

SYMBOL	QTY	BOTANICAL / COMMON NAME	SIZE	CONT.	CAL.	NOTES
TREES						
	4	Acer rubrum 'Franksred' / Red Sunset® Maple	10'-12'	30 gal.	3"	FULL, MATCHING, SYMMETRICAL
	16	Cercis canadensis / Eastern Redbud	8'-10'	30 gal.	3"	FULL, MATCHING, SYMMETRICAL
	5	Cornus drummondii / Roughleaf Dogwood	8'-10'	30 gal.	3"	FULL, MATCHING, SYMMETRICAL
	3	Existing Tree to Remain	---			
	16	Lagerstroemia indica / Crape Myrtle	8'-10'	30 gal.	3"	FULL, MATCHING, SYMMETRICAL
	5	Quercus shumardii / Shumard Oak	10'-12'	30 gal.	3"	FULL, MATCHING, SYMMETRICAL
	6	Quercus virginiana / Southern Live Oak	10'-12'	30 gal.	3"	FULL, MATCHING, SYMMETRICAL
	3	Salix babylonica / Weeping Willow	8'-10'	30 gal.	3"	FULL, MATCHING, SYMMETRICAL
SHRUBS						
	28	Loropetalum chinense / Purple Diamond	18"-24" HT.	3 gal.	30" O.C.	FULL, MATCHING, SYMMETRICAL
	60	Muhlenbergia capillaris / Pink Muhly Grass	24" HT.	1 gal.		FULL, MATCHING, SYMMETRICAL
	28	Salvia greggii / Autumn Sage	24" HT.	1 gal.	PER PLAN	FULL, MATCHING, SYMMETRICAL
	2	Yucca parviflora / Red Yucca	18"-24" HT.	3 gal.	30" O.C.	FULL, MATCHING, SYMMETRICAL
GROUND COVERS						
	35,048 sf	Cynodon dactylon 'Tif 419' / Tif 419 Bermudagrass				SOD OR SEED
	1,478 sf	RIVER ROCK / RIVER ROCK				3" DEPTH COVERED WITH PERMEABLE WEED MAT STAKED TO GRADE

Engineer:
HCE, Inc.
Contact: Jared Stroebel
Phone: 254.485.8101
Email: jared@hctex.com
3540 E. Broad Street, Ste 120-251
Mansfield, TX 76063

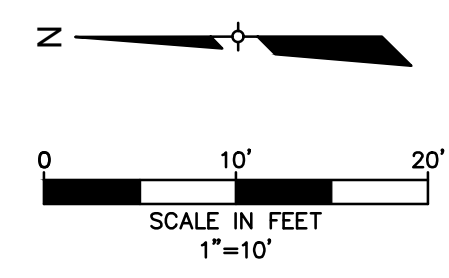
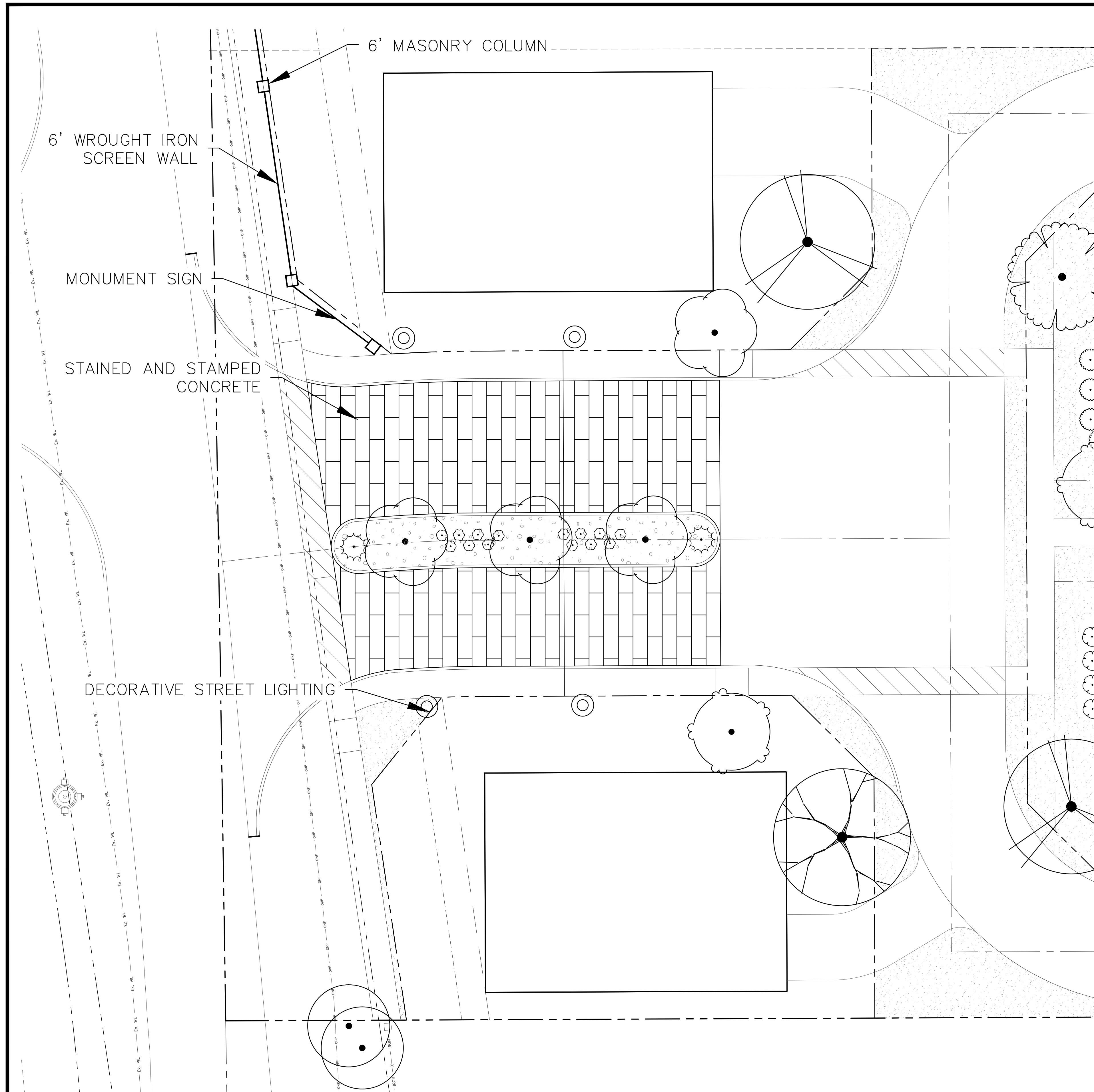
Owner/Developer:
SPAPS, LLC
Contact: Daniel Almaguer
4541 Stonewood Cir.
Midlothian, Texas 76065

CIVIL & ENVIRONMENTAL
RGV 1 DFW
3540 E. BROAD STREET
SUITE 120-251
MANSFIELD, TEXAS 76063



Texas Registered Engineering Firm F-21173

EXHIBIT D- LANDSCAPE PLAN
MYMERLA ESTATES
12 RESIDENTIAL LOTS AND 2 OPEN SPACE LOT 3.13
TOTAL ACRES
S.S. CALLENDER SURVEY, ABSTRACT NO. 359 CITY
OF MANSFIELD, TARRANT COUNTY, TEXAS DATE OF
PREPARATION: APRIL 10, 2024
ZC#23-007



PLANT SCHEDULE							
TREES	CODE	QTY	BOTANICAL / COMMON NAME	SIZE	CONT.	CAL.	NOTES
	AF	3	Acer rubrum 'Franksred' / Red Sunset@Maple	10'-12'	30 gal.	3"	FULL, MATCHING, SYMMETRICAL
	CC	16	Cercis canadensis / Eastern Redbud	8'-10'	30 gal.	3"	FULL, MATCHING, SYMMETRICAL
	CD	5	Cornus drummondii / Roughleaf Dogwood	8'-10'	30 gal.	3"	FULL, MATCHING, SYMMETRICAL
	ER2	3	Existing Tree to Remain	---			
	LI	17	Lagerstroemia indica / Crape Myrtle	8'-10'	30 gal.	3"	FULL, MATCHING, SYMMETRICAL
	QS	5	Quercus shumardii / Shumard Oak	10'-12'	30 gal.	3"	FULL, MATCHING, SYMMETRICAL
	QV	8	Quercus virginiana / Southern Live Oak	10'-12'	30 gal.	3"	FULL, MATCHING, SYMMETRICAL
	SB	3	Salix babylonica / Weeping Willow	8'-10'	30 gal.	3"	FULL, MATCHING, SYMMETRICAL
SHRUBS	CODE	QTY	BOTANICAL / COMMON NAME	SIZE	CONT.	SPACING	NOTES
	LP	31	Loropetalum chinense / Purple Diamond	18"-24" HT.	3 gal.	30" O.C.	FULL, MATCHING, SYMMETRICAL
	MC	54	Muhlenbergia capillaris / Pink Muhly Grass	24" HT.	1 gal.		FULL, MATCHING, SYMMETRICAL
	SG	18	Salvia greggii / Autumn Sage	24" HT.	1 gal.	PER PLAN	FULL, MATCHING, SYMMETRICAL
	YP	14	Yucca parviflora / Red Yucca	18"-24" HT.	3 gal.	30" O.C.	FULL, MATCHING, SYMMETRICAL
GROUND COVERS	CODE	QTY	BOTANICAL / COMMON NAME	NOTES			
	CT	PER PLAN	Cynodon dactylon 'Tif 419' / Tif 419 Bermudagrass	SOD OR SEED			
	RR	PERPLAN	RIVER ROCK / RIVER ROCK	3" DEPTH COVERED WITH PERMEABLE WEED MAT STAKED TO GRADE			

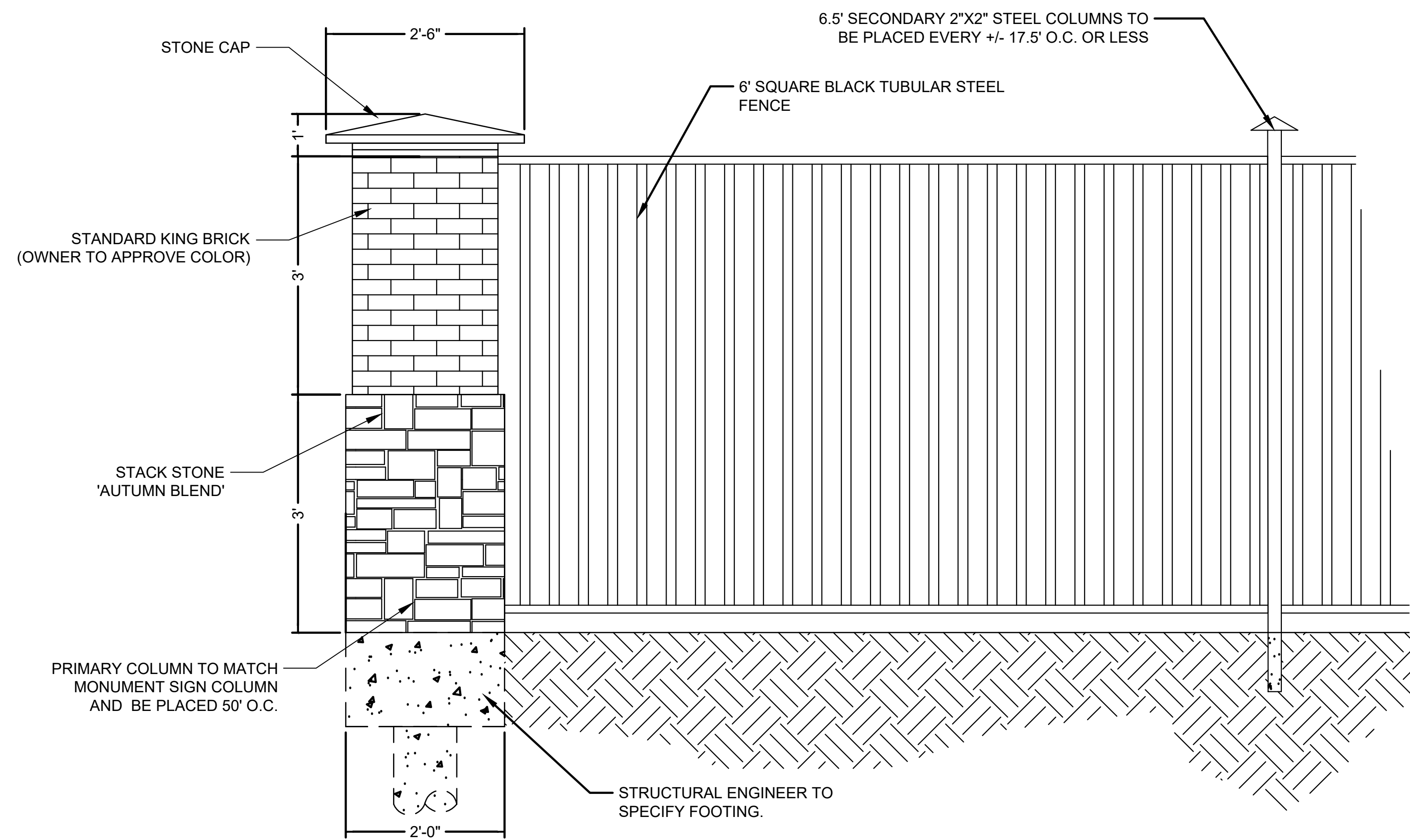
Engineer:
HCE, Inc.
Contact: Jared Stroebel
Phone: 254.485.8101
Email: jared@hcetex.com
3540 E. Broad Street, Ste 120-251
Mansfield, TX 76063

Owner/Developer:
SPAPS, LLC
Contact: Daniel Almaguer
4541 Stonewood Cir.
Midlothian, Texas 76065

CIVIL & ENVIRONMENTAL
RGV | DFW
3540 E. BROAD STREET
SUITE 120-251
MANSFIELD, TEXAS 76063



EXHIBIT E1 - ENHANCED ENTRY PLAN
MYMERLA ESTATES
12 RESIDENTIAL LOTS AND 2 OPEN SPACE LOT
3.13 TOTAL ACRES
S.S. CALLENDER SURVEY, ABSTRACT NO. 359
CITY OF MANSFIELD, TARRANT COUNTY, TEXAS
DATE OF PREPARATION: APRIL 10, 2024
ZC#23-007



D 6' WROUGHT IRON SCREEN WALL WITH MASONRY COLUMNS NOT TO SCALE

EXHIBIT E2 - ENTRY FEATURE DETAILS

MYMERLA ESTATES

12 RESIDENTIAL LOTS AND 2 OPEN SPACE LOT
3.13 TOTAL ACRES

S.S. CALLENDER SURVEY, ABSTRACT NO. 359
CITY OF MANSFIELD, TARRANT COUNTY, TEXAS

DATE OF PREPARATION: APRIL 10, 2024

ZC#23-007

CIVIL & ENVIRONMENTAL
RGV | DFW

3540 E. BROAD STREET
SUITE 120-251
MANSFIELD, TEXAS 76063

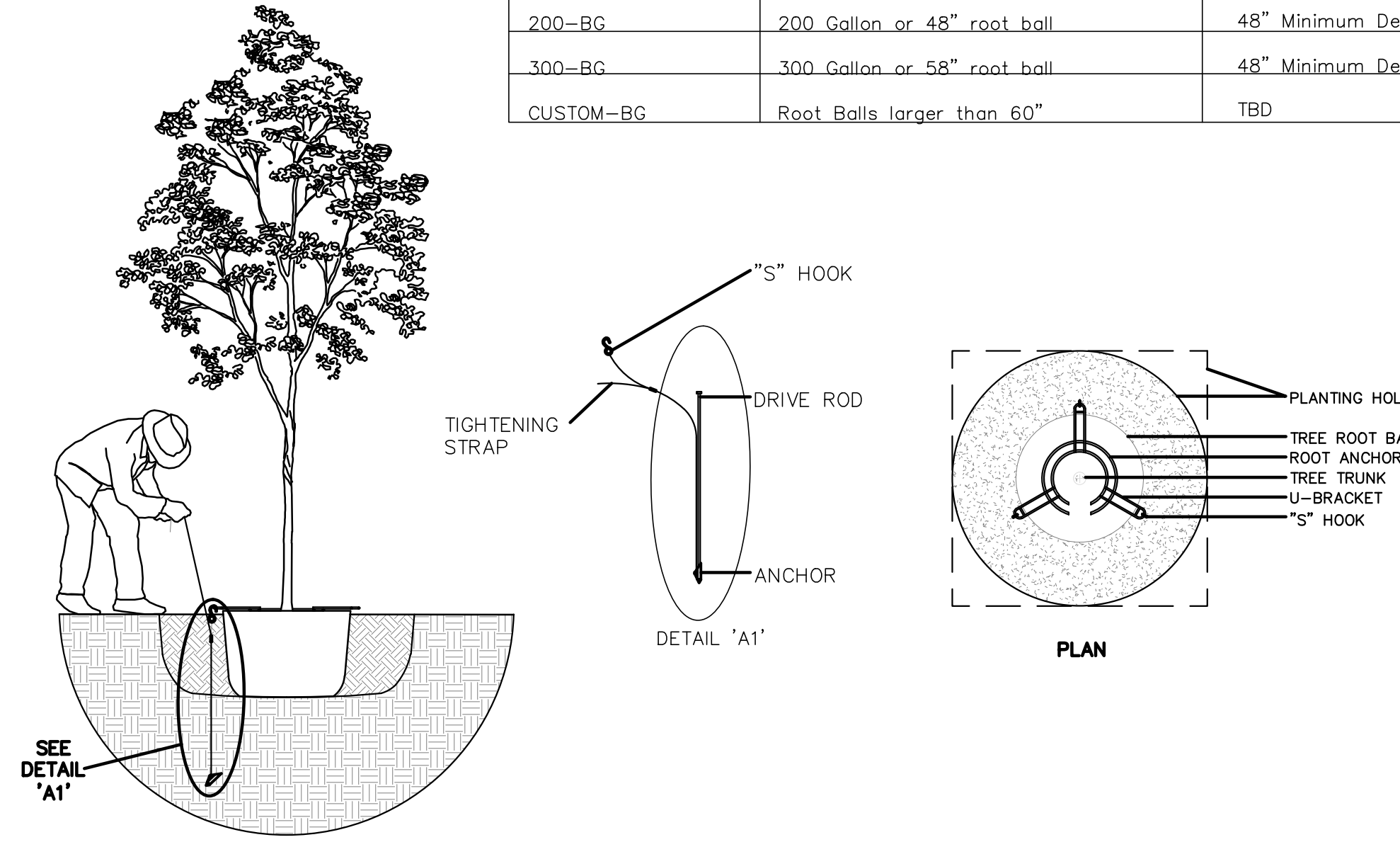


Texas Registered Engineering Firm F-21173

GENERAL NOTES :

1. Locate all utilities prior to digging. Contractor shall be responsible for all damage incurred by his/her work.
2. Contractor shall advise the Owner and Landscape Architect of any condition found on site which prohibits installation as shown on these plans.
3. If a discrepancy between drawings and plant schedule is found, the drawings shall take precedent over the plant schedule.
4. Plant material shall comply with all sizing and grading standards of the latest edition of 'American Standard for Nursery Stock.'
5. Contractor shall stake out tree locations and bed configuration for approval by Owner prior to installation.
6. Substitutions shall not be made without prior written authorization from the Owner or Landscape Architect.
7. All disturbed areas not indicated as planting beds shall be sodded or seeded by Contractor to provide an established turf area.
8. Contractor shall remove reasonable amount of stones, dead roots, detritus and other undesirable material from existing soil.
9. If rocks are encountered, remove to a depth of 3" and add 3" of friable fertile topsoil to all sodded areas. Contractor to ensure that site is graded according to the Engineer's grading plan.
10. Lawn areas shall have 3" minimum friable topsoil and be treated with fertilizer applied at a rate of 20 pounds per 1,000 square feet.
11. Soil preparation for planting beds shall be as follows:
 - 3" of organic compost
 - 20 pounds of organic fertilizer / 1,000 sf of bed area
 - Till bed to a depth of 6" to 8"
 - Check soil acidity. Soil acidity should range from 5.0 to 7.0 pH. Regulate if necessary.
12. All plant beds shall be top dressed with a minimum 2"-4" tan river rock, permeable weed mat shall be laid prior to river rock being installed.
13. Provide steel edge between all plant beds and lawn areas unless indicated differently on plans.
14. Tree planting pits shall be cleared of undesirable material and backfilled with prepared top soil. Place 1" of compost and 3" of shredded hardwood mulch on top of root ball.
15. The Contractor will be held liable for any damage caused to trees due to improper staking methods, including absence of staking throughout the warranty period.
16. Trees shall be planted at least 2.5 feet from any right-of-way line, curb, walk or fire hydrant, and outside all utility easements.
17. Trees shall be planted at least 8 feet from any public utility line where possible. In the event this is not possible, Contractor shall install a root barrier, per the detail(s) noted on this sheet.
18. Trees overhanging walks and parking areas shall have a clear trunk height of 7 feet from finish surface grade.
19. Contractor shall warranty plant material to remain alive and healthy for a period of one year after the final acceptance. All plant material shall be maintained in a healthy condition in accordance with the season. Dead, damaged or destroyed plant material shall be replaced in kind within thirty days. Warranty shall not include damage for loss of plant material due to natural causes, acts of vandalism or negligence on the part of the owner.
20. Landscape areas shall be kept free of trash, litter and weeds.
21. An automatic irrigation system shall be provided to maintain all landscape areas. Overspray on streets is prohibited.
22. Installing contractor to maintain landscaping for 30 days from owner occupancy to establish plants and grass, mowing and trimming to be included.
23. All areas disturbed by construction shall be fine graded and re-established by sod. These areas shall be irrigated and maintained until permanent stand of grass is achieved with a minimum of 70% coverage. This is to include all areas to the back of curb around the property.
24. Any hardwood mulched beds on site shall have permeable weed mat installed prior to plant material and mulch being installed.
25. All bedding areas with ground cover (Asian Jasmine, Wintercreeper, etc.) shall be top dressed with hardwood mulch until ground cover has covered area completely.
26. Any switch gear devices, electrical transformers, telephone pedestals, and hvac units located on the property are to be screened. If these devices have been altered from the most recent plans, the contractor is to verify placement of these utilities and contact Landscape Architect for plant material specifications and placement.
27. Landscape contractor shall not place topsoil or mulch above brick ledge of the building and shall not block weep holes on the building.
28. If the grades on site at the time the landscape contractor is set to begin work does not allow the brick ledge and weep holes to remain uncovered, it is the landscape contractor's responsibility to notify the owner or general contractor immediately.

ROOT ANCHOR ITEM#	ROOT BALL & CONTAINER SIZE	ANCHOR INSTALLATION DEPTH	QUANTITY & ANCHOR SIZE
15-BG	10 / 15 Gallon or 17" root ball	12 - 18" Minimum Depth	
30-BG	20 / 39 Gallon or 22" root ball	18 - 24" Minimum Depth	
45/65-BG	45 / 65 Gallon or 27-30" root ball	24 - 30" Minimum Depth	
100-BG	95 / 100 Gallon or 36" root ball	30 - 36" Minimum Depth	
150-BG	150 Gallon or 42" root ball	48" Minimum Depth	
200-BG	200 Gallon or 48" root ball	48" Minimum Depth	
300-BG	300 Gallon or 58" root ball	48" Minimum Depth	
CUSTOM-BG	Root Balls larger than 60"	TBD	



A TREE STAKING DETAIL

NOT TO SCALE

STEP 1:

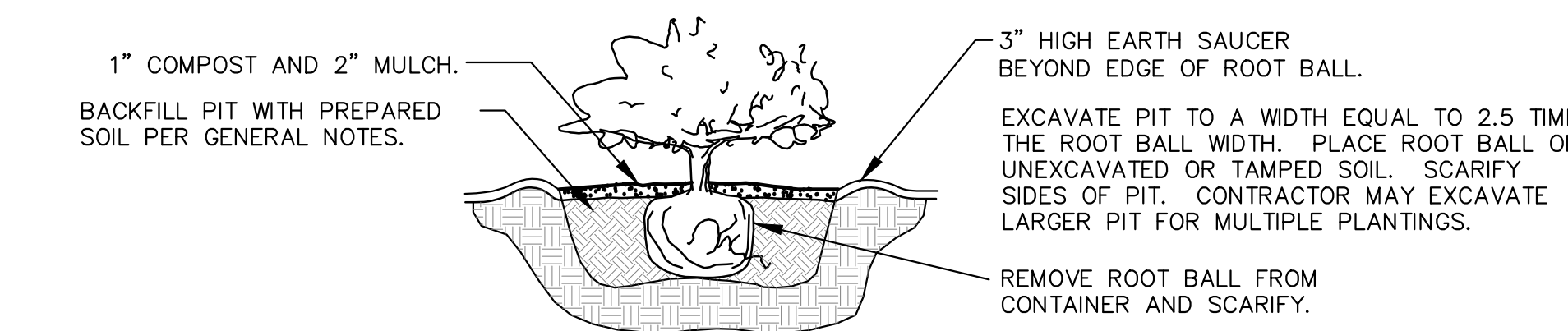
- Set tree in planting pit.
- Place anchor with ring side down against top of root ball.
- Center root anchor's inner ring(s) around trunk of tree.
- Align drive rod as close as possible to outside edge of u-bracket.

STEP 2:

- Drive anchor straight down into undisturbed subbase soil.
- See chart for recommended depths per tree size.

STEP 3:

- Remove drive rod.
- Repeat steps 1 & 2 for all three (3) anchor locations.
- Pull back on strap approximately 3" for the v-68 anchor, or 6" to 7" for the v-88 anchor to set anchor into a horizontal or locked position. A fulcrum may be required to assist in setting the anchor.
- Place "S" hook over the end of the u-bracket.
- Pull strap up vertically until root anchor rings bite into the top of the root ball and u-brackets are setting flush on top of the root ball.
- Tie excess strap off to the u-bracket allowing enough remaining strap to adjust tree, if necessary.

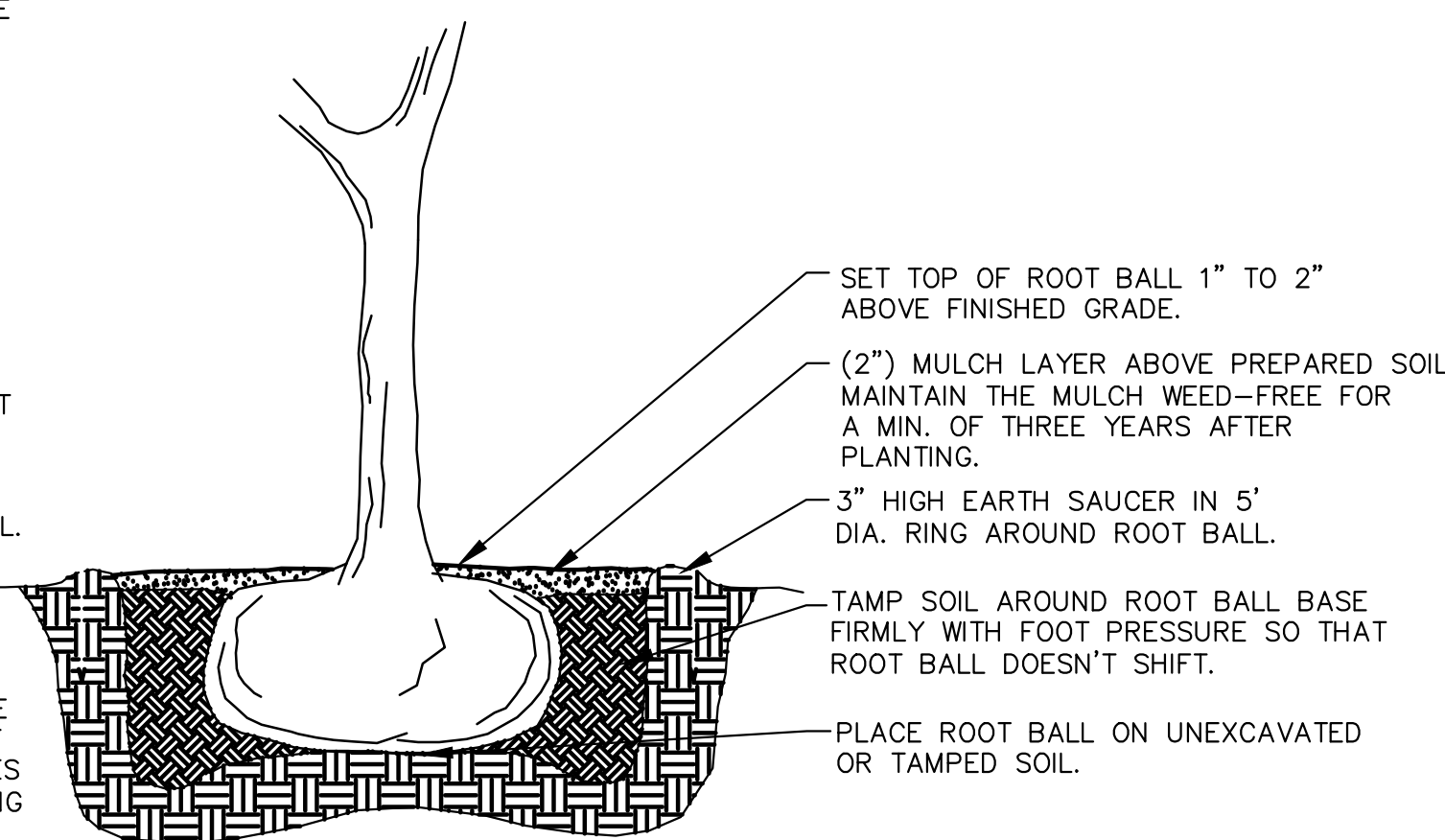


B SHRUB PLANTING DETAIL

NOT TO SCALE

NOTES:

1. DO NOT HEAVILY PRUNE THE TREE AT PLANTING. PRUNE ONLY CROSSOVER LIMBS, CO-DOMINANT LEADERS, AND BROKEN OR DEAD BRANCHES. SOME INTERIOR TWIGS AND LATERAL BRANCHES MAY BE PRUNED; HOWEVER, DO NOT REMOVE THE TERMINAL BUDS OF BRANCHES THAT EXTEND TO THE EDGE OF THE CROWN.
2. EACH TREE MUST BE PLANTED SUCH THAT THE TRUNK FLARE IS VISIBLE AT THE TOP OF THE ROOT BALL. TREES WHERE THE TRUNK FLARE IS NOT VISIBLE SHALL BE REJECTED. DO NOT COVER THE TOP OF THE ROOT BALL WITH SOIL.
3. REMOVE ALL TWINE, ROPE, WIRE AND BURLAP FROM TOP HALF OF ROOT BALL.
4. IF PLANT IS SHIPPED WITH A WIRE BASKET AROUND ROOT BALL, CUT THE WIRE BASKET IN FOUR PLACES AND FOLD DOWN 8" INTO PLANTING HOLE.



C TREE PLANTING DETAIL

NOT TO SCALE

Engineer:
HCE, Inc.
Contact: Jared Stroebel
Phone: 254.485.8101
Email: jared@hacetex.com
3540 E. Broad Street, Ste 120-251
Mansfield, TX 76063

Owner/Developer:
SPAPS, LLC
Contact: Daniel Almaguer
4541 Stonewood Cir.
Midlothian, Texas 76065

CIVIL & ENVIRONMENTAL
RGV 1 DFW
3540 E. BROAD STREET
SUITE 120-251
MANSFIELD, TEXAS 76063



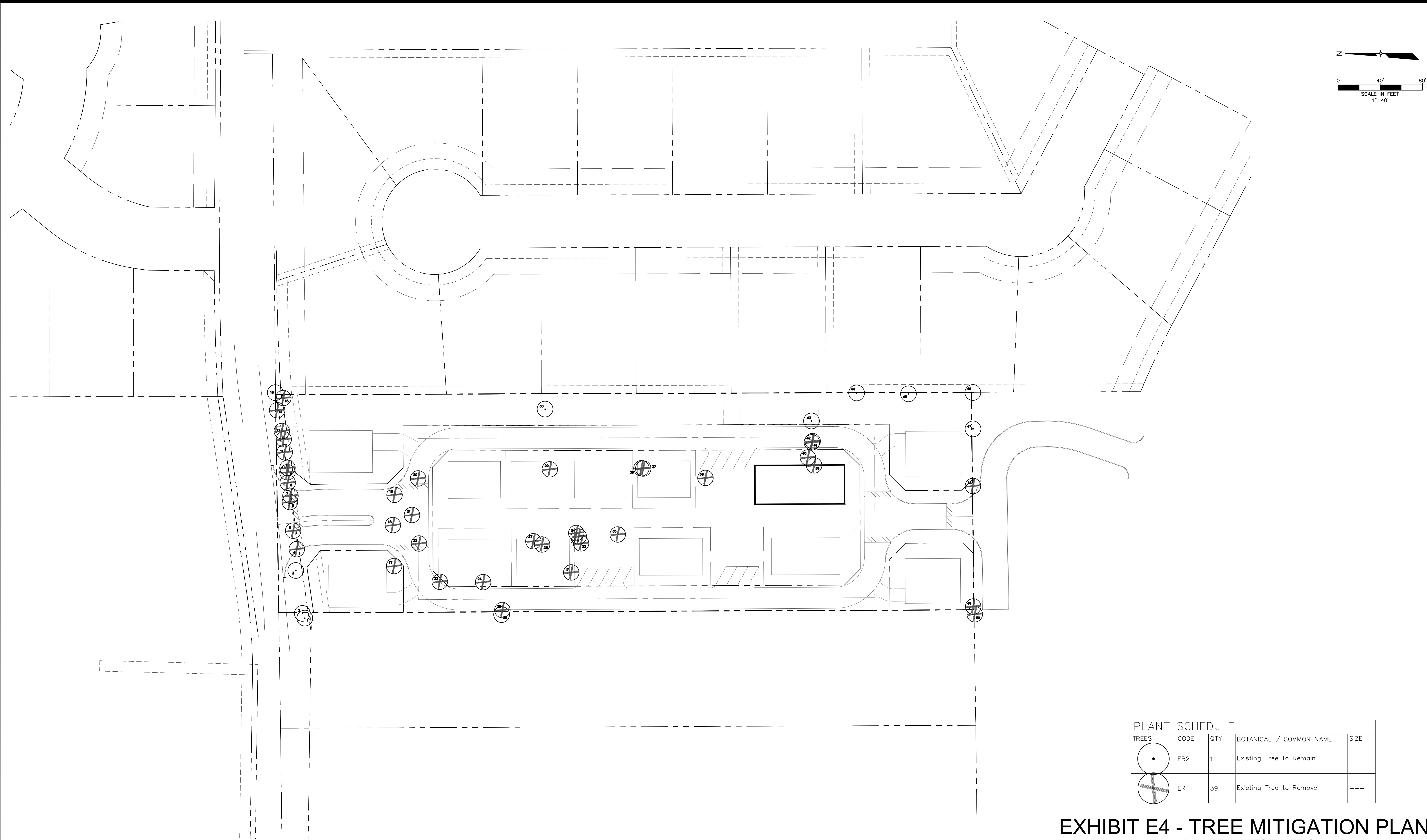
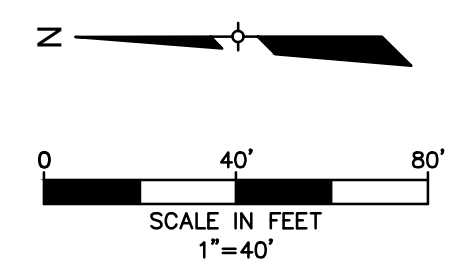
Texas Registered Engineering Firm F-21173

EXHIBIT E3 - LANDSCAPE NOTES
MYMERLA ESTATES

12 RESIDENTIAL LOTS AND 2 OPEN SPACE LOT
3.13 TOTAL ACRES

S.S. CALLENDER SURVEY, ABSTRACT NO. 359
CITY OF MANSFIELD, TARRANT COUNTY, TEXAS
DATE OF PREPARATION: APRIL 10, 2024

ZC#23-007



PLANT SCHEDULE				
TREES	CODE	QTY	BOTANICAL / COMMON NAME	SIZE
	ER2	11	Existing Tree to Remain	---
	ER	39	Existing Tree to Remove	---

Engineer:
HCE, Inc.
Contact: Jared Stroebel
Phone: 254.485.8101
Email: jared@hcetex.com
3540 E. Broad Street, Ste 120-251
Mansfield, TX 76063

Owner/Developer:
SPAPS, LLC
Contact: Daniel Almaguer
4541 Stonewood Cir.
Midlothian, Texas 76065

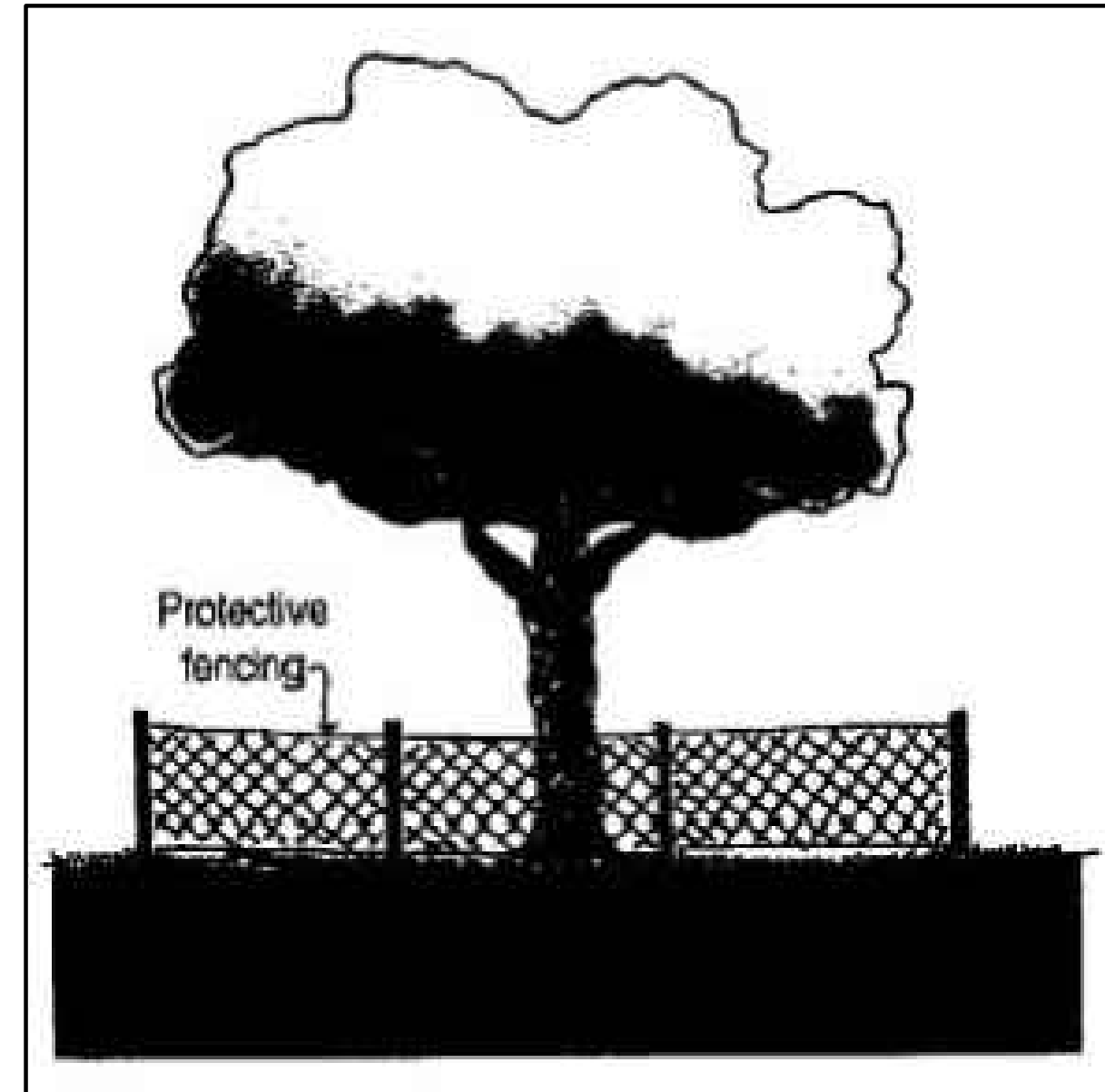
CIVIL & ENVIRONMENTAL
RGV 1 DFW
3540 E. BROAD STREET
SUITE 120-251
MANSFIELD, TEXAS 76063



EXHIBIT E4 - TREE MITIGATION PLAN
MYMERLA ESTATES
12 RESIDENTIAL LOTS AND 2 OPEN SPACE LOT
3.13 TOTAL ACRES
S.S. CALLENDER SURVEY, ABSTRACT NO. 359
CITY OF MANSFIELD, TARRANT COUNTY, TEXAS
DATE OF PREPARATION: APRIL 10, 2024
ZC#23-007

Tree Survey					
Tree #	Dia.	Species	Protected	Remain	Remove
1	12	Oak	X	X	
2	12	Oak	X	X	
3	24	Oak	X	X	
4	16	Oak	X		X
5	14	Oak	X		X
6	14	Oak	X		X
7	10	Oak	X		X
8	16	Oak	X		X
9	12	Oak	X		X
10	12	Oak	X		X
11	12	Oak	X		X
12	6	Oak	X		X
13	14	Oak	X		X
14	18	Oak	X		X
15	6	Cedar	X		X
16	12	Oak	X	X	
17	12	Pecan	X		X
18	12	Pecan	X		X
19	10	Pecan	X		X
20	24	CottonWood	X		X
21	12	Mulberry	X		X
22	24	CottonWood	X		X
23	14	Maple	X		X
24	18	CottonWood	X		X
25	8	Pecan	X	X	
26	8	Pecan	X		X
27	12	Pecan	X		X
28	16	Pear	X		X
29	12	Pecan	X		X
30	16	Hackberry		X	
31	12	Soapberry	X		X
32	16	CottonWood	X		X
33	24	CottonWood	X		X
34	14	CottonWood	X		X
35	16	CottonWood	X		X
36	16	CottonWood	X		X
37	8	Cedar	X		X
38	16	Hackberry			X
39	14	Elm	X		X
40	14	Elm	X		X
41	10	Cedar	X		X
42	18	Elm	X		X
43	20	Elm	X	X	
44	6	Hackberry		X	
45	6	Elm	X	X	
46	6	Locust	X	X	
47	10	Hackberry		X	
48	6	Hackberry			X
49	8	Oak	X		X
50	10	Cedar	X		X
Total	658			132	510

Mitigation	
Required	Provided
474	265



(A) TREE PROTECTION DETAIL

NOT TO SCALE

Engineer:
HCE, Inc.
Contact: Jared Stroebel
Phone: 254.485.8101
Email: jared@hceetx.com
3540 E. Broad Street, Ste 120-251
Mansfield, TX 76063

Owner/Developer:
SPAPS, LLC
Contact: Daniel Almaguer
4541 Stonewood Cir.
Midlothian, Texas 76065

CIVIL & ENVIRONMENTAL
RGV | DFV

3540 E. BROAD STREET
SUITE 120-251
MANSFIELD, TEXAS 76063



Texas Registered Engineering Firm F-21173

EXHIBIT E5 - TREE MITIGATION NOTES

MYMERLA ESTATES

12 RESIDENTIAL LOTS AND 2 OPEN SPACE LOT
3.13 TOTAL ACRES

S.S. CALLENDER SURVEY, ABSTRACT NO. 359
CITY OF MANSFIELD, TARRANT COUNTY, TEXAS
DATE OF PREPARATION: APRIL 10, 2024

ZC#23-007