

EXHIBIT A - LEGAL DESCRIPTION FOR RE-ZONING

BEING that certain lot, tract or parcel of land located in the William A. Howard Survey, Abstract No. 690, in the City of Mansfield, Tarrant County, Texas and being a portion of that certain tract of land described in deed to Farmers & Mechanics, L.P., a Texas Limited Partnership, recorded in Instrument Number D208042009, in the Deed Records of Tarrant County, Texas (DRTCT), subject tract being more particularly described as follows;

BEGINNING at a ½ inch iron rod with yellow cap stamped "JDZ" found, from which a ½ inch iron rod with yellow cap stamped "B&C" bears South 53°29'20" West, a distance of 0.50 feet, said "JDZ" iron rod being the southeasterly corner of Lot 1, Block 1, of the Mansfield High School Addition, an addition to the City of Mansfield, Texas recorded in Cabinet A, Slide 6072, in the Plat Records of Tarrant County, Texas (PRTCT) and the northwesterly right-of-way line of East Broad Street (a variable width R.O.W. at this point);

THENCE North 30°40'33" West, departing the northwesterly right of way line of East Broad Street and with a northeasterly line of said Mansfield High School Addition, a distance of 989.36 feet to a ½ inch iron rod with a yellow cap stamped "DiSciullo & Terry", found for corner;

THENCE North 59°16'28" East, passing at 217.59 feet a 2 inch inside diameter pipe, passing at 653.06 feet a 3/4 inch inside diameter pipe, in all, a distance of 825.52 feet to a ½ inch iron rod found, said iron rod being located on the westerly right of way line of Cannon Drive, a variable width right of way, for corner;

THENCE South 30°40'04" East, with said westerly right of way line of Cannon Drive, a distance of 91.49 feet to a ½ inch iron rod found, for corner;

THENCE South 89°17'20" East, with the southwesterly right of way line of Cannon Drive, a variable width right of way, a distance of 23.80 feet to a ½ inch iron rod found with a pink cap stamped "STANTON RPLS 6173", for corner;

THENCE South 30°59'55" East, with the west right of way line of Cannon Drive, a 60 foot right of way through this section, as recorded in Instrument No. D213012204, DRTCT, a distance of 666.43 feet to ½ inch iron rod found with a pink cap stamped "STANTON RPLS 6173", for corner;

THENCE South 25°53'05" East, continuing with the west right of way line of Cannon Drive, a variable width right of way through this section, a distance of 100.97 feet to ½ inch iron rod found with a pink cap stamped "STANTON RPLS 6173", for corner;

THENCE South 30°59'55" East, continuing with the west right of way line of Cannon Drive, a variable width right of way through this section, a distance of 113.51 feet to ½ inch iron rod found with a pink cap stamped "STANTON RPLS 6173", for corner;

THENCE South 14°06'07" West, with a corner clip at the west right of way line of Cannon Drive, and the north right of way line of East Broad Street, a distance of 21.83 feet to an "x" cut in concrete, for corner;

THENCE South 59°18'19" West, with the northwesterly right of way line of East Broad Street, a 120 foot right of way at this point, as described in Permanent Right-of-Way dedication to the City of Mansfield recorded in Volume 12916, Page 229, DRTCT, a distance of 551.98 feet to a ½ inch iron rod found with yellow cap stamped "B&C", for corner;

THENCE South 65°37'29" West, continuing with the northwesterly line of said East Broad Street, said right of way and Easement Dedication to the City of Mansfield described in Volume 15044, Page 258, DRTCT, a distance of 90.60 feet to a ½ inch iron rod found with yellow cap stamped "B&C", for corner;

THENCE South 59°21'04" West, continuing with the northwesterly line of East Broad Street, a distance of 184.37 feet to the POINT OF BEGINNING of herein described tract, containing 841,821 square feet, or 19.326 acres of land.

20.N/A

DI SCIULLO -TERRY, STANTON & ASSOCIATES, INC.
June 16, 2016.



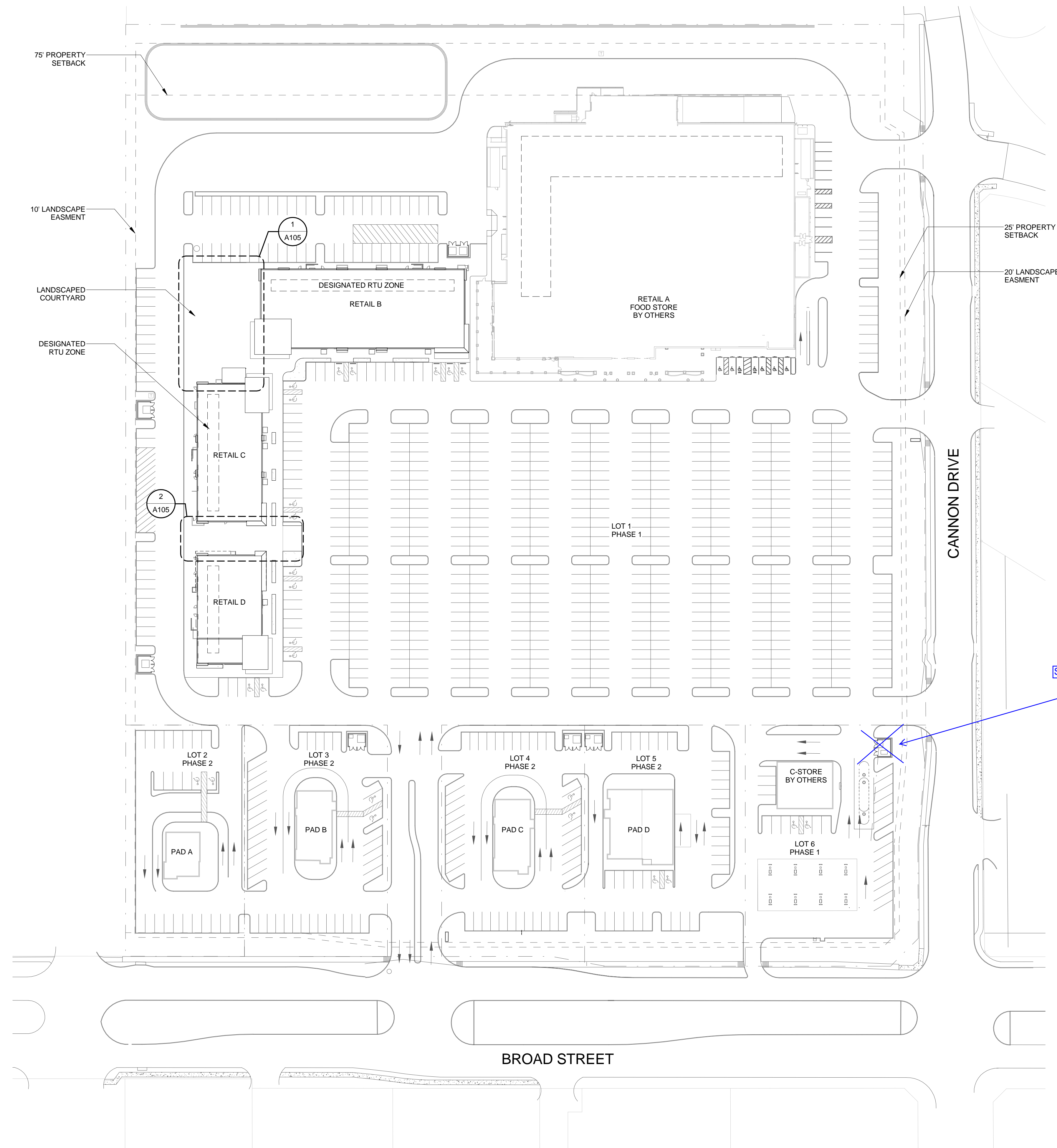
Joyce P. Stanton,
Texas Registered Professional Land Surveyor No. 6173



Notes:

The bearings shown & referenced hereon are according to the monumented northwesterly right-of-way line of East Broad Street, said northwesterly line described in deed recorded in Volume 12916, Page 229, of the Deed Records of Tarrant County, Texas (S 59°18'19" W).

NOTE: DESIGN TO BE IN COMPLIANCE WITH BROAD STREET MARKETPLACE PLANNED DEVELOPMENT STANDARDS AND REGULATIONS AS APPROVED BY THE CITY OF MANSFIELD.



GENERAL NOTES

- A. ALL NEW UTILITIES SHALL BE PLACED UNDERGROUND.
- B. BUILDINGS SHALL BE COMPRISED OF 60% MINIMUM MASONRY. VISIBLE ELEVATIONS SHALL BE CONSTRUCTED OF SIMILAR MATERIALS AND DETAILING.
- C. ALL PROPOSED BUILDING AND SITE LIGHTING SHALL BE FULL-CUT OFF FIXTURES AND SHIELDED AWAY FROM ADJACENT RESIDENTIAL ZONING.
- D. ALL ROOF MOUNTED EQUIPMENT MUST BE FULLY SCREENED FROM VIEW FROM ADJACENT PROPERTIES AND STREETS. PARAPET WALLS SHALL HAVE A HEIGHT AT LEAST 1'-0" GREATER THAN TALLEST MECHANICAL UNIT.
- E. EXPOSED CONDUIT, LADDERS, UTILITY BOXES, STACK PIPES, AND DRAIN SPOUTS SHALL BE PAINTED TO MATCH BUILDING ELEMENTS.

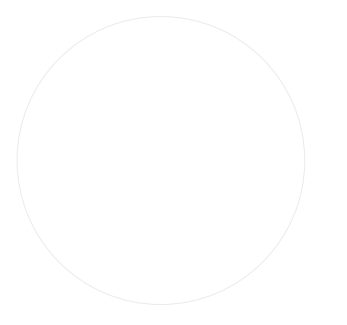


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BROAD STREET MARKETPLACE

LEON CAPITAL GROUP
ZC#16-023

NOT FOR CONSTRUCTION - PRELIMINARY DESIGN

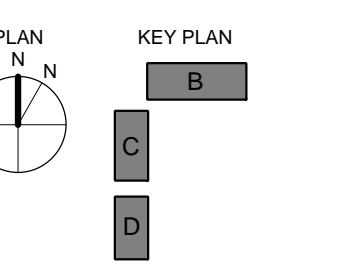


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DETAILED SITE PLAN APPLICATION - NOT FOR CONSTRUCTION

01.30.2017
DRAWN BY | ONYKIANNE
CHECKED BY | TAIT
REVISIONS

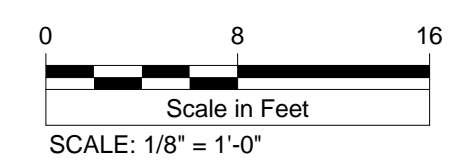
EXHIBIT B



SITE PLAN - FOR REFERENCE ONLY

A100

1 OVERALL SITE PLAN
A100 1" = 60'-0"



ZC#16-023

EXHIBIT C

**BROAD STREET MARKETPLACE PLANNED DEVELOPMENT STANDARDS
AND REGULATIONS**

These Development Standards and Regulations (the "Development Standards") shall apply to all development in the Broad Street Marketplace Planned Development (the "Broad Street PD"), as further legally described in Exhibit "A", and are to be utilized in conjunction with the Development Plan for the Planned Development.

1. Permitted Uses. Uses permitted in the Broad Street PD shall only include:

Beauty/Grooming: Beauty Shop or Barber Shop; Personnel Supply Services; Pet Grooming.

Financial: Drive-In Banking Facilities; Banking Offices or Facilities Excluding Drive-In Services.

Food Sales/Grocery/Convenience/Pharmacy: Retail and Grocery Store w/ Gas Pumps; Convenience Store; Food or Beverage Sales Store; Bakery or Confectionery Shop, Retail; Drug Store or Pharmacy; Catering Service.

Office Including Medical/Dental: Office, Physician, Dentist or Other Health Practitioners; Office, Professional or Administration.

Retail General: Book Store; Retail Camera and Photography Supply; New Clothing or Department Store; Retail Florist, Furniture; Home Furnishings or Appliance Store; Gift Store; Hobby, Toy or Game Shop; Jewelry Store; Luggage or Leather Goods Store; Retail Pet Shop; Sewing, Stationery Store; Sporting Goods or Bicycle Shop; Agents for Garment Pressing or; Laundries or Dry Cleaning; Mailing and or Reproduction; Repair Shop or Shoe Shine Parlor; Studio for Photographer, Tailor or Dressmaking Shop; Art Gallery or Museum.

Restaurants: Eating Places without Drive-Through Services; Eating Places with Drive-Through Service limited to 2; fine dining and casual sit down restaurants. Accessory windows serving pick-up/call-ahead orders ONLY will not count as Eating Places with Drive-Through Service.

2. Uses Not Permitted.

a. No Sales of alcoholic beverages for off-premise consumption permitted, other than the grocery or convenience store.

b. No sports bars that serve alcoholic beverages will be permitted.

c. No restaurants or bars that feature provocatively dressed staff will be permitted such as Hooters, Twin Peaks or similar uses.

- d. No bars of any kind, other than those that serve as an accessory use to a restaurant.
 - e. No hotels, motels, extended stay residences, or any other residential units.
 - f. No movie theaters.
3. Area Height and Setback Regulations. Area, Height and Setback regulations shall be those required for development in the C-2 Community Business District as set forth in Article 3. Section 4500 of the City of Mansfield Zoning Ordinance, with the exception that the maximum height will be limited to 35 feet, for any portion of a structure located within 300 feet of a residential lot within the Lakes of Creekwood Addition.
 4. Community Design Standards. Community unity design standards shall be those required for development in the C-2 Community Business District as set forth in Article 3. Section 4600 of the City of Mansfield Zoning Ordinance.
 5. Off-Street Parking and Loading Standards. Off-street parking and loading standards shall be those required for development in the C-2 Community Business District as set forth in Article 7. Section 7200 of the City of Mansfield Zoning Ordinance
 6. Landscaping and Screening Standards. Landscaping and screening standards shall be those required for development in the C-2 Community Business District as set forth in Article 7. Section 7300 of the City of Mansfield Zoning Ordinance. The screening wall along the western boundary will be constructed of precast concrete with the appearance of brick wall panels between natural or manufactured stone columns or the appearance of all stone wall panels and columns.
 7. Sign Standards. Sign standards shall be those required for development in the C-2 Community Business District as set forth in Article 7. Section 7100 of the City of Mansfield Zoning Ordinance, except for the two shopping center signs shown in the Sign Plan. The sign plan is provided as Exhibit S-1.
 8. Development Plan. Approval of the zoning for the Broad Street PD shall not require simultaneous approval of the Development Plan for the Broad Street PD; provided, however, no plat shall be approved or building permit issued for development in the Broad Street Marketplace PD until the Development Plan has been submitted to the City for approval by the City Council. The purpose of Development Plan review for the Broad Street Marketplace PD is to achieve the individualized site development review that would normally be accomplished under planned development district zoning at the time the initial zoning decision was made. In reviewing the Development Plan submitted pursuant to this provision, the City Council will be reviewing the site development proposal for the following issues:
 - a. Internal traffic circulation;
 - b. Impact on external traffic circulation;

- c. Site signage;
- d. Building facades and articulation;
- e. Compatibility of the site design with adjacent properties;
- f. Internal landscaping;
- g. Internal and external lighting impacts;
- h. Compliance with master community or neighborhood comprehensive planning documents;
- i. Adequacy of off-street parking, loading and delivery design;
- j. Storm water impacts and management; and
- k. Such other design factors as the City Council may determine to be appropriate based upon the location and character of the site.

Approval of the Development Plan by the City Council shall be by simple majority vote at the meeting without a public hearing. The Development Plan Application shall comply with the requirements of Article 5. Section 5100 F. of the City of Mansfield Zoning Ordinance. The City Council may approve the Development plan, approve it with modifications and development conditions deemed appropriate by the City Council, or deny the plan for any issue that is unresolved by the site development proposal as determined by the City Council. A denial of Development Plan shall not be considered as a denial of the use of the property

9. Lighting. A photometric plan shall be submitted as part of the Development Plan.

10. Buildings B & C. There will be a passive green space provided between buildings B & C.

11. Buildings C & D. Outdoor dining will be provided between buildings C & D.

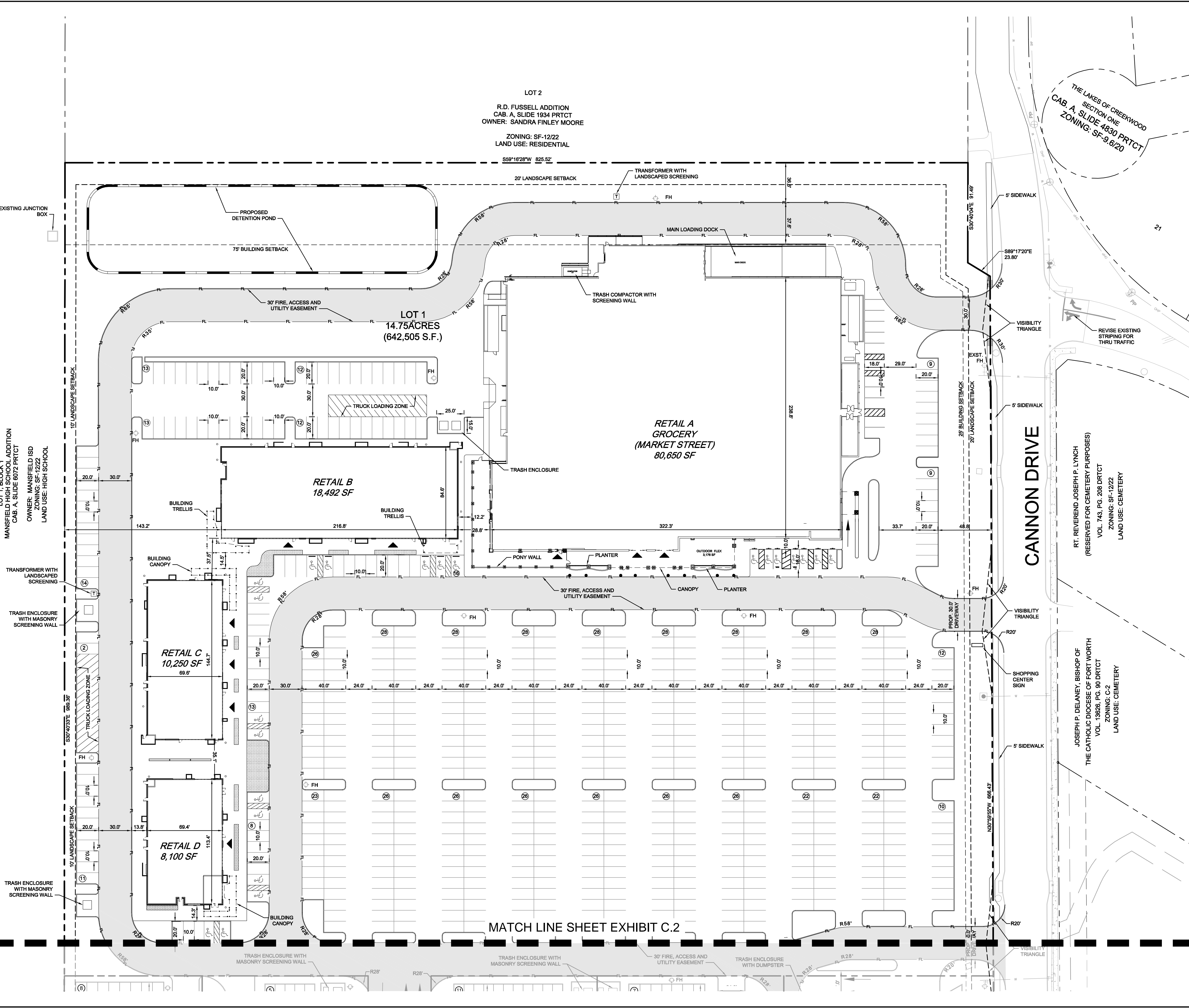
12. Variance Requests.

- a. A variance to Section 7800, Special Conditions (21)(d) of the Zoning Ordinance to allow the sale of alcoholic beverages within (300) feet of a public school on Pad Site B and Retail Buildings C & D as stated in the proposed Planned Development; the initial tenant and any tenant change for Pad Site B and Retail Buildings C & D will require City Council approval if said tenant requires the sale of alcohol as part of their occupancy.

Examples of restaurants which would be acceptable to occupy the end-cap retail spaces featuring outdoor dining which would require alcohol sales as part of their occupancy are: Zoe's Kitchen, Modern Market, Mi Cocina, Taco Diner, Uncle Julio's, Cane Rosso, Coal Vines, Ana Mia's, Cantina Laredo, Blue Goose Cantina, Hopdoddy, Snuffer's, Pei Wei, or concepts of similar quality.

- b. A variance to allow for an exemption for the masonry wall requirements to the north side of the property. In lieu of the masonry wall requirement, a heavily landscaped screening will be installed and maintained for the full-length of the property along the northern boundary.
 - c. A variance to allow for a reduction of the parking ratio for drive through restaurants from 1 space per 75 SF of floor area to 1 space per 100 SF of floor area for the single tenant parcels located on East Broad Street.
 - d. A variance to allow for a reduction of the 20' landscape buffer between parcels for drive through restaurants to a 10' landscape buffer between parcels.
 - e. A variance to allow for a reduction of building articulation requirements to 2 foot deep pilasters on Retail Buildings A, B, C and D.
13. All subsequent lots not provided with the initial PD will require a Detailed Site Plan approval through City Council and compliance with the applicable requirements of this PD. Buildings A, B, C, D and C-store do not have to come back for Detailed Site Plan approval.

KIMLEY-HORN & ASSOCIATES, INC. 5750 GENESIS COURT, SUITE 200, FRISCO, TEXAS 75034
 PHONE: 972-335-3580 FAX: 972-335-3779 WWW.KIMLEY-HORN.COM
 TEXAS REGISTERED ENGINEERING FIRM F-928
 PROJECT NO. 1502017429PW
 DATE: 01/30/2017
 SCALE: AS SHOWN
 DESIGNED BY: NMH
 DRAWN BY: NMH
 CHECKED BY: DKK
 KIMLEY-HORN & ASSOCIATES, INC. 5750 GENESIS COURT, SUITE 200, FRISCO, TEXAS 75034
 PHONE: 972-335-3580 FAX: 972-335-3779 WWW.KIMLEY-HORN.COM
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W N
S E

0 40' 80'
 GRAPHIC SCALE 40'
 1" = 40'

VICINITY MAP
 N.T.S.

LEGEND

- PROPERTY LINE
- HEAVY DUTY/FIRE LANE CONCRETE
- LIGHT DUTY CONCRETE
- STANDARD PARKING COUNT
- PROPOSED BUILDING ENTRANCE
- PROPOSED FIRE HYDRANT

BENCHMARK

BM#1: CHISELED SQUARE CUT WEST END OF 24 FOOT HEADWALL LOCATED ON SOUTH SIDE OF CANNON DRIVE AND 90 FEET EAST OF NORTHEAST CORNER OF CALVARY CEMETERY. ELEVATION 583.75

BM#2: A DISK STAMPED 'CITY OF MANSFIELD' ON THE SOUTHWEST CORNER OF A CURB INLET ON THE WEST SIDE OF CANNON DRIVE LOCATED APPROXIMATELY 346 FEET NORTH OF THE INTERSECTION OF CANNON DRIVE AND EAST BROAD STREET. ELEVATION 605.67

DEVELOPMENT PLAN
BROAD STREET MARKETPLACE
 ±19.33 Acres of Land Located in the
 WILLIAM A. HOWARD SURVEY
 Abstract No. 690
 City of Mansfield, Tarrant County, Texas
 City Project No.
 Submitted January 30, 2017
 PD ZC. #16-023

Owner/Applicant: Leon Capital Group
 2301 Cedar Springs Rd.
 Dallas, TX 75201
 Contact: Will Folwer
 Phone: (214) 865-8090

Architect: CTA Architects
 3601 S. Congress Ave.
 Bldg C, Ste 100
 Austin, TX 78704
 Phone: (512) 804-1163

Engineer: Kimley-Horn and Associates, Inc.
 5750 Genesis Ct., Ste. #200
 Frisco, Texas 75034
 Contact: David Kochalka, P.E.
 Phone: (972) 335-3580

Landscape Architect: Kimley-Horn and Associates, Inc.
 5750 Genesis Ct., Ste. #200
 Frisco, Texas 75034
 Contact: Leah Campbell, PLA
 Phone: (972) 731-8607

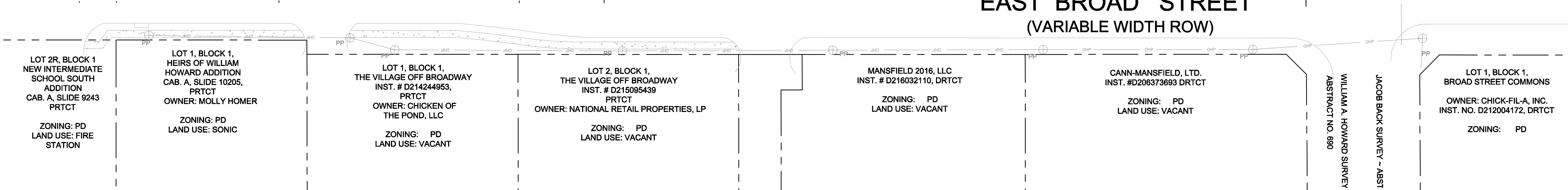
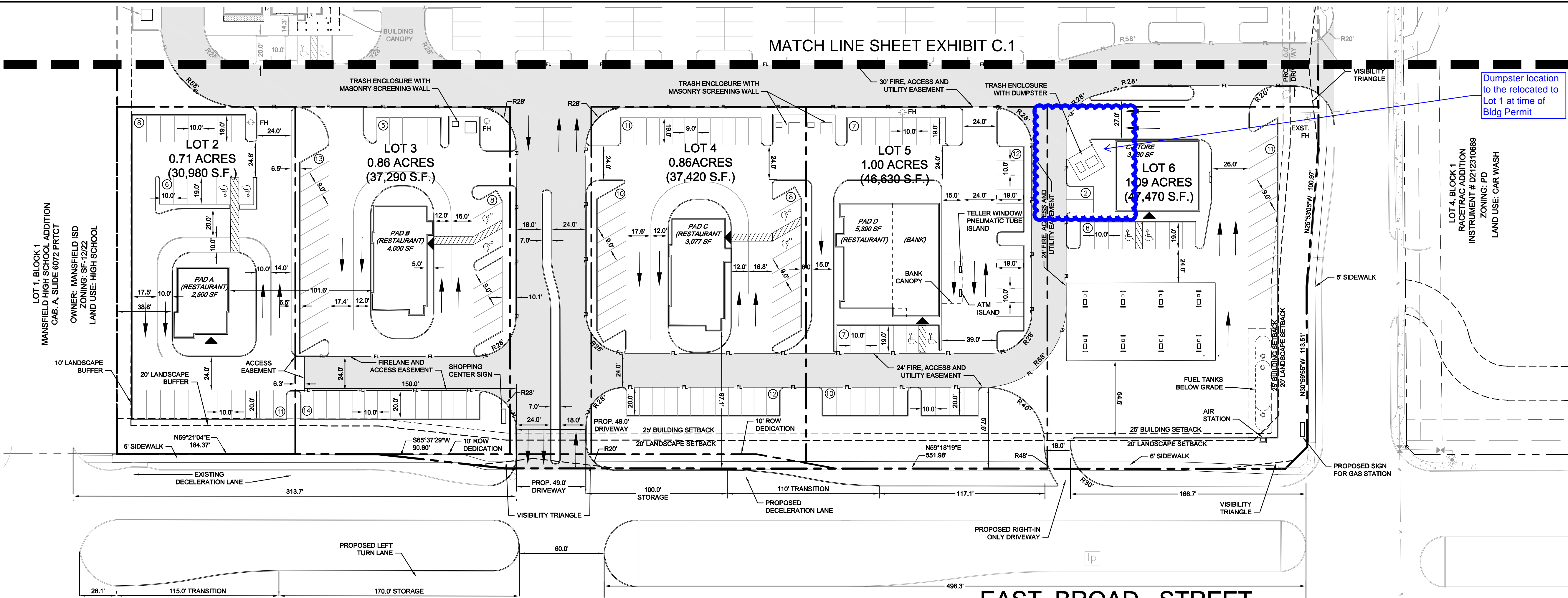
BROAD STREET MARKETPLACE
 LEON CAPITAL GROUP
 NWC OF E. BROAD ST. AND CANNON DR.
 MANSFIELD, TEXAS

DEVELOPMENT PLAN

REVISIONS

No.	REVISIONS	DATE	BY

KIMBLEY-HORN & ASSOCIATES, INC. 5750 GENESIS COURT, SUITE 200, FRISCO, TX 75034
 PHONE: (972) 335-3580 FAX: (972) 335-3779 WWW.KIMBLEY-HORN.COM TEXAS REGISTERED ENGINEERING FIRM F-928
 PROJECT NO. 67266812 DATE 01/30/2017 SCALE AS SHOWN DESIGNED BY: NMH DRAWN BY: NMH CHECKED BY: DMK
 BROAD STREET MARKETPLACE LEON CAPITAL GROUP NWC OF E. BROAD ST. AND CANNON DR. MANSFIELD, TEXAS
 DEVELOPMENT PLAN AND NOTES SHEET NUMBER EXHIBIT C.2
 THIS DOCUMENT, TOGETHER WITH THE CONCEPTS AND DESIGNS PRESENTED HEREIN, IS INTENDED ONLY FOR THE SPECIFIC PURPOSE AND CLIENT FOR WHICH IT WAS PREPARED. REUSE OF AND IMPROPER RELIANCE ON THIS DOCUMENT WITHOUT WRITTEN AUTHORIZATION AND ADAPTATION BY KIMBLEY-HORN AND ASSOCIATES, INC. SHALL BE WITHOUT LIABILITY TO KIMBLEY-HORN AND ASSOCIATES, INC.



NOTES

- THE PROPOSED DEVELOPMENT WILL BE IN COMPLETE ACCORDANCE WITH THE PROVISIONS OF THE APPROVED PLANNED DEVELOPMENT DISTRICT AND ALL DEVELOPMENT PLANS RECORDED HEREUNDER SHALL BE BINDING UPON THE APPLICANT THEREOF, HIS SUCCESSORS AND ASSIGNS, AND SHALL LIMIT AND CONTROL ALL BUILDING PERMITS.
- THE PRIVATE ACCESS EASEMENT IS FOR THE USE OF LOT 2 AND LOT 3. NO IMPROVEMENTS SHALL BE MADE THAT IMPREDE INGRESS AND EGRESS ALONG THIS EASEMENT.
- THE PRIVATE ACCESS EASEMENT SHALL BE MAINTAINED BY PROPERTY OWNERS.

SITE DATA TABLE

ZONING/PROPOSED USE	PD/COMMERCIAL
TOTAL ACREAGE	19.33
BUILDING AREA (GROSS SQUARE FOOTAGE)	133,562
BUILDING HEIGHT	MAX HEIGHT: 50'
FLOOR AREA RATIO	0.16
TOTAL PARKING REQUIRED	
RETAIL	333
RESTAURANT (DRIVE-THRU)	137
RESTAURANT (DINE-IN)	184
GAS STATION/C-STORE	15
BANK	9
TOTAL PARKING REQUIRED	678
TOTAL PARKING PROVIDED	808
TOTAL HANDICAP REQUIRED	17
TOTAL HANDICAP PROVIDED	30
BUILDING SETBACKS - EXTERIOR OVERALL PROPERTY BOUNDARY	
TO RESIDENTIAL	75'
TO NON-RESIDENTIAL	N/A
TO ABUTTING ROW	25'
LANDSCAPE BUFFER - EXTERIOR OVERALL PROPERTY BOUNDARY	
RESIDENTIAL	20'
NON-RESIDENTIAL	10'
PUBLIC STREET	20'

***CALCULATION EQUATIONS PROVIDED:**
 RETAIL:
 ASSUME 1/2 OF RETAIL IS DINE-IN RESTAURANT
 1 PER 250 SF AREA FOR FIRST 3,000 SF; THEREAFTER 1 SPACE FOR EACH ADDITIONAL 300 SF
 RESTAURANT (DINE-IN):
 ASSUME 1/2 OF RETAIL IS DINE-IN RESTAURANT
 1 PER 100 SF OF FLOOR AREA
 RESTAURANT (DRIVE-IN WINDOWS) = 1 PER 100SF OF FLOOR AREA
 GAS STATION/C-STORE
 1 PER 200 SF OF FLOOR AREA
 BANK:
 1 PER 300 SF OF FLOOR AREA

BENCHMARK
 BM#1: CHISELED SQUARE CUT WEST END OF 24 FOOT HEADWALL LOCATED ON SOUTH SIDE OF CANNON DRIVE AND 90 FEET EAST OF NORTHEAST CORNER OF CALVARY CEMETERY. ELEVATION 583.75
 BM#2: A DISK STAMPED "CITY OF MANSFIELD" ON THE SOUTHWEST CORNER OF A CURB INLET ON THE WEST SIDE OF CANNON DRIVE LOCATED APPROXIMATELY 346 FEET NORTH OF THE INTERSECTION OF CANNON DRIVE AND EAST BROAD STREET. ELEVATION 605.67

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 Contact: David Kochalka, P.E. Phone: (972) 335-3580

Landscape Architect: Kimbley-Horn and Associates, Inc.
 5750 Genesis Ct., Ste. #200 Frisco, Texas 75034
 Contact: Leah Campbell, PLA Phone: (972) 731-3807

DEVIATIONS	COMMERCIAL PD REQUIRED	PROVIDED
Establishments that sell alcoholic beverages	No sale of alcoholic beverages shall be permitted by any establishment which is located within three hundred (300) feet of a public school	50' direct line measured from the property line of the public school to front door of the place of business.
Eating Places with Drive-Through Service	A landscape buffer with a minimum width of twenty (20) feet shall be provided along the side lot lines of the property.	Buffer width varies. Reference Landscape Plan.
Required parking for drive-thru restaurants	Required parking is 1 parking stall per 75 sf of building.	Parking is provided at 1 parking stall per 100 sf.
Building Architectural Finish	All non-residential buildings shall be architecturally finished on all four (4) sides with the same materials, detailing (e.g. tiles, awnings, moldings, cornices, etc.) and features (e.g. windows, openings, columns, towers, arches, etc.)	Request to eliminate or reduce requirement for same materials, detailing, and features at rear or side elevations that are screened or not highly visible.
Building Construction Materials	Buildings should be constructed of 70% masonry, stone, or split face CMU and 30% masonry like materials or any material not prohibited. Please provide calculation on the masonry construction to demonstrate compliance with 70% masonry construction requirement.	Request to reduce masonry construction materials of exterior surfaces of all structures, including screen walls, wing walls, columns and supports to at least sixty (60) percent. Request includes masonry construction materials of at least seventy (70) percent on front and side elevations. Request is to reduce masonry construction materials at rear facades only.
Building Articulation	Buildings with facades greater than one hundred (100) feet in length, shall incorporate wall plane projections or recesses that are at least four (4) feet deep and at least four (4) feet in length. No uninterrupted length of facade may exceed 50' in length.	Request to reduce wall plane projections or recesses to at least twelve (12") inches deep.
Building Articulation	Buildings with flat roof planes greater than one hundred (100) feet in length shall incorporate variations in the height of the roof plane that differ by at least two (2) feet in height. No uninterrupted length of any flat roof plane may exceed fifty (50') in length.	Request to reduce roof plan projections to at least twelve (12") inches in height.

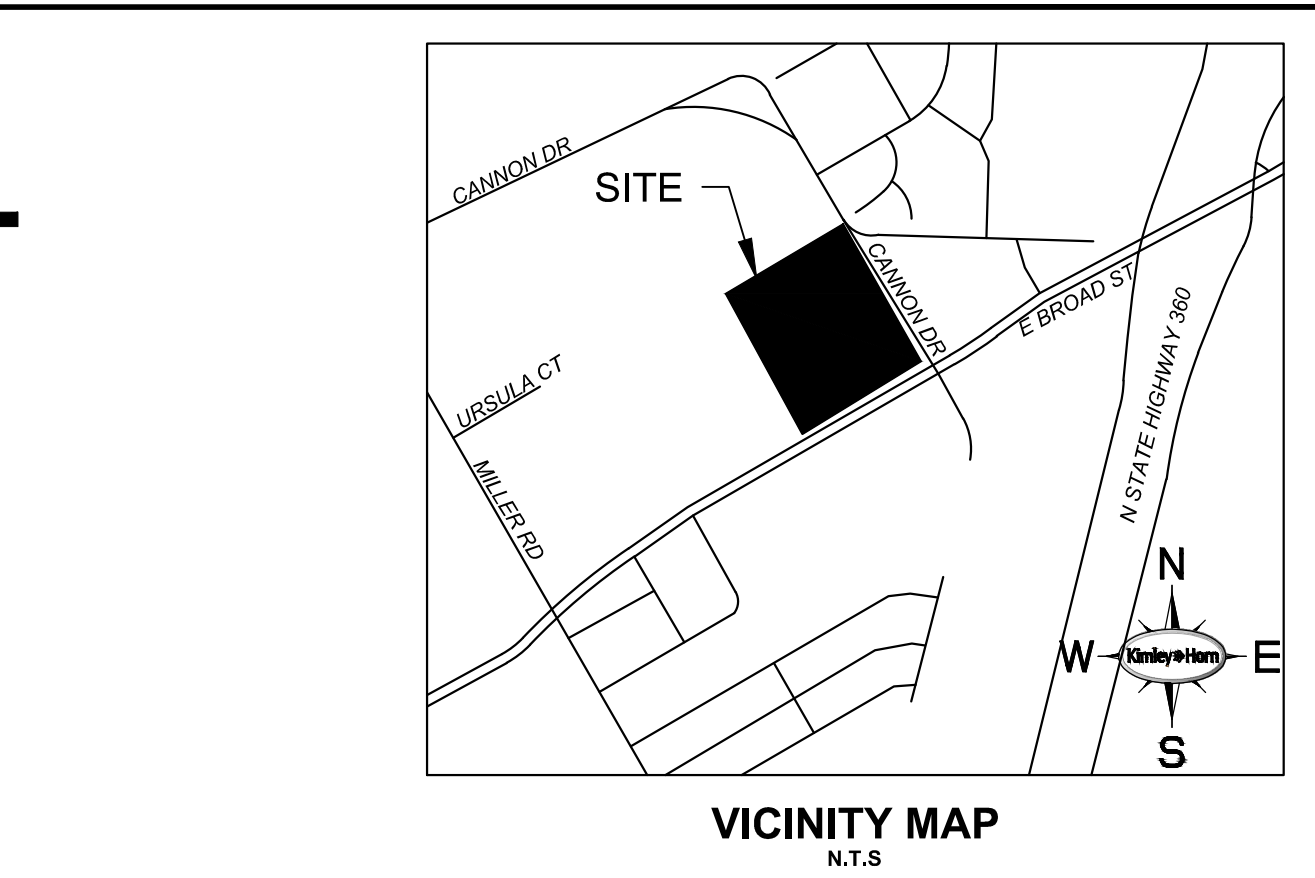
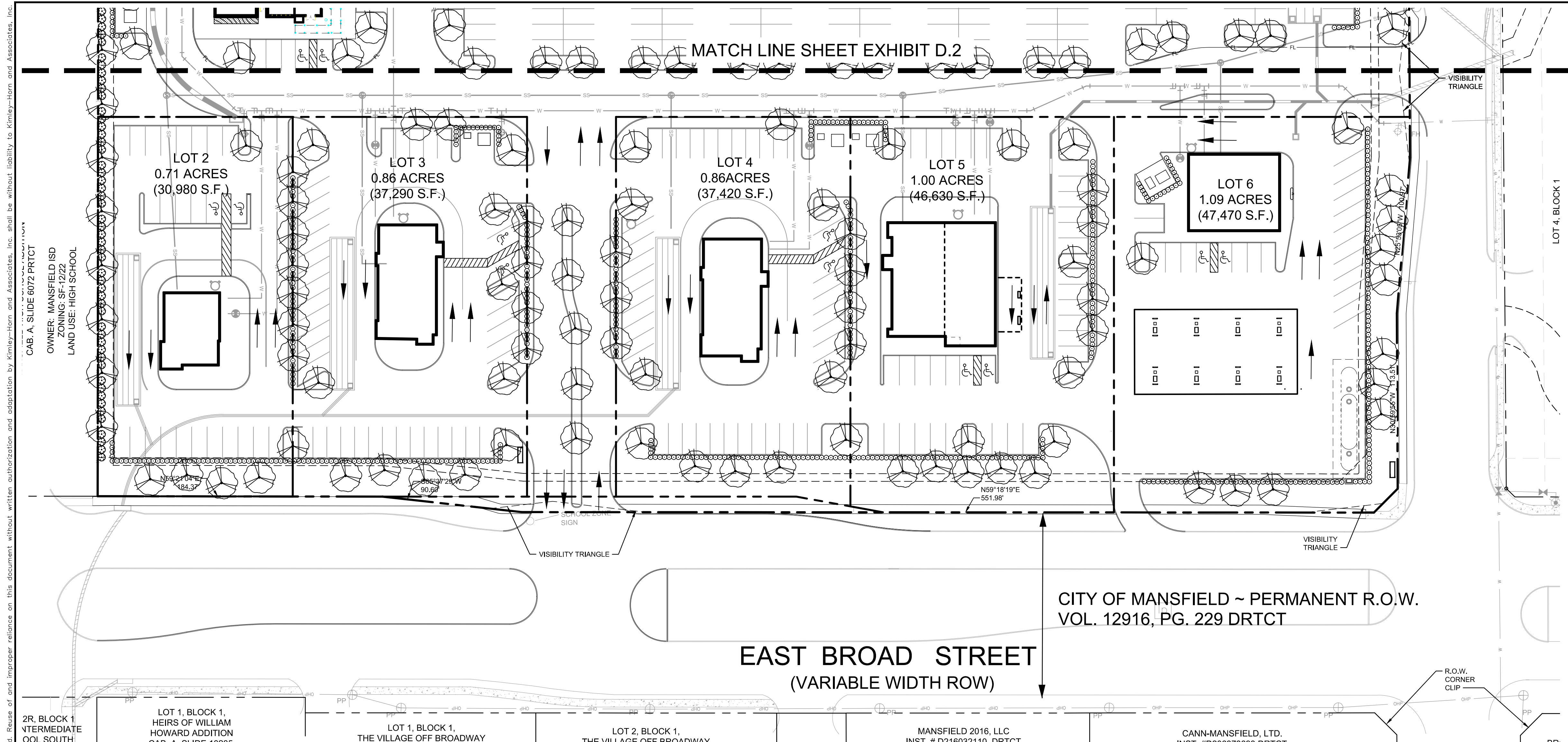
Phase	Lot No.	Acres	Use
1	Lot 1	14.43 acres	Retail/Grocery
	Lot 6	1.09 acres	Convenience Store/Gas Station
2	Lot 2	0.71 acres	Restaurant
	Lot 3	0.86	Restaurant
	Lot 4	0.86	Restaurant
	Lot 5	1	Restaurant/Bank

Kimbley-Horn

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 WWW.KIMBLEY-HORN.COM
 TEXAS REGISTERED ENGINEERING FIRM F-928

BROAD STREET MARKETPLACE
 LEON CAPITAL GROUP
 NWC OF E. BROAD ST. AND CANNON DR.
 MANSFIELD, TEXAS
 DEVELOPMENT PLAN AND NOTES
 SHEET NUMBER EXHIBIT C.2

KIMLEY-HORN AND ASSOCIATES, INC. PROJECT NO. 17-0001-01-01
 DATE: 01/30/2017
 DRAWN BY: KLP
 CHECKED BY: LMC
 PROJECT: BROAD STREET MARKETPLACE
 SHEET: LANDSCAPE PLAN EXHIBIT D.2



PLANT SCHEDULE

TREES	CODE	QTY	BOTANICAL NAME	SPECIFICATIONS	REMARKS
	TR1	250	Canopy Tree	3.5" cal.	Full, Straight, Single Leader. Mixture of Evergreen & Deciduous trees. See plans for Evergreen screening placement.
	TR2	22	Screening Tree	10' ht x 6" spr	Full to ground, Evergreen
	TR3	336	Screening Tree	6' ht x 4" spr	Full to ground, Evergreen
SHRUBS	CODE	QTY	BOTANICAL NAME	SPECIFICATIONS	REMARKS
	SH1	774	Screening Shrub	24" ht, 18" spr, 36" oc	36" at maturity
SHRUB AREAS	CODE	QTY	BOTANICAL NAME	SPECIFICATIONS	REMARKS
	FLA	TBD	Foundation Landscape Area	Install	Shrubs and groundcover

SUMMARY CHART - BUFFERYARDS/SETBACKS

LOCATION OF BUFFER YARD OR SETBACK	REQUIRED/PROVIDED	LENGTH	BUFFERYARD OR SET BACK WIDTH/TYPE	CANOPY TREES	ORNAMENTAL TREES	SHRUBS	SCREEN WALL/DEVICE HEIGHT & MATERIAL
NORTH	REQUIRED	826 LF	SW8 & BY20 (826 / 25 = 34)	34	N/A	N/A	6' LIVING SCREEN WALL
	PROVIDED	826 LF	BY20	34	N/A	N/A	6' LIVING SCREEN WALL
WEST	REQUIRED	989 LF	BY10 (989 / 40 = 25)	25	N/A	N/A	6' LIVING SCREEN WALL
	PROVIDED	989 LF	BY10	25	N/A	N/A	6' LIVING SCREEN WALL
EAST	REQUIRED	996 LF	STREET LANDSCAPE SETBACK (996 / 40 = 25)	25	N/A	N/A	N/A
	PROVIDED	996 LF	STREET LANDSCAPE SETBACK	25	N/A	N/A	N/A
SOUTH	REQUIRED	826 LF	STREET LANDSCAPE SETBACK (826 / 40 = 19)	21	N/A	N/A	N/A
	PROVIDED	826 LF	STREET LANDSCAPE SETBACK	21	N/A	N/A	N/A

NOTES:

- LANDSCAPING MAINTENANCE: THE PROPERTY OWNER, TENANT OR AGENT, SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL REQUIRED LANDSCAPING IN A HEALTHY, NEAT, ORDERLY AND LIVE-GROWING CONDITION AT ALL TIMES. THIS SHALL INCLUDE MOWING, EDGING, PRUNING, FERTILIZING, IRRIGATION, WEEDING, AND OTHER SUCH ACTIVITIES COMMON TO MAINTENANCE OF LANDSCAPING. LANDSCAPED AREAS SHALL BE KEPT FREE OF TRASH, LITTER, WEEDS, AND OTHER MATERIALS NOT A PART OF THE LANDSCAPING. PLANT MATERIALS THAT DIE SHALL BE REPLACED WITH PLANT MATERIALS OF SIMILAR VARIETY AND SIZE.
- NO TREES, SHRUBS, WALLS, FENCES, OR ANYTHING OVER 2' IN HEIGHT IS ALLOWED WITHIN THE VISIBILITY TRIANGLES.

SUMMARY CHART - INTERIOR PARKING LOT LANDSCAPING

	REQUIRED TREES	PROVIDED TREES
# OF REQUIRED PARKING SPACES	676	
# OF PROVIDED PARKING SPACES	808 (808 / 10 = 81)	81
TOTAL TREES PROVIDED:		145*

*TOTAL TREES PROVIDED INCLUDED THE FOLLOWING:
 - PARKING SPACE TREES (1 TREE PER EVERY 10 SPACES)
 - REQUIRED DRIVE ISLE TREES (1 TREE PER 40 LF)
 - PARKING ISLAND TREES (SINGLE AND DOUBLE ISLANDS)
 - RESTAURANT DRIVE THROUGH TREES (1 TREE PER 25 LF)

SUMMARY CHART - PARKING LOT PERIMETER LANDSCAPING

REQUIRED	SCREENING OF ALL VEHICULAR USE AREAS FROM PUBLIC STREETS. SCREENING SHALL BE A MIN. HT OF 3' AT MATURITY
PROVIDED	SCREENING OF ALL VEHICULAR USE AREAS FROM PUBLIC STREETS. SCREENING SHALL BE A MIN. HT OF 3' AT MATURITY

SUMMARY CHART - FOUNDATION LANDSCAPING

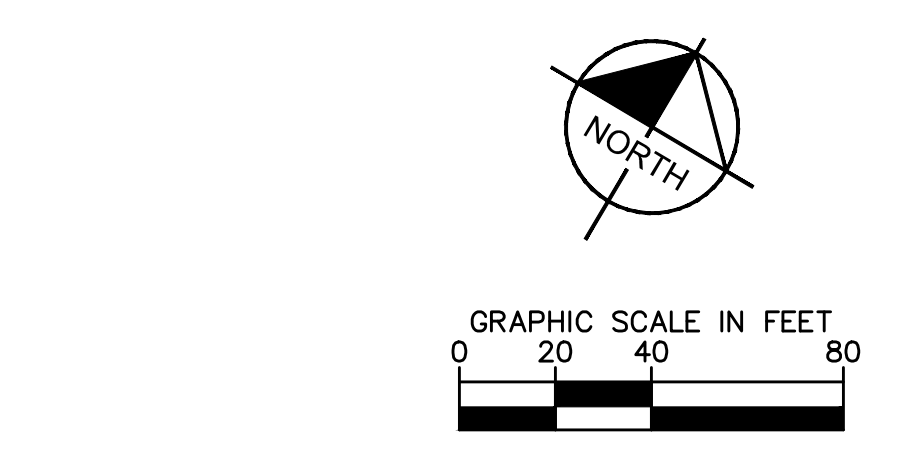
REQUIRED	MIN. 4' WIDE LANDSCAPE AREA WITHIN 10' OF BUILDING FACADE WITH CUSTOMER ENTRANCE OR FACING A PUBLIC STREET
PROVIDED	MIN. 4' WIDE LANDSCAPE AREA WITHIN 10' OF BUILDING FACADE WITH CUSTOMER ENTRANCE OR FACING A PUBLIC STREET

LANDSCAPING DEVIATIONS

	REQUIRED	PROVIDED
WEST BUFFER	10' BUFFER 6' MASONRY SCREEN WALL	10' BUFFER 6' LIVING SCREEN WALL
NORTH BUFFER	20' BUFFER 8' SCREENING WALL	20' BUFFER 6' LIVING SCREEN WALL
DRIVE THROUGH BUFFER	20' BUFFER TREES 1 PER 25 LF HEDGE ROW	BUFFER WIDTH VARIES TREES 1 PER 25 LF HEDGE ROW

SITE DATA TABLE

ZONING/PROPOSED USE	PD/COMMERCIAL
TOTAL ACERAGE	19.33
BUILDING AREA (GROSS SQUARE FOOTAGE)	133,562
BUILDING HEIGHT	MAX HEIGHT: 50'
FLOOR AREA RATIO	0.16
TOTAL PARKING REQUIRED	
RETAIL	333
RESTAURANT (DRIVE-THRU)	137
RESTAURANT (DINE-IN)	184
GAS STATION/C-STORE	15
BANK	9
TOTAL PARKING REQUIRED	678
TOTAL PARKING PROVIDED	808
TOTAL HANDICAP REQUIRED	17
TOTAL HANDICAP PROVIDED	30
BUILDING SETBACKS - EXTERIOR OVERALL PROPERTY BOUNDARY	
TO RESIDENTIAL	75'
TO NON-RESIDENTIAL	N/A
TO ABUTTING ROW	25'
LANDSCAPE BUFFER - EXTERIOR OVERALL PROPERTY BOUNDARY	
RESIDENTIAL	20'
NON-RESIDENTIAL	10'
PUBLIC STREET	20'



DEVELOPMENT PLAN
BROAD STREET MARKETPLACE
 ±19.33 Acres of Land Located in the
 WILLIAM A. HOWARD SURVEY
 Abstract No. 690
 City of Mansfield, Tarrant County, Texas
 City Project No.
 Submitted January 30, 2017
 PD ZC. #16-023

Owner/Applicant: Leon Capital Group
 2301 Cedar Springs Rd.
 Dallas, TX 75201
 Contact: Will Talwer
 Phone: (214) 865-8090

Architect: CTA Architects
 3601 S. Congress Ave.
 Bldg C, Ste 100
 Austin, TX 78704
 Phone: (512) 804-1163

Engineer: Kimley-Horn and Associates, Inc.
 5750 Genesis Ct., Ste. #200
 Frisco, Texas 75034
 Contact: David Kochalka, P.E.
 Phone: (972) 335-3560

Landscape Architect: Kimley-Horn and Associates, Inc.
 5750 Genesis Ct., Ste. #200
 Frisco, Texas 75034
 Contact: Leah Campbell, PLA
 Phone: (972) 731-3807

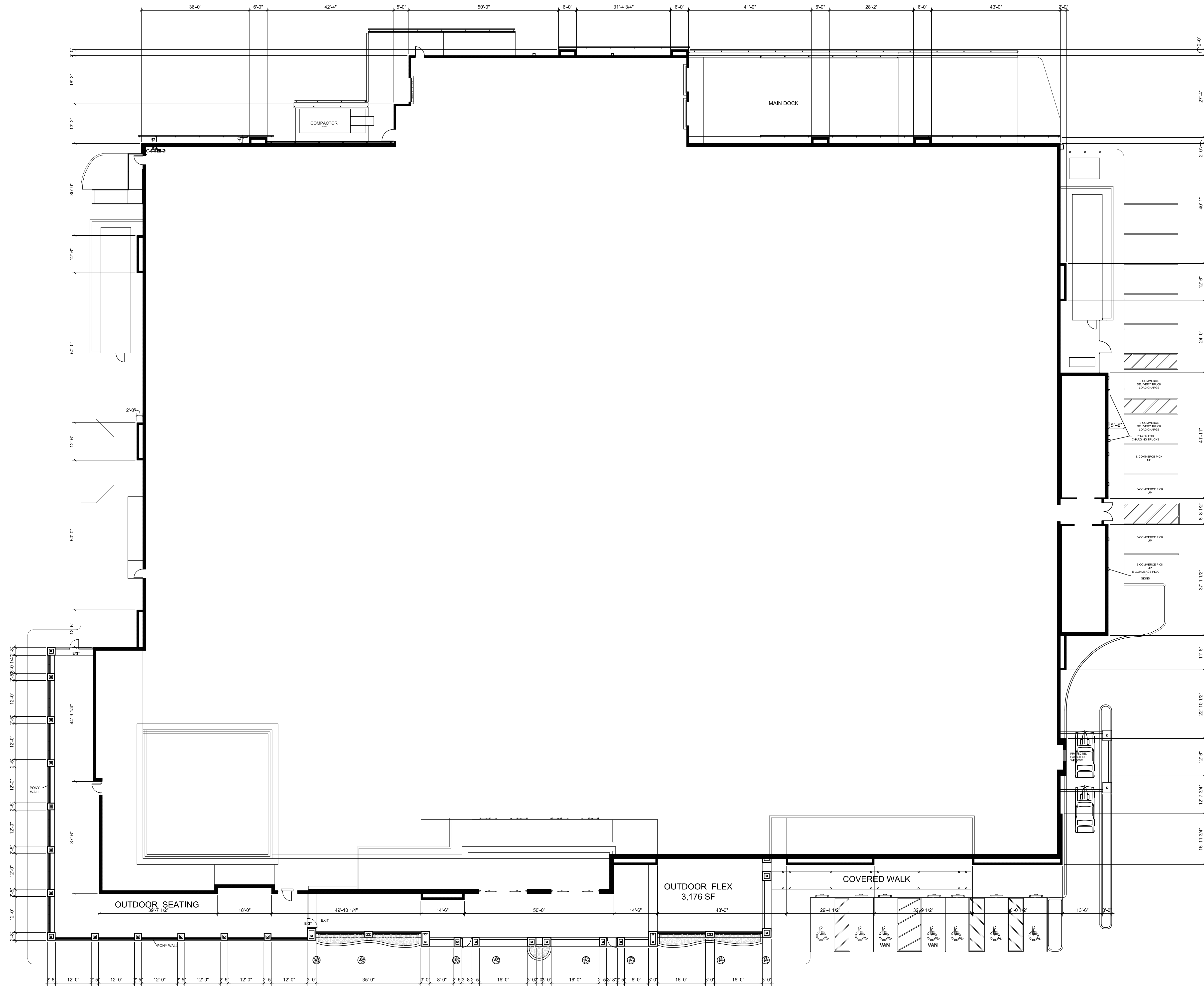
BROAD STREET MARKETPLACE
LEON CAPITAL GROUP
NWC OF E. BROAD ST. AND CANNON DR.
MANSFIELD, TEXAS

LANDSCAPE PLAN

SHEET NUMBER
EXHIBIT D.2

© 2014 KIMLEY-HORN
 5750 GENESIS COURT, SUITE 200, FRISCO, TX 75034
 PHONE: 972-335-3580 FAX: 972-335-3779
 WWW.KIMLEY-HORN.COM
 TEXAS REGISTERED ENGINEERING FIRM F-928

NO.	REVISIONS	DATE	BY



1 FOOD STORE - SHELL PLAN
 1/16" = 1'-0"

Issue Dates:
 DETAILED SITE PLAN APP 11-21-16

Heights Venture
 ARCHITECTURE + DESIGN

HOUSTON DALLAS
 1111 North Loop West, Suite 800 5717 Legacy Drive, Suite 240
 Houston, Texas 77008 Plano, Texas 75024
 713 869 1103 V 972 490 7292 V

Robert R. Holton, AIA
 TX Registration #14938

Not for Regulatory Approval,
 Permit, or Construction.

**BROAD STREET
 MARKETPLACE
 ZC #16-023**

MANSFIELD

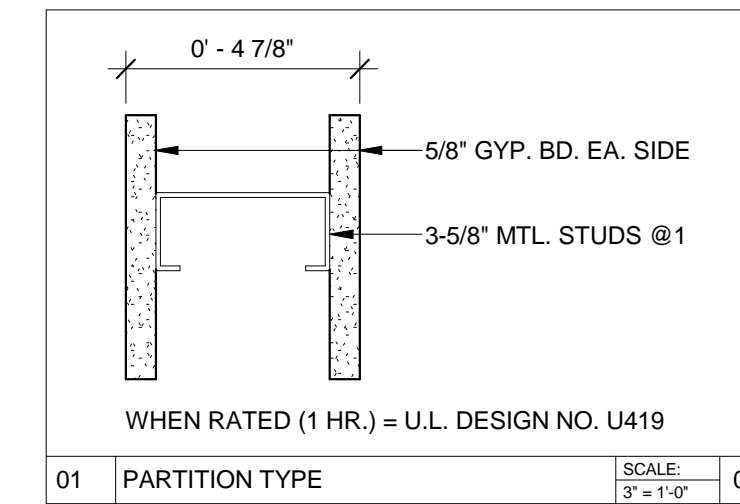
Project Number:
 16126-001

Date Plotted:
 DECEMBER 07, 2016

Drawn By: FL Checked By: FL

File Name:
 11.21.16 MARKET STREET

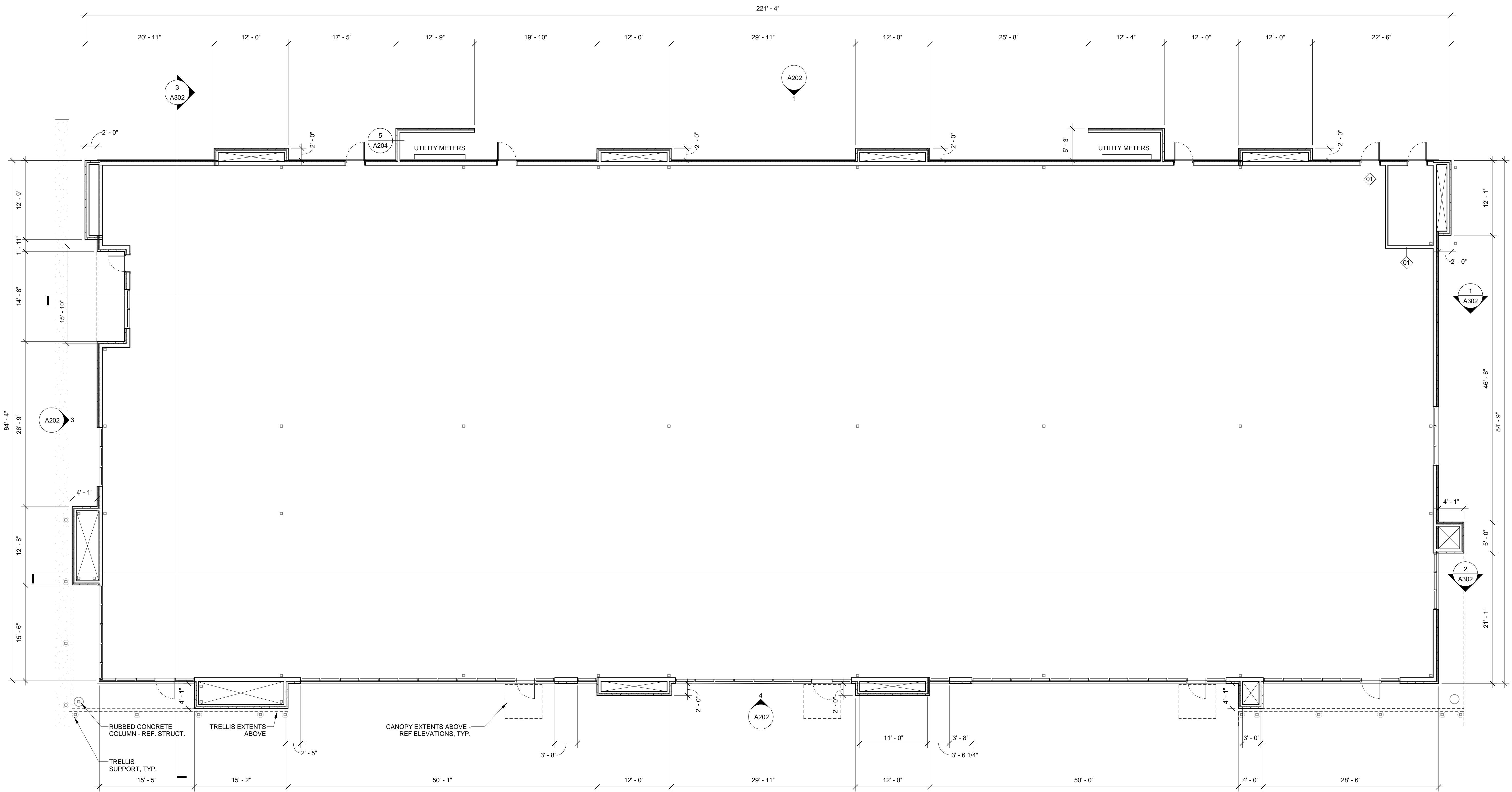
A101
 EXHIBIT G.1



PLAN LEGEND

- WALL TYPE (SEE SHEET A102)
- WALL TYPE NOTE
- ROOM NUMBER
- WINDOW TYPE (SEE SHEET A602)
- PLAN NOTE
- SIM
DETAIL OR SECTION NUMBER
- SHEET WHERE DRAWN
- DOOR NUMBER (SEE SHEET A601)

01	PARTITION TYPE	SCALE: 3" = 1'-0"	01
----	----------------	----------------------	----



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ZC#16-023
 LEON CAPITAL GROUP
BROAD STREET MARKETPLACE

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DETAILED SITE PLAN APPLICATION - NOT FOR CONSTRUCTION

02.27.2017
 DRAWN BY | ONYKANN
 CHECKED BY | TAIT
 REVISIONS

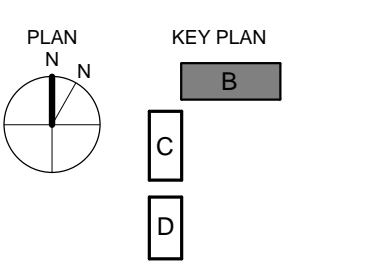
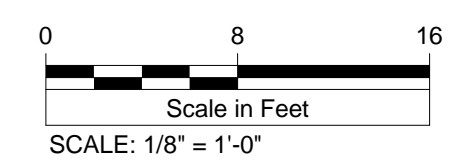


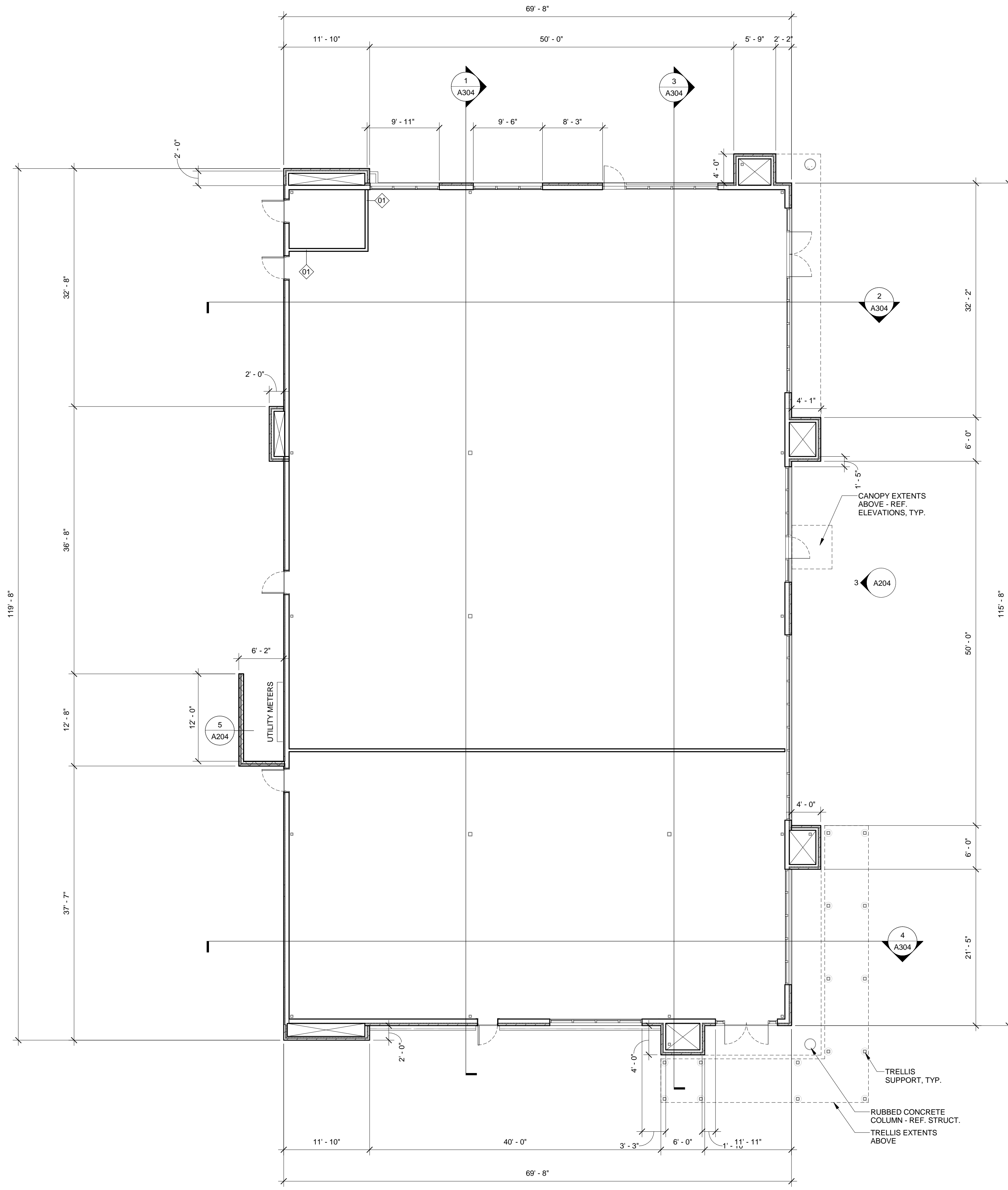
EXHIBIT G.2 - FLOOR PLAN - RETAIL B

A102

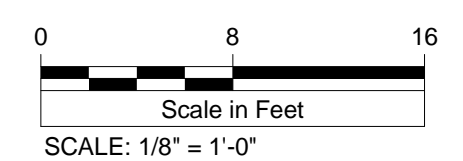


PLAN LEGEND

- WALL TYPE (SEE SHEET A102)
- WALL TYPE NOTE
- ROOM NUMBER
- WINDOW TYPE (SEE SHEET A602)
- PLAN NOTE
- 1 SIM
DETAIL OR SECTION NUMBER
- A101
SHEET WHERE DRAWN
- 101-1
DOOR NUMBER (SEE SHEET A601)

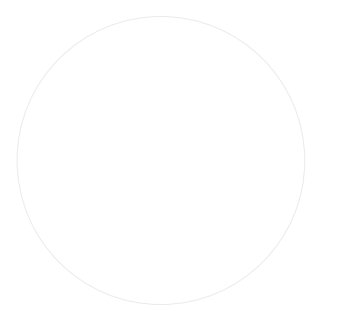


1
A104 FIRST FLOOR PLAN - RETAIL D
1/8" = 1'-0"



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ZC#16-023
LEON CAPITAL GROUP
BROAD STREET MARKETPLACE



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DETAILED SITE PLAN
APPLICATION - NOT
FOR CONSTRUCTION

02.27.2017
DRAWN BY | ONYEKANNE
CHECKED BY | TAIT
REVISIONS

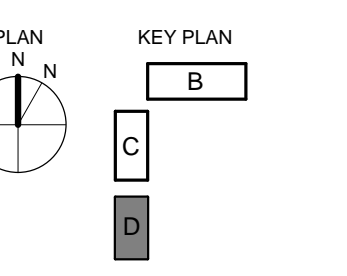
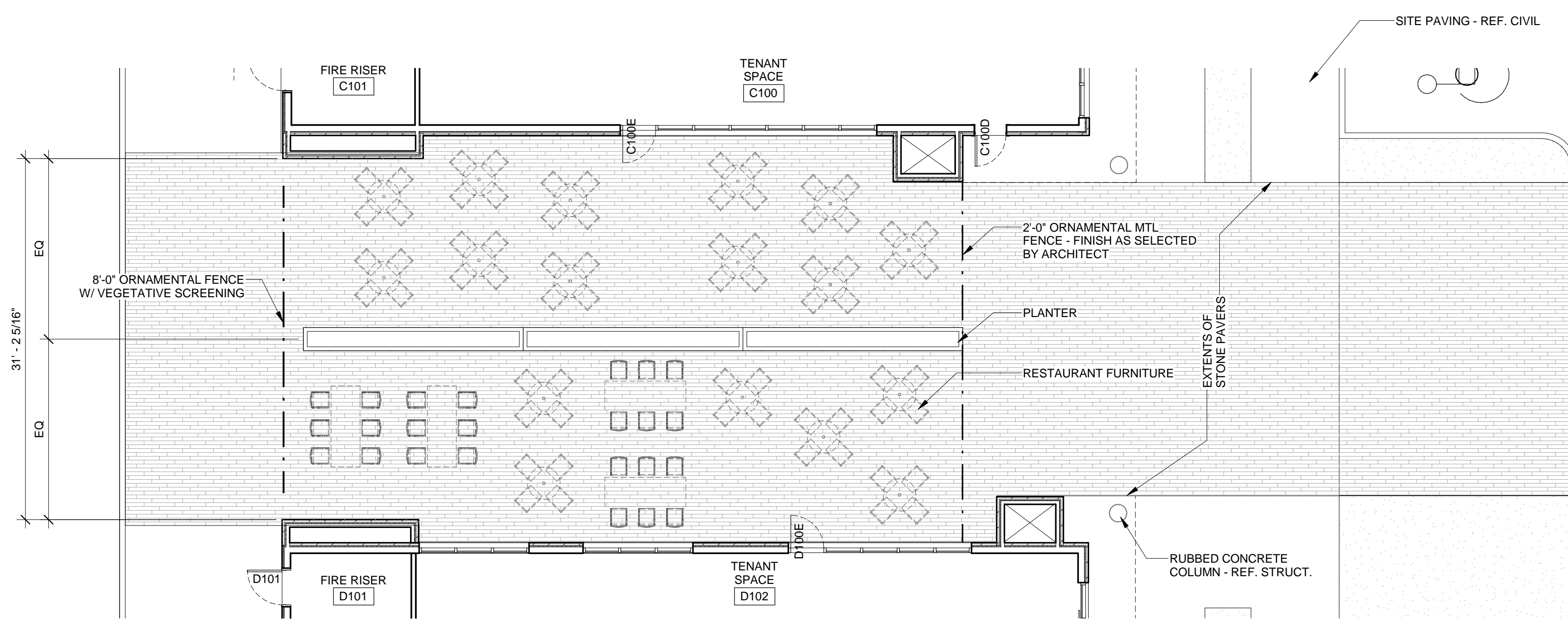


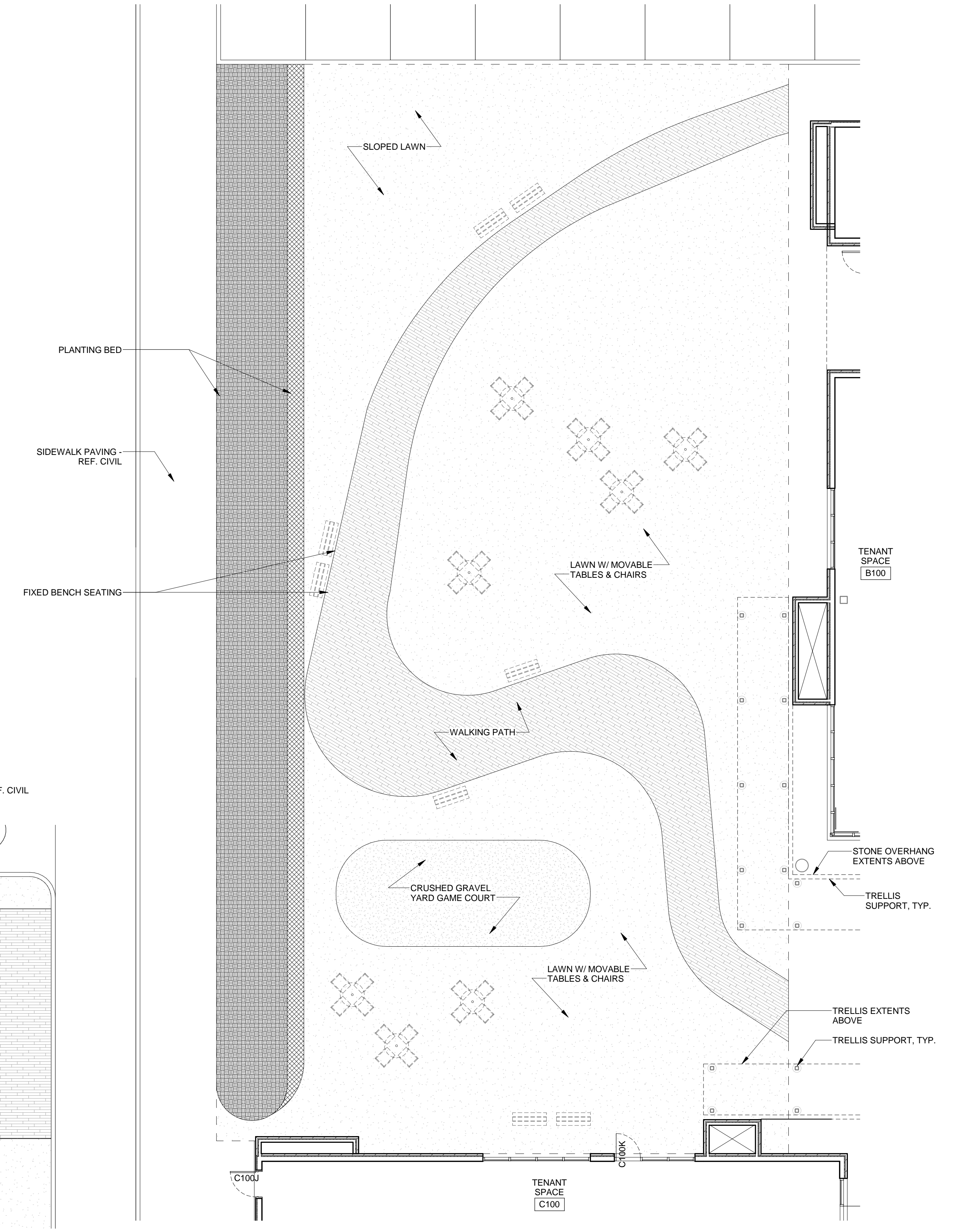
EXHIBIT G.4 - FLOOR
PLAN - RETAIL D

A104

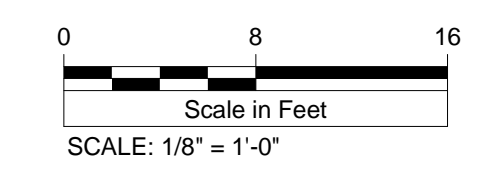
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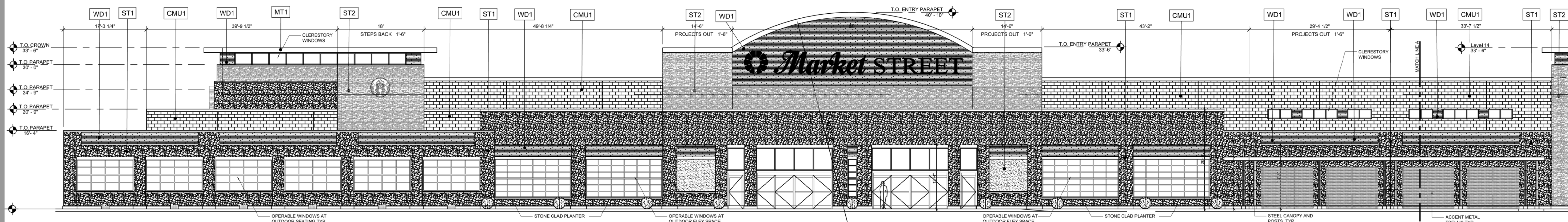
2 EXTERIOR PATIO PLAN 2A105
1/8" = 1'-0"



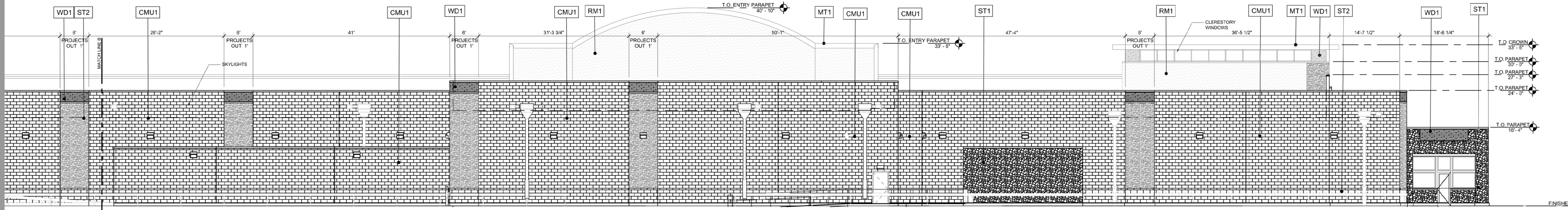
1 ENLARGED SITE PLAN - COURTYARD
1/8" = 1'-0"



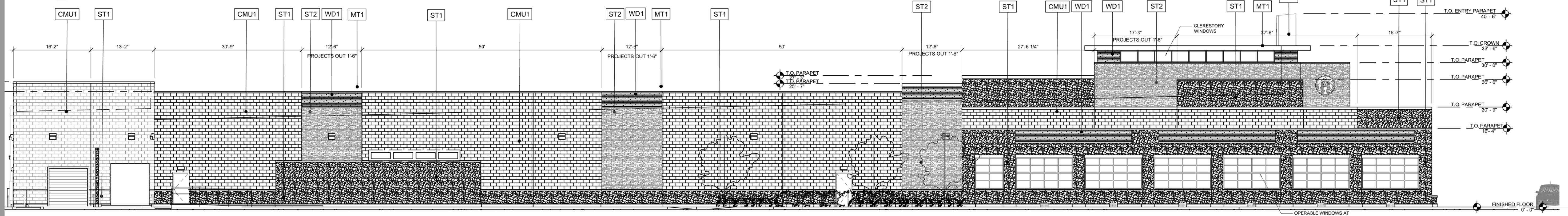
21 February 2017



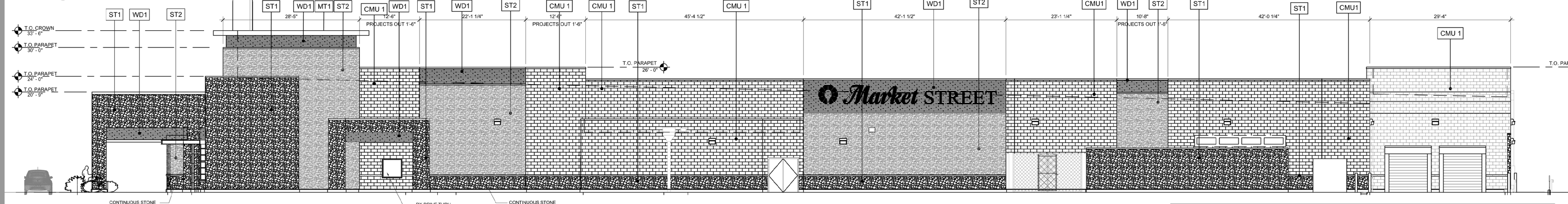
1 FOOD STORE - FRONT ELEVATION
 5/32" = 1'-0"



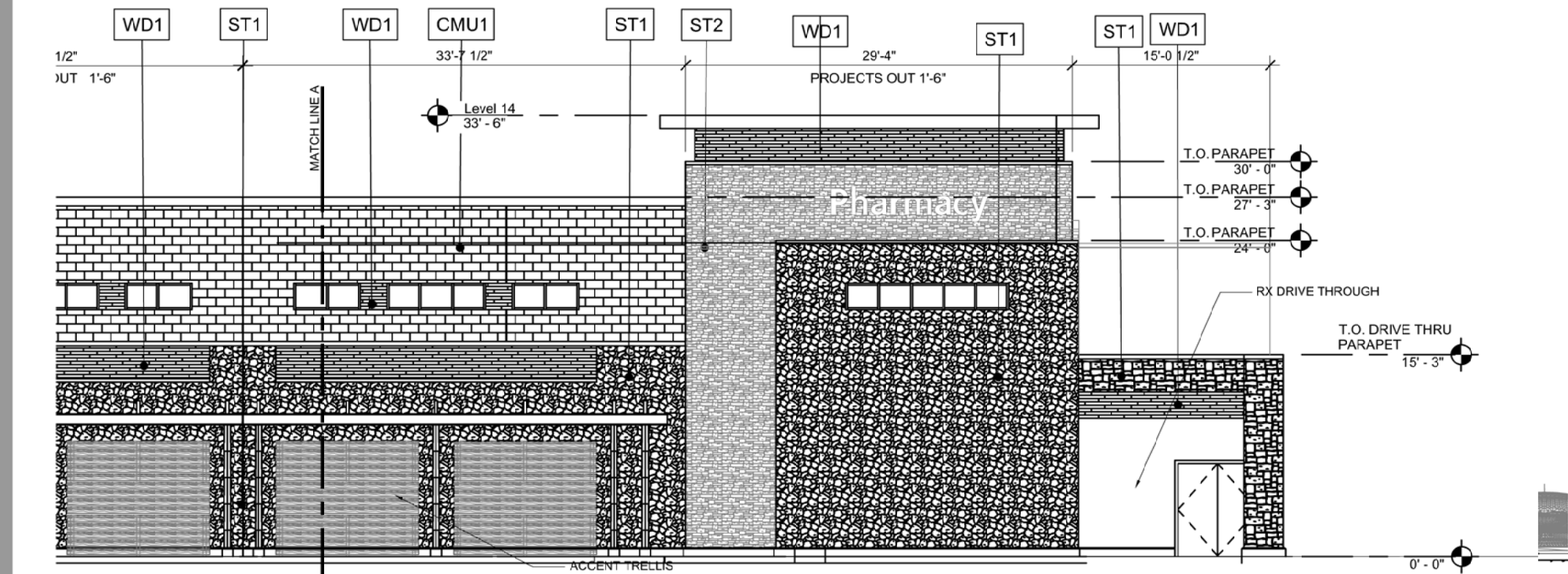
2 FOOD STORE - REAR ELEVATION
 5/32" = 1'-0"



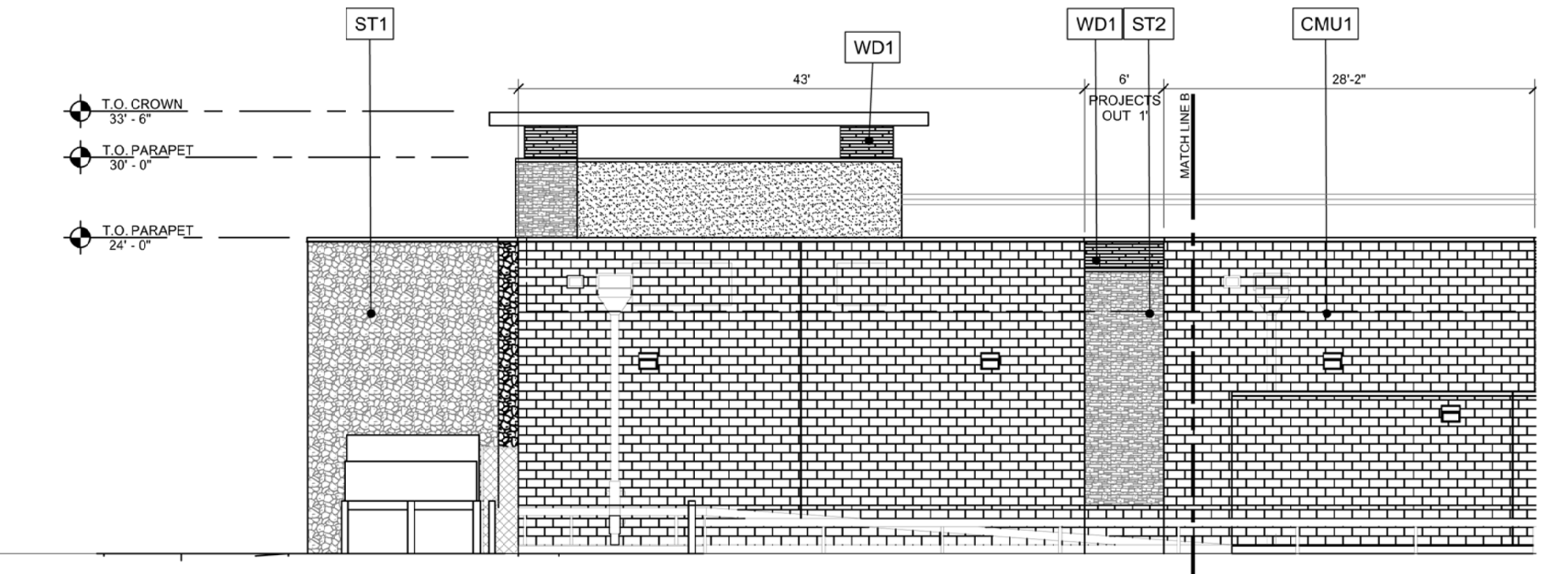
3 FOOD STORE - SIDE PATIO ELEVATION
 5/32" = 1'-0"



4 FOOD STORE - RX DRIVE THROUGH ELEVATION
 5/32" = 1'-0"



5 FOOD STORE - ELEVATION CONTINUATION RX DRIVE THROUGH
 5/32" = 1'-0"



6 FOOD STORE - REAR ELEVATION CONTINUATION
 5/32" = 1'-0"

MATERIAL COVERAGE CALCULATIONS FOR FOOD STORE

		FRONT/ENTRY		REAR		SIDE/RX DRIVE-THRU		SIDE/OUTDOOR SEATING	
		SQ FT	%	SQ FT	%	SQ FT	%	SQ FT	%
COMPOSITE WOOD (CEMENTITIOUS PRODUCT)	WD 1	1205	12	102	1	544	8	314	4
GLASS	GL 1	1572	15	192	2	30	0	633	8
ROOFING MEMBRANE	RM 1			1108	12				
STONE 1	ST 1	4613	44	757	8	1604	22	1785	24
SPLIT FACE BLOCK	CMU 1	1464	14	6231	67	3041	42	3123	42
STONE 2	ST 2	1099	11	557	6	1569	22	1198	16
METAL TRIM	MT 1	467	4	410	4	387	5	460	6
TOTAL		10420	100	9357	100	7175	100	7513	100
TOTAL MASONRY:		26,458sf / 33,035sf = 82.6%		TOTAL MTL:		1724sf / 33,035sf = 5.2%			

Issue Dates:
 DETAILED SITE PLAN APP 11-21-16

Heights Venture
 ARCHITECTURE + DESIGN
 HOUSTON: 1111 North Loop West, Suite 800 | HOUSTON, TEXAS 77008
 DALLAS: 5717 Legacy Drive, Suite 240 | PLANO, TEXAS 75024
 713.669.1103 V | 972.490.7292 V

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BROAD STREET MARKETPLACE
ZC #16-023

MANSFIELD
 Project Number: 16126-001
 Date Plotted: DECEMBER 07, 2016
 Drawn By: FL | Checked By: FL
 File Name: 11.21.16 MARKET STREET

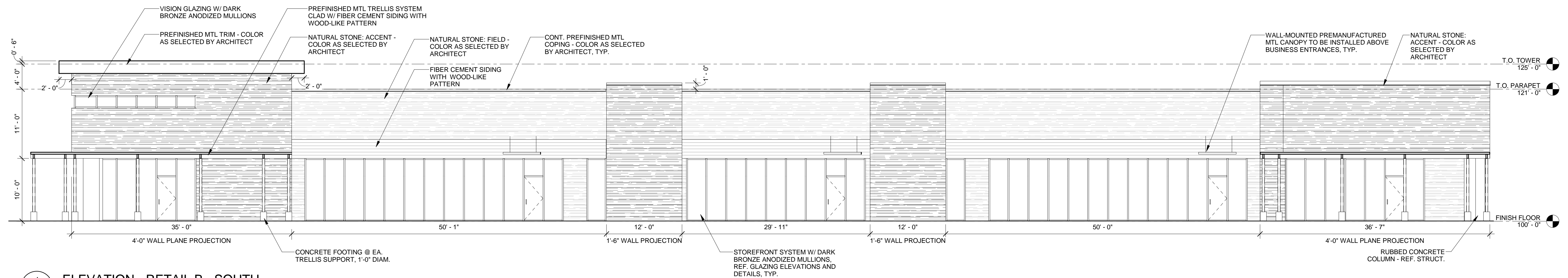
A201
 EXTERIOR ELEVATIONS

MATERIAL CALCULATIONS				
BUILDING	MASONRY SF	%	MASONRY-LIKE / OTHER SF	%
BUILDING B	7,146 SF	65%	3,823 SF	35%
BUILDING C	4,533 SF	60%	3,021 SF	40%
BUILDING D	4,227 SF	66%	2,259 SF	34%
TOTAL	15,906 SF	63.7%	9,103 SF	36.3%

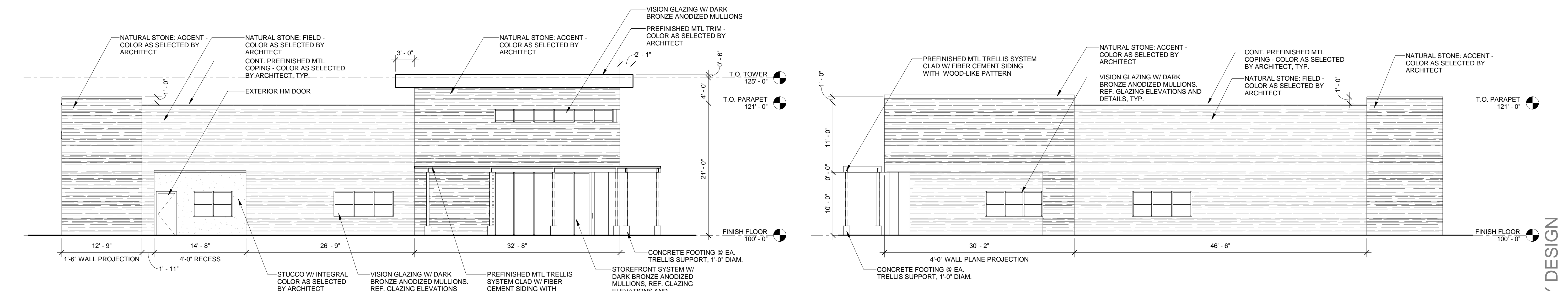
NOTE: MATERIALS ARE DEFINED ABOVE AS SPECIFIED FOR THE C-2 COMMUNITY BUSINESS DISTRICT, SECTION 2200M OF THE CITY OF MANSFIELD ZONING ORDINANCE.

GENERAL NOTES

- A. ALL NEW UTILITIES SHALL BE PLACED UNDERGROUND.
- B. BUILDINGS SHALL BE COMPRISED OF 60% MINIMUM MASONRY. ALL FOUR ELEVATIONS SHALL BE CONSTRUCTED OF SIMILAR MATERIALS AND DETAILING.
- C. ALL PROPOSED BUILDING AND SITE LIGHTING SHALL BE FULL-CUT OFF FIXTURES AND SHIELDED AWAY FROM ADJACENT RESIDENTIAL ZONING.
- D. ALL ROOF MOUNTED EQUIPMENT MUST BE FULLY SCREENED FROM VIEW FROM ADJACENT PROPERTIES AND STREETS. PARAPET WALLS SHALL HAVE A HEIGHT AT LEAST 1'-0" GREATER THAN TALLEST MECHANICAL UNIT.
- E. EXPOSED CONDUIT, LADDERS, UTILITY BOXES, STACK PIPES, AND DRAIN SPOUTS SHALL BE PAINTED TO MATCH BUILDING ELEMENTS.

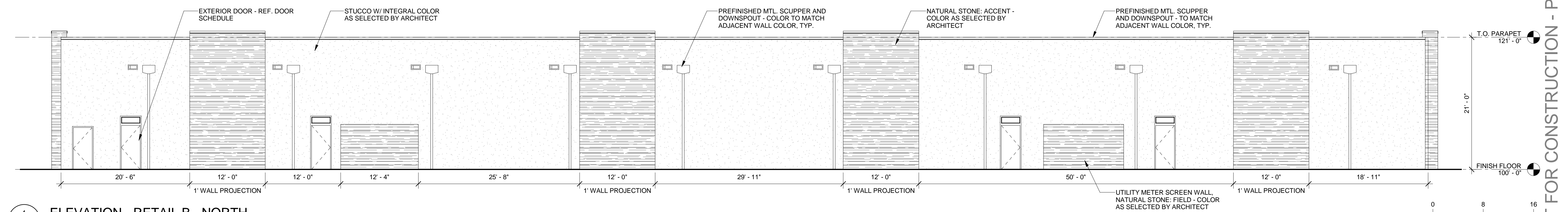


4 ELEVATION - RETAIL B - SOUTH
1/8" = 1'-0"

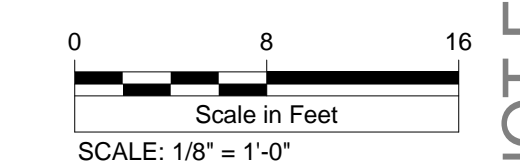


3 ELEVATION - RETAIL B - WEST
1/8" = 1'-0"

2 ELEVATION - RETAIL B - EAST
1/8" = 1'-0"



1 ELEVATION - RETAIL B - NORTH
1/8" = 1'-0"



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ZC#16-023
 LEON CAPITAL GROUP
BROAD STREET MARKETPLACE

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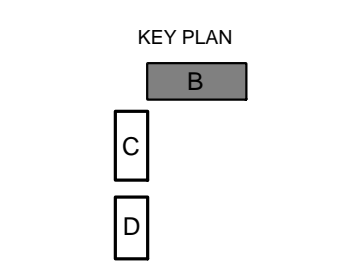


EXHIBIT E.2 - EXTERIOR ELEVATIONS - RETAIL B

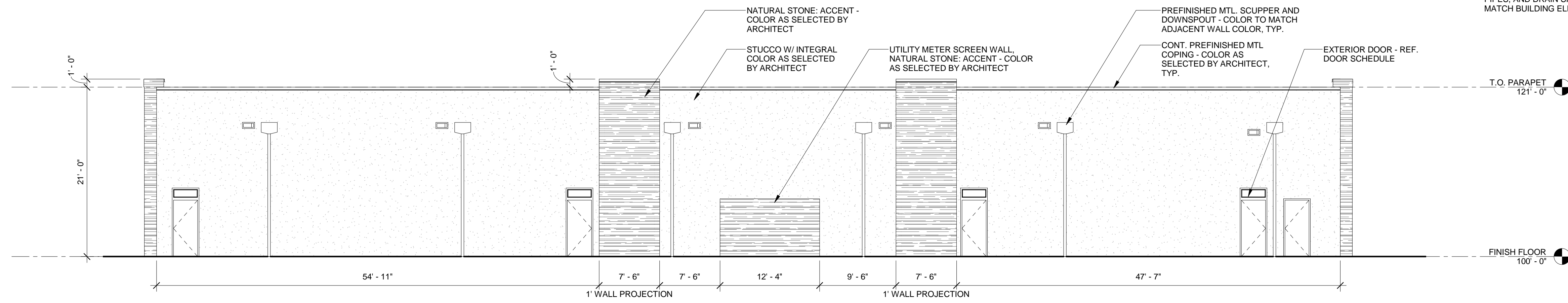
A202

MATERIAL CALCULATIONS			
BUILDING	MASONRY SF	%	MASONRY-LIKE / OTHER SF
BUILDING B	7,146 SF	65%	3,823 SF
BUILDING C	4,533 SF	60%	3,021 SF
BUILDING D	4,227 SF	66%	2,259 SF
TOTAL	15,906 SF	63.7%	9,103 SF

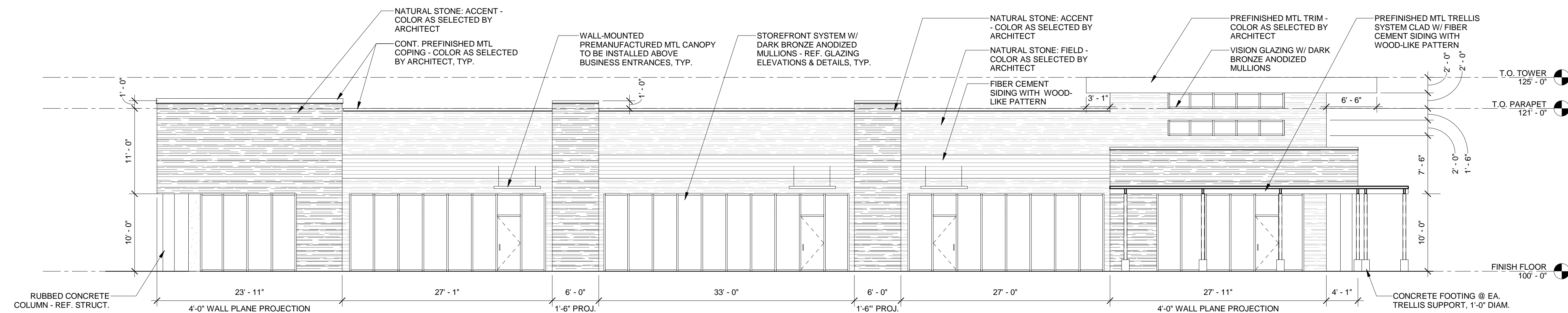
NOTE: MATERIALS ARE DEFINED ABOVE AS SPECIFIED FOR THE C-2 COMMUNITY BUSINESS DISTRICT, SECTION 2200M OF THE CITY OF MANSFIELD ZONING ORDINANCE.

GENERAL NOTES

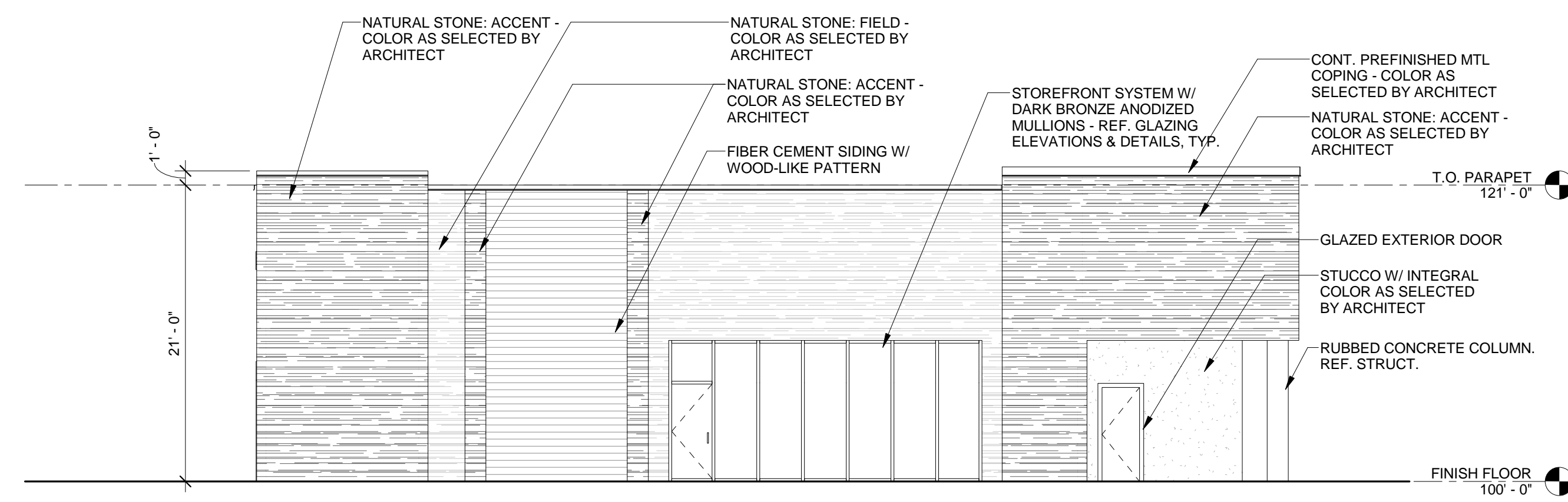
- ALL NEW UTILITIES SHALL BE PLACED UNDERGROUND.
- BUILDINGS SHALL BE COMPRISED OF 70% MINIMUM MASONRY. ALL FOUR ELEVATIONS SHALL BE CONSTRUCTED OF SIMILAR MATERIALS AND DETAILING.
- ALL PROPOSED BUILDING AND SITE LIGHTING SHALL BE FULL-CUT OFF FIXTURES AND SHIELDED AWAY FROM ADJACENT RESIDENTIAL ZONING.
- ALL ROOF MOUNTED EQUIPMENT MUST BE FULLY SCREENED FROM VIEW FROM ADJACENT PROPERTIES AND STREETS. PARAPET WALLS SHALL HAVE A HEIGHT AT LEAST 1'-0" GREATER THAN TALLEST MECHANICAL UNIT.
- EXPOSED CONDUIT, LADDERS, UTILITY BOXES, STACK PIPES, AND DRAIN SPOUTS SHALL BE PAINTED TO MATCH BUILDING ELEMENTS.



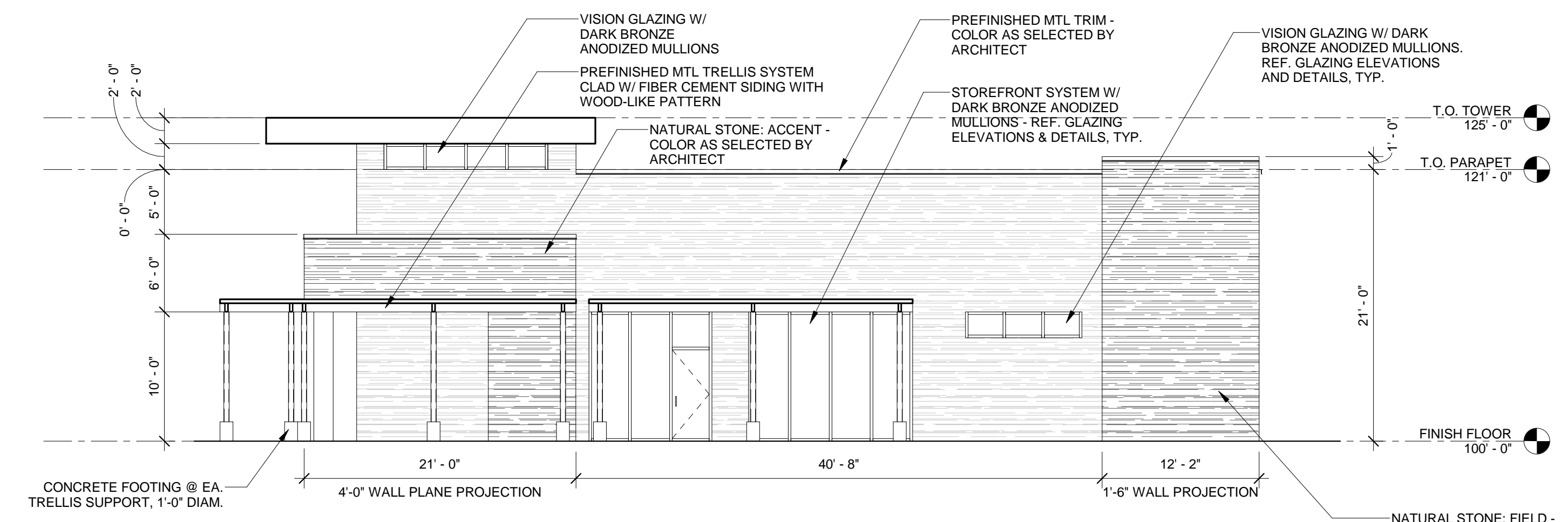
4 ELEVATION - RETAIL C - WEST
A203 1/8" = 1'-0"



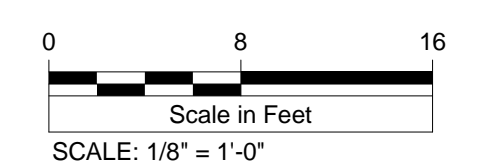
3 ELEVATION - RETAIL C - EAST
A203 1/8" = 1'-0"



2 ELEVATION - RETAIL C - SOUTH
A203 1/8" = 1'-0"



1 ELEVATION - RETAIL C - NORTH
A203 1/8" = 1'-0"



ZC#16-023
 LEON CAPITAL GROUP
BROAD STREET MARKETPLACE

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LEON CAPITAL GROUP

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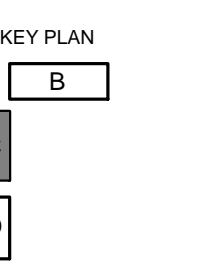


EXHIBIT E.3 - EXTERIOR ELEVATIONS - RETAIL C

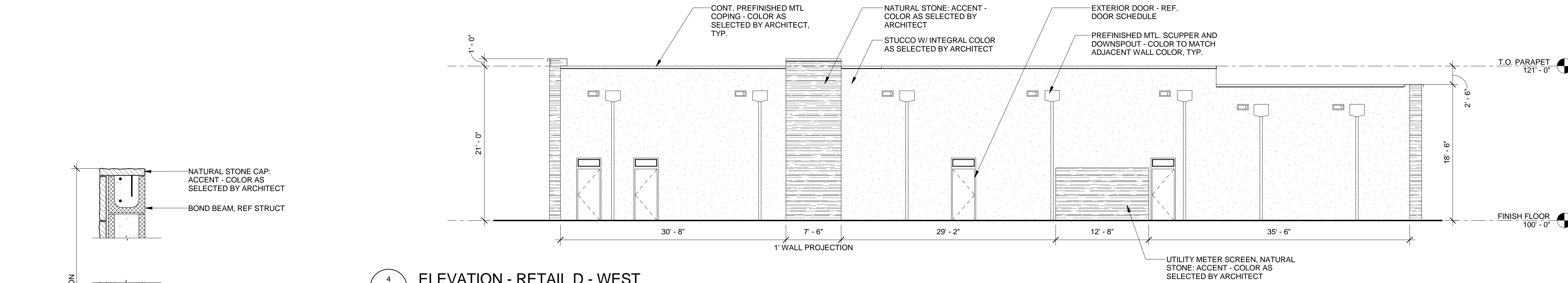
A203

MATERIAL CALCULATIONS				
BUILDING	MASONRY SF	%	MASONRY-LIKE / OTHER SF	%
BUILDING B	7,146 SF	65%	3,823 SF	35%
BUILDING C	4,533 SF	60%	3,021 SF	40%
BUILDING D	4,227 SF	66%	2,259 SF	34%
TOTAL	15,906 SF	63.7%	9,103 SF	36.3%

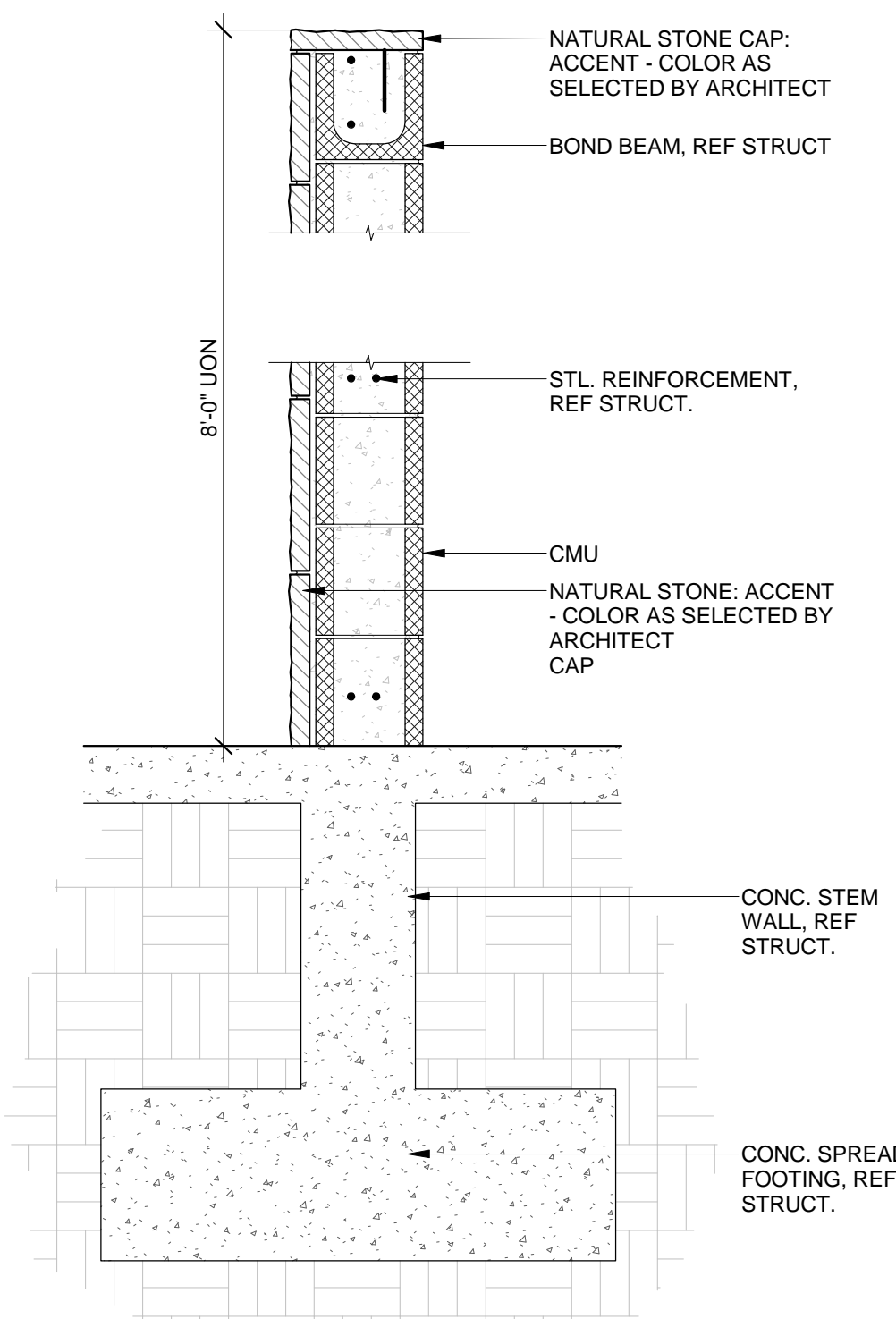
NOTE: MATERIALS ARE DEFINED ABOVE AS SPECIFIED FOR THE C-2 COMMUNITY BUSINESS DISTRICT, SECTION 2200M OF THE CITY OF MANSFIELD ZONING ORDINANCE.

GENERAL NOTES

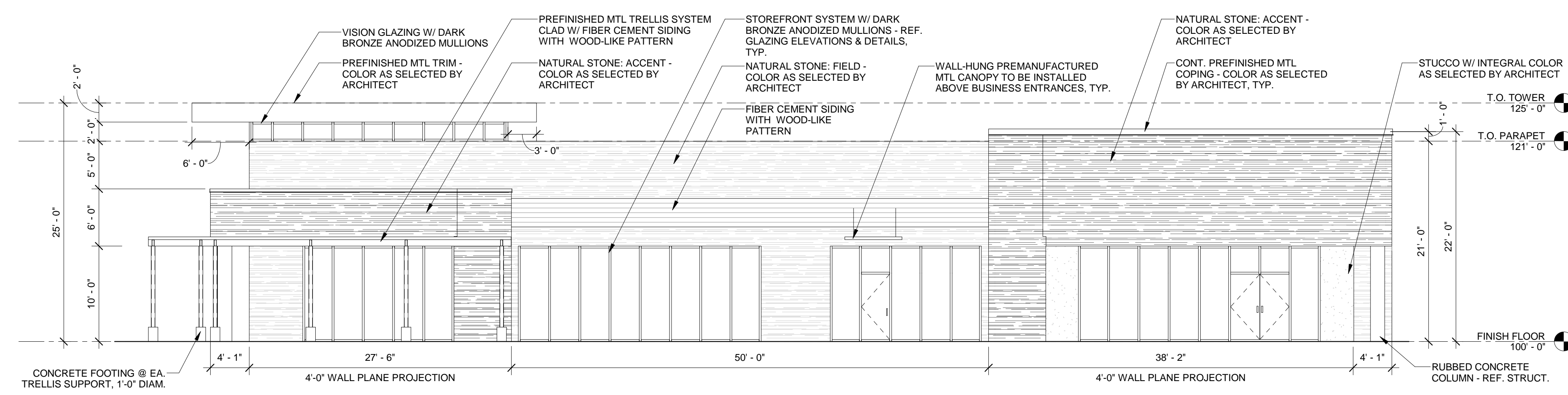
- A. ALL NEW UTILITIES SHALL BE PLACED UNDERGROUND.
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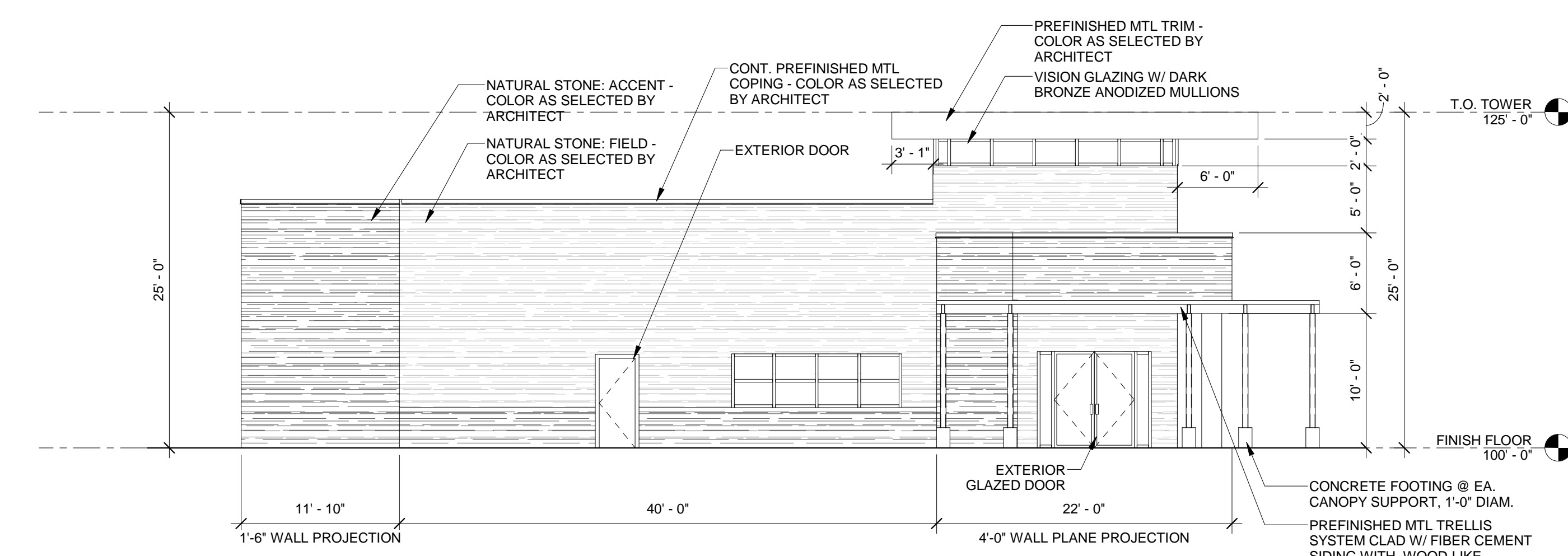
4 ELEVATION - RETAIL D - WEST
1/8" = 1'-0"



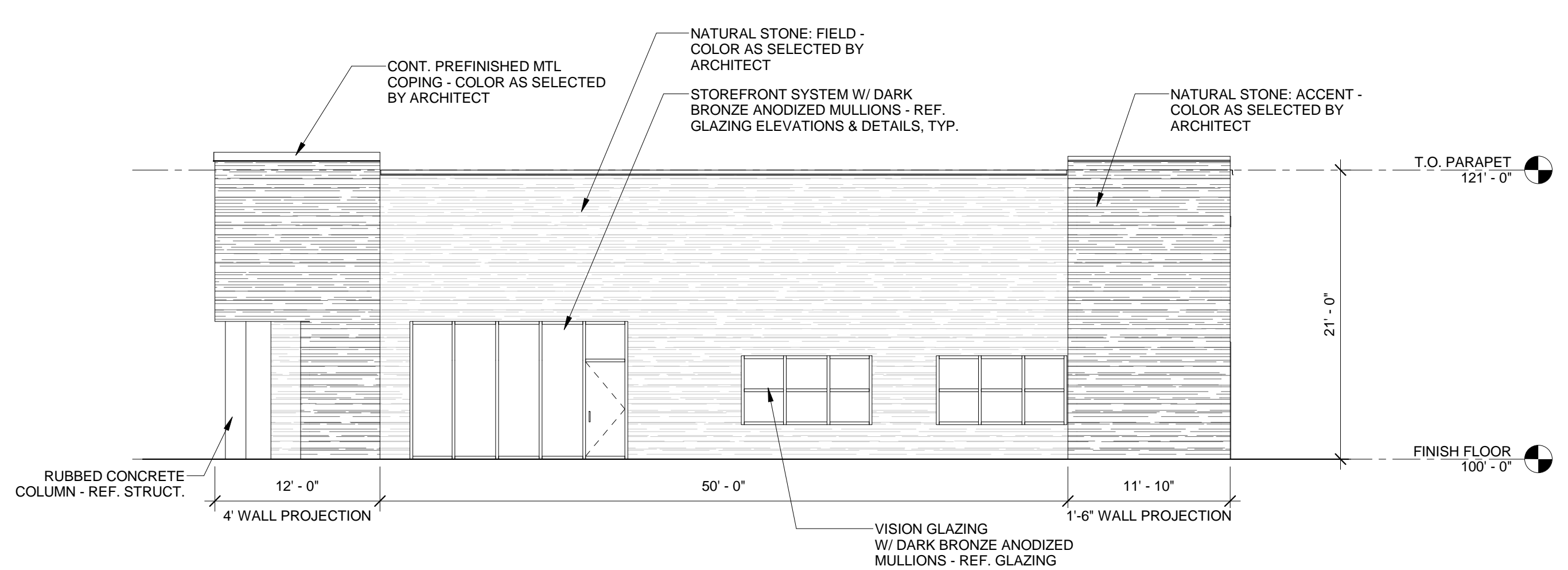
5 SECTION - SCREEN WALL
1" = 1'-0"



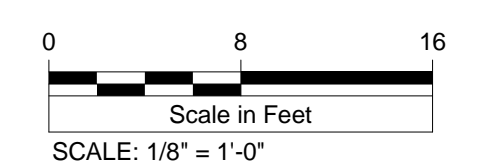
3 ELEVATION - RETAIL D - EAST
1/8" = 1'-0"



2 ELEVATION - RETAIL D - SOUTH
1/8" = 1'-0"



1 ELEVATION - RETAIL D - NORTH
1/8" = 1'-0"



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ZC#16-023
 LEON CAPITAL GROUP
BROAD STREET MARKETPLACE

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DETAILED SITE PLAN APPLICATION - NOT FOR CONSTRUCTION

01.30.2017
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CHECKED BY | TAIT
REVISIONS

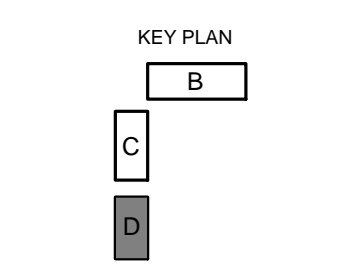
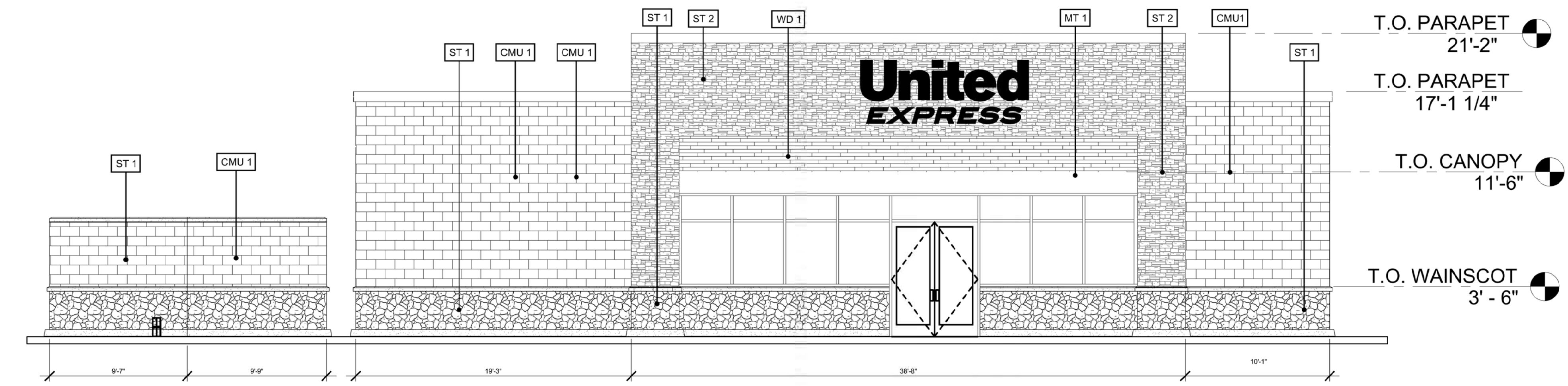
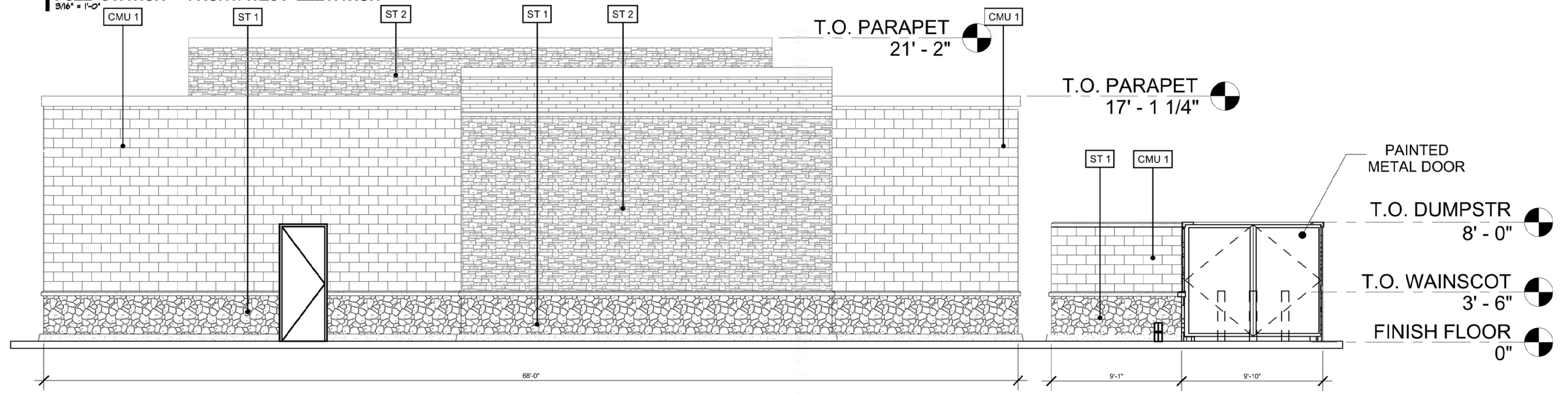


EXHIBIT E.4 - EXTERIOR ELEVATIONS - RETAIL D

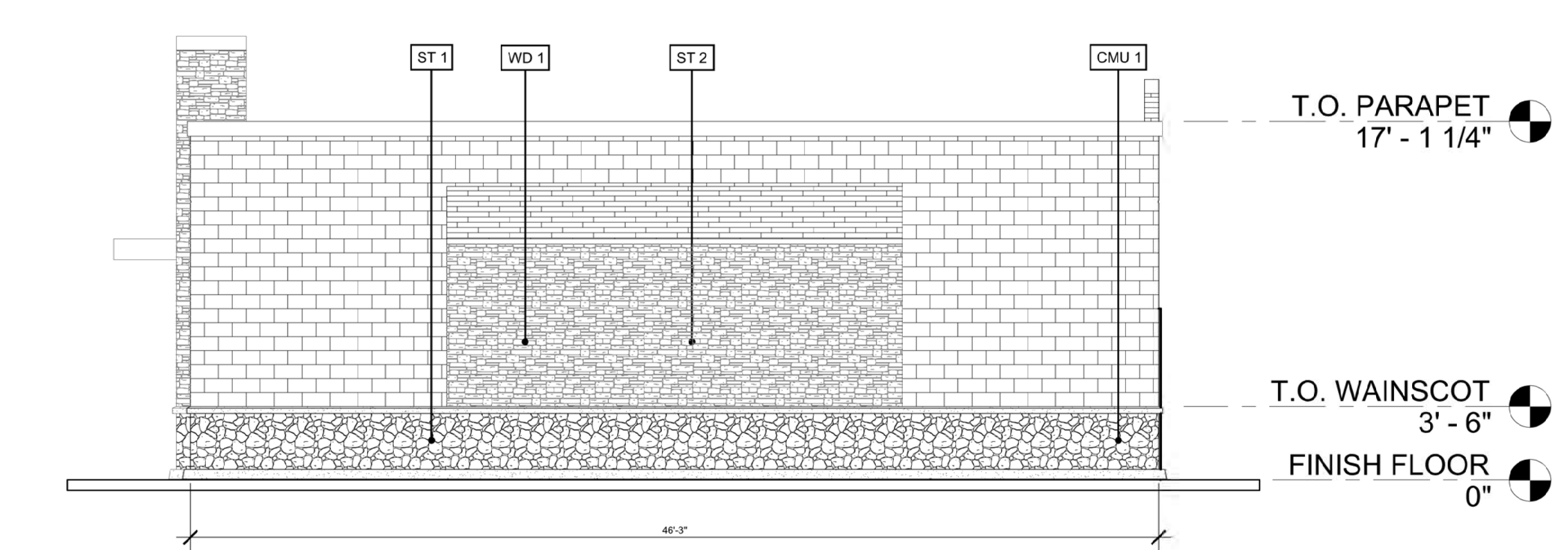
A204



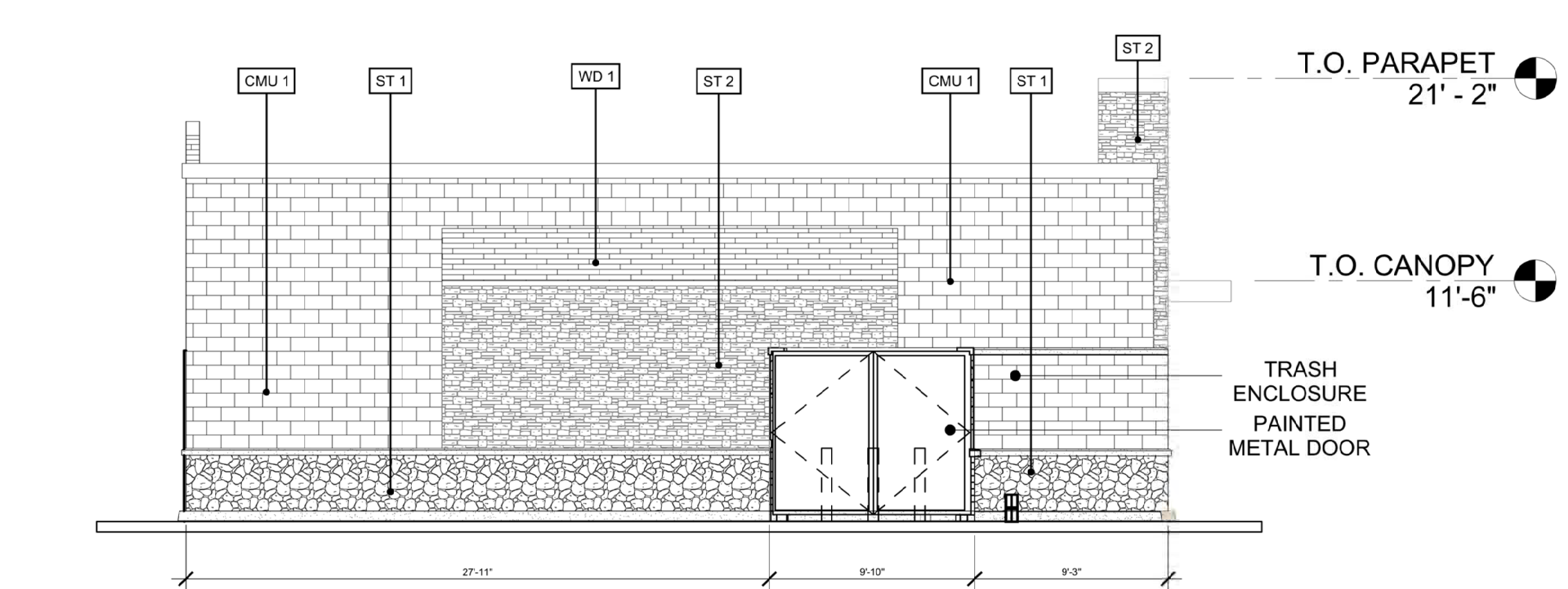
1 FUEL STATION - FRONT/WEST ELEVATION
3/16" = 1'-0"



2 FUEL STATION - REAR/EAST ELEVATION
3/16" = 1'-0"

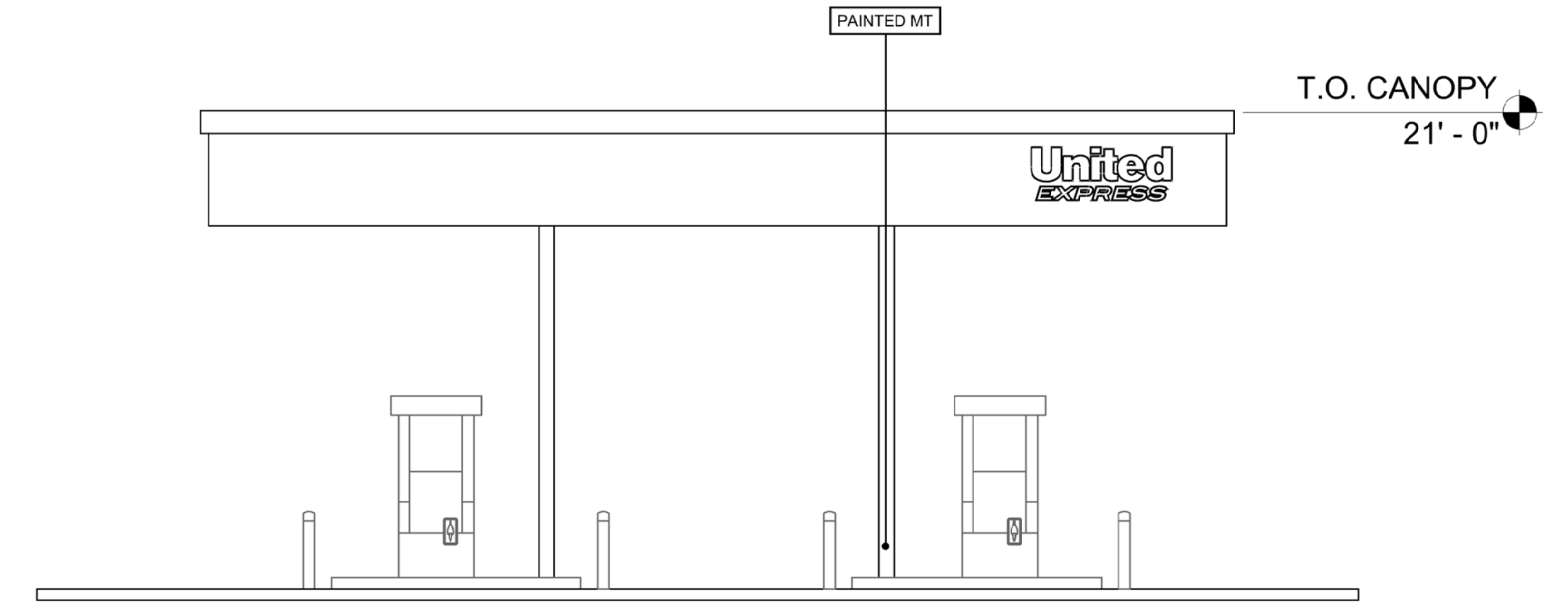


3 FUEL STATION - RIGHT/SOUTH ELEVATION
3/16" = 1'-0"

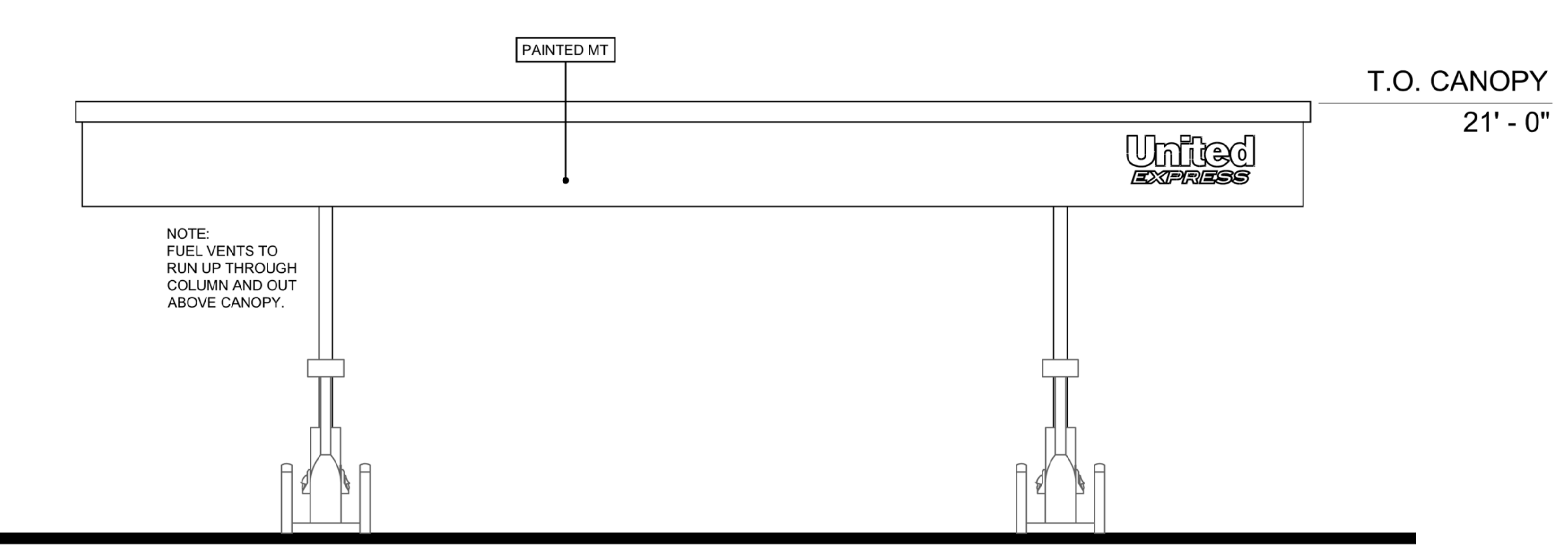


4 FUEL STATION - LEFT/NORTH ELEVATION
3/16" = 1'-0"

MATERIAL COVERAGE CALCULATIONS										
		FUEL STATION								
		FRONT/WEST		REAR/EAST		LEFT/NORTH		RIGHT/SOUTH		
		SQ FT	%	SQ FT	%	SQ FT	%	SQ FT	%	
METAL	MT 1	94	7.3	102	7.8	33	4.3	33	4.3	
SPLIT FACE BLOCK	CMU1	378	29	527	40	368	47.9	368	47.9	
NATURAL STONE	ST 1	185	15	194	15.0	139	18.0	139	18.0	
NATURAL STONE	ST 2	319	25	411	32	169	22.0	169	22.0	
COMPOSITE WOOD	WD 1	80	6	71	5	60	7.8	60	7.8	
GLASS		230	18.0000	0	0.0	0	-0.1	0	0.0	
TOTAL		1286	100	1305	100	769	100	769	100	
TOTAL MASONRY:		3,647sf / 3,976sf = 91.7%								
TOTAL EIFS:		329sf / 3,976sf = 8.3%								



8 FUEL CANOPY - SIDE
3/16" = 1'-0"



9 FUEL CANOPY - AISLE
3/16" = 1'-0"

Issue Dates:
DETAILED SITE PLAN APP. 11.21.16

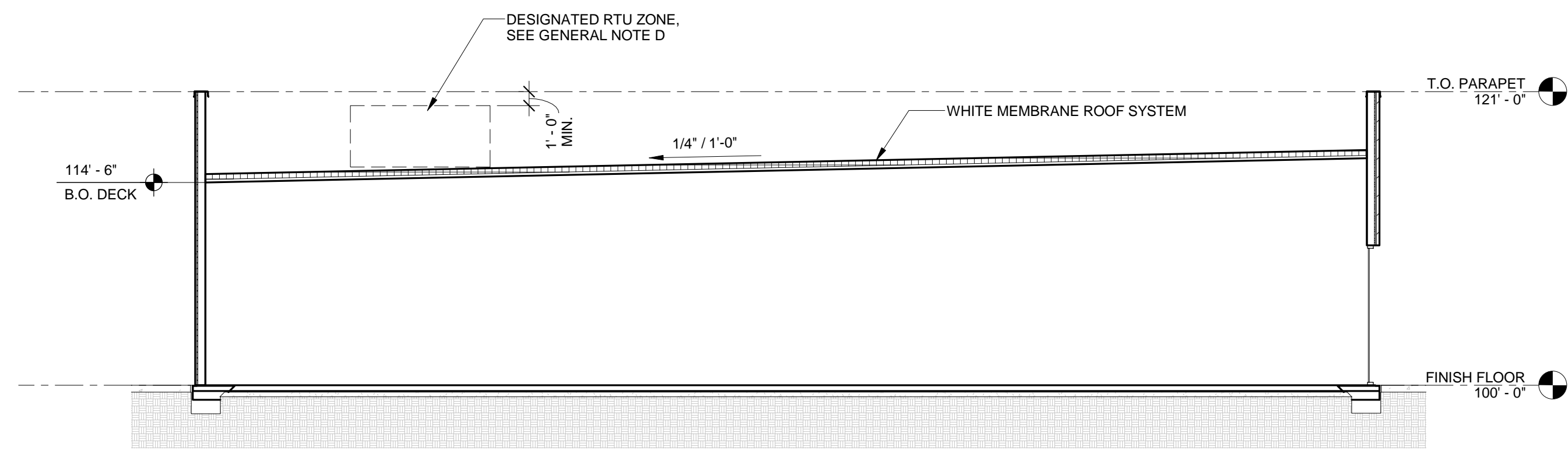
Heights Venture
ARCHITECTURE • DESIGN
HOUSTON: 1111 North Loop West, Suite 800
HOUSTON, TEXAS 77008
DALLAS: 5717 Legacy Drive, Suite 243
PLANO, TEXAS 75024
972 490 7292 V

Robert R. Holton, AIA
TX Registration #14358
Not for Regulatory Approval,
Permit, or Construction.

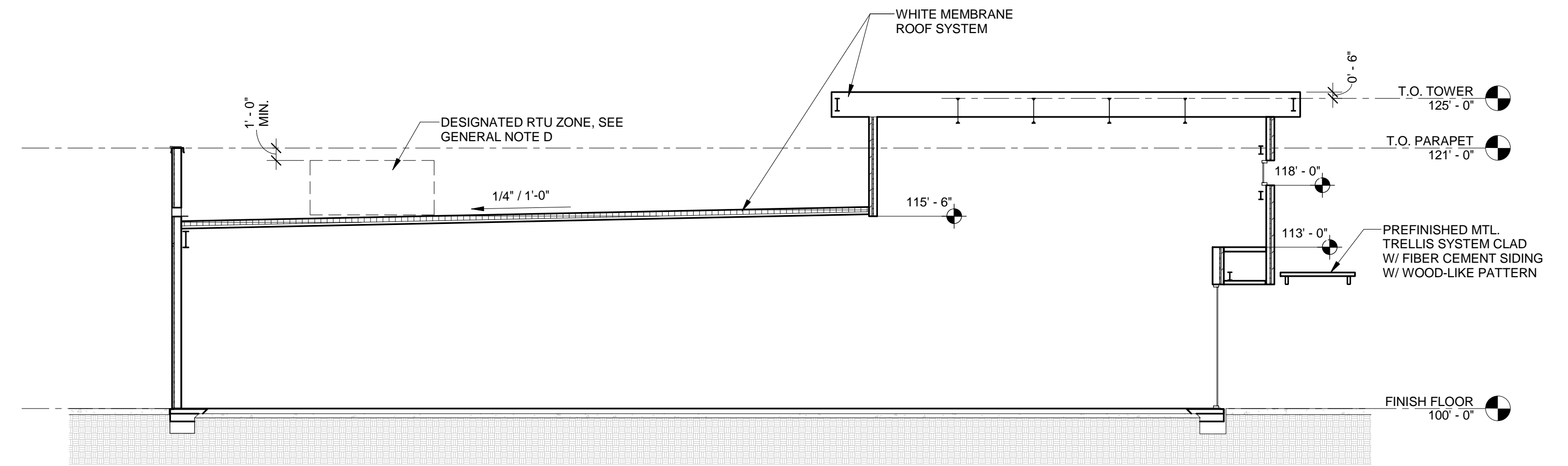
BROAD STREET MARKETPLACE
ZC #16-023

MANSFIELD
Project Number: 16126-001
Date Plotted: NOVEMBER 21, 2016
Drawn By: FL
Checked By: FL
File Name: 11.21.16 MARKET STREET

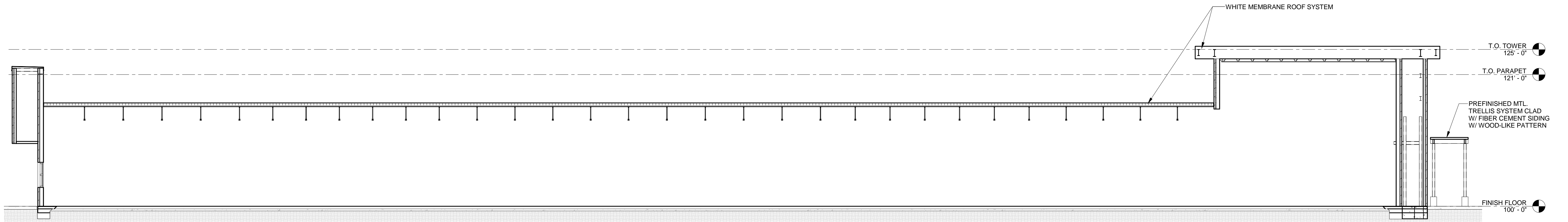
A210-B
EXTERIOR ELEVATIONS



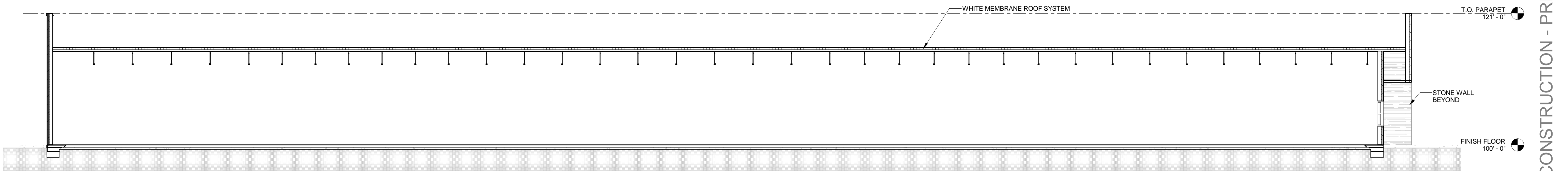
4 BUILDING SECTION
A302 1/8" = 1'-0"



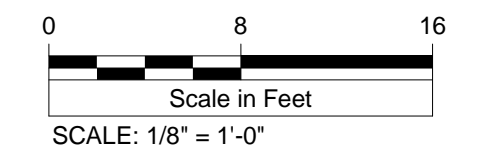
3 BUILDING SECTION
A302 1/8" = 1'-0"



2 BUILDING SECTION
A302 1/8" = 1'-0"



1 BUILDING SECTION
A302 1/8" = 1'-0"



NOT FOR CONSTRUCTION - PRELIMINARY DESIGN

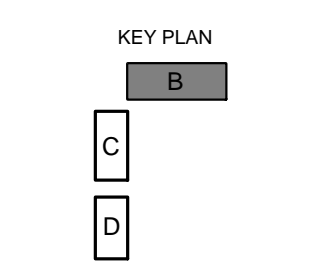
LEON CAPITAL GROUP
BROAD STREET MARKETPLACE

ZC#16-023
LEON CAPITAL GROUP

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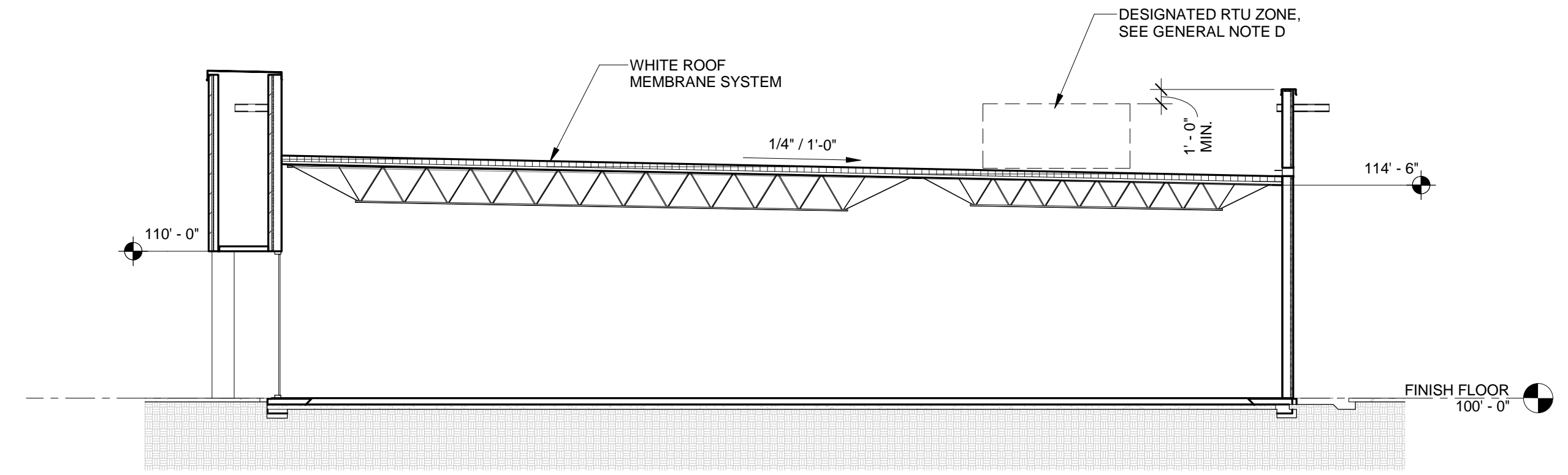
DETAILED SITE PLAN
APPLICATION - NOT
FOR CONSTRUCTION

01.30.2017
DRAWN BY | ONYEKANNE
CHECKED BY | TAIT
REVISIONS

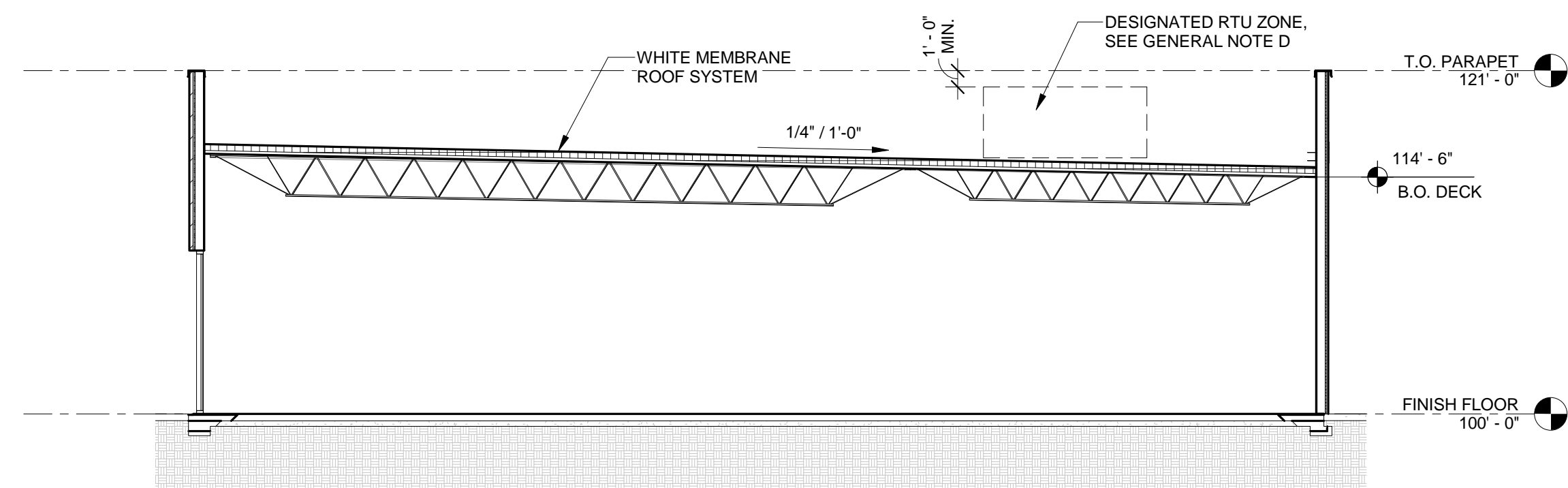


BUILDING SECTIONS -
RETAIL B

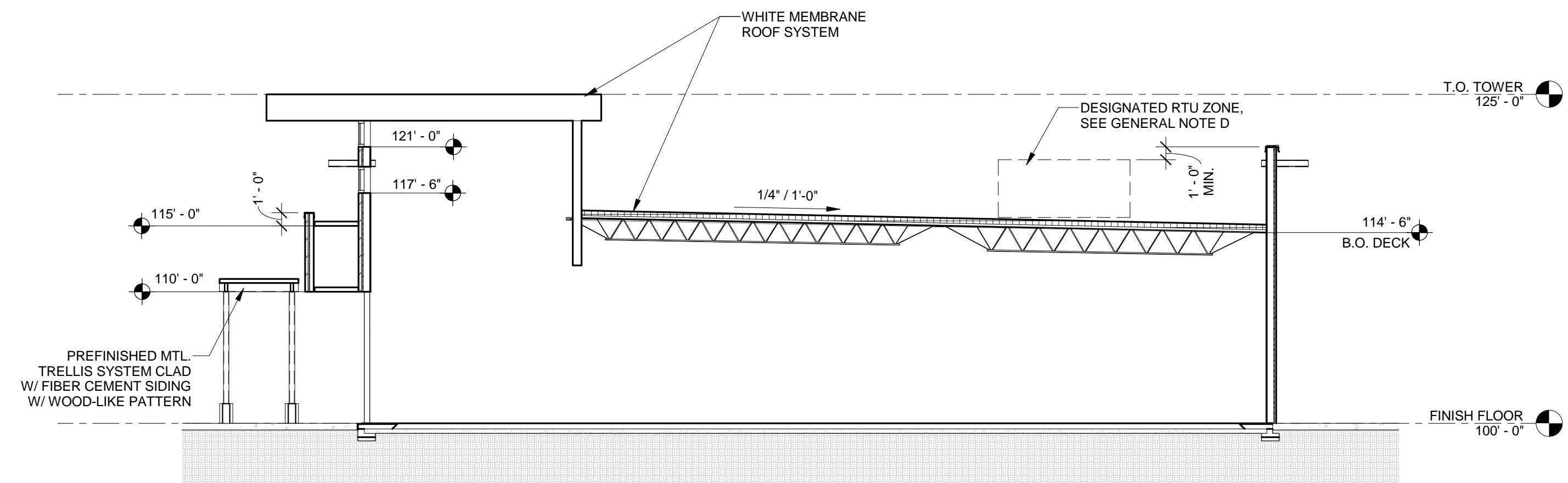
A302



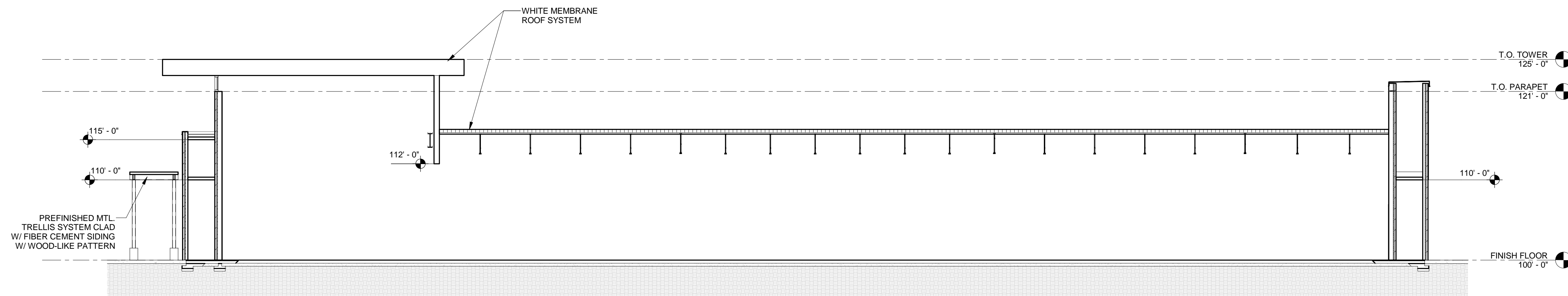
4 BUILDING C - 4
A303 1/8" = 1'-0"



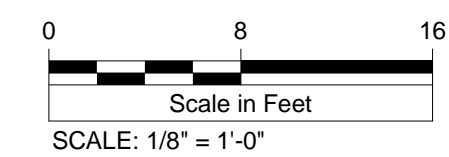
3 BUILDING SECTION
A303 1/8" = 1'-0"



2 BUILDING SECTION
A303 1/8" = 1'-0"



1 BUILDING SECTION
A303 1/8" = 1'-0"



LEON CAPITAL GROUP
BROAD STREET MARKETPLACE

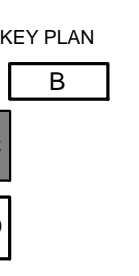
ZC#16-023

NOT FOR CONSTRUCTION - PRELIMINARY DESIGN

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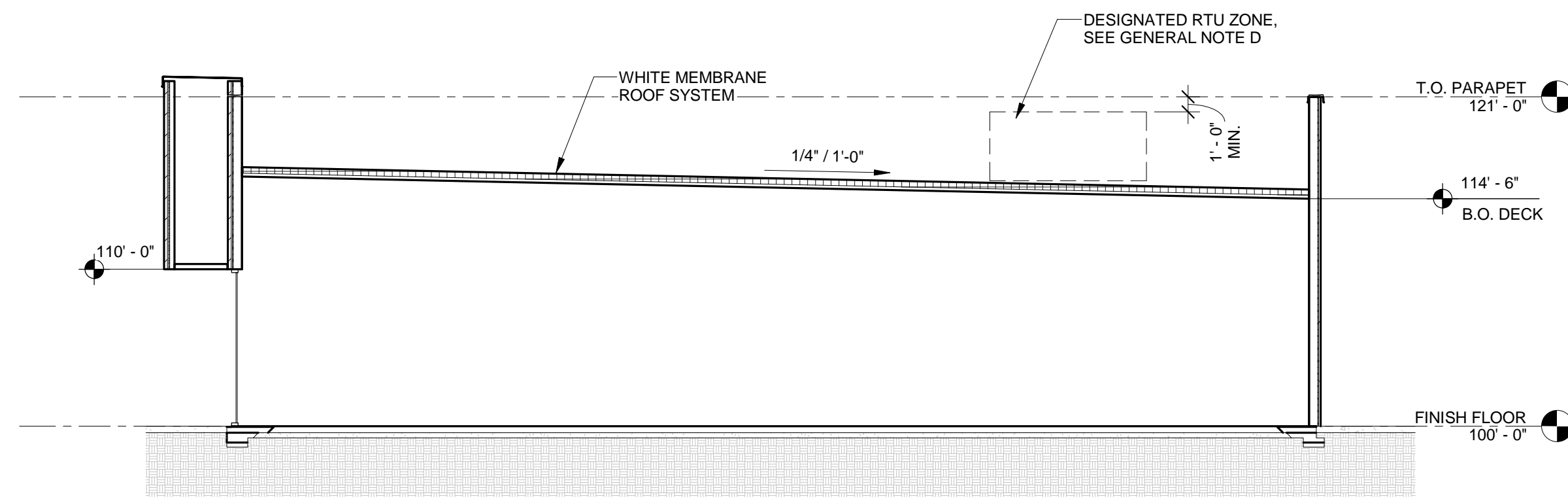
DETAILED SITE PLAN
APPLICATION - NOT
FOR CONSTRUCTION

01.30.2017
DRAWN BY | ONYKANN
CHECKED BY | TAIT
REVISIONS

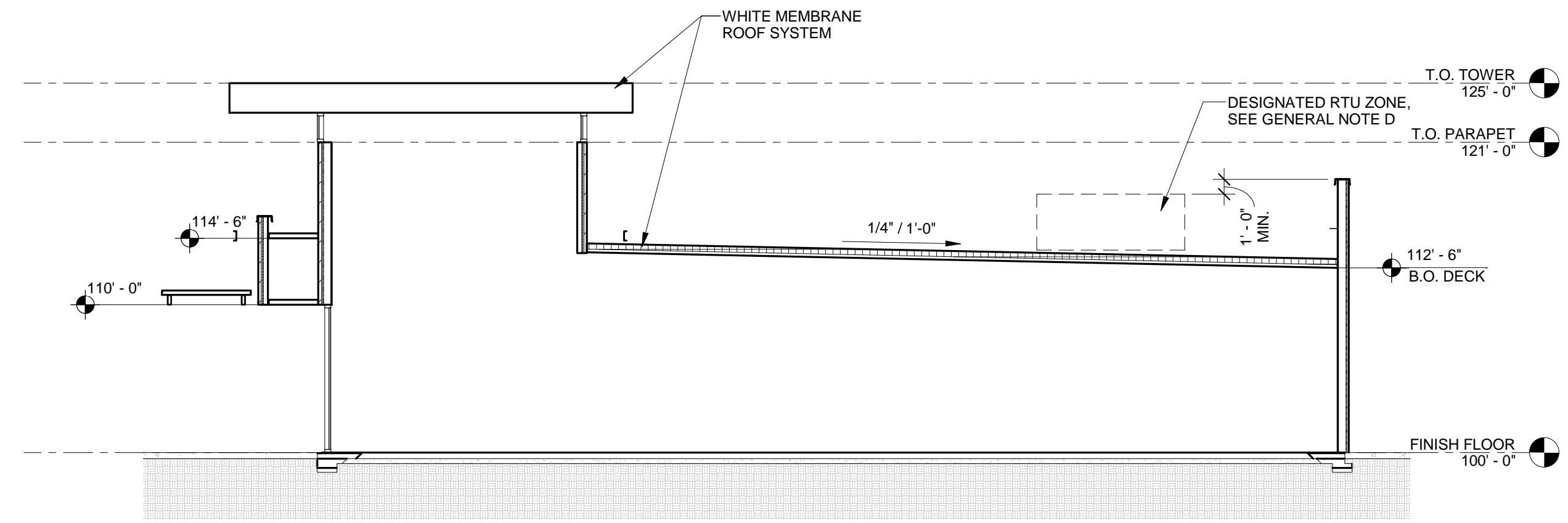


BUILDING SECTIONS -
RETAIL C

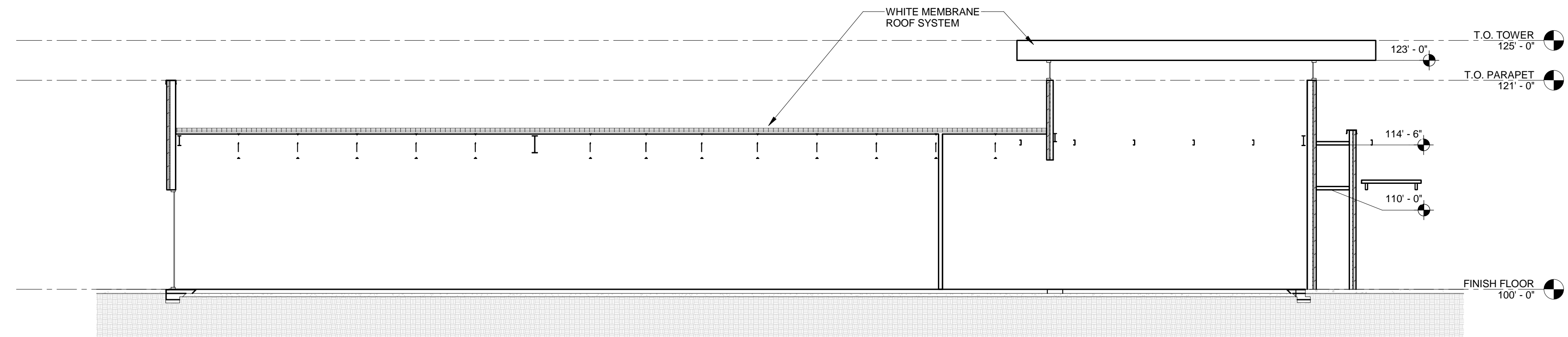
A303



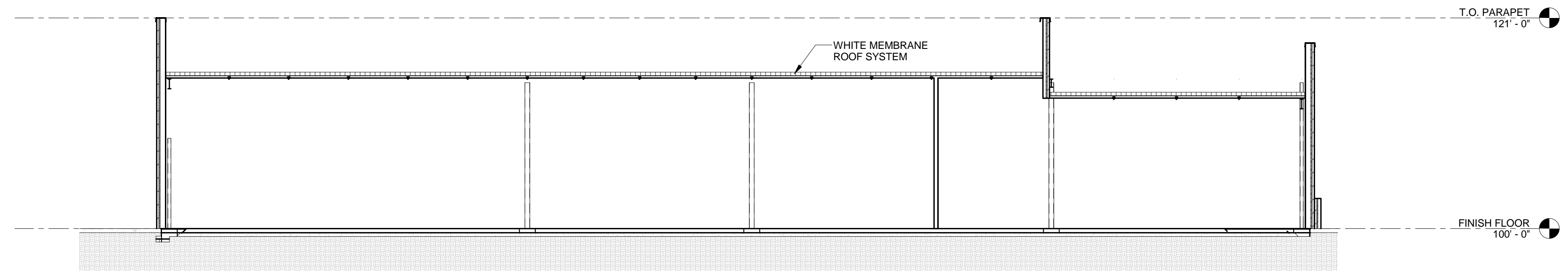
2 BUILDING SECTION
A304 1/8" = 1'-0"



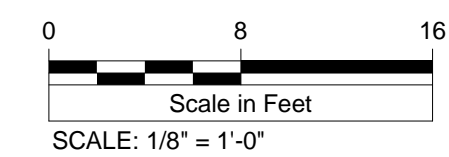
4 BUILDING SECTION
A304 1/8" = 1'-0"



3 BUILDING SECTION
A304 1/8" = 1'-0"



1 BUILDING SECTION
A304 1/8" = 1'-0"



NOT FOR CONSTRUCTION - PRELIMINARY DESIGN

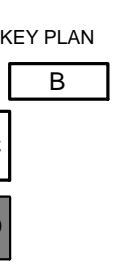
ZC#16-023
LEON CAPITAL GROUP
BROAD STREET MARKETPLACE

ZC#16-023
LEON CAPITAL GROUP

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DETAILED SITE PLAN
APPLICATION - NOT
FOR CONSTRUCTION

01.30.2017
DRAWN BY | ONYEKANNE
CHECKED BY | TAIT
REVISIONS



BUILDING SECTIONS -
RETAIL D

A304



BROAD STREET MARKETPLACE | RENDERING FROM BROAD STREET & CANNON DRIVE | EXHIBIT F.1

02.27.2017



BROAD STREET MARKETPLACE | RENDERING FROM BROAD STREET | EXHIBIT F.2

02.27.2017



BROAD STREET MARKETPLACE | RENDERING OF PROPERTY EDGE FROM BROAD STREET | EXHIBIT F.3

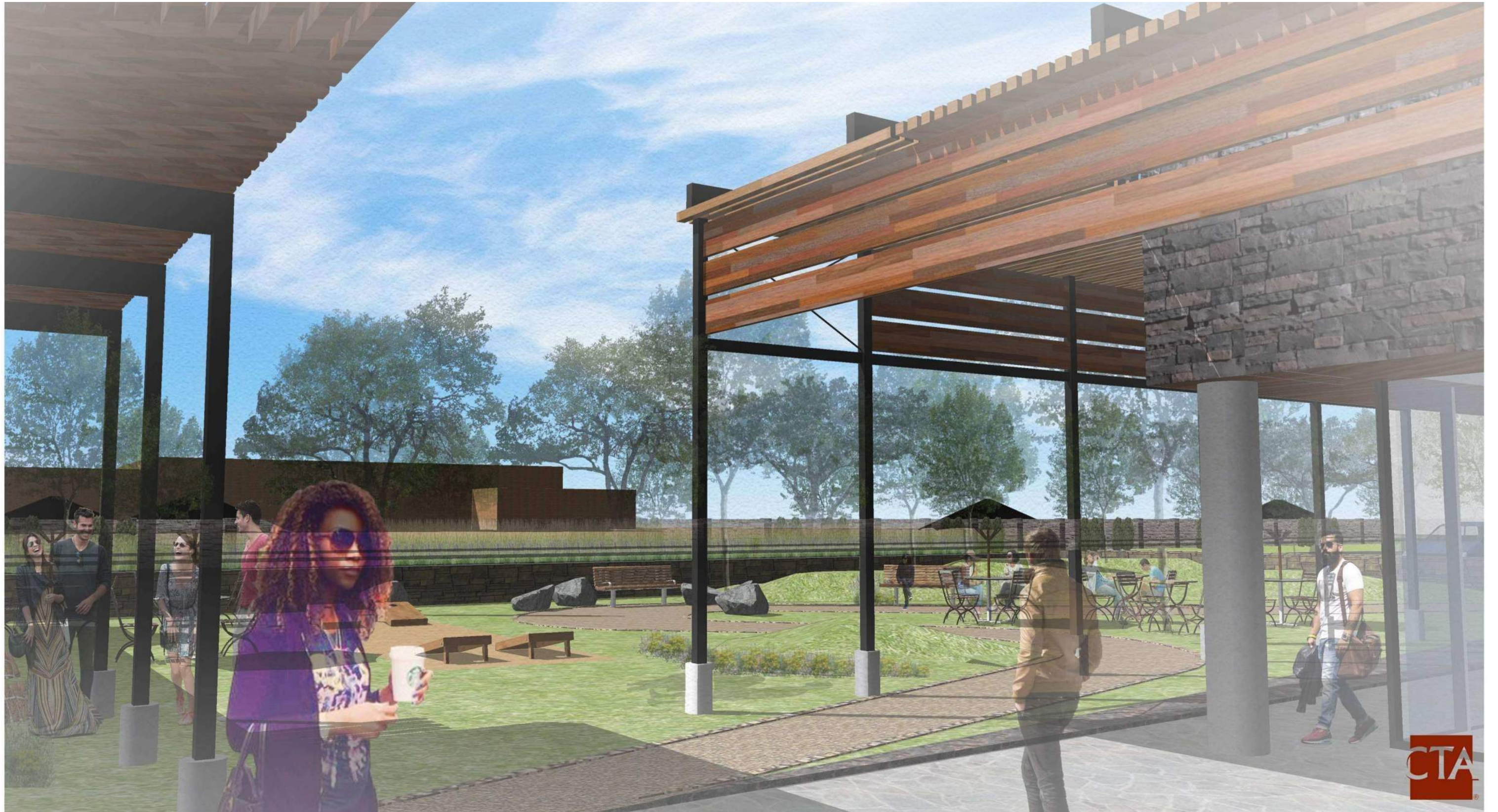
02.27.2017





BROAD STREET MARKETPLACE | RENDERING OF PATIO BETWEEN BUILDINGS C & D | EXHIBIT F.5

02.27.2017



BROAD STREET MARKETPLACE | RENDERING OF COURTYARD BETWEEN BUILDINGS B & C | EXHIBIT F.6

02.27.2017



BROAD STREET MARKETPLACE | RENDERING OF BUILDING A | EXHIBIT F.7

02.27.2017



BROAD STREET MARKETPLACE | RENDERING FROM CANNON DRIVE | EXHIBIT F.8

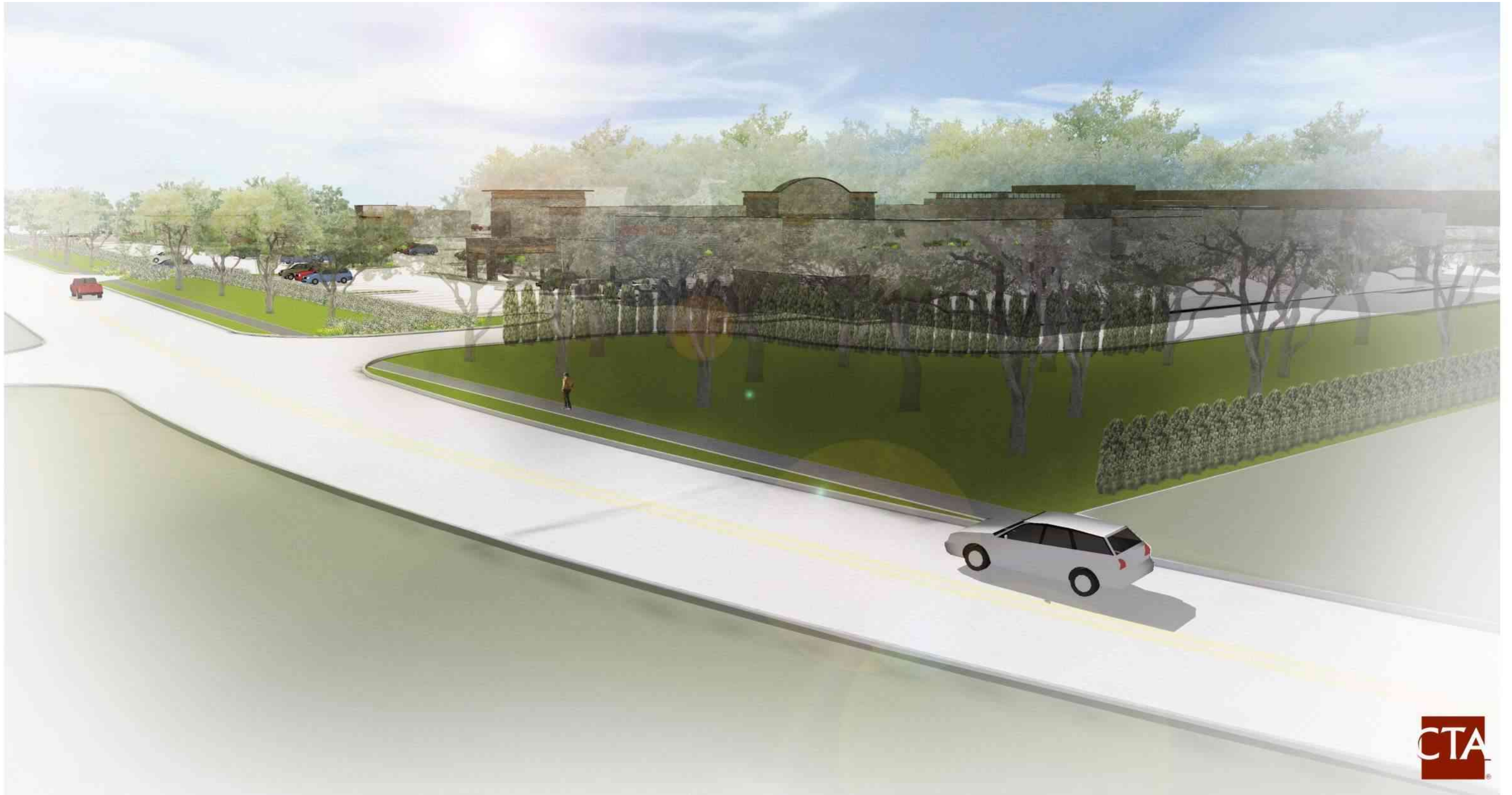
02.27.2017



BROAD STREET MARKETPLACE | RENDERING FROM CANNON DRIVE | EXHIBIT F.9



02.27.2017



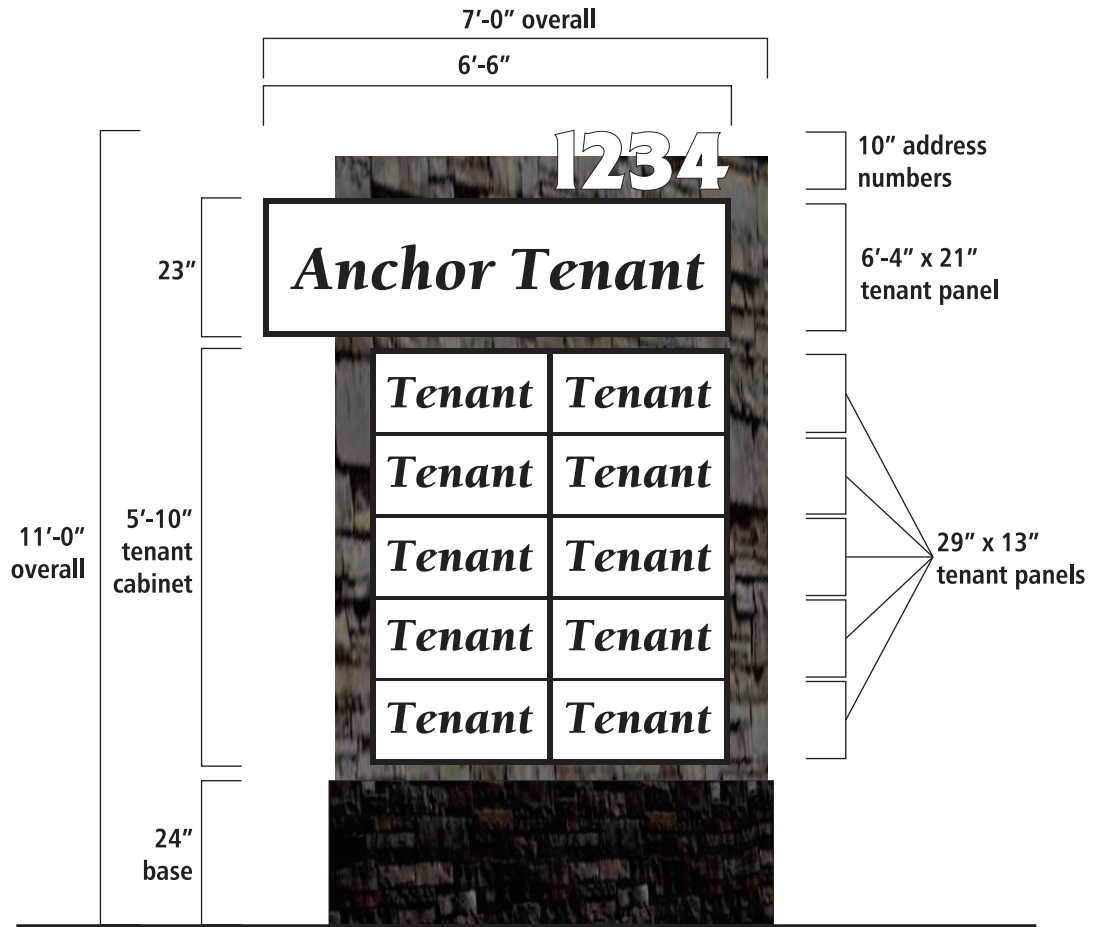
Broad Street Market Place Planned Development - ZC#16-023 - Unified Sign Plan Site Entrance Signs:

There are two entrances proposed. One will be located on Broad Street and one will be located on Cannon Drive as depicted in the site plan in Attachment C. The proposed entrance signs will be multi-tenant monument signs. The multi-tenant monument signs that will not exceed 75 square feet or 11 feet high by 7 feet wide.

The multi-tenant monument signs will include the following
 Lot 1 - buildings / tenants:

- Retail A (Grocery Store): 80,775 SF
- Retail B: 18,492 SF
- Retail C: 10,250 SF
- Retail D: 8,100 SF

- Materials to match building.
- 11'-0" maximum height
- 7'-0" maximum width
- 50 square feet maximum "advertised" area. (Variance has been applied for to increase to 75 square feet)
- 24" high required base.



SCALE 3/8" = 1'

Individual Lot (2, 3, 4, 5 & 6) Tenant Signs:

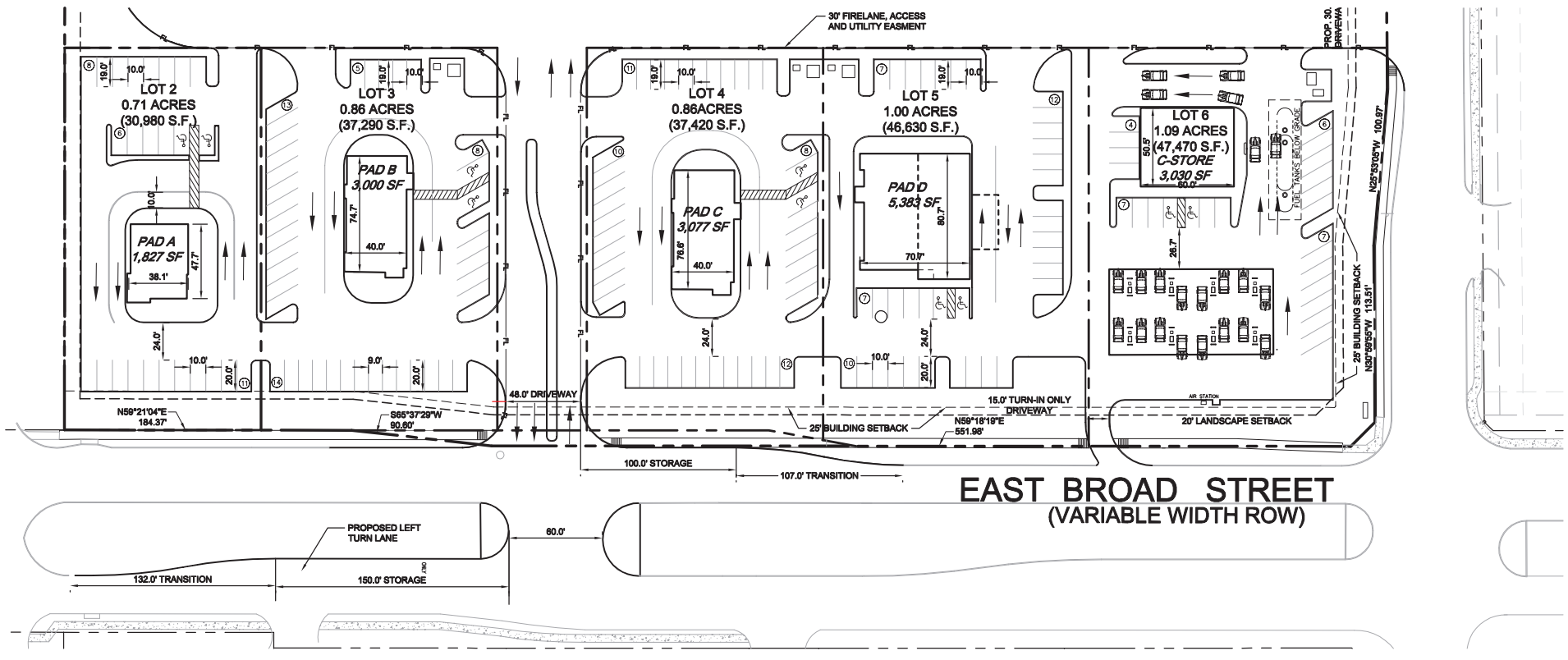
Monument sign

- Materials to match building.
- 10'-0" maximum height and/or width.
- 50 square feet maximum "advertised" area.
- 24" high required base.



Wall Sign / Channel Letters

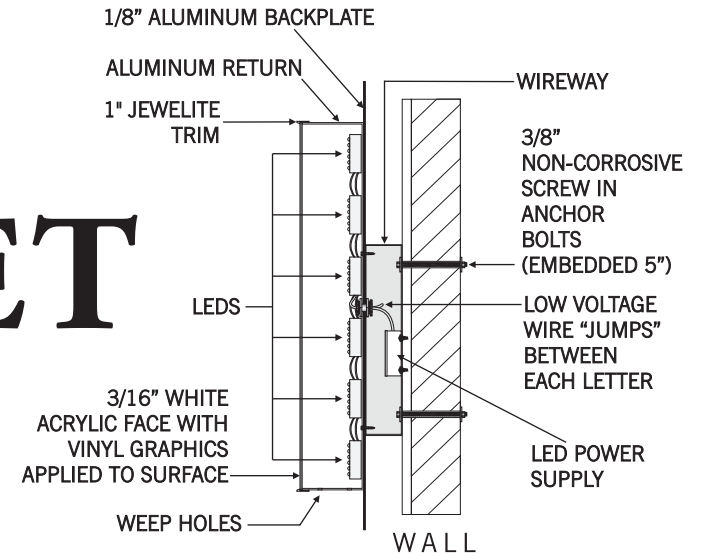
- Each individual pad tenant is allowed 75% of their linear space per elevation for wall signs.



LOT 1 - RETAIL A:

Sample Channel Letters:

MARKET STREET

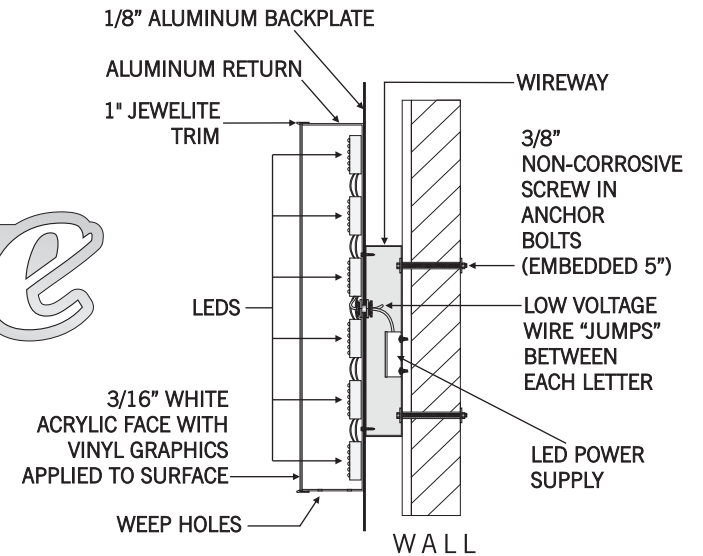


- Tenant is a corner space therefore eligible for signs on (2) two walls.
- Each individual tenant is allowed 75% of their space linear frontage for wall sign.

LOT 1 - RETAIL B:

Sample Channel Letters:

Tenant Space

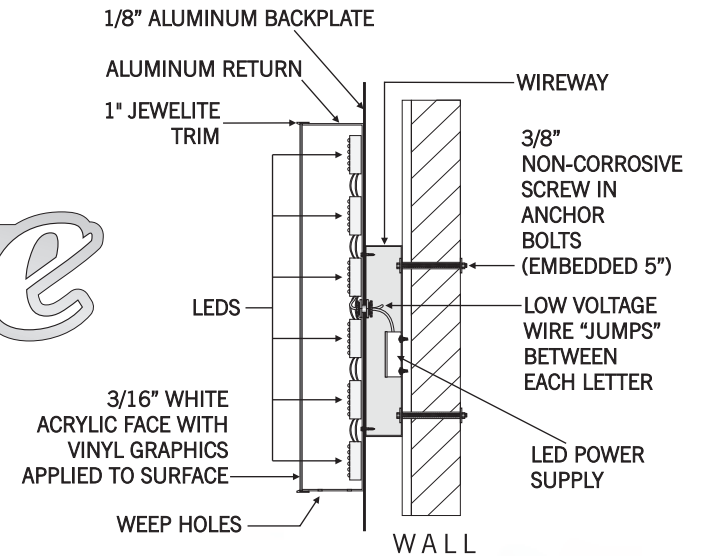


- Each individual tenant is allowed 75% of their space linear frontage for wall sign. Corner tenants are eligible for signs on (2) two walls.

LOT 1 - RETAIL C:

Sample Channel Letters:

Tenant Space

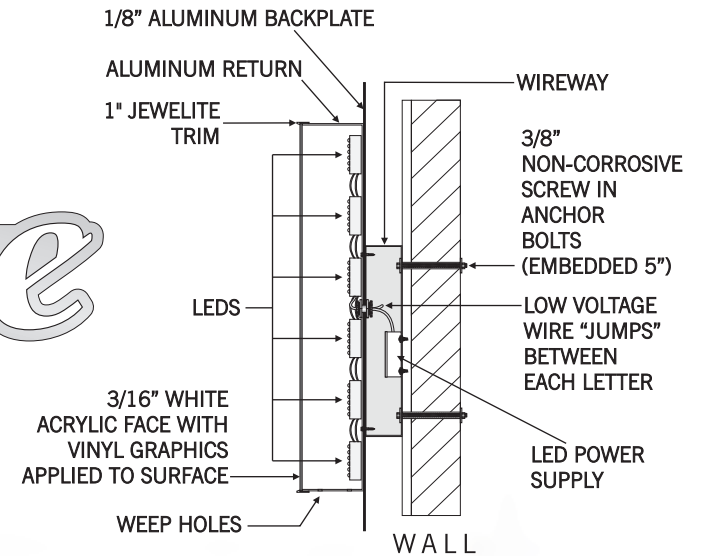


- Each individual tenant is allowed 75% of their space linear frontage for wall sign. Corner tenants are eligible for signs on (2) two walls.

LOT 1 - RETAIL D:

Sample Channel Letters:

Tenant Space



- Each individual tenant is allowed 75% of their space linear frontage for wall sign. Corner tenants are eligible for signs on (2) two walls.