

	AREAS	
LIVING	TOTAL	1519 sq.ft.
2 CAR GARAGE-S	TORAGE	500
COVERED PATIO		62
FRONT PORCH		76
	AREA UNDER ROOF	2157 sq.ft.

	LEGEND	
H.C.	HOLLOW CORE	
5.C.	SOLID CORE	
F.D.	FRENCH DOOR	
S.H.	SINGLE HUNG WINDOW	
D.H.	DOUBLE HUNG WINDOW	
F.G.	FIXED GLASS WINDOW	
CSMT.	CASEMENT WINDOW	
F.A.T.	FULL ARCHED TOP	
S.A.T.	SEGMENTED ARCHED TOP	
TRANS.	TRANSOM	
A.F.F.	ABOVE FINISHED FLOOR	
C.O.	CASED OPENING	
K.S.	KNEE SPACE	
E.C.	ENTERTAINMENT CENTER	
H.B.	HOSE BIBB	
F.C.	FLAT CEILING	
6.B.	GLASS BLOCK	
GL.	GLASS	
R.S.C.	ROUGH SAWN CEDAR	
P	CENTER LOCATION	

GENERAL NOTES

Recess Slab in Garage 1-1/2" \$ Slope 1/4" Per Foot
Recess Slab @ Patios 1-1/2" \$ Slope 1/4" Per Foot
Floor trusses Designed to be 1'-6" Open Web w/1- 1/8" Sturdy Floor
Decking (Framing Contractor to Adjust if Truss size Varies)
BEDROOM EGRESS WINDOWS
Minimum 5.7 S.F Openable Area

Minimum 5.7 S.F Openable Area Maximum 44" Sill Height Minimum 20" Clear Width Minimum 24" Clear Height

O 2 4 6 8 10 12 14 16

FLOOR PLAN

SCALE 1/4"=1"-0"

D|S|
Palazzo

These Plans are intended to provide the basic construction information not substantially build this structure. These plans must be verified and che by the builder or general contractor of this job. Any error and/or ommissioned is to be brought to the immediate attention of the Designer before construction. Builder should obtain complete engineering services, HVAC, structural before beginning construction of any kind. NOTE: All Federal, sand Local codes, ordinances and restrictions take precedence over any

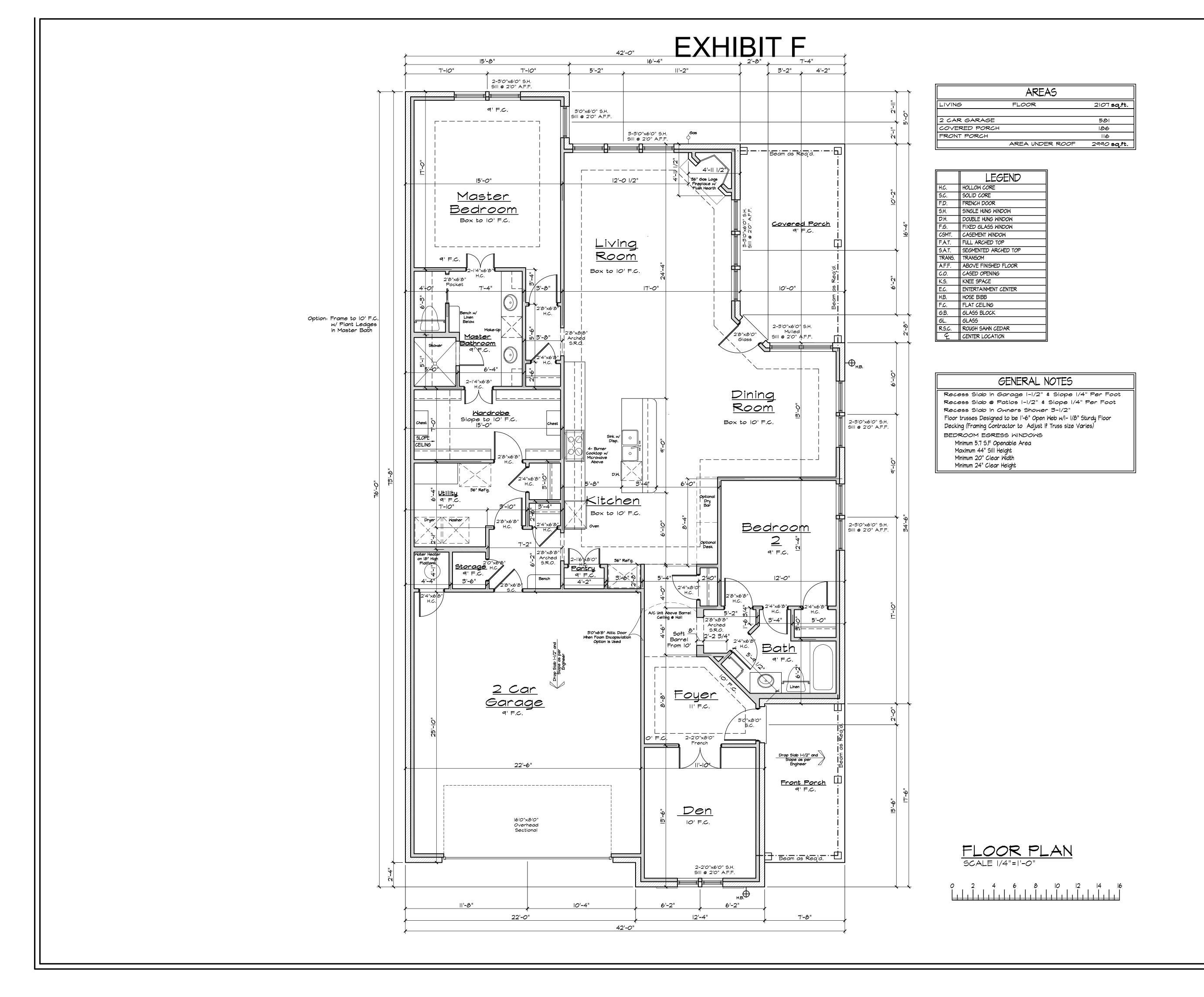
and associates

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700 N. Carroll Avenue, Suite 100, Southlake, TX 76092
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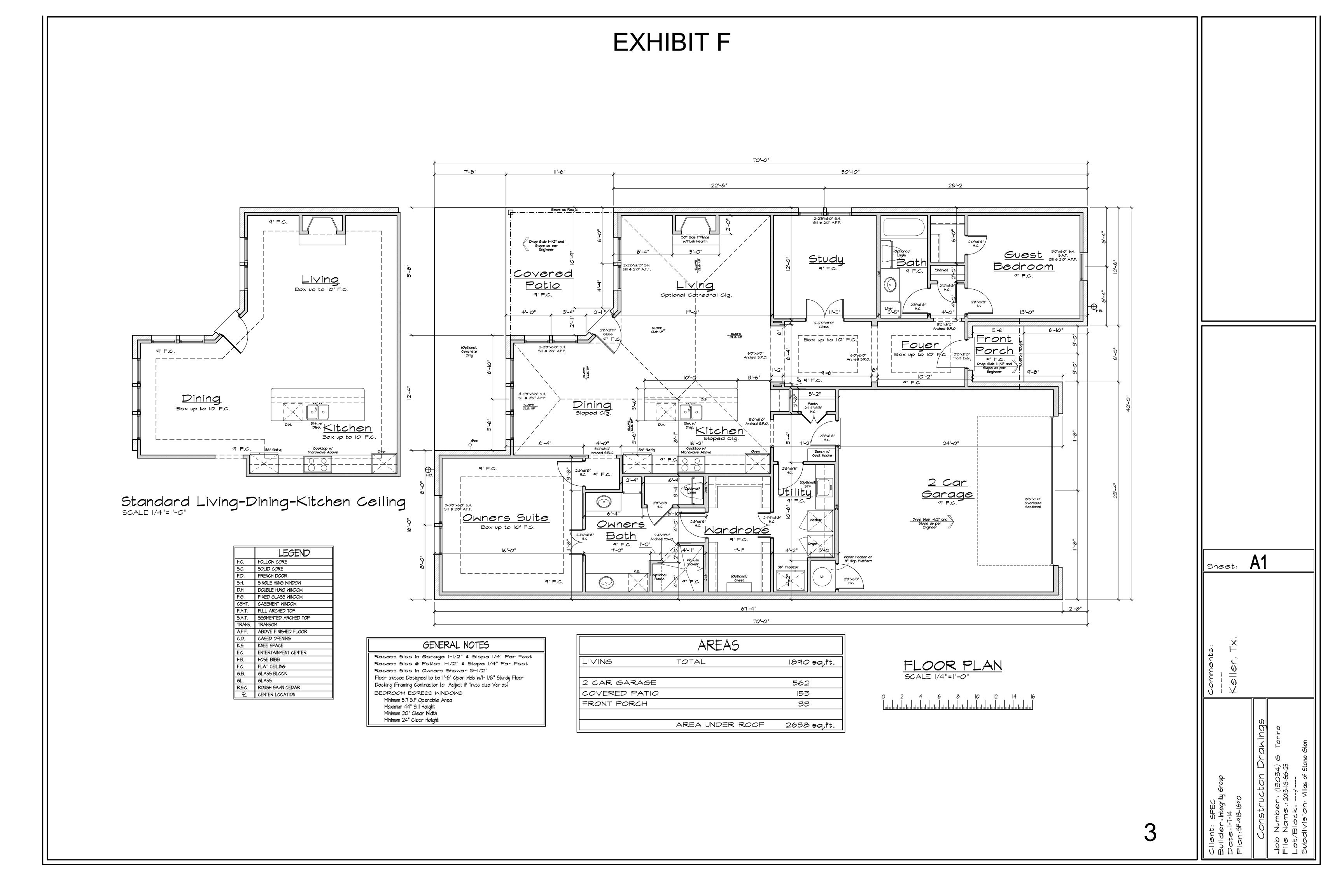
ion Drawings
2038)

Suilder: Integrity Custom Homes
Date: 10-25-12
Tan: 55-1012-1519

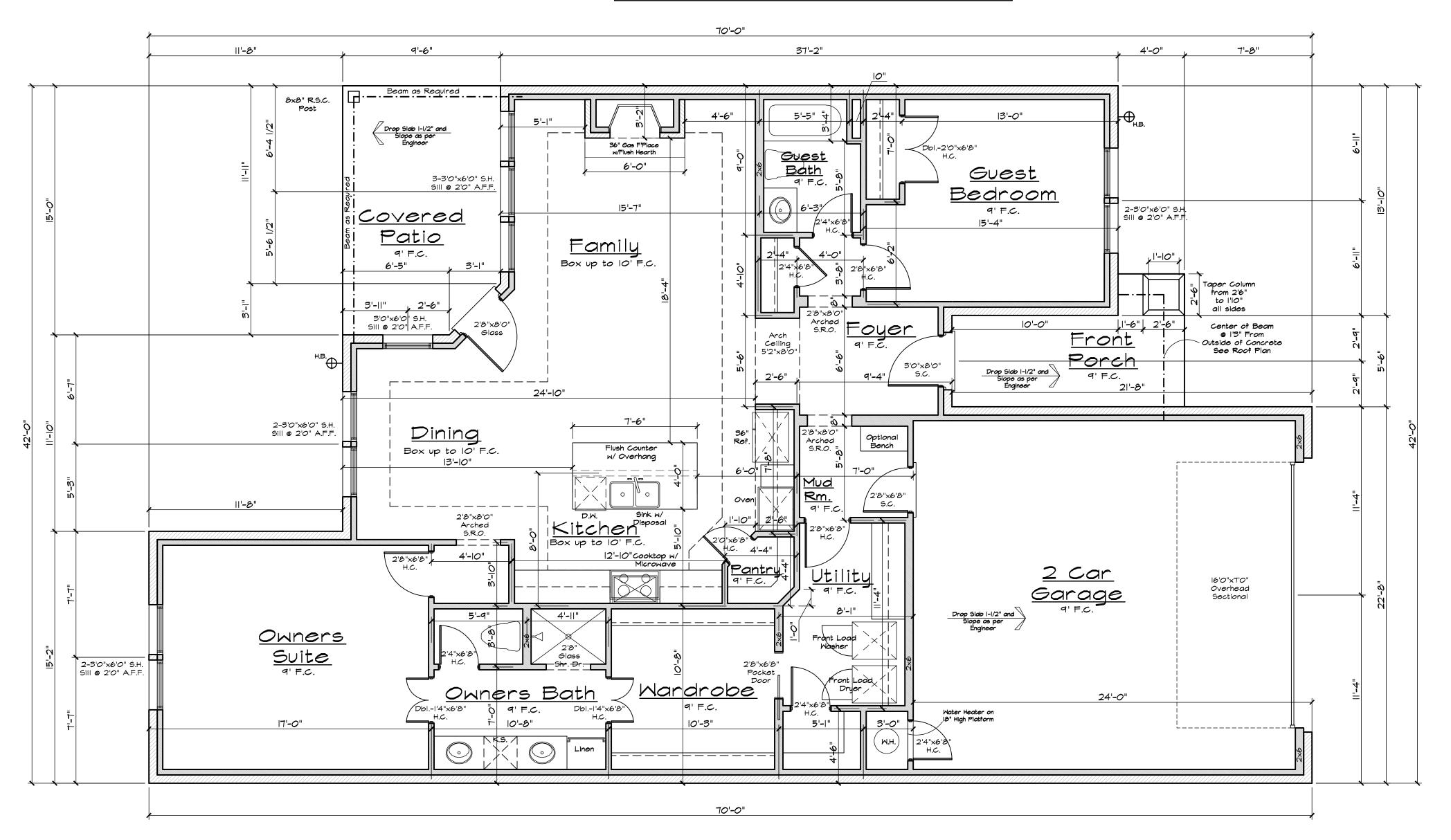
Construction Dr
Job Number: (12038)



Sheet: A1

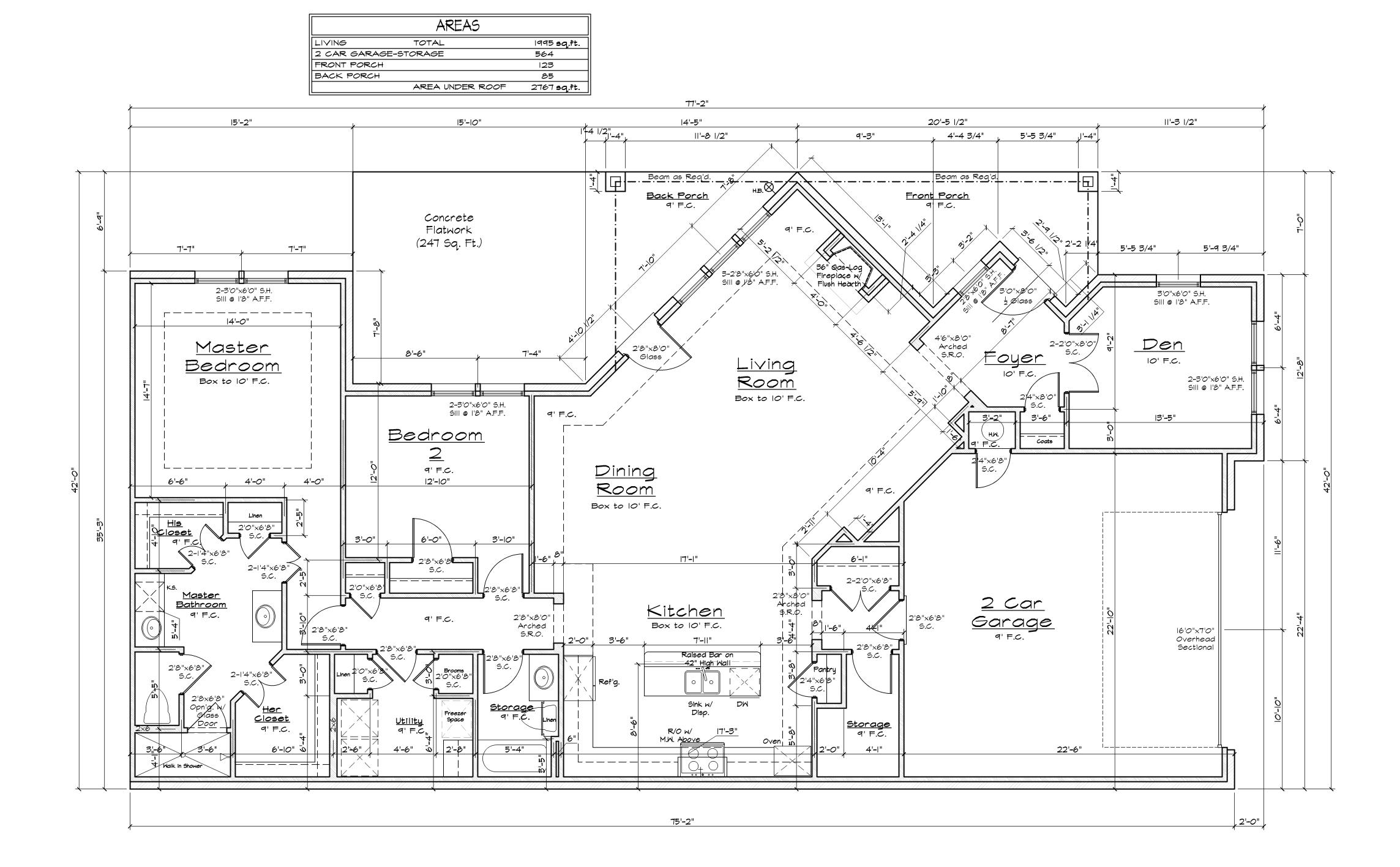


	AREAS	
LIVING	TOTAL	1650 sq .ft.
2 CAR GARAGE		554
COVERED PATIO		143
FRONT PORCH		87
	AREA UNDER ROOF	2434 sq.ft .





Sheet:	A1
Comments: Solerno 	
pec ntegrity Group 1-14 14-SqFt	Develop. Drawings ber: (13058) 1e.: 2013-1H-56-32 1k:/ Ion: Villas of Stone Glen



	LEGEND
H.C.	HOLLOW CORE
S.C.	SOLID CORE
F.D.	FRENCH DOOR
S.H.	SINGLE HUNG WINDOW
D.H.	DOUBLE HUNG WINDOW
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F.C.	FLAT CEILING
G.B.	GLASS BLOCK
GL.	6LASS
R.S.C.	ROUGH SAWN CEDAR
J.	CENTER LOCATION

GENERAL NOTES

Recess Slab in Garage 1-1/2" \$ Slope 1/4" Per Foot
Recess Slab @ Patios 1-1/2" \$ Slope 1/4" Per Foot
Recess Slab in Owners Shower 3-1/2"
Floor trusses Designed to be 1'-6" Open Web w/l- 1/8" Sturdy Floor
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BEDROOM EGRESS WINDOWS

Minimum 5.7 S.F Openable Area
Maximum 44" SIII Height
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FLOOR PLAN

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0 2 4 6 8 10 12 14 16

Promende

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and associates

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Comments:

Keller, Texas

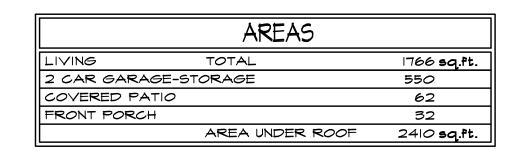
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D3SI

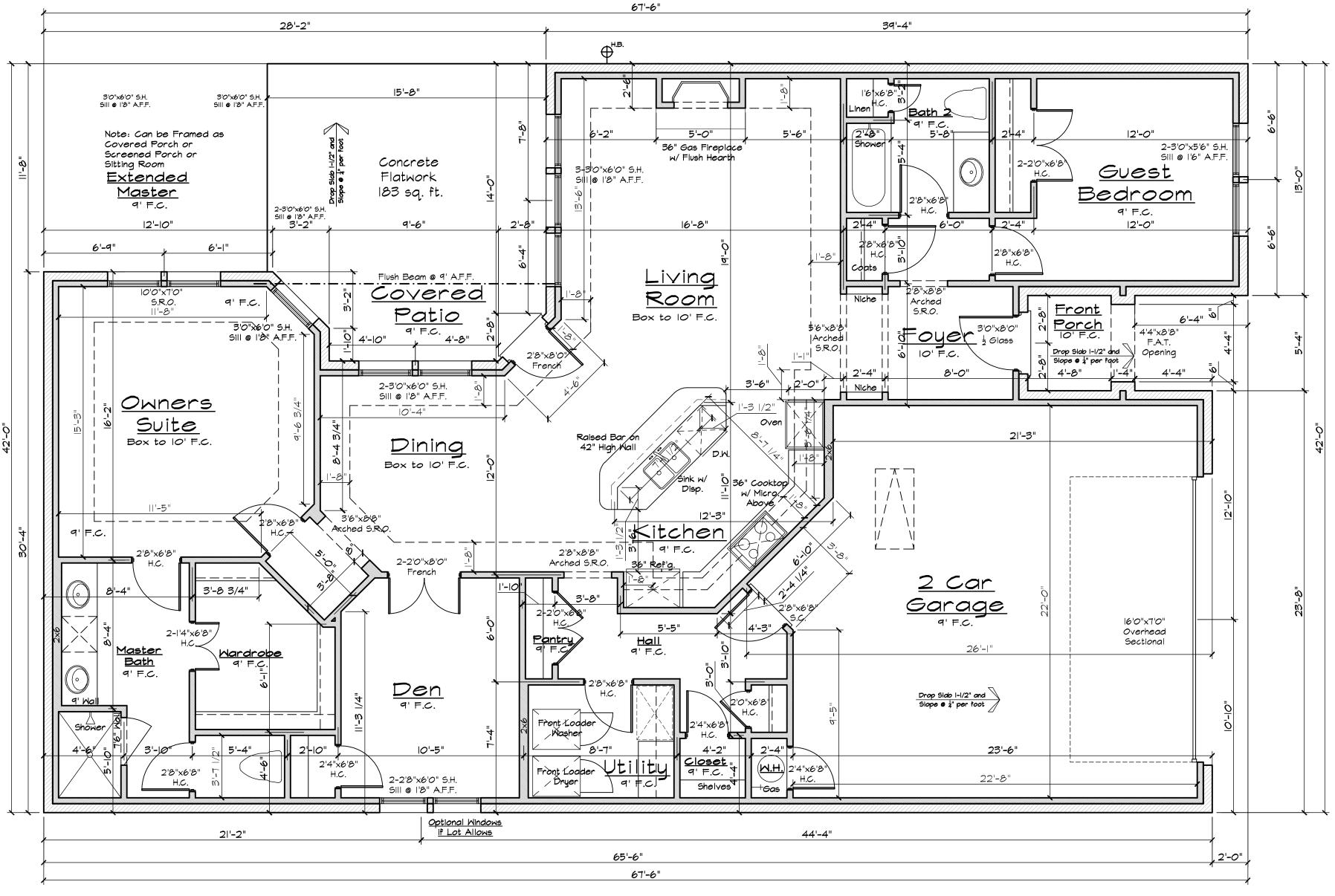
Promenade

100 # 27 tion Documents
.. (12049)

Construction Docu Lob Number: (12049)



ADDITIONAL	CONCRETE (FLA	ATWORK)	183 sq.ft .



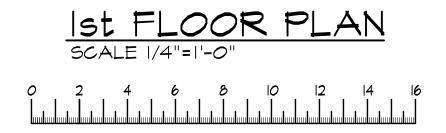
S.C.	SOLID CORE
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R.S.C.	ROUGH SAWN CEDAR
9	CENTER LOCATION

LEGEND

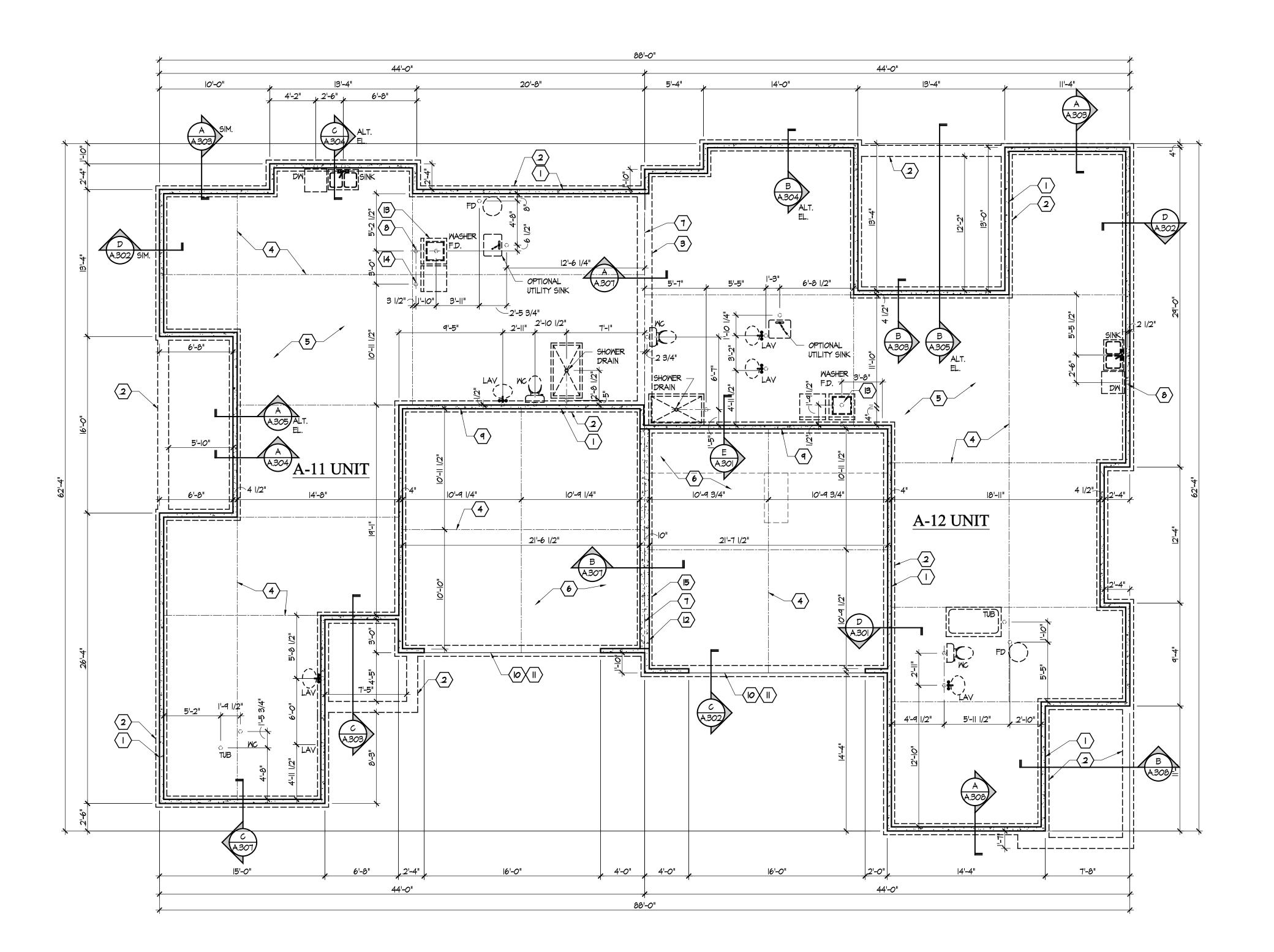
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Recess Slab @ Patios 1-1/2" & Slope 1/4" Per Foot Recess Slab in Owners Shower 3-1/2"
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Portico



Sheet: A1



Foundation Plan

Scale: 3/16" = 1'-0"

GENERAL FOUNDATION NOTES

- SOIL BEARING CAPACITY ASSUMED TO BE 2500 PSF AND SHALL BE VERIFIED BY SOILS ENGINEER PRIOR TO PLACEMENT OF BUILDING FOUNDATION. CONSULT ARCHITECT WHEN INADEQUATE SOIL CAPACITIES ARE FOUND.
- 2. ALL DIMENSIONS ARE TO FACE OF STEMMALL UNLESS NOTED OTHERWISE.
- 3. HOLD DOWN TOP OF FOUNDATION WALL 6" AT ALL ENTRY DOORS TO ALLOW FOR EXTENSION OF FLOOR SLAB UNDER THE DOOR THRESHOLDS.
- 4. PLUMBING CONTRACTOR TO USE ROUND BUCKETS FOR FORMED SLAB PENETRATIONS.
- CONCRETE CONTRACTOR TO INSTALL I/2" EXP.
 JT. AROUND THE PERIMETER OF GARAGES.
- CONCRETE CONTRACTOR COORDINATE WITH PLUMBING FOR LOCATION OF BLOCKOUTS FOR UNDERSLAB LINES.
- CONCRETE CONTRACTOR SEE FIRST FLOOR
 PLAN FOR SIDEWALKS, PATIOS AND A/C PADS.

FOUNDATION CODED NOTES

(NOTES NOT APPLICABLE TO ALL SHEETS/BUILDING TYPES)

- I. POURED CONCRETE FOUNDATION STEM WALL (TYPICAL) SEE WALL SECTIONS ON A-300 SERIES SHEETS.
- 2. I2" WIDE x 26" DEEP CONCRETE FOOTING WITH STEEL BAR REINFORCING AS REQUIRED BY SOILS ENGINEER MAINTAIN BOTTOM OF FOOTING A MINIMUM 32" BELOW FINISH GRADE AND TOP OF FOOTING SET I2" BELOW FINISHED FLOOR TYPICAL.
- 8" DEEP X 16" WIDE THICKENED SLAB WITH (2) NO.
 4 REBAR CONTINUOUS. TYPICAL UNDER ALL BEARING WALLS.
- 4. SAW CUT CONTROL JOINT IN CONCRETE SLAB, 1/8 WIDE (OF SLAB) \times 1/4 DEEP (OF SLAB) TYPICAL.
- 5. 4" GLASS FIBER REINFORCED CONCRETE FLOOR SLAB OVER 4 MIL. POLYETHYLENE VAPOR BARRIER AND 4" GRAVEL BASE - TYPICAL.
- 6. 4" GLASS FIBER REINFORCED CONCRETE FLOOR SLAB OVER 4" GRAVEL BASE - TYPICAL IN GARAGES.
- 7. INDICATES COMMON CENTERLINE OF WALL BETWEEN UNITS ABOVE.
- B. PIPE LOCATION CENTERED ON WALL ABOVE.
- 4" SLAB STEP BETWEEN GARAGE AND LIVING AREA (ALONG THIS WALL) - SEE WALL SECTION.
- IO. PROVIDE WEATHERLIP @ GARAGE DOOR OPENING - SEE DETAIL B, SHEET A.303.
- II. NO STEM WALL AT GARAGE DOOR OPENINGS.
- 12. 10" POURED CONCRETE FOUNDATION STEM WALL SEE WALL SECTIONS.
- 13. WASHER ALWAYS LOCATED LEFT OF DRYER.
- 14. ELECTRICAL CONDUIT ROUTED UNDER SLAB FOR ELECTRICAL OUTLET AT KITCHEN ISLAND.
- 15. 16" WIDE x 8" DEEP CONCRETE FOOTING.



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Prototype Disk No.	Interim Page Revisions	
	Revision	Date

Architect Project Number

Community Dates & Revisions

Date Originated

Bid

Permit

Construction

Revisions

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Drawing Title
Foundation Plan

Architectural Style
European Country
Sheet Number
43-A.101
Building Type 43