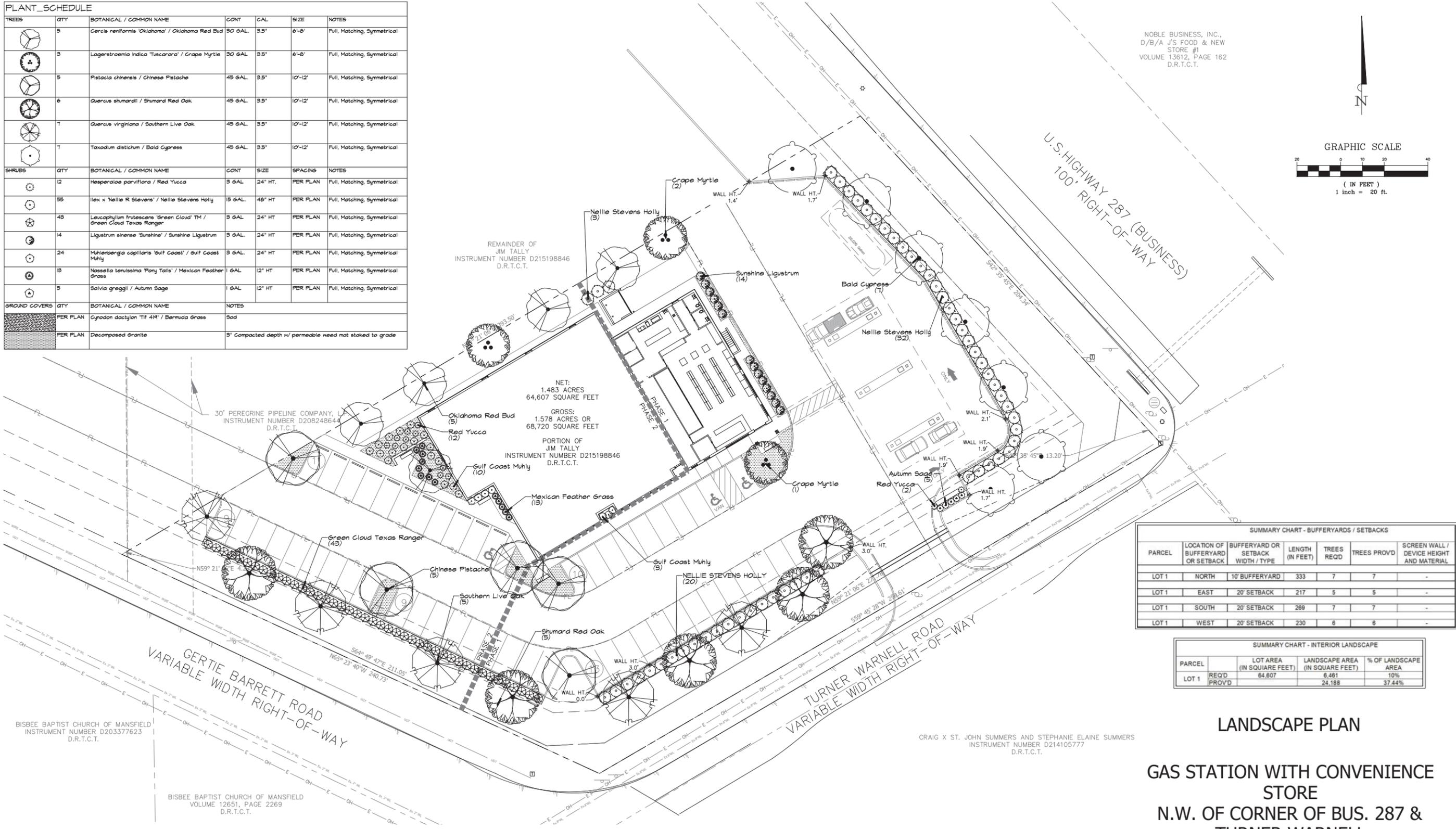
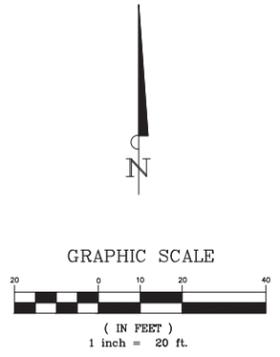
**SOUTH ELEVATION: FRONT ELEVATION (TURNER WARNELL SIDE)**

SCALE: 1/8" = 1'-0"

WALL MATERIALS: MASONRY (BRICK & STONE) = 1,428.6 SQUARE FEET  
 STUCCO (MASONRY LIKE) = 882.7 SQUARE FEET  
 PERCENTAGE MASONRY = 62.9% (EXCLUDING WINDOWS, DOORS, AWNINGS & METAL TRIMS)

PLANT_SCHEDULE						
TREES	QTY	BOTANICAL / COMMON NAME	CONT	GAL	SIZE	NOTES
	5	<i>Cercis reniformis</i> 'Oklahoma' / Oklahoma Red Bud	30 GAL.	3.5"	6'-8"	Full, Matching, Symmetrical
	3	<i>Lagerstroemia indica</i> Tuscarora' / Grape Myrtle	30 GAL.	3.5"	6'-8"	Full, Matching, Symmetrical
	5	<i>Pistacia chinensis</i> / Chinese Pistache	45 GAL.	3.5"	10'-12"	Full, Matching, Symmetrical
	6	<i>Quercus shumardii</i> / Shumard Red Oak	45 GAL.	3.5"	10'-12"	Full, Matching, Symmetrical
	7	<i>Quercus virginiana</i> / Southern Live Oak	45 GAL.	3.5"	10'-12"	Full, Matching, Symmetrical
	7	<i>Taxodium distichum</i> / Bald Cypress	45 GAL.	3.5"	10'-12"	Full, Matching, Symmetrical
SHRUBS	QTY	BOTANICAL / COMMON NAME	CONT	SIZE	SPACINGS	NOTES
	12	<i>Hesperaloe parviflora</i> / Red Yucca	3 GAL.	24" HT.	PER PLAN	Full, Matching, Symmetrical
	35	<i>Ilex x 'Nellie R Stevens'</i> / Nellie Stevens Holly	15 GAL.	48" HT.	PER PLAN	Full, Matching, Symmetrical
	48	<i>Leucophyllum frutescens</i> 'Green Cloud' TM / Green Cloud Texas Ranger	3 GAL.	24" HT.	PER PLAN	Full, Matching, Symmetrical
	14	<i>Ligustrum sinense</i> 'Sunshine' / Sunshine Ligustrum	3 GAL.	24" HT.	PER PLAN	Full, Matching, Symmetrical
	24	<i>Muhlenbergia capillaris</i> 'Gulf Coast' / Gulf Coast Muhly	3 GAL.	24" HT.	PER PLAN	Full, Matching, Symmetrical
	18	<i>Nassella tenuissima</i> 'Pony Tails' / Mexican Feather Grass	1 GAL.	12" HT.	PER PLAN	Full, Matching, Symmetrical
	5	<i>Salvia greggii</i> / Autumn Sage	1 GAL.	12" HT.	PER PLAN	Full, Matching, Symmetrical
GROUND COVERS	QTY	BOTANICAL / COMMON NAME	NOTES			
	PER PLAN	<i>Cynodon dactylon</i> 'TIF 414' / Bermuda Grass	50d			
	PER PLAN	Decomposed Granite	8" Compacted depth w/ permeable weed mat staked to grade			

NOBLE BUSINESS, INC.,  
D/B/A J'S FOOD & NEW  
STORE #1  
VOLUME 13612, PAGE 162  
D.R.T.C.T.



SUMMARY CHART - BUFFERYARDS / SETBACKS						
PARCEL	LOCATION OF BUFFERYARD OR SETBACK	BUFFERYARD OR SETBACK WIDTH / TYPE	LENGTH (IN FEET)	TREES REQD	TREES PROVD	SCREEN WALL / DEVICE HEIGHT AND MATERIAL
LOT 1	NORTH	10' BUFFERYARD	333	7	7	-
LOT 1	EAST	20' SETBACK	217	5	5	-
LOT 1	SOUTH	20' SETBACK	269	7	7	-
LOT 1	WEST	20' SETBACK	230	6	6	-

SUMMARY CHART - INTERIOR LANDSCAPE				
PARCEL	REQD	LOT AREA (IN SQUARE FEET)	LANDSCAPE AREA (IN SQUARE FEET)	% OF LANDSCAPE AREA
LOT 1	PROVD	64,607	6,461	10%
			24,188	37.44%

**LANDSCAPE PLAN**

**GAS STATION WITH CONVENIENCE STORE**  
N.W. OF CORNER OF BUS. 287 & TURNER WARNELL  
MANSFIELD, TEXAS  
LOT 1, BLOCK 2  
NEWPORT ADDITION  
1.483 ACRES



CRAIG X ST. JOHN SUMMERS AND STEPHANIE ELAINE SUMMERS  
INSTRUMENT NUMBER D214105777  
D.R.T.C.T.

SUP#20-006  
Date Prepared: 03-31-2021  
EXHIBIT-D

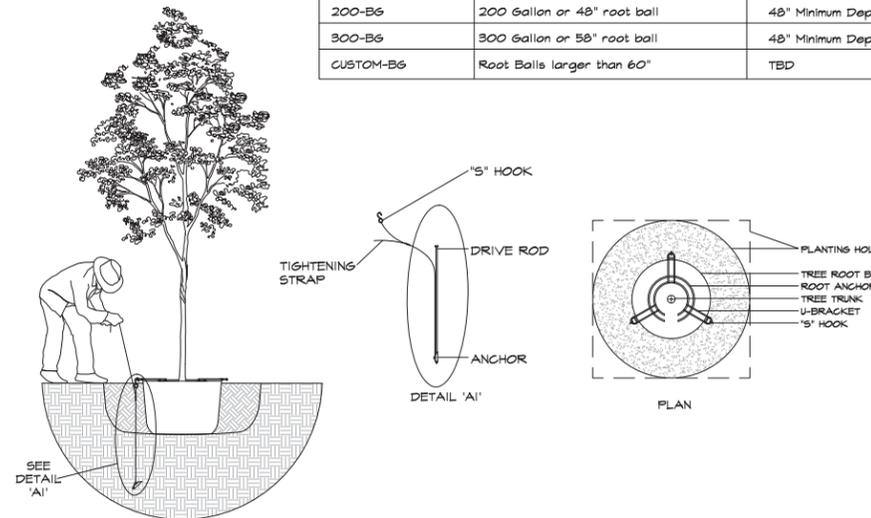


CONTACT: CODY R. BROOKS, P.E.

**GENERAL NOTES :**

1. Locate all utilities prior to digging. Contractor shall be responsible for all damage incurred by his/her work.
2. Contractor shall advise the Owner and Landscape Architect of any condition found on site which prohibits installation as shown on these plans.
3. If a discrepancy between drawings and plant schedule is found, the drawings shall take precedent over the plant schedule.
4. Plant material shall comply with all sizing and grading standards of the latest edition of 'American Standard for Nursery Stock.'
5. Contractor shall stake out tree locations and bed configuration for approval by Owner prior to installation.
6. Substitutions shall not be made without prior written authorization from the Owner or Landscape Architect.
7. All disturbed areas not indicated as planting beds shall be sodded or seeded by Contractor to provide an established turf area.
8. Contractor shall remove reasonable amount of stones, dead roots, detritus and other undesirable material from existing soil.
9. If rocks are encountered, remove to a depth of 3" and add 3" of friable fertile topsoil to all sodded areas. Contractor to ensure that site is graded according to the Engineer's grading plan.
10. Lawn areas shall have 3" minimum friable topsoil and be treated with fertilizer applied at a rate of 20 pounds per 1,000 square feet.
11. Soil preparation for planting beds shall be as follows:
  - 3A of organic compost
  - 20 pounds of organic fertilizer / 1,000 sf of bed area
  - Till bed to a depth of 6" to 8"
  - Check soil acidity. Soil acidity should range from 5.0 to 7.0 pH. Regulate if necessary.
12. All plant beds shall be top dressed with a minimum 3" of Native Hardwood Mulch.
13. Tree planting pits shall be cleared of undesirable material and backfilled with prepared top soil. Place 1" of compost and 3" of shredded hardwood mulch on top of root ball.
14. The Contractor will be held liable for any damage caused to trees due to improper staking methods, including absence of staking throughout the warranty period.
15. Trees shall be planted at least 2.5 feet from any right-of-way line, curb, walk or fire hydrant, and outside all utility easements.
16. Trees shall be planted at least 8 feet from any public utility line where possible. In the event this is not possible, Contractor shall install a root barrier, per the detail(s) noted on this sheet.
17. Trees overhanging walks and parking areas shall have a clear trunk height of 7 feet from finish surface grade.
18. Contractor shall warranty plant material to remain alive and healthy for a period of one year after the final acceptance. All plant material shall be maintained in a healthy condition in accordance with the season. Dead, damaged or destroyed plant material shall be replaced in kind within thirty days. Warranty shall not include damage for loss of plant material due to natural causes, acts of vandalism or negligence on the part of the owner.
19. Landscape areas shall be kept free of trash, litter and weeds.
20. An automatic irrigation system shall be provided to maintain all landscape areas. Overspray on streets is prohibited.
22. Installing contractor to maintain landscaping for 30 days from owner occupancy to establish plants and grass, mowing and trimming to be included.
23. All areas disturbed by construction shall be fine graded and re-established by sod. These areas shall be irrigated and maintained until permanent stand of grass is achieved with a minimum of 70% coverage. This is to include all areas to the back of curb around the property.
24. Any hardwood mulched beds on site shall have permeable weed mat installed prior to plant material and mulch being installed.
25. All bedding areas with ground cover (Asian Jasmine, Wintercreeper, etc.) shall be top dressed with hardwood mulch until ground cover has covered area completely.
26. Any switch gear devices, electrical transformers, telephone pedestals, and hvac units located on the property are to be screened. If these devices have been altered from the most recent plans, the contractor is to verify placement of these utilities and contact Landscape Architect for plant material specifications and placement.
27. Landscape contractor shall not place topsoil or mulch above brick ledge of the building and shall not block weep holes on the building.
28. If the grades on site at the time the landscape contractor is set to begin work does not allow the brick ledge and weep holes to remain uncovered, it is the landscape contractor's responsibility to notify the owner or general contractor immediately.

ROOT ANCHOR ITEM#	ROOT BALL & CONTAINER SIZE	ANCHOR INSTALLATION DEPTH	QUANTITY & ANCHOR SIZE
15-B6	10 / 15 Gallon or 17" root ball	12 - 18" Minimum Depth	3 - V68 Anchors
30-B6	20 / 34 Gallon or 22" root ball	18 - 24" Minimum Depth	3 - V68 Anchors
45/65-B6	45 / 65 Gallon or 27-30" root ball	24 - 30" Minimum Depth	3 - V68 Anchors
100-B6	95 / 100 Gallon or 36" root ball	30 - 36" Minimum Depth	3 - V68 Anchors
150-B6	150 Gallon or 42" root ball	48" Minimum Depth	3 - V68 Anchors
200-B6	200 Gallon or 48" root ball	48" Minimum Depth	3 - V68 Anchors
300-B6	300 Gallon or 58" root ball	48" Minimum Depth	3 - V68 Anchors
CUSTOM-B6	Root Balls larger than 60"	TBD	

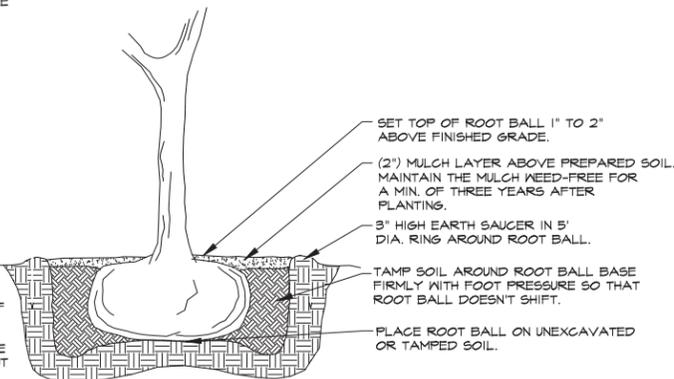


**A TREE STAKING DETAIL (TREE STAKE SOLUTIONS)**

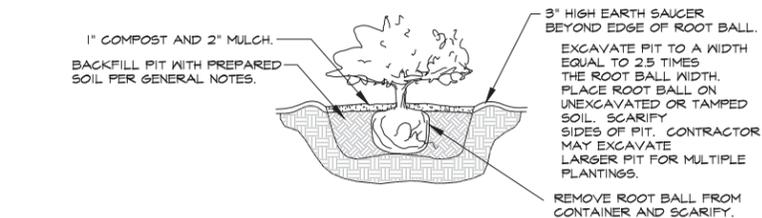
- STEP 1:**
- Set tree in planting pit.
  - Place anchor with ring side down against top of root ball.
  - Center root anchor's inner ring(s) around trunk of tree.
  - Align drive rod as close as possible to outside edge of u-bracket.
- STEP 2:**
- Drive anchor straight down into undisturbed subsoil.
  - See chart for recommended depths per tree size.
- STEP 3:**
- Remove drive rod.
  - Repeat steps 1 & 2 for all three (3) anchor locations.
  - Pull back on strap approximately 3" for the v-68 anchor, or 6" to 7" for the v-88 anchor to set anchor into a horizontal or locked position. A fulcrum may be required to assist in setting the anchor.
  - Place "S" hook over the end of the u-bracket.
  - Pull strap up vertically until root anchor rings bite into the top of the root ball and u-brackets are setting flush on top of the root ball.
  - Tie excess strap off to the u-bracket allowing enough remaining strap to adjust tree, if necessary.

**NOTES:**

1. DO NOT HEAVILY PRUNE THE TREE AT PLANTING. PRUNE ONLY CROSSOVER LIMBS, CO-DOMINANT LEADERS, AND BROKEN OR DEAD BRANCHES. SOME INTERIOR TWIGS AND LATERAL BRANCHES MAY BE PRUNED; HOWEVER, DO NOT REMOVE THE TERMINAL BUDS OR BRANCHES THAT EXTEND TO THE EDGE OF THE CROWN.
2. EACH TREE MUST BE PLANTED SUCH THAT THE TRUNK FLARE IS VISIBLE AT THE TOP OF THE ROOT BALL. TREES WHERE THE TRUNK FLARE IS NOT VISIBLE SHALL BE REJECTED. DO NOT COVER THE TOP OF THE ROOT BALL WITH SOIL.
3. REMOVE ALL TWINE, ROPE, WIRE AND BURLAP FROM TOP HALF OF ROOT BALL.
4. IF PLANT IS SHIPPED WITH A WIRE BASKET AROUND ROOT BALL, CUT THE WIRE BASKET IN FOUR PLACES AND FOLD DOWN 8" INTO PLANTING HOLE.



**B TREE PLANTING DETAIL**



**C SHRUB PLANTING DETAIL**

**LANDSCAPE PLAN**

**GAS STATION WITH CONVENIENCE STORE**  
**N.W. OF CORNER OF BUS. 287 & TURNER WARNELL**  
**MANSFIELD, TEXAS**  
**LOT 1, BLOCK 2**  
**NEWPORT ADDITION**  
**1.483 ACRES**

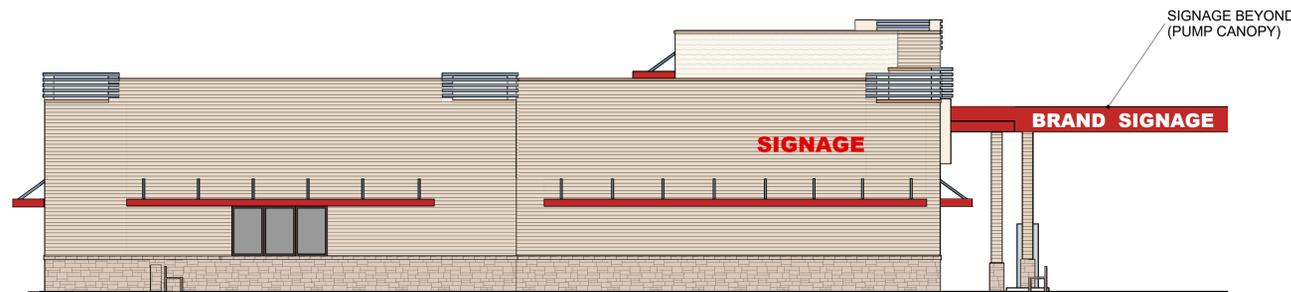


SUP#20-006  
 Date Prepared: 03-31-2021  
**EXHIBIT-D**



**BANNISTER ENGINEERING**  
 240 North Mitchell Road | Mansfield, TX 76063 | 817.842.2094 | 817.842.2095 fax  
 REGISTRATION # F-10599 (TEXAS)

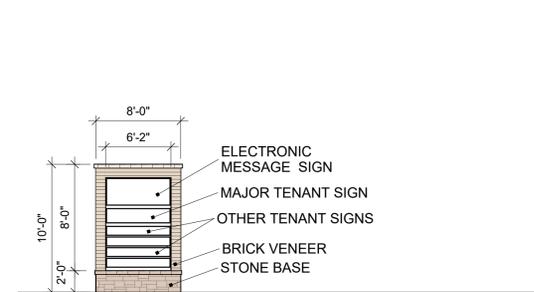
CONTACT: CODY R. BROOKS, P.E.



LIMITED SIGNAGE ON THIS ELEVATION

ELEVATION: WEST ELEVATION (GERTIE BARRETT ROAD SIDE)

SCALE: 1/8" = 1'-0"



TOTAL SIGN AREA = 49.33 SQUARE FEET

ELEVATION: MONUMENT SIGN

SCALE: 1/8" = 1'-0"

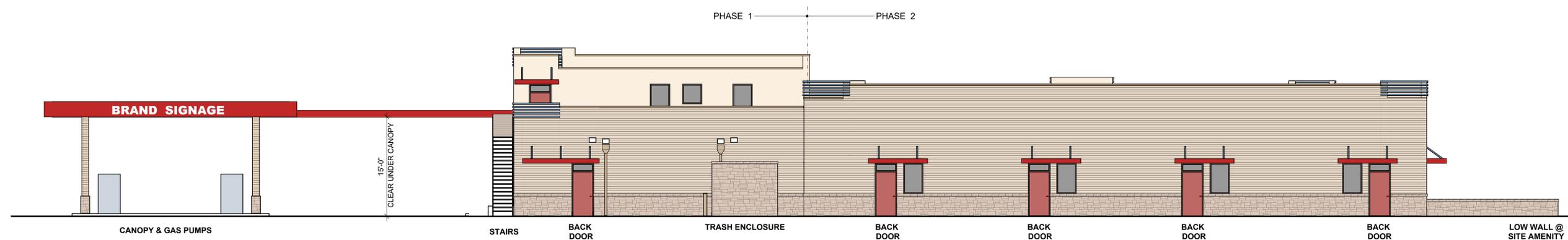
MONUMENT SIGN FACES HWY 287



WALL SIGN BY TENANT

ELEVATION: FROM HWY 287

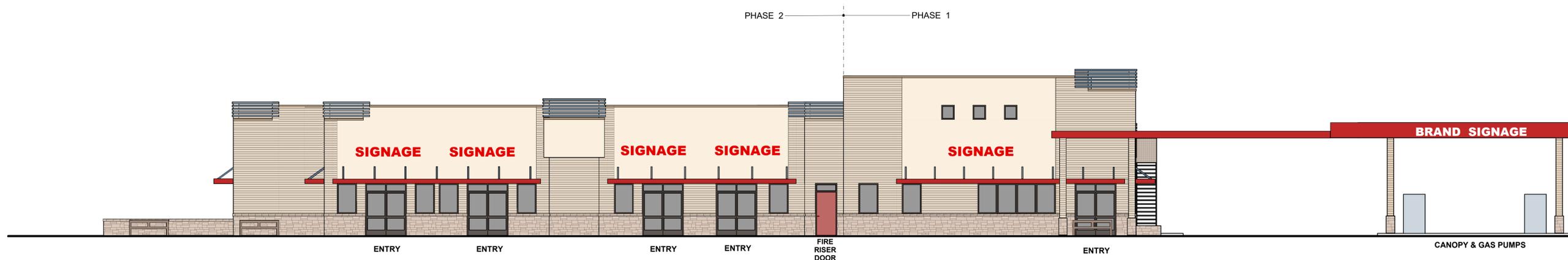
SCALE: 1/8" = 1'-0"



NO SIGNAGE ON THIS ELEVATION - EXCEPT ADDRESSES & STORE NAMES ON BACK DOORS

ELEVATION: NORTH ELEVATION

SCALE: 1/8" = 1'-0"



WALL SIGNS BY TENANTS

ELEVATION: SOUTH ELEVATION (TURNER WARNELL SIDE)

SCALE: 1/8" = 1'-0"



Andrew Bogda <andrew.bogda@mansfieldtexas.gov>

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## SUP # 20-006

---

**Craig Summers** <cxs1226@gmail.com>  
To: andrew.bogda@mansfieldtexas.gov

Fri, Sep 3, 2021 at 3:19 PM

Andrew,  
Thank you for speaking with me regarding SUP # 20-006.

As discussed, I own the Dollar General property just next door located at 2851 N Main St. in Mansfield, TX

My Dollar General property was built with upgraded construction to represent a flagship store, so as to enhance this growing and prosperous area. This business satisfies a real special need in the area.

I disapprove of this Special Use Permit #20-006, as this designated property has better uses for this area than a gas station, such as boutique retail which will add to the community services and Main St. ambiance.

I understand your division has recommended disapproval to the City for this Special Use Permit # 20-006, which I firmly support disapproval as well.

Please let me know one way or the other the City's decision on accepting your disapproval recommendation.

I live in Bozeman, MT, so unable to attend any Public Hearing on this matter. I am available for video appearance for both the Sept. 7th and 27th Public Hearing meetings, if helpful. Please let me know I can offer any further input to oppose this Permit.

Thank you,  
Craig Summers  
171 Bushnell Rd  
Bozeman, MT 59718  
(406) 595-4410



Andrew Bogda <andrew.bogda@mansfieldtexas.gov>

**SUP#20-006 Newport Addn gas station - P&Z on 9/7 & Council on 9/27**

Jack Romigh <romigh.jack@gmail.com>  
To: Andrew Bogda <andrew.bogda@mansfieldtexas.gov>

Fri, Sep 3, 2021 at 4:15 PM

Andrew,

As we discussed, I want to postpone our P&Z presentation. I understand that would be a **continuance until the following meeting**, so that I can whatever changes are required to get that recommendation.

I do not want to go into that meeting without a solid staff recommendation.

Thank you,

Jack A Romigh, AIA  
KNIGHT GROUP ARCHITECTS  
817.791.3235  
[romigh.jack@gmail.com](mailto:romigh.jack@gmail.com)

On Thu, Aug 26, 2021 at 1:34 PM Andrew Bogda <andrew.bogda@mansfieldtexas.gov> wrote:

[Quoted text hidden]

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Andrew Bogda <andrew.bogda@mansfieldtexas.gov>

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**Fwd: SUP#20-006 Newport Addn gas station - P&Z on 9/7 & Council on 9/27**

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**Jack Romigh** <romigh.jack@gmail.com>

Tue, Sep 28, 2021 at 1:15 PM

To: Andrew Bogda <andrew.bogda@mansfieldtexas.gov>

Andrew,

Thank you for your help, but I need to postpone the P&Z presentation so that I can complete the revisions requested by staff and the Owner. There just has not been enough time since the owner agreed to the changes.

So I need a continuance until the following meeting.

Jack A Romigh, AIA  
DFW Office



# CITY OF MANSFIELD

1200 E. Broad St.  
Mansfield, TX 76063  
mansfieldtexas.gov

## STAFF REPORT

File Number: 21-4301

**Agenda Date:** 10/4/2021

**Version:** 2

**Status:** Public Hearing

**In Control:** Planning and Zoning Commission

**File Type:** Zoning Case

**Agenda Number:**

CASE#  
 APPLICANT  
 ACREAGE (keep to 1 or 2 decimal points)  
 PZDATE  
 CCDATE1  
 CCDATE2  
 FROM1  
 FROM2  
 PROPOSED LANDUSE  
 LOCATION (fill in if you have the information)  
 NEWSPAPER DATE Not a replacement item  
 SURVEY, ABSTRACT Not a replacement item  
 CASE#  
 APPLICANT  
 ACREAGE (keep to 1 or 2 decimal points)  
 PZDATE  
 CCDATE1  
 CCDATE2  
 FROM1  
 FROM2  
 PROPOSED LANDUSE  
 LOCATION (fill in if you have the information)  
 NEWSPAPER DATE Not a replacement item  
 SURVEY, ABSTRACT Not a replacement item

**Title**

ZC#21-008: Public hearing on a change of zoning from PR, Pre-Development District to PD, Planned Development District for Single-Family Residential Uses on approximately 11.76 acres out of the J. McDonald Survey, Abstract No. 997, generally located west of the Union Pacific railroad track, east of St Giles Drive and Cancun Drive, and approximately 120 feet north of Alpine Industrial Rd on property addressed at 6239 Newt Patterson Road; Testudo Land LLC, owner, Bayley Yandell Development LTD, developer and MMA, engineer (*Tabled from the September 20, 2021, meeting*)

**Description/History**

*Existing Use:* Vacant  
*Existing Zoning:* PR

*Surrounding Land Use & Zoning:*

North: Vacant land and single-family residential, PR  
South: Industrial, I-1  
East: Single-family residential, SF-6/12  
West: Union Pacific right-of-way, agricultural and industrial in the Tarrant County ETJ (no zoning)

*Thoroughfare Plan Specification:*

Internal residential streets

**Comments and Considerations**

This case was tabled by the Commission to the October 4, 2021 meeting to allow the applicant time to make changes to address the Commission's comments. The applicant proposes the following revision to the exterior finishing material standards:

1. The selection of exterior finish material shall reflect local building practice and construction technique. For Lots 1, 2, 3, and 4, Block 4, as shown on the Development Plan and for a minimum of seven (7) additional lots located in Blocks 1, 2, and 3, also as shown on the Development Plan, the exterior finish material on all building elevations, with the exception of openings for doors and windows only, must be at least 75 percent brick, stone or a combination of these, with each elevation calculated independently. For the remaining lots, the exterior finish material on all building elevations, with the exception of openings for doors and windows only, shall be any combination of brick, cementitious fiber board, stone, and stucco. Wood may only be used as an accent material and shall not exceed 10 percent of the total building wall area, with each façade being calculated independently. Configurations for stone and stucco shall be as provided below:

The revised standard requires that 11 houses have a minimum of 75% masonry materials. Four of the houses will be immediately adjacent to Country Meadows to serve as a transition. The remaining seven houses will be distributed on Blocks 1, 2 and 3 to promote architectural diversity throughout the subdivision.

Staff discussed enhancing amenities for the community with the developer. Those discussions primarily focused on the provision of a sidewalk around the detention pond area with two benches.

The development plan has not been updated pending further discussion between the Commission and the developer. Any revisions to the development plan will be made prior to the City Council meeting.

The subject property is a vacant tract approximately 11.76 acres in size. The property is located west of the Country Meadows subdivision (zoned SF-6/12), north of Alpine Industrial Park, east of the Union Pacific Railroad, and south of the last phase of the future Rockwood Addition (zoned PR). This property is at the western edge of the city limits.

The applicant is requesting to rezone the property from PR to PD for single-family residences. The applicant proposes 51 residential lots and 4 open spaces. The proposed development will be called Crestwood.

Development Plan and Standards

The proposed development will have 51 detached single-family residences with 45 lots having a minimum lot width of 50 feet and 6 lots having a width of 60 feet. The 60-foot lots have been noted on the Development Plan (Exhibit B). The subdivision will be developed in one phase.

In addition to the residential lots, the applicant proposes a 1.18 acre landscaped open space for a detention pond, a buffer on the north side of Cancun Drive behind Lots 1 and 3, Block 1, and a pedestrian/bike trail connection between Lots 8 and 10, Block 1 to provide trail access to the Rockwood Addition.

The bulk area standards for the single-family residential products are as follows:

	<b>60' Lots</b>	<b>50' Lots</b>
Min. Floor Area (sq. ft.)	2,000	1,800
Min. Lot Area (sq. ft.)	6,000	5,000
Min. Lot Width	60'	50'
Min. Lot Depth	100'	100'
Min. Front Setback	25'	25'
Min. Rear Setback	10'	10'
Min. Interior Side Yard	5'	5'
Min. Exterior Side Yard (adjacent to street)	15'	15'
Max. Lot Coverage	45%	45%
Max. Height	35'	35'

Corner lots must be at least 10 feet wider than the minimum lot width. The minimum lot frontage has been reduced from 45 feet to 34 feet for lots along eyebrows as indicated in Note 10 on Exhibit B.

Access to the new development will be from the existing street stubs for Cancun Drive and St. Giles Drive in the Country Meadows Addition. To provide better circulation and emergency access, the developer must also connect two sections of Griffin Lane to provide an access point from FM 1187 as specified in Note 12.

Architectural Regulations

To provide a variety of architectural options, the development standards listed on the Development Plan (Exhibit B) include the following:

- The exterior finish material on all elevations may be any combination of brick, wood, cementitious fiber board, stone, and stucco.
- The primary roof must have a roof pitch of 6:12.
- Dwellings with the same or substantially the same street elevation on the same street must be separated by at least three (3) lots on the same side of the street or opposite side of the street to create a moving block of six (6) lots that cannot have the same or substantially the same street elevation.
- All houses on a corner lot must have a side-entry garage.

- At least 21 of the houses must be constructed with a front porch. Six of the houses on a corner lot must have a wrap-around porch.
- All windows facing streets or required open space must have divided lights (panes) and be trimmed with a picture frame using brick, stone, or wood. The divided light patterns must vary through the community.

Other architectural requirements are included in Note 2 on Exhibit B. These standards are intended to allow a builder to construct homes with more architectural variety. No elevations were included in the PD as the architectural standards on Exhibit B represent a substantial departure from those in the Zoning Ordinance. For example, porches are required in the PD, but only encourage in the Zoning Ordinance. The developer has not yet built to these new PD standards.

#### Enhanced Entryway Plan

Although Crestwood will be connecting to the existing street in the neighboring subdivision, the applicant has provided a modified Landscaping and Enhanced Entryway Plan as Exhibit C-1. The entryway will include a decorative sign wall with a landscaping bed in front, decorative street lights and enhanced paving in the street. These features are shown on Exhibit C-2.

#### Fencing and Landscaping Plan

A proposed Fencing and Landscaping Plan has been provided as Exhibit C-2. This plan requires two trees to be planted on each residential lot (one in front and one in back). Tree plantings are also required around the detention pond.

The residential lots may have wood privacy fences except where a side or rear property line is adjacent to an open space. On these lots, the property line adjacent to open space will have a 6-foot ornamental metal fence. A row of shrubs will be planted behind Lots 1 and 3, Block 1, to help conceal the drainage easement behind these lots.

To screen the lots on Block 3 from view of the industrial park, an 8-foot masonry wall will be erected on Lot 24X, Block 1 as shown on Exhibit C-2.

#### Trail Plan

The applicant is accommodating a pedestrian/bike trail from the County Meadows Addition to the Rockwood Addition through this development. The trail consists of a 6-foot wide sidewalk from Cancun Drive along Street A to Lot 9X, Block 1. The trail sidewalk widens to 12 feet on Lot 9X. The trail is shown in gray on Exhibit C-2.

#### **Recommendation**

Based on its location and the surrounding land uses, a small single-family residential subdivision is suitable for the tract. With respect to the Country Meadows and Rockwood Additions, the proposed development is consistent with the existing feel and character of the area. The lot sizes are comparable to the 60-foot lots in Country Meadows, while the proposed development standards will allow the houses to have an architectural variety as good as or better than the Rockwood Addition.

Staff recommends approval with the condition that the developer construct a sidewalk to the same specifications and standards as the public sidewalk along the adjacent street around the detention pond and provide at least one (1) bench of commercial quality.

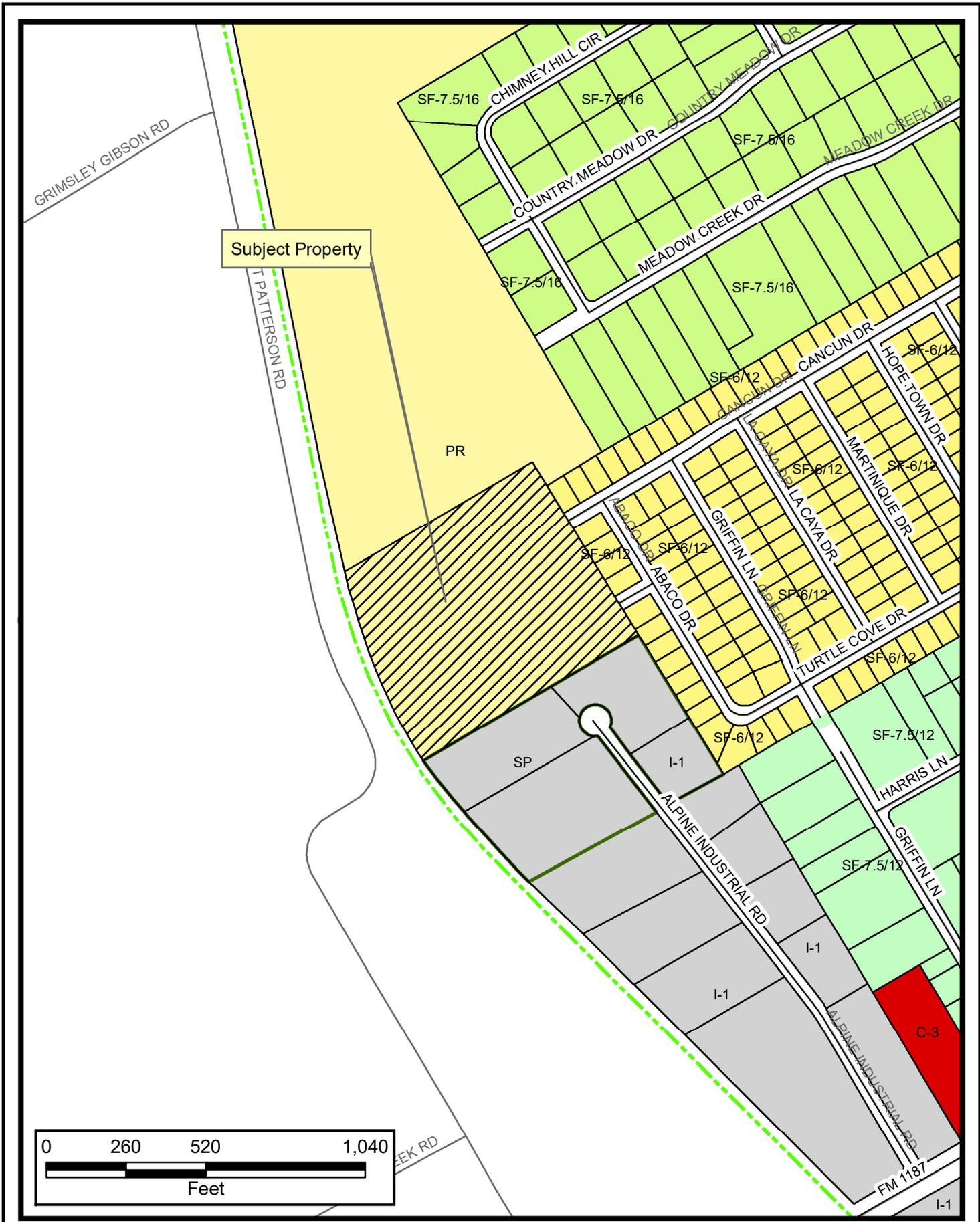
**Attachments:**

Maps and supporting information

Exhibit "A"

Exhibit "B"

Exhibit "C"



**ZC#21-008**

This information is for illustrative purposes only. Not for design or development purposes. Site-specific studies may be required to obtain accurate feature locations. Every effort is made to ensure the information displayed here is accurate; however, the City of Mansfield makes no claims to its accuracy or completeness.

9/9/2021



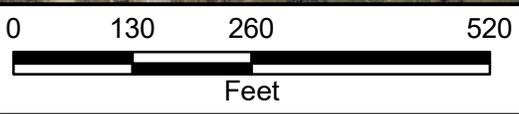
Subject Property

CANCUN DR

GRIFFIN LN

ABACO DR

ALPINE INDUSTRIAL RD



ZC#21-008

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9/9/2021

## Property Owner Notification for ZC#21-008

LEGAL DESC 1	LEGAL DESC 2	OWNER NAME	OWNER ADDRESS	CITY	ZIP
ALPINE INDUSTRIAL PARK ADDN	BLK 1	BOC ENT LLC	13341 TEMESCAL CANYON RD	CORONA, CA	92883
ALPINE INDUSTRIAL PARK ADDN	BLK 1	WESTERN EXECUTIVE FINANCIAL	2214 FM RD 1187 # 2	MANSFIELD, TX	76063
COUNTRY MEADOWS ADDN SEC 3 - 7	BLK 12	HAMILTON, JULNELLE B	2230 CANCUN DR	MANSFIELD, TX	76063-8548
COUNTRY MEADOWS ADDN SEC 3 - 7	BLK 12	CARABALLO, SAUL	2232 CANCUN DR	MANSFIELD, TX	76063-8548
COUNTRY MEADOWS ADDN SEC 3 - 7	BLK 12	BIBBS, ANGELA	2234 CANCUN DR	MANSFIELD, TX	76063-8548
COUNTRY MEADOWS ADDN SEC 3 - 7	BLK 12	GALLUP, DEBORAH	2236 CANCUN DR	MANSFIELD, TX	76063
COUNTRY MEADOWS ADDN SEC 3 - 7	BLK 18	RAMBUS, SHAWN	1720 ABACO DR	MANSFIELD, TX	76063
COUNTRY MEADOWS ADDN SEC 3 - 7	BLK 18	KAKEMBO, WILSON K	2231 CANCUN DR	MANSFIELD, TX	76063-8549
COUNTRY MEADOWS ADDN SEC 3 - 7	BLK 18	PROGRESS DALLAS LLC	PO BOX 4090	SCOTTSDALE, AZ	85261
COUNTRY MEADOWS ADDN SEC 3 - 7	BLK 18	GONZALES, JESSICA	1718 ABACO DR	MANSFIELD, TX	76063-8558
COUNTRY MEADOWS ADDN SEC 3 - 7	BLK 18	TURRUBIARTES, CESAR	1706 ABACO DR	MANSFIELD, TX	76063
COUNTRY MEADOWS ADDN SEC 3 - 7	BLK 18	JENNINGS, SHONDRA	1708 ABACO DR	MANSFIELD, TX	76063-8558
COUNTRY MEADOWS ADDN SEC 3 - 7	BLK 18	GBADAMOSI, YINKA	1710 ABACO DR	MANSFIELD, TX	76063-8558
COUNTRY MEADOWS ADDN SEC 3 - 7	BLK 18	COLES, JOSHUA	1712 ABACO DR	MANSFIELD, TX	76063-8558
COUNTRY MEADOWS ADDN SEC 3 - 7	BLK 18	BLUBAUGH, PAUL	1714 ABACO DR	MANSFIELD, TX	76063
COUNTRY MEADOWS ADDN SEC 3 - 7	BLK 19	MALAVE, ANTONIO	1715 ABACO DR	MANSFIELD, TX	76063-8559
COUNTRY MEADOWS ADDN SEC 3 - 7	BLK 19	CHEN, ALPHONSUS	1713 ABACO DR	MANSFIELD, TX	76063
COUNTRY MEADOWS ADDN SEC 3 - 7	BLK 19	ZHAO, FENGCHUN	1711 ABACO DR	MANSFIELD, TX	76063
COUNTRY MEADOWS ADDN SEC 3 - 7	BLK 19	GUILLORY, KEVIN	1709 ABACO DR	MANSFIELD, TX	76063-8559

## Property Owner Notification for ZC#21-008

<b>LEGAL DESC 1</b>	<b>LEGAL DESC 2</b>	<b>OWNER NAME</b>	<b>OWNER ADDRESS</b>	<b>CITY</b>	<b>ZIP</b>
COUNTRY MEADOWS ADDN SEC 3 - 7	BLK 19	LE, FRANCIS	1707 ABACO DR	MANSFIELD, TX	76063-8559
COUNTRY MEADOWS ADDN SEC 3 - 7	BLK 20	LOYLES, BRIAN	1719 ABACO DR	MANSFIELD, TX	76063-8559
COUNTRY MEADOWS ADDN SEC 3 - 7	BLK 20	BROTHERS, BRIAN	PO BOX 170	LILLIAN, TX	76061-0170
COUNTRY MEADOWS ADDN SEC 3 - 7	BLK 20	CALLIHAN, RAYMOND	1723 ABACO DR	MANSFIELD, TX	76063
COUNTRY MEADOWS ADDN SEC 3 - 7	BLK 20	ROSS, RUSTY	1725 ABACO DR	MANSFIELD, TX	76063
MCDONALD, JAMES SURVEY	A 997	BISBEE RANCH LLC	1019 WALNUT FALLS CIR	MANSFIELD, TX	76063
MCDONALD, JAMES SURVEY	A 997	TESTUDO LAND LLC	101 W GLADE RD STE 109	EULESS, TX	76039

**EXHIBIT A**  
**PROPERTY DESCRIPTION**

**BEING** a tract of land situated in the James McDonald 1/3 League Survey, Abstract No. 997, City of Mansfield, Tarrant County, Texas, being all the land described in the deed to Testudo Land, LLC, as recorded in Instrument No. D216010303, Official Public Records, Tarrant County, Texas, and being more particularly described by metes and bounds as follows: (Bearings based on the Texas Coordinate System of 1983, North Central Zone, 4202, determined by GPS observations)

**BEGINNING** at a 1/2" iron rod found for the northwest corner of said Testudo Land, LLC tract, the most westerly southwest corner of a called 69.289 acre tract of land described in the deed to Bisbee Ranch, LLC, (Tract 2) as recorded in Instrument No. D217247689 of said Official Public Records, and in the easterly right-of-way line of Southern Pacific Railroad Company, a 100 feet wide right-of-way, from said 1/2" iron rod found, a 5/8" capped iron rod stamped "RPLS 4838" found in the westerly line of said Bisbee Ranch, LLC, bears N 11°44'19" W, a distance of 182.90 feet;

**THENCE** N 60°25'46" E, departing the easterly right-of-way line of said Southern Pacific Railroad Company and with the common line of said Testudo Land, LLC tract and said Bisbee Ranch, LLC tract, a distance of 703.63 feet (deed 703.51 feet) to a 5/8" iron rod found at a fence corner post for the northeast corner of said Testudo Land, LLC tract, an interior ell corner of said Bisbee Ranch, LLC tract;

**THENCE** S 30°20'19" E, with the common line of said Testudo Land, LLC tract and said Bisbee Ranch, LLC tract, a distance of 83.55 feet to a 1" bolt found for the most easterly southwest corner of said Bisbee Ranch, LLC tract and for the northwest corner of Country Meadows Addition, Section 8, an addition to the City of Mansfield, Tarrant County, Texas, according to the plat recorded in Cabinet A, Slide 11020, Plat Records, Tarrant County, Texas;

**THENCE** S 31°00'19" E, with the easterly line of said Testudo Land, LLC tract, a distance of 570.52 feet to a point for the southeast corner of said Testudo Land, LLC tract;

**THENCE** S 59°05'42" W, with the southerly line of said Testudo Land, LLC tract, passing a 1/2" iron rod found for the most northerly northeast corner of Alpine Industrial Park, an addition to the City of Mansfield, Tarrant County, Texas, according to the plat recorded in Volume 388-217, Page 35 of said Plat Records, at a distance of 0.55 feet, and continue for a total distance of 798.79 feet (deed 798.65 feet) to a 1/2" iron rod found for the southwest corner of said Testudo Land, LLC tract, the northwest corner of said Alpine Industrial Park and in the easterly right-of-way line of said Southern Pacific Railroad Company, said 1/2" iron rod found being the beginning of a non-tangent curve to the right, having a radius of 1,803.29 feet and a chord which bears N 22°49'30" W, a distance of 677.17 feet;

**THENCE** in a northwesterly direction, with the westerly line of said Testudo Land, LLC tract, the easterly right-of-way line of said Southern Pacific Railroad Company and said non-tangent curve to the right, through a central angle of 21°38'39", an arc length of 681.21 feet (deed 681.14 feet) to the **POINT OF BEGINNING** containing 512,047 Square Feet or 11.755 Acres of Land, more or less.



Lon E. Whitten, RPLS No. 5893  
Date: May 17, 2021



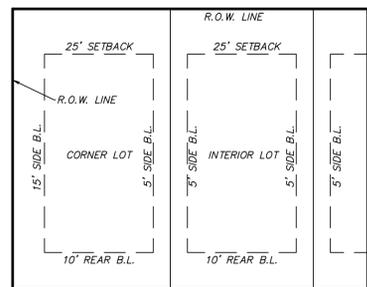
CURVE TABLE					
CURVE #	LENGTH	RADIUS	DELTA	CHORD DIRECTION	CHORD LENGTH
C1	84.54'	250.00'	19° 22' 27"	S 49°43'33" W	84.13'
C2	84.54'	250.00'	19° 22' 27"	N 49°43'33" E	84.13'
C3	51.41'	39.00'	75° 31' 36"	S 21°19'56" W	47.77'
C4	179.76'	1658.29'	6° 12' 39"	N 19°32'11" W	179.67'
C5	66.89'	39.00'	98° 15' 46"	S 71°46'23" E	58.98'

TRACT 2  
69.289 ACRES  
BISBEE RANCH, LLC  
CC# D217247689  
OPRTCT

PRE-DEVELOPMENT DISTRICT  
PR  
UNDEVELOPED

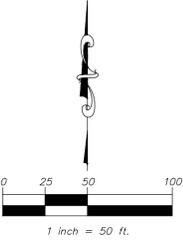


LAND USE SUMMARY TABLE	
LOT TYPE	PROPOSED LOT COUNT
50' X 100'	45
60' X 100'	6
OPEN SPACE LOT	4
TOTAL ACREAGE	11.76
GROSS DENSITY	4.3 UNIT/AC



**PLANNED DEVELOPMENT REGULATIONS:**

- THE BASE ZONING DISTRICT FOR THIS PLANNED DEVELOPMENT SHALL BE SF-6/12.
- ARCHITECTURAL REQUIREMENTS: EXCEPT AS PROVIDED BELOW, THE PROVISIONS FOR ARCHITECTURE IN SECTION 155.056 SHALL APPLY TO THE CONSTRUCTION OF ALL STRUCTURES WITHIN THIS DISTRICT. THE PROVISIONS FOR ARCHITECTURE PROVIDED BELOW, WHEN IN CONFLICT WITH THOSE EXISTING IN SECTION 155.056, SHALL TAKE PRECEDENCE.
  - THE EXTERIOR FINISH MATERIAL ON ALL ELEVATIONS, EXCEPT FOR OPENINGS FOR DOORS AND WINDOWS, SHALL BE LIMITED TO ANY COMBINATION OF BRICK, WOOD, CEMENTITIOUS FIBER BOARD, STONE, AND STUCCO.
    - ALL STONE SHALL BE DETAILED AND LAID TO RESEMBLE STRUCTURAL STONE WALLS (I.E. STONE SHALL BE CHOPPED OR SAW CUT).
    - ALL STUCCO SHALL BE CEMENT PLASTER MADE OF CEMENT SAND AND LIME AND SHALL BE APPLIED TO ELEVATIONS USING A THREE-STEP PROCESS WITH A SMOOTH OR SAND-TWISH EXTERIOR INSULATED FINISHING SYSTEMS (E.I.F.S.) OR OTHER SYNTHETIC STUCCO AS DEFINED BY THE INTERNATIONAL BUILDING CODE SHALL BE PROHIBITED ON ALL ELEVATIONS.
  - PITCHED ROOFS SHALL BE PROVIDED FOR EACH DWELLING. ALL PITCHED ROOFS SHALL BE SYMMETRICALLY SLOPED NO LESS THAN 6:12, EXCEPT THAT PITCHED ROOFS FOR PORCHES AND OTHER SIMILAR ARCHITECTURAL FEATURES MAY BE NO LESS THAN 3:12.
    - ALL ROOFS SHALL BE ASPHALT, METAL, SLATE, OR WOOD SHAKES.
  - DWELLINGS WITH THE SAME OR SUBSTANTIALLY THE SAME STREET ELEVATION ON THE SAME STREET MUST BE SEPARATED BY AT LEAST THREE (3) LOTS ON THE SAME SIDE OF THE STREET OR OPPOSITE SIDE OF THE STREET TO CREATE A MOVING BLOCK OF SIX (6) LOTS THAT CANNOT HAVE THE SAME OR SUBSTANTIALLY THE SAME STREET ELEVATION. THE TERM "SUBSTANTIALLY THE SAME" SHALL MEAN ANY OF THE FOLLOWING CONDITIONS: (I) IDENTICAL ROOF LINES AND GABLES FACING THE STREET; (II) THE SAME COLOR AND / OR COMBINATION OF EXTERIOR FINISH MATERIAL; OR (III) IDENTICAL PLACEMENT OF OPENINGS FOR DOORS AND WINDOWS.
  - ALL DWELLINGS BUILT ON A CORNER LOT SHALL HAVE A SIDE-ENTRY GARAGE, EXCEPT WHERE A DRIVEWAY CANNOT BE PROVIDED IN ACCORDANCE WITH THE CITY'S REGULATIONS.
  - AT LEAST TWENTY-ONE (21) OF THE HOMES SHALL BE BUILT WITH A FRONT PORCH. WHERE PROVIDED, ALL FRONT PORCHES SHALL BE CONSTRUCTED AS FOLLOWS:
    - FRONT PORCHES SHALL BE LOCATED AT THE FRONT DOOR OF THE DWELLING AND, ON CORNER LOTS, SHALL WRAP AROUND THE DWELLING, EXCEPT WHERE REQUIRED OTHERWISE AS PROVIDED IN BELOW.
    - FRONT PORCHES SHALL BE AT LEAST FIVE (5) FEET DEEP AND SHALL PROVIDE ROOM FOR FURNITURE AND OTHER INFORMAL OUTDOOR SOCIAL ACTIVITIES.
    - FRONT PORCHES SHALL BE COVERED WITH A PITCHED ROOF AND SHALL BE OPEN TO THE AIR ON AT LEAST TWO (2) SIDES.
    - FRONT PORCH FLOORS SHALL BE CONCRETE SLAB, STONE, OR WOOD PLANK. SYNTHETIC MATERIALS ARE PERMITTED PROVIDED THEY HAVE THE APPEARANCE OF CONCRETE, STONE, OR WOOD.
    - FRONT PORCHES, INCLUDING WRAP-AROUND FRONT PORCHES, MAY ENCROACH INTO THE REQUIRED SETBACKS A MAXIMUM OF FIVE (5) FEET.
  - AT LEAST FIFTY (50) PERCENT OF THE HOMES BUILT WITH A SIDE-ENTRY GARAGE SHALL HAVE A WRAP-AROUND FRONT PORCH.
  - WHERE PROVIDED, POSTS SHALL BE A MINIMUM OF SIX (6) INCHES BY SIX (6) INCHES IN DIMENSION; AND, WHERE PROVIDED, COLUMNS SHALL BE A MINIMUM OF EIGHT (8) INCHES BY EIGHT (8) INCHES IN DIMENSION. THE MATERIALS FOR POSTS AND COLUMNS SHALL BE AS PROVIDED BELOW:
    - ALL POSTS SHALL BE MADE OF CEDAR; AND POSTS MAY HAVE PIERS CONSTRUCTED OF BRICK OR STONE. PIERS SHALL BE A MINIMUM OF TWELVE (12) INCHES BY TWELVE (12) INCHES IN DIMENSION.
    - ALL COLUMNS SHALL BE MADE OF BRICK, CONCRETE, OR STONE.
    - ALL SPACES BETWEEN POSTS AND COLUMNS SHALL BE VERTICALLY PROPORTIONED.
  - ALL EXPOSED EXTERIOR WOOD SURFACES WILL BE EITHER PAINTED OR STAINED.
  - FLUSH-MOUNTED WINDOWS SHALL BE PROHIBITED. ALL WINDOWS IN ELEVATIONS OF BRICK, STONE, OR STUCCO SHALL BE RECESSED A MINIMUM OF THREE (3) INCHES FROM THE EXTERIOR WALL. ALL WINDOWS FACING STREETS OR REQUIRED OPEN SPACE SHALL HAVE DIVIDED LIGHT AND WILL BE TRIMMED WITH A PICTURE FRAME USING THE BUTT END OF BRICK, STONE, OR WOOD. THE DIVIDED LIGHT PATTERNS SHALL VARY THROUGH THE COMMUNITY.
  - FRONT DOORS, ON THE HOMES WITH SIDE-ENTRY GARAGES SHALL BE DIRECTLY CONNECTED TO THE PUBLIC SIDEWALK ALONG THE ADJACENT STREET WITH A WALKWAY NO WIDER THAN FIVE (5) FEET.
  - ALL ELEVATIONS FACING A STREET OR REQUIRED OPEN SPACE SHALL BE NO LESS THAN FIFTEEN (15) PERCENT AND NO MORE THAN THIRTY (30) PERCENT GLAZED IN GLASS.
  - ALL DOOR AND WINDOW HEIGHTS SHALL BE CONSISTENT ON ELEVATIONS FACING A STREET OR REQUIRED OPEN SPACE.
  - WHERE PROVIDED, EXTERIOR SHUTTERS SHALL BE SIZED AND SHAPED TO MATCH THE ASSOCIATED OPENINGS AND SHALL HAVE HINGES AND TIEBACKS AS IF OPERABLE. ALL EXTERIOR SHUTTERS SHALL BE WOOD; AND SYNTHETIC MATERIALS ARE PERMITTED PROVIDED THEY HAVE THE APPEARANCE OF WOOD.
- STREETLIGHTS SHALL BE ENHANCED (AND CONFORM WITH ONCOR AND CITY STANDARDS) WITH DECORATIVE BASE, POLE AND LIGHT STANDARDS.
- STREET SIGNS SHALL BE ENHANCED WITH DECORATIVE POLE AND MOUNTS WITH STANDARD STREET SIGNS ATTACHABLE AND SHALL BE MAINTAINED BY THE H.O.A.
- A MANDATORY HOMEOWNERS ASSOCIATE WILL BE RESPONSIBLE FOR THE MAINTENANCE OF THE PRIVATE AMENITIES, OPEN SPACES AND COMMON AREAS, INCLUDING BUT NOT LIMITED TO FENCING BETWEEN CRESTWOOD AND THE INDUSTRIAL PROPERTY; SUBDIVISIONS LANDSCAPING ON COMMON LOTS; AND ENTRYWAY FEATURES INCLUDING LANDSCAPING, MONUMENTS, SIGNAGE, AND ANY NON-STANDARD PAVEMENT.
- THIS PROPOSED PLANNED DEVELOPMENT WILL BE IN COMPLETE ACCORDANCE WITH PROVISIONS OF THE APPROVED DEVELOPMENT DISTRICT AND THAT ALL DEVELOPMENT PLANS RECORDED HEREUNDER SHALL BE BINDING UPON APPLICANT THEREOF, HIS SUCCESSORS AND ASSIGNS, AND SHALL LIMIT AND CONTROL ALL BUILDING PERMITS.
- ALL INTERNAL REAR AND SIDE YARD WOOD AND ORNAMENTAL IRON FENCES SHALL BE INSTALLED BY THE BUILDER AND MAINTAINED BY THE HOMEOWNER.
- WOOD FENCES SHALL BE PRIVACY FENCES, WITH CAP, ON METAL POLES, AND STAINED WITH NATURAL WOOD FINISHING/DECOR STAIN. WOOD FENCING SHALL BE A MINIMUM OF 6' IN HEIGHT AND A MAXIMUM OF 8' IN HEIGHT.
- THE DEVELOPMENT WILL BE CONSTRUCTED IN ONE PHASE.
- THE MINIMUM LOT FRONTAGE ON A PUBLIC STREET SHALL BE 45 FEET WITH THE EXCEPTION OF LOTS 3, 4, 13 & 14, BLOCK 1 WHICH SHALL HAVE A LOT MINIMUM FRONTAGE OF 34 FEET.
- CORNER LOTS SHALL ACCOMMODATE SIDE ENTRY GARAGES.
- THIS DEVELOPMENT WILL CONNECT THE EXISTING CONCRETE PORTION OF GRIFFIN LANE WITH THE ASPHALT PORTION OF GRIFFIN LANE. THE CITY WILL PARTICIPATE IN THE COST OF THE ASPHALT OVERLAY AS THE FULL DEPTH REPAIR AND OVERLAY IS REQUIRED.



**EXHIBIT "B"**  
**DEVELOPMENT PLAN**  
CRESTWOOD  
Being Approximately 11.76 Acres of land  
situated in the James McDonald 1/4 League Survey,  
Abstract No. 997  
City of Mansfield, Tarrant County, TX  
51 Single Family Lots, 4 Open Space Lots

ZC#21-008  
July 2021

**OWNER:**

TESTUDO LAND, LLC  
101 W GLADE RD, STE 109  
EULESS, TX 76039  
CONTACT: BAILEY BREWER  
BAILEY@AHCMANAGEMENT.COM

**DEVELOPER:**

BAYLEY YANDELL DEVELOPMENT LTD.  
1105 GLADE ROAD, SUITE 100  
COLLEYVILLE, TX 7634  
CONTACT: SHAWN GOFF  
SHAWN.GOFF@GRAHAMHART.COM

**ENGINEER & LANDSCAPE ARCHITECT**



old engineering surveying landscape architecture planning  
texas registration number: 1-2759  
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519 east border  
arlington, texas 76010  
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DEVELOPMENT STANDARDS	50' LOTS	60' LOTS
MINIMUM FLOOR AREA (SF)	1,800	2000
MAXIMUM LOT COVERAGE	45%	45%
MINIMUM LOT AREA (SF)	5000	6000
MINIMUM LOT WIDTH	50'	60'
MINIMUM LOT DEPTH	100'	100'
MINIMUM FRONT SETBACK	25'	25'
MINIMUM REAR SETBACK	10'	10'
MINIMUM INTERIOR SIDE YARD SETBACK	5'	5'
MINIMUM EXTERIOR SIDE YARD SETBACK	15'	15'

CORNER LOTS MUST BE AT LEAST 10' WIDER THAN THE MINIMUM LOT WIDTH.

0.927 ACRES  
AUNDRIA C BLACKSTONE  
CC# D215188918  
OPRTCT

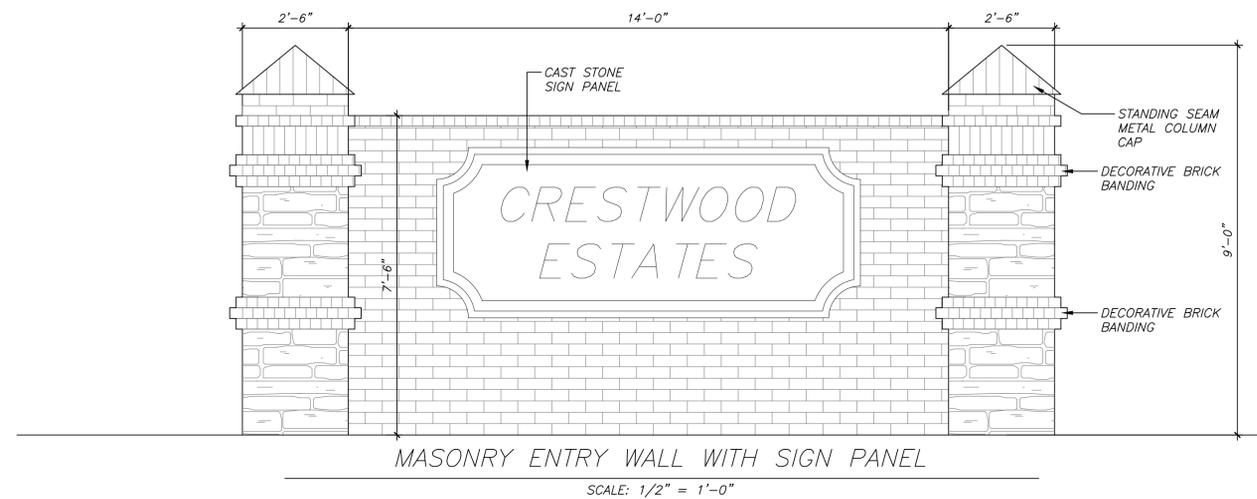
LOT 6, BLOCK 1  
WESTERN EXECUTIVE FINANCIAL CORP.  
CC# D214123926  
OPRTCT

LOT 7, BLOCK 1  
BOC ENTERPRISES, LLC  
CC# D215067357  
OPRTCT

LOTS 1-12, BLOCK 1  
ALPINE INDUSTRIAL PARK  
VOL. 388-217, PG. 35  
PRCTCT



**VICINITY MAP**  
NO SCALE



MASONRY ENTRY WALL WITH SIGN PANEL

SCALE: 1/2" = 1'-0"

**SUBDIVISION ENHANCED ENTRY**

REQUIREMENT	REQUIRED	PROVIDED
1. BOULEVARD SECTION WITH MEDIAN	YES	STREET SECTION IS INSUFFICIENT FOR MEDIAN
2. ENHANCED PAVERS OR STAINED CONCRETE	YES	YES
3. DECORATIVE STREET LIGHTING AT THE ENHANCED ENTRYWAY IN CONFORMANCE WITH CITY STANDARDS	YES	YES
4. ENHANCED ARCHITECTURAL FEATURES	YES	YES
5. ENHANCED FENCING AND LANDSCAPE FEATURES	YES	YES
6. USE SLIP ROADS ADJACENT TO ARTERIALS TO FRONT SOME HOMES ON OPEN SPACE	YES	NOT APPLICABLE

**PLANT SCHEDULE ENTRY LANDSCAPE**

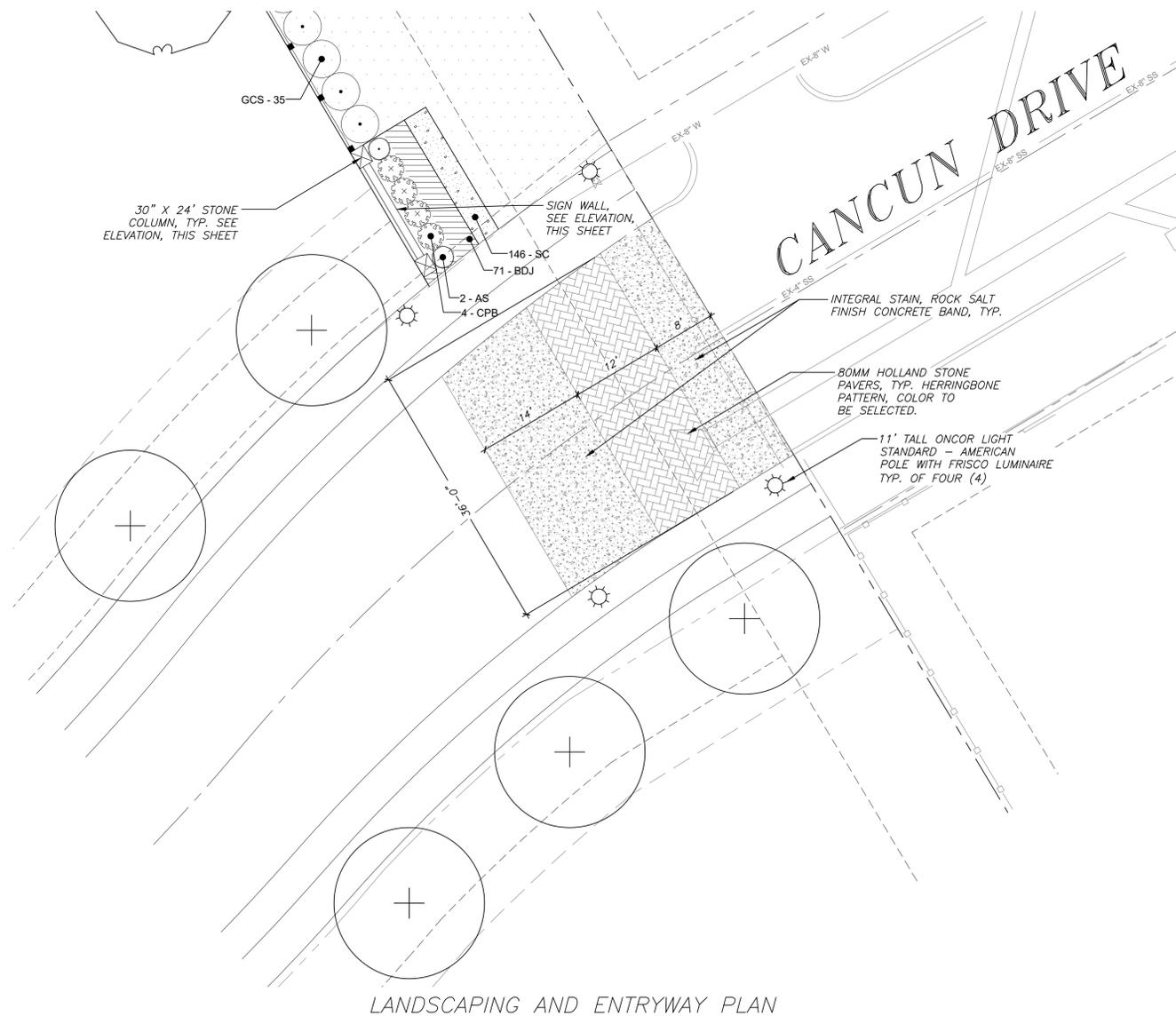
ORNAMENTAL TREES	CODE	QTY	COMMON / BOTANICAL NAME	CAL.
+	FPR	5	FOREST PANSY EASTERN REDBUD CERCIS CANADENSIS 'FOREST PANSY'	3" CAL.
SHRUBS	CODE	QTY	COMMON / BOTANICAL NAME	CONTAINER
•	AS	2	AUTUMN SAGE 'RASPBERRY' SALVIA GREGGII	3 GAL.
⊕	CPB	5	CRIMSON PYGMY BARBERRY BERBERIS THUNBERGII 'CRIMSON PYGMY'	3 GAL.
GROUND COVERS	CODE	QTY	COMMON / BOTANICAL NAME	CONTAINER
▨	BDJ	93	BLUE DART JUNCUS JUNCUS TENUIS 'BLUE DART'	6" POTS
•••	SC	166	SEASONAL COLOR SEASONAL COLOR	4" POTS

**PLANT MATERIAL NOTES:**

- ALL TREES TO BE UNIFORM BY SPECIES WITH STRAIGHT TRUNKS, MATCHING CHARACTER, AND FULL BRANCHING STRUCTURE.
- ALL SHRUBS TO BE FULL AND UNIFORM BY SPECIES WITH MATCHING CHARACTER AND BRANCHING STRUCTURE.
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LANDSCAPING AND ENTRYWAY PLAN

SCALE: 1" = 10'-0"

**CRESTWOOD**  
**EXHIBIT D-1**  
**LANDSCAPING AND**  
**ENTRYWAY PLAN**

ZC#21-008  
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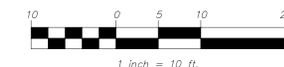
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Michael G. Martin  
L.A.#2836  
07/27/2021

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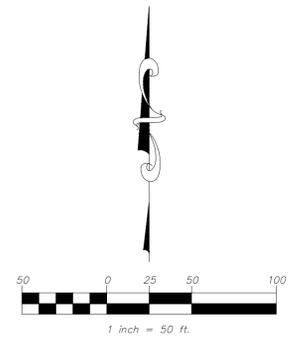
# PLANT SCHEDULE

LARGE TREES	CODE	QTY	COMMON / BOTANICAL NAME	CAL.
	BC	7	BALD CYPRESS TAXODIUM DISTICHUM NURSERY GROWN	3" CAL.
	CE	9	CEDAR ELM ULMUS CRASSIFOLIA NURSERY GROWN	3" CAL.
	CP	2	CHINESE PISTACHE PISTACIA CHINENSIS NURSERY GROWN	3" CAL.
	CO	11	CHINOJAPIN OAK QUERCUS MUEHLENBERGII NURSERY GROWN	3" CAL.
	LAO	24	LACEY OAK QUERCUS LACEYI	3" CAL.
	LO	4	LIVE OAK QUERCUS VIRGINIANA NURSERY GROWN	3" CAL.
	MO	12	MONTEREY OAK QUERCUS POLYMORPHA NURSERY GROWN	3" CAL.
ORNAMENTAL TREES	CODE	QTY	COMMON / BOTANICAL NAME	CAL.
	FPR	9	FOREST PANSY EASTERN REDBUD CERCIS CANADENSIS 'FOREST PANSY'	3" CAL.
	PDC	42	PINK DAWN CHITALPA X CHITALPA TASHKENTENSIS 'PINK DAWN' NURSERY GROWN, SINGLE TRUNK, TREE FORM ONLY	3" CAL.
	SH	26	SAVANNAH HOLLY ILEX X ATTENUATA 'SAVANNAH' NURSERY GROWN	3" CAL.
SHRUBS	CODE	QTY	COMMON / BOTANICAL NAME	CONTAINER
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	GCS	35	GREEN CLOUD TEXAS SAGE LEUCOPHYLLUM FRUTESCENS 'GREEN CLOUD' TM	5 GAL.
GROUND COVERS	CODE	QTY	COMMON / BOTANICAL NAME	CONTAINER
	BDJ	71	BLUE DART JUNCUS JUNCUS TENUIS 'BLUE DART'	6" POTS
	CB	64,910 SF	COMMON BERMUDA CYNODON DACTYLON	SOLID SOD OR HYDROMULCH
	SC	146	SEASONAL COLOR SEASONAL COLOR	4" POTS



**VICINITY MAP**  
NO SCALE

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## CRESTWOOD

### TREE SURVEY

ZC#21-008  
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### LANDSCAPE MAINTENANCE:

1. THE PROPERTY OWNER, TENANT OR AGENT, SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL REQUIRED LANDSCAPING IN A HEALTHY, NEAT, ORDERLY AND LIVE, GROWING CONDITION AT ALL TIMES. THIS SHALL INCLUDE MOWING, EDGING, PRUNING, FERTILIZING, IRRIGATION, WEEDING, AND OTHER SUCH ACTIVITIES COMMON TO THE MAINTENANCE OF LANDSCAPING. LANDSCAPED AREAS SHALL BE KEPT FREE OF TRASH, LITTER, WEEDS AND OTHER SUCH MATERIALS NOT A PART OF THE LANDSCAPING. PLANT MATERIALS THAT DIE SHALL BE REPLACED WITH PLANT MATERIALS OF SIMILAR VARIETY AND SIZE.

### RESIDENTIAL LOT NOTES:

1. EACH RESIDENTIAL LOT SHALL RECEIVE A TREE LOCATED IN THE FRONT AND REAR YARD
2. EACH RESIDENTIAL LOT SHALL HAVE SHRUBS PLANTED ALONG A MINIMUM OF 50% OF THE LENGTH OF THE DWELLING UNIT THAT FACES THE STREET.
3. EACH RESIDENTIAL LOT SHALL RECEIVE GRASS IN THE FRONT, SIDE AND REAR YARDS, ADJACENT TO THE HOUSE AND OUTSIDE OF ANY REAR YARD FENCING
4. EACH RESIDENTIAL LOT SHALL RECEIVE AN UNDERGROUND, AUTOMATIC, IRRIGATION SYSTEM.

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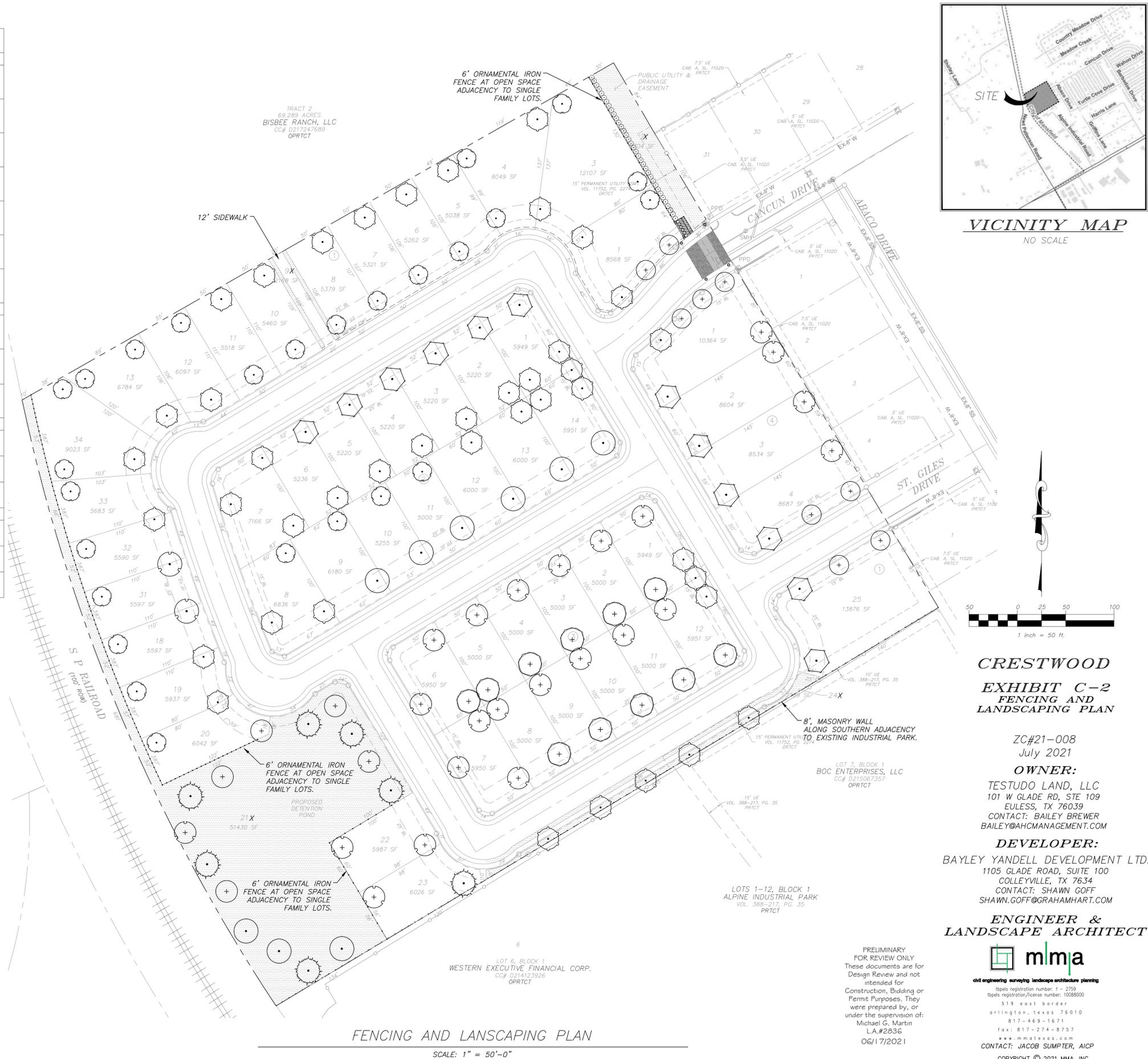
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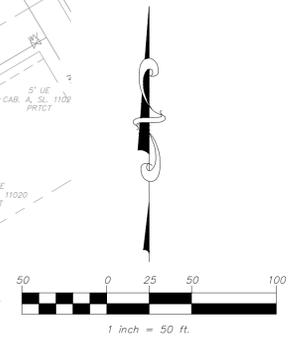
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**VICINITY MAP**  
NO SCALE



**CRESTWOOD  
EXHIBIT C-2  
FENCING AND  
LANDSCAPING PLAN**

ZC#21-008  
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**FENCING AND LANDSCAPING PLAN**

SCALE: 1" = 50'-0"



# CITY OF MANSFIELD

1200 E. Broad St.  
Mansfield, TX 76063  
mansfieldtexas.gov

## STAFF REPORT

File Number: 21-4332

**Agenda Date:** 10/4/2021

**Version:** 1

**Status:** Public Hearing

**In Control:** Planning and Zoning Commission

**File Type:** Zoning Case

**Agenda Number:**

**Title**

ZC#21-015: Public hearing for change of zoning from C-2 Community Business District to PD, Planned Development District for 2F, Two Family Residential District plus triplex for a Duplex and Triplex, Attached Single-Family Development on approximately 6.56 acre tract of land situated in the Henry McGehee Survey, Abstract Number 998, located in the City of Mansfield, Tarrant Co., TX, being all of Lots 6,7,8, and 9, Matlock Center Addition and being part of a called 12.974 Acre Tract in Substitute Trustee’s Deed to Kingdom Work Foundation, recorded in Instrument D214023663 located in the City of Mansfield, Tarrant Co., TX, generally located at 1701 Country Club Drive and 1107-1110 Alexis Court; Brian Cotter of Cotter Associates (planner) on behalf of Louis Scoma of Kingdom Work Foundation (owner)

**Description/History**

*Existing Use:* vacant

*Existing Zoning:* C-2, Community Business District

*Surrounding Land Use & Zoning:*

North -Single-family residential, PR & SF-7.5/12

South - Commercial: Office, Mini Warehouse, and Retail, C-2

East - Commercial and Institutional; Medical Office and Church, C-2

West - Single-family residential, PR & SF-7.5/12

*Thoroughfare Plan Specification:*

Country Club Drive - major arterial (four-lane divided)

Matlock Road - principal arterial (six-lane divided)

Alexis Court - local street (two-lane undivided)

**Comments and Considerations**

The subject vacant property consists of 6.56 acres with existing commercial zoning. The applicant is requesting to rezone the property from C-2 Community Business District to PD Planned Development District for an attached single-family, based on 2F standards, townhouse development. 2F development specifically allows for duplex (two-family) style development. The PD standards would allow for the consideration of up to three attached units.

Development Plan and Standards

The applicant plans to develop an attached single-family residential development (townhouse style development) called Alexis Court Brownstones with 48 residential lots

and four open space lots (10,878 sf, 15.7% of site). An extension of Alexis Court will continue through the site and two new public streets, Grove Lane and Crystal Cove Court, will extend from it connect. The typical lot width will be less than 50 feet wide, as such, the developer is providing all parking access at the rear of the properties via alleyways. A 2-car garage with an apron that can accommodate additional guest and owner parking will be provided for each unit. Each unit will also have an uncovered front porch patio that extends out from the building towards the pedestrian realm. The development will have a gross density of 7.3 dwelling units per acre and will have the following minimum standards:

Average Lot Area: 2,791 sq. ft.

Minimum Lot Area: 1,980 sq. ft.

Largest Lot Area: 4,622 sq. ft.

Minimum Lot Width: 22'

Minimum Lot Depth: 90'

Minimum Front Yard: 10'

Minimum Rear Yard: 18'

Minimum Interior Side Yard: 5' (10' when abutting a street or alley)

Minimum Residential Home SF: 1,593 sq. ft.

Maximum Height: 35'

#### Architectural Regulations and Elevations

The architecture and community design standards will adhere to Section 155.056 of the Zoning Ordinance. Elevations have been provided by the developer and reviewed by staff for compliance. Building materials as presented are over 80% masonry with the remainder being made of masonry like products and wood accents (less than 6% of façade). All homes include an uncovered patio/porch with low wall accent to provide front yards for all homes. At 2-stories, the size of the proposed buildings are comparable to the allowed heights in the surrounding districts. A mix of building styles and materials used allows the neighborhood break up monotony and still maintain a similar character throughout the development.

#### Enhanced Entryway Plan

The entrance into the development on Alexis Court will include an enhanced entryway. As indicated in the Enhanced Entryway Plan (Exhibit C), the developer will be providing five enhanced entry features as required by the Zoning Ordinance. The five proposed elements of the entryway are a boulevard section with median (illustrated by a raised and planted feature in the middle of an existing cul-de-sac), stained concrete (stamped patterned colored concrete), decorative street lighting, enhanced architectural features (enhanced architectural columns), and enhanced landscaping features (shade trees, ornamental trees, shrubs, and ground cover).

#### Landscaping, Screening, and Amenities

A Landscape and Screening Plan (Exhibit D) has been provided for the development. The developer is providing 44,905 sf (15.7% of the site) as open space. 34,027 of that sf is within a buffer lot being provided as a buffer to the surrounding residential development. Along with plantings (including 3" caliper Live and Shumard Red Oak), the

developer is providing a 6-foot board on board cedar fence with cap and galvanized posts. The developer is also providing 4 opens space lots as amenity spaces for the community. They are providing a dog park enclosure, community garden, fire pit, and an unprogrammed gathering area. The sum of those spaces is 10,878 sf. A minimum 20-foot landscape buffer is being provided around the development where the property abuts the existing single-family.

**Recommendation**

Transitions from commercial to residential development are important in promoting orderly growth. The subject property is a portion of an approved plat from 2002 for commercial development around the existing cul-de-sac. As a commercial tract, the subject property does not have direct frontage to the arterials at the intersection. A rezoning to an attached single-family (based on 2F) townhouse project allows for smaller residential lot development to abut existing detached single-family lots and allows the transition to commercial to remain at the existing extent of development. The proposed project provides adequate buffering by providing a 20-foot landscape buffer, 20-foot rear common access drive and an 18-foot-deep drive apron. This separation places the 2-story structures almost 60-feet away from the adjoining SF7.2-12 property lines on the west and north of the property.

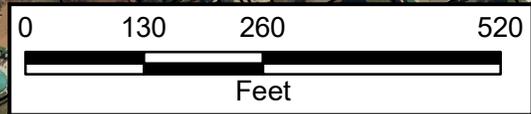
Staff recommends approval.

**Attachments:**

- Maps and Supporting Information
- Exhibit A - Property Description
- Exhibit B - Development Plan
- Exhibit C - Enhanced Entryway Plan
- Exhibit D - Landscape and Screening Plan
- Exhibit E - Residential Elevations



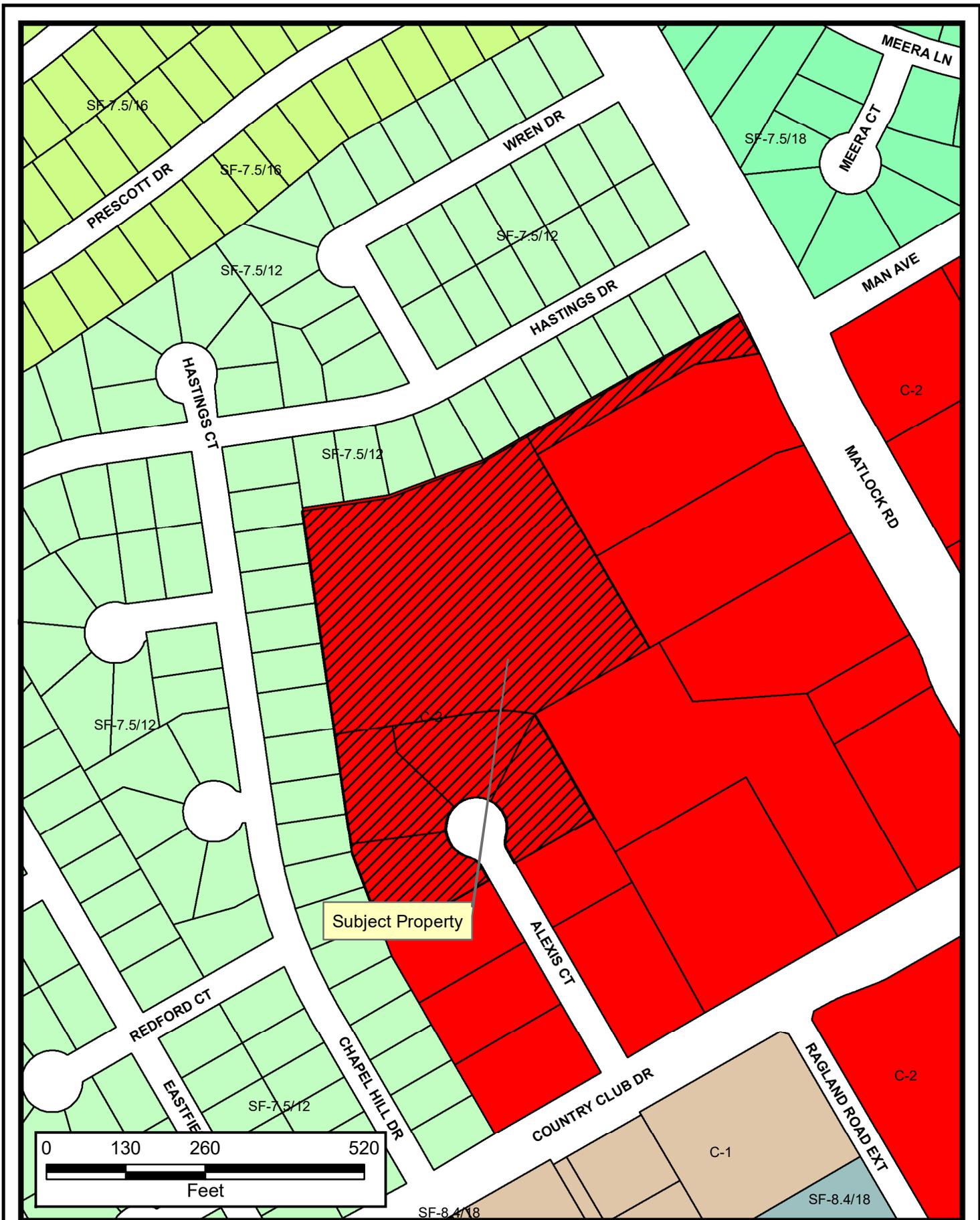
Subject Property



ZC#21-015

This information is for illustrative purposes only. Not for design or development purposes. Site-specific studies may be required to obtain accurate feature locations. Every effort is made to ensure the information displayed here is accurate; however, the City of Mansfield makes no claims to its accuracy or completeness.

9/22/2021



**ZC#21-015**

This information is for illustrative purposes only. Not for design or development purposes. Site-specific studies may be required to obtain accurate feature locations. Every effort is made to ensure the information displayed here is accurate; however, the City of Mansfield makes no claims to its accuracy or completeness.

9/22/2021

## Property Owner Notification for ZC#21-015

LEGAL DESC 1	LEGAL DESC 2	OWNER NAME	OWNER ADDRESS	CITY	ZIP
COUNTRY BEAR ADDITION	BLK 1	HATCH ENTERPRISES LTD	4141 CLOUDVEIL TERR	FORT WORTH, TX	76109
COUNTRY BEAR ADDITION	BLK 1	CUBESMART LP	PO BOX 320099	ALEXANDRIA, VA	22320
HERITAGE ESTATES ADDITION-MNFD	BLK 22	Y K H INC	PO BOX 172108	ARLINGTON, TX	76003-2108
HERITAGE PARK ADDITION	BLK 3	THOMPSON, MARK ALAN	4 MEERA CT	MANSFIELD, TX	76063-3743
HERITAGE PARK ADDITION	BLK 3	JIANG, YIFEI	5 MEERA CT	MANSFIELD, TX	76063
MANSFIELD FIRE DEPT SUBSTATION	BLK 1	MANSFIELD, CITY OF	1200 E BROAD ST	MANSFIELD, TX	76063-1805
MATLOCK CENTER ADDITION	BLK 1	MANSFIELD PROPERTY MANAGEMENT	990 HWY 287 N. SUITE 106 PMB 2	MANSFIELD, TX	76036
MATLOCK CENTER ADDITION	BLK 1	GKR HOLDINGS LLC	1008 MUIRFIELD DR	MANSFIELD, TX	76063
MATLOCK CENTER ADDITION	BLK 1	PES MANAGEMENT LLC	321 S HENDERSON ST	FORT WORTH, TX	76104-1016
MATLOCK CENTER ADDITION	BLK 1	KINGDOM WORK FOUNDATION	3974 WITTEN DR	COLLEYVILLE, TX	76034
MATLOCK CENTER ADDITION	BLK 1	KINGDOM WORK FOUNDATION	3974 WITTEN DR	COLLEYVILLE, TX	76034
MATLOCK CENTER ADDITION	BLK 1	KINGDOM WORK FOUNDATION	3974 WITTEN DR	COLLEYVILLE, TX	76034
MATLOCK CENTER ADDITION	BLK 1	KINGDOM WORK FOUNDATION	3974 WITTEN DR	COLLEYVILLE, TX	76034
MATLOCK CENTER ADDITION	LOT 1	LIVING CHURCH	2271 MATLOCK RD	MANSFIELD, TX	76063-3856
MATLOCK CENTER ADDITION	LOT 2	BAYSIDE COVE LLC	805 MARQUIS CT	COSTA MESA, CA	92626-7304
MCGEHEE, HENRY SURVEY	A 998	KINGDOM WORK FOUNDATION	3974 WITTEN DR	COLLEYVILLE, TX	76034
MCGEHEE, HENRY SURVEY	A 998	KINGDOM WORK FOUNDATION	3974 WITTEN DR	COLLEYVILLE, TX	76034
WALNUT CREEK CONNECTION ADDN	BLK 1	HPA TX LLC	120 S RIVERSIDE PLZ STE 2000	CHICAGO, IL	60606
WALNUT CREEK CONNECTION ADDN	BLK 1	HERNANDEZ, ROBERT	1500 VALLEYWOOD TR	MANSFIELD, TX	76063-5456

## Property Owner Notification for ZC#21-015

LEGAL DESC 1	LEGAL DESC 2	OWNER NAME	OWNER ADDRESS	CITY	ZIP
WALNUT CREEK CONNECTION ADDN	BLK 1	SWAY 2014-1 BORROWER LLC	1131 W WARNER RD STE 102	TEMPE, AZ	85284
WALNUT CREEK CONNECTION ADDN	BLK 2	VO, NGHIA	1616 HASTINGS DR	MANSFIELD, TX	76063
WALNUT CREEK CONNECTION ADDN	BLK 2	MOYA, ISAAC A	1 CHAPEL HILL CT	MANSFIELD, TX	76063-3318
WALNUT CREEK CONNECTION ADDN	BLK 2	ARCHER ROSEMARY ELIZABETH	1215 CHAPEL HILL DR	MANSFIELD, TX	76063
WALNUT CREEK CONNECTION ADDN	BLK 2	TIPPING, PHYLLIS	1213 CHAPEL HILL DR	MANSFIELD, TX	76063
WALNUT CREEK CONNECTION ADDN	BLK 2	JACKSON, R G	1439 SOUTHERN HILLS DR	MANSFIELD, TX	76063-3836
WALNUT CREEK CONNECTION ADDN	BLK 2	SMITH, STACY G	1203 CHAPEL HILL DR	MANSFIELD, TX	76063-3322
WALNUT CREEK CONNECTION ADDN	BLK 2	RABEL, CHRISTOPHER	1201 CHAPEL HILL DR	MANSFIELD, TX	76063-3322
WALNUT CREEK CONNECTION ADDN	BLK 3	HPA TEXAS SUB 2016-2 ML LLC	120 S RIVERSIDE PLZ STE 2000	CHICAGO, IL	60606
WALNUT CREEK CONNECTION ADDN	BLK 3	FUNAKURA, SONJA	1718 HASTINGS DR	MANSFIELD, TX	76063
WALNUT CREEK CONNECTION ADDN	BLK 3	DEWEY, MARK	168 S SIERRA MADRE BLVD UNIT 3 PASADENA, CA		91107
WALNUT CREEK CONNECTION ADDN	BLK 3	GARCIA, JORGE	1714 HASTINGS DR	MANSFIELD, TX	76063
WALNUT CREEK CONNECTION ADDN	BLK 3	GLENN, DAWN A	1712 HASTINGS DR	MANSFIELD, TX	76063-3366
WALNUT CREEK CONNECTION ADDN	BLK 3	TRAN, THAI	1710 HASTINGS DR	MANSFIELD, TX	76063
WALNUT CREEK CONNECTION ADDN	BLK 3	WYATT, JOE C	1708 HASTINGS DR	MANSFIELD, TX	76063-3366
WALNUT CREEK CONNECTION ADDN	BLK 3	VINCENT, DUANE E	1706 HASTINGS DR	MANSFIELD, TX	76063-3366
WALNUT CREEK CONNECTION ADDN	BLK 3	CURRENT, THEODORE W	1704 HASTINGS DR	MANSFIELD, TX	76063-3366
WALNUT CREEK CONNECTION ADDN	BLK 3	HUDSON, KELSEY B	1702 HASTINGS DR	MANSFIELD, TX	76063-3366
WALNUT CREEK CONNECTION ADDN	BLK 3	DAWSON, MALORIE A	1700 HASTINGS DR	MANSFIELD, TX	76063

## Property Owner Notification for ZC#21-015

LEGAL DESC 1	LEGAL DESC 2	OWNER NAME	OWNER ADDRESS	CITY	ZIP
WALNUT CREEK CONNECTION ADDN	BLK 3	WEBER, KAY	1220 CHAPEL HILL DR	MANSFIELD, TX	76063-3321
WALNUT CREEK CONNECTION ADDN	BLK 3	COLEMAN, JAQULIS L	1218 CHAPEL HILL DR	MANSFIELD, TX	76063-3321
WALNUT CREEK CONNECTION ADDN	BLK 3	ZAHIR, DEBORAH	1216 CHAPEL HILL DR	MANSFIELD, TX	76063
WALNUT CREEK CONNECTION ADDN	BLK 3	SOPHIA REALTY SERIES LLC-SERIE	PO BOX 16749	FORT WORTH, TX	76162
WALNUT CREEK CONNECTION ADDN	BLK 3	GUDENAU, TIMOTHY GERARD	1212 CHAPEL HILL DR	MANSFIELD, TX	76063-3321
WALNUT CREEK CONNECTION ADDN	BLK 3	WOOD, CHRISTOPHER D	1210 CHAPEL HILL DR	MANSFIELD, TX	76063-3321
WALNUT CREEK CONNECTION ADDN	BLK 3	SERRANO, MARINO	1208 CHAPEL HILL DR	MANSFIELD, TX	76063-3321
WALNUT CREEK CONNECTION ADDN	BLK 3	ROHR, ANGELA H	1206 CHAPEL HILL DR	MANSFIELD, TX	76063
WALNUT CREEK CONNECTION ADDN	BLK 3	ALLUMS, JANET L	1204 CHAPEL HILL DR	MANSFIELD, TX	76063
WALNUT CREEK CONNECTION ADDN	BLK 3	MOORE, MICHELLE RYAN	1202 CHAPEL HILL DR	MANSFIELD, TX	76063
WALNUT CREEK CONNECTION ADDN	BLK 3	GARDNER, CYNTHIA	4301 WOODCREST LN	MANSFIELD, TX	76063
WALNUT CREEK CONNECTION ADDN	BLK 3	PETERSON, BRANDON	1112 CHAPEL HILL DR	MANSFIELD, TX	76063
WALNUT CREEK CONNECTION ADDN	BLK 3	HENDRIEX, FRANK D	1110 CHAPEL HILL DR	MANSFIELD, TX	76063-3319
WALNUT CREEK CONNECTION ADDN	BLK 3	BENNETT, JOHN	1108 CHAPEL HILL DR	MANSFIELD, TX	76063-3319
WALNUT CREEK CONNECTION ADDN	BLK 3	WALSH, SILVIA	1106 CHAPEL HILL DR	MANSFIELD, TX	76063
WALNUT CREEK CONNECTION ADDN	BLK 3	BAF ASSETS 2 LLC	5001 PLAZA ON THE LAKE SUITE 2	AUSTIN, TX	78746
WALNUT CREEK CONNECTION ADDN	BLK 4	BUCK, ANTHONY	1721 HASTINGS DR	MANSFIELD, TX	76063-3389
WALNUT CREEK CONNECTION ADDN	BLK 4	HPA TEXAS SUB 2017-1 LLC	120 S RIVERSIDE PLZ STE 2000	CHICAGO, IL	60606
WALNUT CREEK CONNECTION ADDN	BLK 4	BEAN, MICHAEL JOHN	1717 HASTINGS DR	MANSFIELD, TX	76063-3389

Property Owner Notification for ZC#21-015

LEGAL DESC 1	LEGAL DESC 2	OWNER NAME	OWNER ADDRESS	CITY	ZIP
WALNUT CREEK CONNECTION ADDN	BLK 4	BOOHER, STACY	1715 HASTINGS DR	MANSFIELD, TX	76063-3389
WALNUT CREEK CONNECTION ADDN	BLK 4	SOMBRIIO, ROBIN	1713 HASTINGS DR	MANSFIELD, TX	76063
WALNUT CREEK CONNECTION ADDN	BLK 4	HEIZMAN, GREGORY	910 MUIRFIELD DR	MANSFIELD, TX	76063-3817
WALNUT CREEK CONNECTION ADDN	BLK 4	CREEKMORE, TERRI ANN	1709 HASTINGS DR	MANSFIELD, TX	76063-3389
WALNUT CREEK CONNECTION ADDN	BLK 5	PISCHEDDA, ALICIA	1701 HASTINGS DR	MANSFIELD, TX	76063-3367
WALNUT CREEK CONNECTION ADDN	BLK 5	HUFMAN, MELODY J	1301 WREN DR	MANSFIELD, TX	76063-3351
WALNUT CREEK CONNECTION ADDN	BLK 5	BAGHERI, SIMA	3212 YORK DR	MANSFIELD, TX	76063
WALNUT CREEK CONNECTION ADDN	BLK 7	AHC STERLING HS OF MANSFIELD	6737 W WASHINGTON ST STE 2300	MILWAUKEE, WI	53214-5650

STATE OF TEXAS §  
COUNTY OF TARRANT §

WHEREAS Kingdom Work Foundation, acting by and through the undersigned, their duly authorized agent, is the owner of the herein described property to wit:

**PLAT METES AND BOUNDS DESCRIPTION**

BEING 6.560 acre tract of land situated in the Henry McGehee Survey, Abstract Number 998, located in the City of Mansfield, Tarrant County, Texas, being all of Lots 6,7,8, and 9, Matlock Center Addition, recorded in Cabinet A, Page 7957 of the Official Public Records, Tarrant County, Texas, (OPRTCT), and being part of a called 12.974 Acre Tract in Substitute Trustee's Deed to Kingdom Work Foundation, recorded in Instrument D214023663, OPRTCT, said 6.560 acre tract being more particularly described as follows:

BEGINNING at a set mag nail with washer stamped "YPASSOCIATES.COM" at the northeast corner of Lot 1, Block 1, Matlock Center Addition, recorded in Cabinet A, Page 8566, OPRTCT and on the West right-of-way line of Matlock Road (120' wide);

THENCE South 80 degrees 34 minutes 22 seconds West, with the north line of said Lot 1, a distance of 105.46 feet to a point for corner an angle point in the north line of said Lot 1, from which a found "X" in concrete bears South 17 degrees 26 minutes 04 seconds West, a distance of 0.62 feet;

THENCE South 59 degrees 59 minutes 05 seconds West, continuing with the north line of said Lot 1, a distance of 296.51 feet to a found "X" in concrete at the northwest corner of said Lot 1;

THENCE South 30 degrees 09 minutes 34 seconds East with the west line of said Lot 1, passing at a distance of 197.13 feet a found 1/2" iron rod with cap stamped "ALS LAND SURVEYING" at the southwest corner of said Lot 1 and the northwest corner of Lot 2, Block 1, Matlock Center Addition, recorded in Cabinet A, Page 8566, OPRTCT, continuing with the west line of said Lot 2, a total distance of 364.66 feet to found mag nail in concrete, at the southwest corner of said Lot 2, in the north line of Lot 2A, Block 1, Country Bear Addition, recorded in Cabinet A, Page 11927, OPRTCT;

THENCE South 60 degrees 07 minutes 18 seconds West, with the north line of said Lot 2A, a distance of 218.19 feet to a found 1/2" iron rod at the northwest corner of said Lot 2A, the northeast corner of said Lot 9, and the east corner of said Lot 8;

THENCE South 29 degrees 55 minutes 17 seconds East, with the west line of said Lot 2A and the east line of said Lot 9, a distance of 195.55 feet to a found 1/2" iron rod at the southeast corner of said Lot 9, and the northeast corner of Lot 10, Block 1, Matlock Center Addition, recorded in Cabinet A, Page 7957, OPRTCT;

THENCE South 60 degrees 11 minutes 27 seconds West, with the south line of said Lot 9 and the north line of said Lot 10, a distance of 150.02 feet to a found 1/2" iron rod with a cap stamped "ypassociates.com" at the southwest corner of said Lot 9, the northwest corner of said Lot 10, and on the east right-of-way line of Alexis Court (50' wide);

THENCE North 29 degrees 48 minutes 33 seconds West with the east right-of-way line of said Alexis Court, a distance of 24.12 feet to a found 1/2" iron rod with a cap stamped "ypassociates.com" at the beginning of a curve to the right having a radius of 28.00' and whose chord bears North 06 degrees 12 minutes 39 seconds West, a distance of 22.42 feet;

THENCE Northwesterly, with the east right-of-way line of said Alexis Court, along said curve to the right, through a central angle of 47 degrees 11 minutes 49 seconds and an arc distance of 23.06 feet to a found 1/2" iron rod with a cap stamped "ypassociates.com" at the beginning of curve to the left having radius point bears North 72 degrees 36 minutes 40 seconds West, a distance of 50.00 feet and whose chord bears South 60 degrees 11 minutes 33 seconds West, a distance of 67.95 feet;

THENCE Southwesterly, with the north right-of-way line of said Alexis Court, along said curve to the left, through a central angle of 274 degrees 23 minutes 33 seconds and an arc distance of 239.45 feet to a found 1/2" iron rod with a cap stamped "ypassociates.com" at the beginning of a curve to the right having a radius of 28.00 feet and whose chord bears South 53 degrees 24 minutes 26 seconds East, a distance of 22.42 feet;

THENCE Southeasterly, with the west right-of-way line of said Alexis Court, along said curve to the right through a central angle of 47 degrees 11 minutes 46 seconds and an arc distance of 23.07 feet to a found 1/2" iron rod;

**PLAT METES AND  
BOUNDS DESCRIPTION**

**YAZEL PEEBLES &  
ASSOCIATES LLC**

TBPELS 10194022  
P.O. Box 210097 817.268.3316  
Bedford, TX 76095 ypassociates.com



2021-162-001

PAGE 1 OF 2



JUNE 25, 2021

**ZC#21-015 EXHIBIT "A"**

**6.560 ACRE TRACT**

BEING LOTS 6,7,8, AND 9 MATLOCK CENTER ADDITION  
AND PART OF A CALLED 12.974 ACRE TRACT  
TO KINGDOM WORK FOUNDATION SITUATED IN THE  
HENRY MCGEHEE SURVEY, ABSTRACT NO. 998

CITY OF MANSFIELD  
TARRANT COUNTY, TEXAS

THENCE South 29 degrees 48 minutes 33 seconds East, with the west right-of-way line of said Alexis Court, a distance of 27.09 feet to a point for corner at the southeast corner of said Lot 6 and the northeast corner of Lot 5, Block 1, Matlock Center Addition, recorded in Cabinet A, Page 7957, OPRTCT from which a Found 1/2" iron rod bears North 49 degrees 08 minutes 48 seconds East, a distance of 0.5 feet;

THENCE South 60 degrees 11 minutes 27 seconds West, with the south line of said Lot 6 and the north line of said Lot 5, a distance of 196.10 feet to a found 1/2" iron rod with cap stamped "WIER ASSOC. INC." at the southwest corner of said Lot 6 and the northwest corner of said Lot 5, being on the east line of Block 3, Walnut Creek Connection Phase I recorded in Volume 388-171, Page 21, OPRTCT;

THENCE North 20 degrees 43 minutes 43 seconds West, with the east line of said Block 3, a distance of 148.79 feet to a point for corner at an angle point on the east line of said Block 3, from which a found 5/8" iron rod bears North 58 degrees 02 minutes 49 seconds West, a distance of 3.4 feet;

THENCE North 08 degrees 17 minutes 58 seconds West, with the east line of said Block 3, a distance of 568.23 feet to a point for corner at an inner ell corner of said Block 3, from which a fence corner post bears North 04 degrees 07 minutes 15 seconds West, a distance of 1.0 feet;

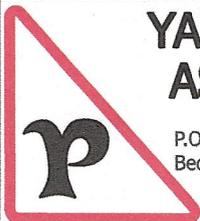
THENC North 81 degrees 42 minutes 02 seconds East, with the south line of said Block 3, a distance of 142.69 feet to a point for corner at an angle point on the south line of said Block 3, from which a fence corner post bears South 16 degrees 36 minutes 29 seconds West, a distance of 0.4 feet;

THENCE North 69 degrees 25 minutes 59 seconds East, with the south line of said Block 3, a distance of 164.17 feet to a point for corner at an angle point on the south line of said Block 3, from which a 1/2" iron rod bears South 60 degrees 07 minutes 05 seconds East, a distance of 1.4 feet;

THENCE North 60 degrees 04 minutes 28 seconds East, with the south line of said Block 3, a distance of 482.98 feet to a point for corner at the southeast corner of said Block 3, on the west right-of-way line of said Matlock Road and in a curve to the right having a radius of 940.00 feet, whose chord bears South 27 degrees 43 minutes 38 seconds East, a distance of 70.15 feet, from which a found 5/8" iron rod bears South 29 degrees 33 minutes 15 seconds East, a distance of 1.0 feet

THENCE Southeasterly, with the west right-of-way line of said Matlock Road, along said curve to the right through a central angle of 04 degrees 16 minutes 36 seconds and an arc distance of 70.16 feet to the POINT OF BEGINNING and containing 6.560 acres, or 285,758 square feet of land, more or less.

PLAT METES AND  
BOUNDS DESCRIPTION

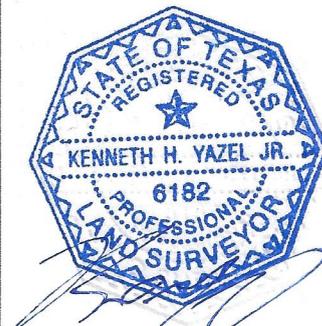


**YAZEL PEEBLES &  
ASSOCIATES LLC**

TBPELS 10194022  
P.O. Box 210097 **817.268.3316**  
Bedford, TX 76095 ypassociates.com

2021-162-001

PAGE 2 OF 2



JUNE 26, 2021

**ZC#21-015 EXHIBIT "A"**

**6.560 ACRE TRACT**

BEING LOTS 6,7,8, AND 9 MATLOCK CENTER ADDITION  
AND PART OF A CALLED 12.974 ACRE TRACT  
TO KINGDOM WORK FOUNDATION SITUATED IN THE  
HENRY McGEHEE SURVEY, ABSTRACT NO. 998

CITY OF MANSFIELD  
TARRANT COUNTY, TEXAS

**MINIMUM DEVELOPMENT STANDARDS:**

- FRONT SETBACK = 10'
- REAR SETBACK = 18'
- SIDE ABUTTING STREET OR ALLEY = 10'. SIDE SETBACK BETWEEN BUILDING BREAKS 5' EACH SIDE. SIDE SETBACK ON ALL OTHERS = 5'.
- LOT DEPTH MIN. = 90', LOT WIDTH MIN. = 22'
- ALL NEW PERIMETER FENCING SHALL BE 6" BOARD ON BOARD CEDAR FENCE WITH CAP AND GALV. POSTS. ANY FENCING IN FRONT YARDS WILL BE 4'-6" ORNAMENTAL IRON. REAR / SIDE YARD FENCES MAY BE 6" B ON B CEDAR OR 6" ORNAMENTAL IRON.
- MIN. HOME S.F. = 1,593 + 2 CAR GARAGE - MIN ROOF PITCH = 6 IN 12  
MAX HOME HEIGHT = 35' - BLDG. PADS = 60' x 22'
- REQUIRED PARKING = 2 PER LOT. PROVIDED = 4 (2 CAR GARAGE + 2 IN DRIVE)
- SIDEWALKS WILL BE INSTALLED WITHIN THIS DEVELOPMENT AS SHOWN.
- RESIDENTIAL LOT LANDSCAPE STANDARDS SHALL BE IN ACCORDANCE WITH CITY ORDINANCE.
- THE SITE AMENITIES AND PERIMETER SCREENING SHALL BE COMPLETED PRIOR TO HOME BUILDING PERMITS.
- ALL AC UNITS SHALL BE SCREENED FROM PUBLIC VIEW.
- ALL ROOFS SHALL BE ENHANCED GAF TIMBERLINE OR EQUAL.
- ALL IRRIGATION OF OPEN SPACE LOTS SHALL BE MAINTAINED BY THE HOA.
- ALL LANDSCAPE AREAS, INCLUDING LANDSCAPE BUFFERS, SETBACK AREAS, OPEN SPACE LOTS AND FRONT YARDS SHALL BE IRRIGATED.
- INDIVIDUAL LOT BACK AND SIDE YARD FENCING (IF DESIRED) SHALL BE A MAXIMUM OF 6" ORNAMENTAL IRON FENCE OR 6" BOARD ON BOARD CEDAR WITH A CAP IN THE SAME STYLE AS THE PERIMETER FENCES.
- THE HOMES SHALL COMPLY WITH COMMUNITY DESIGN STANDARDS 155.056 C AND D, UNLESS SPECIFICALLY STATED AND SHOWN IN THIS PLAN OTHERWISE.
- FRONT PORCH UNCOVERED PATIOS AS SHOWN ON EXHIBIT E SHALL BE PROVIDED FOR EACH HOME. THE PATIOS WILL EXTEND OUT FROM THE BUILDING SETBACK AND PADS SHOWN ON THIS PLAN UP TO THE PROPERTY LINE IN SOME CASES. WITH REAR GARAGES THESE FRONT YARD SPACES WILL SERVE AS THE INDIVIDUAL YARDS FOR EACH HOME.

**MANDATORY OWNERS ASSOCIATION NOTES:**

- A MANDATORY OWNERS ASSOCIATION WILL BE REQUIRED FOR THE MAINTENANCE OF THE "PRIVATE STREETS, OPEN SPACE, ENTRY FEATURES, WALLS, FENCES AND GATES".
- THE OWNERS ASSOCIATION AND ASSOCIATED DOCUMENTS SHALL BE FILED IN ACCORDANCE WITH THE CITY OF MANSFIELD POLICIES. THESE DOCUMENTS MUST BE REVIEWED BY THE CITY ATTORNEY PRIOR TO FILING THE FINAL PLAT. THE DOCUMENTS SHALL BE FILED WITH THE FINAL PLAT AT TARRANT COUNTY WHEN DEEMED NECESSARY BY THE ATTORNEY. THE DOCUMENTS SHALL BE SUBMITTED IN A TIMELY MANNER TO ALLOW FOR A MINIMUM OF 60 FOR REVIEW. FAILURE TO SUBMIT THE DOCUMENTS OR INCOMPLETE DOCUMENTS MAY RESULT IN DELAY OF CONSTRUCTION. ACCEPTANCE OF THE SUBDIVISION OR DELAY IN APPROVAL OF A BUILDING PERMIT. THE CITY DOES NOT ACCEPT THE RESPONSIBILITY FOR ANY DELAYS IN CONSTRUCTION. APPROVAL OR ACCEPTANCE OF THE SUBDIVISION CAUSED BY THE FAILURE TO SUBMIT THE ASSOCIATION DOCUMENTS OR THE INACCURACY OF THE DOCUMENTS.

THE PROPOSED DEVELOPMENT WILL BE IN COMPLETE CONFORMANCE WITH THE PROVISIONS OF THE APPROVED PLANNED DEVELOPMENT DISTRICT AND THAT ALL DEVELOPMENT PLANS RECORDED HEREUNDER SHALL BE BINDING UPON THE APPLICANT THEREOF, HIS SUCCESSORS AND ASSIGNS, AND SHALL LIMIT AND CONTROL ALL BUILDING PERMITS.

ZC#21-015 PLANNED DEVELOPMENT (PD) FOR ALL USES IN 2F CONSISTING OF SINGLE FAMILY ATTACHED TOWNHOMES (2 AND 3 UNIT ATTACHED) WITH REAR GARAGES ACCESSED VIA ALLEYS. 48 LOTS 6 TRI-PLEX BUILDINGS, 15 DUPLEX BUILDINGS.



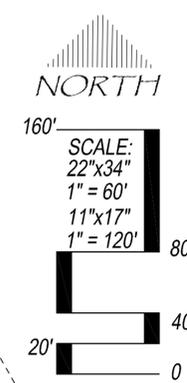
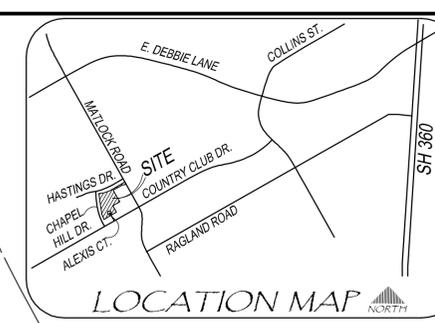
**STONE FIRE PIT WITH FLAGSTONE PAVERS**

NOTE: THE STONE FIRE PIT SHALL MEET ALL MANSFIELD FIRE DEPARTMENT REQUIREMENTS FOR EXTERIOR FIRE FACILITIES. IN ADDITION THE PIT SHALL HAVE A FLAGSTONE PATIO A MIN. OF 6' OUT FROM THE EDGE OF THE FIRE PIT ENCLOSURE. THE FIRE ENCLOSURE SHALL BE A MIN. OF 15' FROM ANY RESIDENTIAL STRUCTURE.

SITE DATA:  
SITE AREA = 285,758 S.F. (6.560 ACRES)  
OPEN SPACE:  
BUFFER LOT 1X, BLK.3 = 34,027 S.F.  
AMENITY LOTS 10X, BLK.1, 6X, BLK.4, 6X, BLK.5, 12X, BLK.6 = 10,878 S.F.  
TOTAL OPEN SPACE = 44,905 S.F. = 15.7% OF SITE  
COMMON ACCESS EASEMENT BLK.A, LOTS 1-5 = 43,655 S.F.  
STREET ROW DEDICATION = 83,284 S.F.  
2F LOT AREA = 133,944 S.F.  
2F TOWNHOUSE LOTS = 48  
DENSITY = 7.3 LOTS / ACRE  
AVERAGE LOT AREA = 2,791 S.F.  
MIN. LOT AREA = 1,980 S.F.  
LARGEST LOT = 4,622 S.F.

**LINE AND CURVE TABLE**

L1=N29°48'33"W 24.12'  
C1=DELTA=47°11'49"  
R=28.00'L=23.06'  
CH=N6°12'39"W 22.42'  
C2=DELTA=274°23'33"  
R=50.00'L=239.45'  
CH=S60°11'33"W 67.95'  
C3=DELTA=47°11'46"  
R=28.00'L=23.07'  
CH=S53°24'26"E 22.42'  
L2=S29°48'33"E 27.09'



**G.A. DIXON & ASSOCIATES**  
CIVIL ENGINEERING - HYDROLOGY - FLOOD STUDIES  
4305 Mossridge Court, Arlington, Texas 76016  
Phone: (817) 919-4475 - Email: GADIXON@GMAIL.COM  
TEXAS ENGINEERING FIRM REGISTRATION #: 15836

**COTTER ASSOCIATES, LLC**  
LAND DEVELOPMENT DESIGN CONSULTANTS  
LAND PLANNING - PROJECT MANAGEMENT - LANDSCAPE ARCHITECTURE  
1703 NORTH PECO DRIVE, SUITE C, ARLINGTON, TEXAS 76010  
Phone: (817) 919-4475 - Email: CALLCOTTER@SBCGLOBAL.NET  
Tx. Arch. Reg. Board FIRM REG. # BR-1373



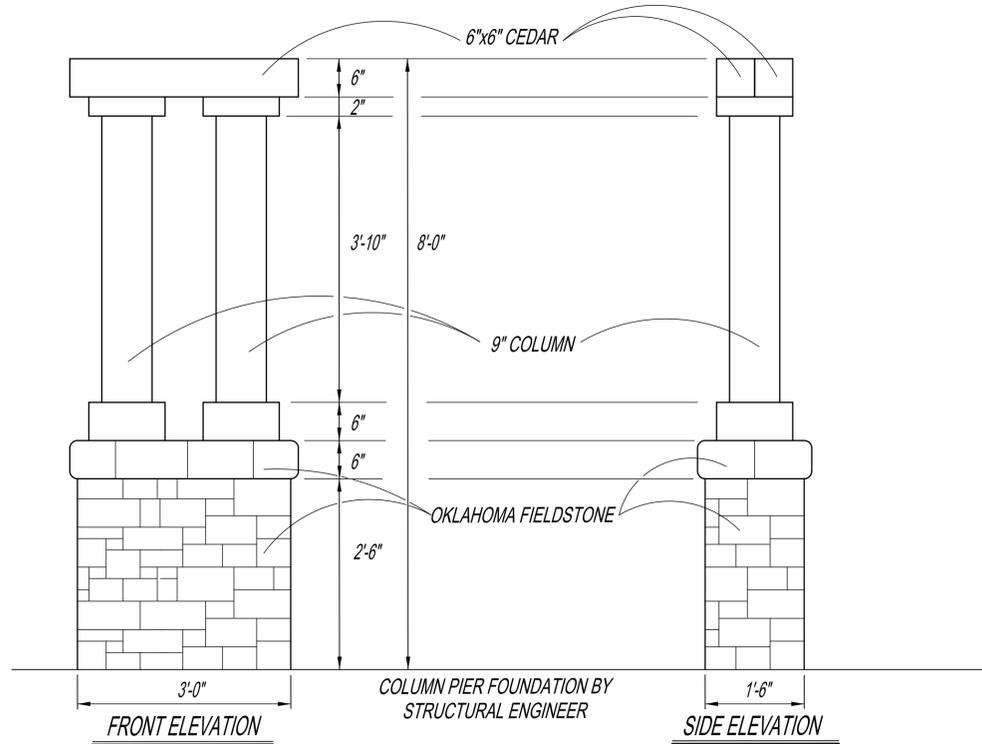
**ALEXIS COURT BROWNSTONES  
1701 COUNTRY CLUB DRIVE**  
PD EXHIBIT "B" SITE PLAN & PRELIMINARY PLAT

DESIGN: BGC  
DRAWN: DJC  
DATE: 9-27-21  
PROJECT: 151817 SITE PLAN

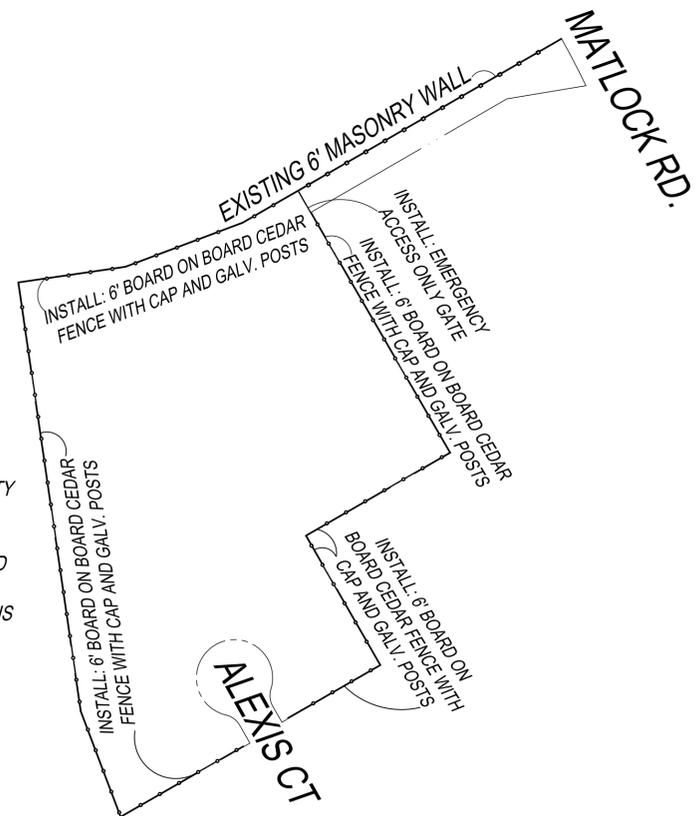
OWNER:  
KINGDOM WORK FOUNDATION  
INST. D214023663, O.P.R.T.C.T.  
3974 WITTEN DR., COLLEYVILLE, TEXAS 76034  
817.307.5989, ACCPKR@GMAIL.COM

DEVELOPER:  
VILLAGE HOMES  
2817 W 5TH ST., FORT WORTH, TEXAS 76107  
817.714.4481, MICHAEL@HOMESOFCHARACTER.COM

SURVEYOR:  
YAZEL PEEBLES & ASSOCIATES LLC  
P.O. BOX 210097, BEDFORD, TEXAS 76095  
817.268.3316, YPASSOCIATES.COM  
TBPELS 10194022

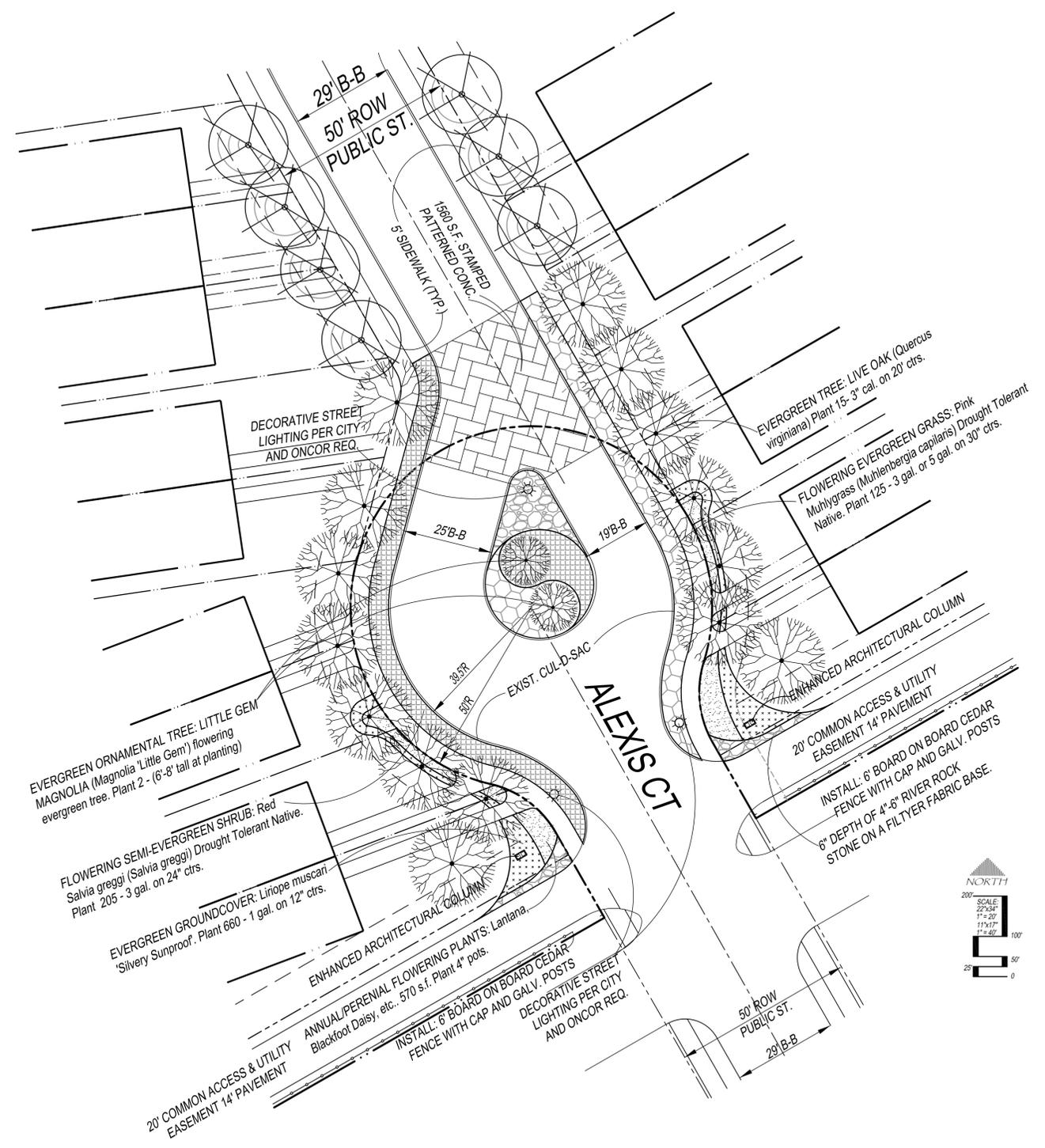


**ENHANCED ARCHITECTURAL COLUMNS ON EACH SIDE OF GRAND ENTRY**



NOTE: THE DEVELOPER WILL CONTACT THE ADJACENT PROPERTY OWNERS ALONG THE NORTH AND WEST PROPERTY LINES AND ATTEMPT TO OBTAIN PERMISSION TO REMOVE THE EXISTING FENCES TO REPLACE WITH THE NEW 6' CEDAR BOARD ON BOARD FENCES WITH CAP. IF DENIED PERMISSION THE DEVELOPER WILL INSTALL THE CONTINUOUS 6' BOARD ON BOARD FENCE ON ALEXIS COURT TOWNHOMES PROPERTY ALONG THE PROPERTY LINE.

**PERIMETER BOARD ON BOARD CEDAR FENCE AND EXIST WALL PLAN**

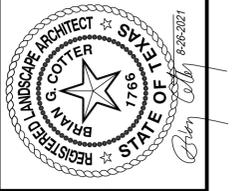


NOTE: THE MAINTENANCE OF ALL LANDSCAPE WITHIN THE PARKWAY AND CITY ROW SHALL BE MAINTAINED BY THE HOA. AUTOMATIC IRRIGATION SHALL BE INSTALLED TO PROVIDE WATER TO ALL TREES, SHRUBS, GROUNDCOVER AND SEASONAL PLANTINGS SHOWN ON THIS EXHIBIT C AND EXHIBIT D, IN ACCORDANCE WITH CITY REQUIREMENTS FOR IRRIGATION WITHIN ROW. THE IRRIGATION SYSTEM SHALL BE MAINTAINED BY THE HOA.

**ENHANCED ENTRY PLAN**

**G.A. DIXON & ASSOCIATES**  
 CIVIL ENGINEERING \* HYDROLOGY \* FLOOD STUDIES  
 4305 Mossridge Court, Arlington, Texas 76016  
 Phone: (827) 808-3166 - Email: EGAD1256@gmail.com  
 TEXAS ENGINEERING FIRM REGISTRATION #: 15836

**COTTER ASSOCIATES, LLC**  
 LAND DEVELOPMENT DESIGN CONSULTANTS  
 LAND PLANNING \* PROJECT MANAGEMENT \* LANDSCAPE ARCHITECTURE  
 1708 NORTH PECO DRIVE, SUITE C, ARLINGTON, TEXAS 76011  
 Phone: (817) 919-4475 - Email: CALLCOTTER@SBCGLOBAL.NET  
 Tx. Arch. Reg. Board FIRM REG. # BR-1373



**ALEXIS COURT BROWNSTONES**  
**1701 COUNTRY CLUB DRIVE**  
**PD EXHIBIT "C" ENHANCED ENTRY PLAN**

DESIGN: BGC  
 DRAWN: DJC  
 DATE: 8-26-21  
 PROJECT NUMBER: 1701COUNTRY CLUB DRIVE PHASE 2A

4 OF 15



4' ORNAMENTAL IRON DOG PARK ENCLOSURE

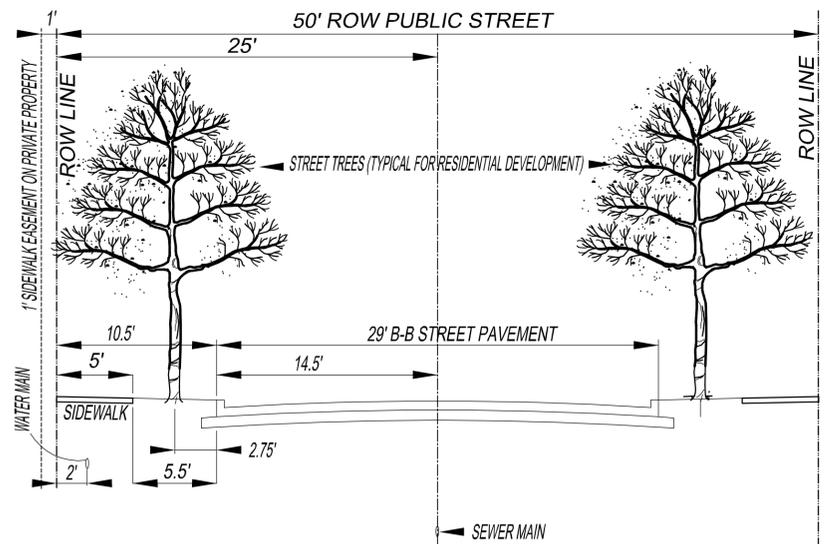
NOTE: THE DOG PARK SHALL BE ENCLOSED BY A 4' TALL ORNAMENTAL IRON FENCE WITH DOUBLE GATED ENTRY AND EXITS. A TRASH RECEPTACLE AND WASTE PICKUP BAG KIOSK SHALL BE PROVIDED.



6' CEDAR BOARD ON BOARD FENCE ELEVATION



6' EMERGENCY ACCESS ONLY OPAQUE GATE



STREET TREE / STREET SECTION



RAISED PLANTERS COMMUNITY GARDEN

**G.A. DIXON & ASSOCIATES**  
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**ALEXIS COURT BROWNSTONES  
 1701 COUNTRY CLUB DRIVE**

**PD EXHIBIT "C" ENHANCED ENTRY PLAN**

DESIGN: BGC  
 DRAWN: DJC  
 DATE: 9-7-21  
 PROJECT: "C" ENHANCED ENTRY PLAN

5 OF 15

- TREES TO BE REMOVED:  
WITHIN EASEMENTS &  
BLDG PAD (EXEMPT)
- EXEMPT TREES TO BE REMOVED:
- #3511 - 10" APRICOT
  - #3513 - 8" HACKBERRY
  - #3515 - 10" HACKBERRY
  - #3516 - 7" HACKBERRY
  - #3519 - 12" CEDAR
  - #3523 - 8" HACKBERRY
  - #3524 - 10" HACKBERRY
  - #3525 - 11" BRADFORD PEAR
  - #3526 - 11" HACKBERRY
  - #3532 - 11" HACKBERRY
  - #3533 - 33" HACKBERRY
  - #3535 - 6" HACKBERRY
  - #3536 - 14" APRICOT
  - #3547 - 7" HACKBERRY
  - #3548 - 18" HACKBERRY
  - #3549 - 16" HACKBERRY
  - #3550 - DEAD 12" HACKBERRY
  - #3553 - 15" HACKBERRY
  - #3554 - 27" HACKBERRY
  - #3555 - 17" HACKBERRY
  - #3558 - 8" HACKBERRY
  - #3559 - 7" HACKBERRY
  - #3560 - 14" HACKBERRY
  - #3562 - 13" HACKBERRY
  - #3563 - 10" HACKBERRY
  - #3564 - 12" HACKBERRY
  - #3565 - 6" HACKBERRY
  - #3566 - 15" HACKBERRY
  - #3567 - 20" HACKBERRY
  - #3568 - 9" HACKBERRY
  - #3569 - 13" HACKBERRY
  - #3570 - 15" CEDAR ELM
  - #3571 - 16" HACKBERRY
  - #3572 - 10" HACKBERRY
  - #3573 - 12" HACKBERRY
  - #3574 - 18" MULBERRY
  - #3575 - 24" HACKBERRY
  - SUMMARY 473 CAL INCHES
- PROTECTED TREES TO REMAIN (PRESERVED TREES):
- #3501 - 11" LIVE OAK (3 TREE CREDIT)
  - #3502 - 7" LIVE OAK (2 TREE CREDIT)
  - #3504 - 12" LIVE OAK (3 TREE CREDIT)
  - #3505 - 10" RED OAK (3 TREE CREDIT)
  - #3506 - 9" RED OAK (3 TREE CREDIT)
  - #3507 - 20" HACKBERRY (4 TREE CREDIT)
  - #3508 - 8" RED OAK (2 TREE CREDIT)
  - #3509 - 12" LIVE OAK (3 TREE CREDIT)
  - #3510 - 7" RED OAK (2 TREE CREDIT)
  - #3512 - 11" HACKBERRY (3 TREE CREDIT)
  - #3514 - 10" RED OAK (3 TREE CREDIT)
  - #3517 - 10" HACKBERRY (3 TREE CREDIT)
  - #3520 - 16" HACKBERRY (4 TREE CREDIT)
  - #3521 - 7" HACKBERRY (2 TREE CREDIT)
  - #3522 - 6" HACKBERRY (2 TREE CREDIT)
  - #3527 - 8" HACKBERRY (2 TREE CREDIT)
  - #3528 - 8" HACKBERRY (2 TREE CREDIT)
  - #3529 - 16" HACKBERRY (4 TREE CREDIT)
  - #3530 - 16" HACKBERRY (4 TREE CREDIT)
  - #3534 - 8" HACKBERRY (2 TREE CREDIT)
  - #3537 - 8" HACKBERRY (2 TREE CREDIT)
  - #3538 - 7" HACKBERRY (2 TREE CREDIT)
  - #3539 - 18" HACKBERRY (4 TREE CREDIT)
  - #3540 - 12" HACKBERRY (3 TREE CREDIT)
  - #3541 - 10" RED OAK (3 TREE CREDIT)
  - #3542 - 6" HACKBERRY (2 TREE CREDIT)
  - #3543 - 11" HACKBERRY (3 TREE CREDIT)
  - #3544 - 9" HACKBERRY (3 TREE CREDIT)
  - #3545 - 13" LIVE OAK (3 TREE CREDIT)
  - #3546 - 11" LIVE OAK (3 TREE CREDIT)
  - #3551 - 6" HACKBERRY (2 TREE CREDIT)
  - #3552 - 15" HACKBERRY (3 TREE CREDIT)
  - #3556 - 17" HACKBERRY (4 TREE CREDIT)
  - #3584 - 16" HACKBERRY (4 TREE CREDIT)
  - #3585 - 10" HACKBERRY (3 TREE CREDIT)
  - #3586 - 19" HACKBERRY (4 TREE CREDIT)
  - #3587 - 19" HACKBERRY (4 TREE CREDIT)
  - #3900 - 10" HACKBERRY (3 TREE CREDIT)
  - SUMMARY 431 CAL INCHES (112 TREE CREDIT)
  - \* ALL PROTECTED TREES PRESERVED

INSTALLED TREES SUMMARY:  
 BUFFER (NORTH AND WEST) OPEN SPACE  
 INSTALLED TREES 25 CANOPY TREES + 5 TREE CREDIT POINTS = 30  
 REQUIRED = PROVIDED BUFFER TREES 1,506.86' / 50 = 30 TREES  
 LOTS = 48 AT 2 PER LOT = 96 REQUIRED = PROVIDED  
 INSTALLED: 70 CANOPY TREES + 13 ORNAMENTAL TREES + 13 TREE CREDITS  
 TREE PLANTING ABOVE ORDINANCE OF 94 PRESERVATION TREE CREDITS

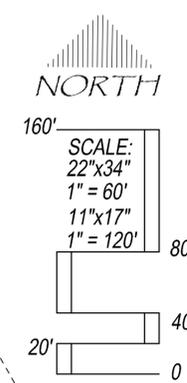
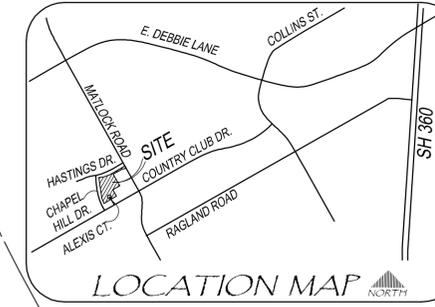
TREE SUMMARY:  
 TOTAL PROTECTED TREES REMOVED = 0 CAL. INCHES  
 TOTAL PROTECTED TREES PRESERVED = 431 CAL. INCHES  
 PRESERVATION EXCEEDS REQUIRED MITIGATION BY 431 CAL. INCHES  
 EXEMPT TREES TO BE REMOVED = 473 CAL. INCHES  
 TREES ABOVE ORD. REQ. = 94 TREE PRESERVATION CREDITS

- INSTALLED TREE LIST:
- EVERGREEN TREE: LIVE OAK (*Quercus virginiana*) Plant 30-3" cal. on 20-25' cfs.
  - DECIDUOUS TREE: SHUMARD RED OAK (*Quercus shumardii*) red fall color tree. Plant 31-3" cal. on 20-25' cfs.
  - 43-3" cal STREET TREES to be installed by each home builder in the center of the parkway between the sidewalk and street. To avoid monoculture and monotony the home builder may select any tree in the following list, but no more than 5 trees of the same species may be utilized in a row.  
 Ginkgo Biloba, Sweetgum (*Liquidambar styraciflua*), Autumn Blaze Maple (*Acer x freemanii*), Lacebark Elm (*Ulmus parvifolia sempervirens*), Caddo Maple (*Acer saccharum 'Caddo'*), River Birch (*Betula nigra*), Goldenrain Tree (*Koeleruteria paniculata*)
  - DECIDUOUS ORNAMENTAL TREE: DESERT WILLOW (*Chilopsis linearis*) flowering tree. Plant 11- (6-8' tall at planting)
  - EVERGREEN ORNAMENTAL TREE: LITTLE GEM MAGNOLIA (*Magnolia 'Little Gem'*) flowering evergreen tree. Plant 2 - (6-8' tall at planting)

- INSTALLED SHRUB AND GROUND COVER LIST:
- FLOWERING EVERGREEN GRASS: Pink Muhlygrass (*Muhlenbergia capillaris*) Drought Tolerant Native. Plant 125 - 3 gal. or 5 gal. on 30' cfs.
  - FLOWERING SEMI-EVERGREEN SHRUB: Red Salvia (*Salvia greggii*) Drought Tolerant Native. Plant 205 - 3 gal. on 24' cfs.
  - EVERGREEN GROUND COVER: Liriope muscari 'Silvery Sunproof'. Plant 660 - 1 gal. on 12' cfs.
  - ANNUAL/PERENNIAL FLOWERING PLANTS: Lantana, Blackfoot Daisy, etc., 570 s.f. Plant 4" pots.
- NOTE:  
 1. EACH LOT SHALL INSTALL SHRUBS AND GROUND COVER BY EACH HOME BUILDER IN ACCORDANCE WITH CITY ORDINANCE REQUIREMENTS.  
 2. All plant material areas shall be irrigated by an automatic underground irrigation system designed by a licensed Texas irrigator in accordance with city ordinance requirements.

LINE AND CURVE TABLE

L1=N29°48'33"W 24.12'
C1=DELTA=47°11'49"
R=28.00', L=23.06'
CH=N6°12'39"W 22.42'
C2=DELTA=274°23'33"
R=50.00', L=239.45'
CH=S60°11'33"W 67.95'
C3=DELTA=47°11'46"
R=28.00', L=23.07'
CH=S53°24'26"E 22.42'
L2=S29°48'33"E 27.09'



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 TEXAS ENGINEERING FIRM REGISTRATION #: 15836

COTTER ASSOCIATES, LLC  
 LAND DEVELOPMENT DESIGN CONSULTANTS  
 LAND PLANNING - PROJECT MANAGEMENT - LANDSCAPE ARCHITECTURE  
 1703 NORTH PECO DRIVE, SUITE C, ARLINGTON, TEXAS 76010  
 Phone: (817) 919-4475 - Email: CALLCOTTER@SBCGLOBAL.NET  
 Tx. Arch. Reg. Board FIRM REG. # BR-1373



ALEXIS COURT BROWNSTONES  
 1701 COUNTRY CLUB DRIVE  
 PD EXHIBIT "D" LANDSCAPE PLAN

DESIGN: BGC	DRAWN: DJC	DATE: 8-26-21	PROJECT: 85 ENH 07 A PLAN
6	OF	15	

OWNER:  
 KINGDOM WORK FOUNDATION  
 INST. D214023663, O.P.R.T.C.T.  
 3974 WITTEN DR., COLLEVILLE, TEXAS 76034  
 817.307.5999, ACCPKB@GMAIL.COM

DEVELOPER:  
 VILLAGE HOMES  
 2817 W 5TH ST., FORT WORTH, TEXAS 76107  
 817.714.4481, MICHAEL@HOMESOFCHARACTER.COM

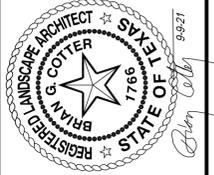
SITE DATA:  
 SITE AREA = 6.66 ACRES  
 2F TOWNHOUSE LOTS = 48  
 OPEN SPACE = 0.97 ACRES = 15.1% OF SITE  
 DENSITY = 7.3 LOTS / ACRE



2 HOME PERSPECTIVE VIEW

**G.A. DIXON & ASSOCIATES**  
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 4305 Mossridge Court, Arlington, Texas 76016  
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 TEXAS ENGINEERING FIRM REGISTRATION #: 15836

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 1703 NORTH PEYCO DRIVE, SUITE C, ARLINGTON, TEXAS 76001  
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 Tx. Arch. Reg. Board FIRM REG. # BR-1373



**ALEXIS COURT BROWNSTONES  
 1701 COUNTRY CLUB DRIVE**

**PD EXHIBIT "E" BUILDING ELEVATIONS**

DESIGN: BGC  
 DRAWN: DJC  
 DATE: 9-9-21  
 PROJECT: PD EXHIBIT "E" RIDGECRE

7 OF 15

ZC#21-015



THREE HOME PERSPECTIVE VIEW

**G.A. DIXON & ASSOCIATES**  
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 4305 Mossridge Court, Arlington, Texas 76016  
 Phone: (827) 808-3166 - Email: EGAD1288@gmail.com  
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 1703 NORTH PEYCO DRIVE, SUITE C, ARLINGTON, TEXAS 76001  
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 Tx. Arch. Reg. Board FIRM REG. # BR-1373



**ALEXIS COURT BROWNSTONES  
 1701 COUNTRY CLUB DRIVE**

**PD EXHIBIT "E" BUILDING ELEVATIONS**

DESIGN: BGC  
 DRAWN: DJC  
 DATE: 9-9-21  
 PROJECT: PD EXHIBIT "E" RIDGECREST

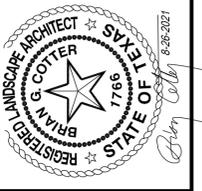
8 OF 15



2 HOME PERSPECTIVE VIEW

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**ALEXIS COURT BROWNSTONES  
 1701 COUNTRY CLUB DRIVE**

**PD EXHIBIT "E" BUILDING ELEVATIONS**

DESIGN: BGC  
 DRAWN: DJC  
 DATE: 9-9-21  
 PROJECT: PD EXHIBIT "E" BGC&C

9 OF 15



**2 HOME PERSPECTIVE VIEW**

**G.A. DIXON & ASSOCIATES**  
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**ALEXIS COURT BROWNSTONES  
 1701 COUNTRY CLUB DRIVE**

**PD EXHIBIT "E" BUILDING ELEVATIONS**

DESIGN: BGC  
 DRAWN: DJC  
 DATE: 9-9-21  
 PROJECT: PD EXHIBIT "E" RIDGECRE

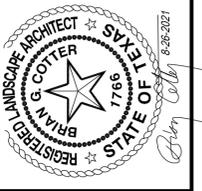
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**2 HOME PERSPECTIVE VIEW**

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**ALEXIS COURT BROWNSTONES  
 1701 COUNTRY CLUB DRIVE**

**PD EXHIBIT "E" BUILDING ELEVATIONS**

DESIGN: BGC  
 DRAWN: DJC  
 DATE: 9-9-21  
 PROJECT: PD EXHIBIT "E" BGC&C

11 OF 15

ZC#21-015



**2 HOME PERSPECTIVE VIEW**

**G.A. DIXON & ASSOCIATES**  
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**ALEXIS COURT BROWNSTONES  
 1701 COUNTRY CLUB DRIVE**

**PD EXHIBIT "E" BUILDING ELEVATIONS**

DESIGN: BGC  
 DRAWN: DJC  
 DATE: 9-9-21  
 PROJECT: PD EXHIBIT "E" BGC/EJ

12 OF 15

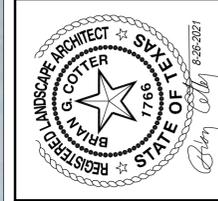
ZC#21-015



**2 HOME PERSPECTIVE VIEW**

**G.A. DIXON & ASSOCIATES**  
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**ALEXIS COURT BROWNSTONES  
 1701 COUNTRY CLUB DRIVE**

**PD EXHIBIT "E" BUILDING ELEVATIONS**

DESIGN: BGC  
 DRAWN: DJC  
 DATE: 9-9-21  
 PROJECT: PD EXHIBIT "E" BGC&C

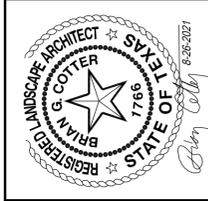
13 OF 15



**2 HOME PERSPECTIVE VIEW**

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**ALEXIS COURT BROWNSTONES  
 1701 COUNTRY CLUB DRIVE**

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 DRAWN: DJC  
 DATE: 9-9-21  
 PROJECT: PD EXHIBIT "E" RIDGECRE

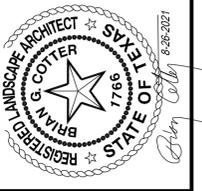
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**2 HOME PERSPECTIVE VIEW**

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 Tx. Arch. Reg. Board FIRM REG. # BR-1373



**ALEXIS COURT BROWNSTONES  
 1701 COUNTRY CLUB DRIVE**

**PD EXHIBIT "E" BUILDING ELEVATIONS**

DESIGN: BGC  
 DRAWN: DJC  
 DATE: 9-9-21  
 PROJECT: PD EXHIBIT "E" RIDGECREEK

15 OF 15

ZC#21-015