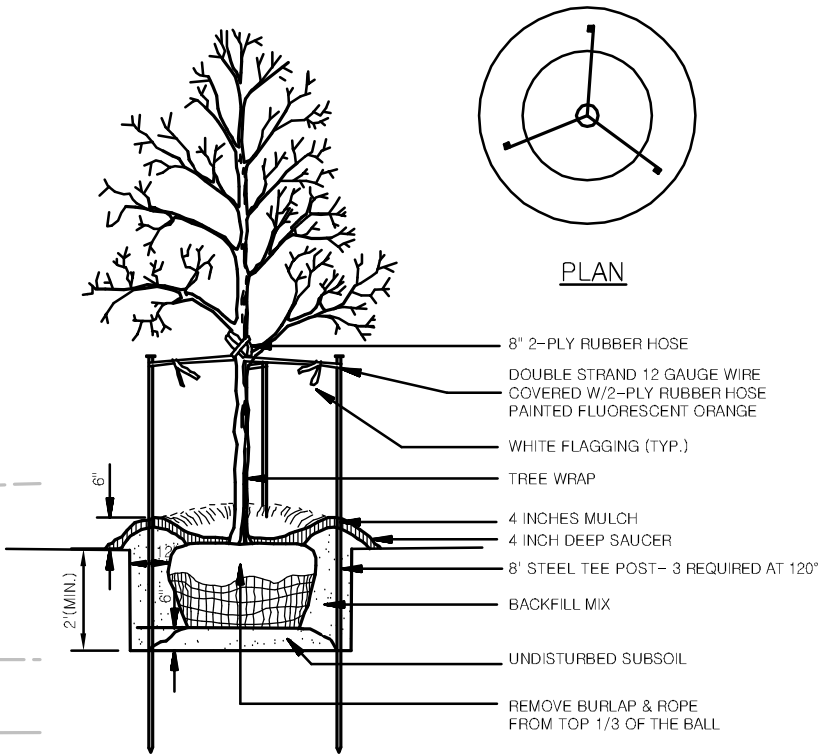
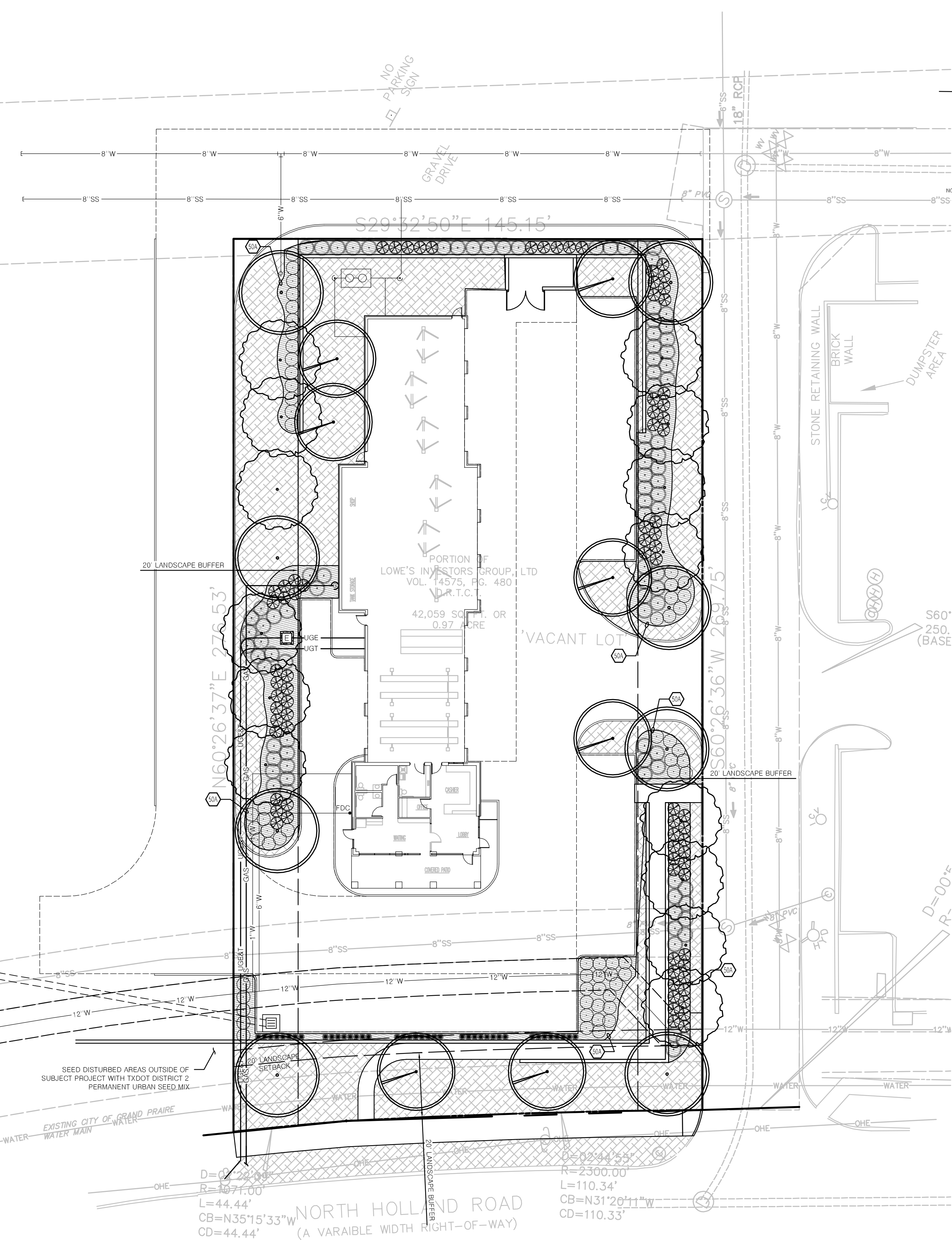


DEVELOPED BY: BRHACO LLC
2648 FM 407E, SUITE 225
BARTONVILLE, TX 76226
PHONE: 940-241-2100

PREPARED BY: CEI ENGINEERING ASSOCIATES
TRI WEST PLAZA
3030 LBJ FREEWAY, SUITE 100
DALLAS, TX 75234
PHONE: 972-488-3737

ZONED C-2

REMAINDER OF
LOWE'S INVESTORS GROUP, LTD
VOL. 14575, PG. 480
D.R.T.C.T.



MANSFIELD, TEXAS LANDSCAPE REQUIREMENTS

AREA	REQUIREMENT	REQUIRED	PROVIDED
BURRER YARD & SCREENING	EAST PROPERTY LINE-MINIMUM 10' WIDE BUFFER IS REQUIRED WITH 1 TREE/25 L.F. OF LANDSCAPE BUFFER. WEST PROPERTY LINE-MINIMUM 10' WIDE BUFFER IS REQUIRED WITH 1 TREE/25 L.F. OF LANDSCAPE BUFFER.	EAST = 270 L.F./25 = 11 TREES WEST = 277 L.F./25 = 11 TREES	EAST = 11 TREES WEST = 11 TREES
STREET LANDSCAPE BUFFER	20' LANDSCAPE BUFFER WITH 1 CANOPY TREE/40 L.F. EXISTING OR PLANNED OVERHEAD UTILITY LINES ARE ALONG STREET BUFFER AREA. ORNAMENTAL TREES AT A RATIO OF 2:1 CANOPY TREES/20 L.F. SHALL BE REQUIRED.	SOUTH=145 L.F./40 = 4 TREES	4 TREES
PARKING LOT PERIMETER LANDSCAPE	ALL PARKING LOT, VEHICULAR USE & MANUEVERING AREAS NOT SCREENED BY ON SITE BUILDINGS SHALL BE SCREENED FROM PUBLIC STREETS WITH SCREENING SHRUBS 3' HT. AT MATURITY. SCREENING MAY OCCUR WITHIN THE STREET LANDSCAPE SETBACK.	SCREENING SHRUBS ALONG PERIMETER	EVERGREEN SHRUBS
PARKING LOT INTERNAL LANDSCAPING	1 CANOPY TREE/10 PARKING SPACES LANDSCAPE ISLAND MINIMUM OF 5'X15' (OR 185 S.F.). NO MORE THAN 15 SPACES TOGETHER WITHOUT A TREE-ISLAND. EVERY REQUIRED ISLAND MUST INCLUDE 1 CANOPY TREE.	26 PARKING SPACES/10 = 3 TREES	3 CANOPY TREES
FOUNDATION AREA	4' WIDE LANDSCAPE AREA 10' FROM BUILDING PACAGES FACING STREET AND ENTRANCES TO CUSTOMER ENTRANCES.	4' WIDE LANDSCAPE AREA	-
LANDSCAPE AREA	A MINIMUM OF 10% OF EACH LOT AREA MUST BE LANDSCAPED. REQUIRED STREET LANDSCAPE SETBACKS, FOUNDATION LANDSCAPE AREAS, LANDSCAPE BUFFERS MAY BE INCLUDED. PARKING LOT PERIMETER AND INTERNAL LANDSCAPE AREAS SHALL NOT BE USED FOR THE 10%.	LOT AREA = 35,471 S.F. 10% = 3,547 S.F.	4,645 S.F.

SUMMARY CHART-INTERIOR PARKING LOT LANDSCAPE

# OF REQUIRED PARKING SPACES	18
# OF PROVIDED PARKING SPACES	26
# OF TREE ISLANDS / END CAPS PROVIDED	3
NOTE: ANY CREDITS USED IN CALCULATIONS:	
OTHER COMMENTS:	

SUMMARY CHART-BUFFERYARD/SETBACKS

LOCATION OF BUFFER YARD/ SETBACK	REQUIRED/ PROVIDED	LENGTH	BUFFERYARD OR SETBACK WIDTH/TYPE	CANOPY TREES	ORNTL. TREES	SHRUBS	SCREENING WALL/DEVICE HEIGHT & MATERIAL
NORTH	REQUIRED	-	10'/BY/10	-	-	-	-
	PROVIDED	145'	23'	-	-	26	-
EAST	REQUIRED	-	10'/BY/10	11	-	-	-
	PROVIDED	277'	20'	11	-	58	-
SOUTH	REQUIRED	-	10'/BY/10	4	-	-	-
	PROVIDED	145'	24'	4	-	-	-
WEST	REQUIRED	-	10'/BY/10	11	-	44	-
	PROVIDED	277'	20'	11	-	-	-
NOTE: ANY CREDITS USED IN CALCULATIONS:							
OTHER COMMENTS:							

SUMMARY CHART-INTERIOR LANDSCAPE

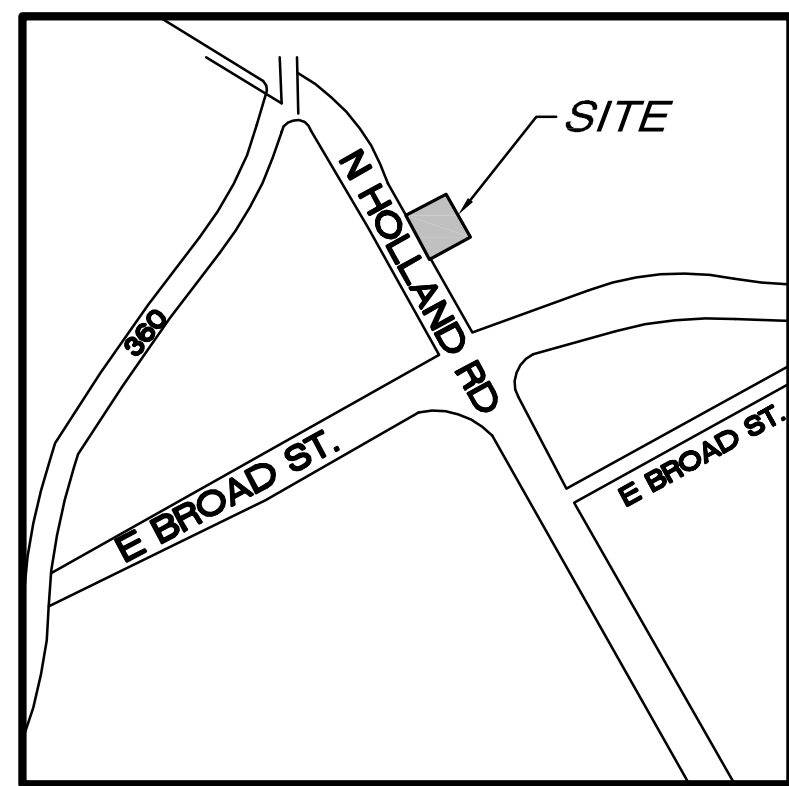
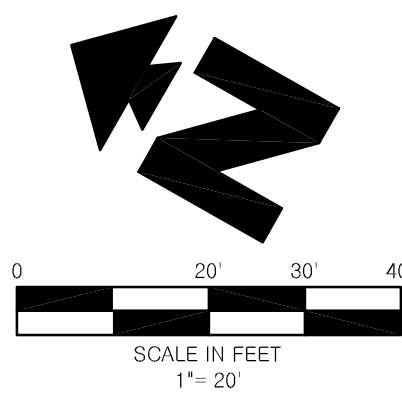
	LANDSCAPE AREA (IN SQ FT)	% OF LANDSCAPE AREA	CANOPY TREES	ORNTL. TREES	SHRUBS	GROUND COVER (IN SQ FT)
REQUIRED	3,547	10%	3	-	-	-
PROVIDED	4,645	12%	3	-	26	120
NOTE: ANY CREDITS USED IN CALCULATIONS:						
OTHER COMMENTS:						

PLANT LIST

KEY	QTY	COMMON NAME/ BOTANICAL NAME	ROOT	SIZE	HEIGHT X SPREAD AT PLANTING	SPACING
SHRUBS						
BH	91	DWARF BURFORD HOLLY (Ilex cornuta 'Burford Holly')	CONT.	7 GAL	3.5' MIN. HEIGHT	SPACE AS SHOWN
ND	78	WANDINA (Nandina domestica)	CONT.	7 GAL	3.5' MIN. HEIGHT	SPACE AS SHOWN
OY	63	DWARF YAUPOIN (Ilex vomitoria 'nana')	CONT.	1 GAL		SPACE AS SHOWN
FG	40	LITTLE BURBON FOUNTAIN GRASS (Pennisetum alopecuroides 'Little Bunny')	CONT.	1 GAL		SPACE AS SHOWN
TREES						
CE	14	CEDAR ELM (Ulmus crassifolia)	B&B	3.5" CALIPER	10'-11" HT. X 6'-7" SPREAD	SPACE AS SHOWN
LO	8	TEXAS LIVE OAK (Quercus fusiformis)	B&B	3.5" CALIPER	10'-11" HT. X 6'-7" SPREAD	SPACE AS SHOWN
CP	7	CHINESE PISTACHE (Pistacia chinensis)	B&B	3.5" CALIPER	10'-11" HT. X 6'-7" SPREAD	SPACE AS SHOWN
TURF						
TURF TYPE: BERMUDAGRASS SCD						

CITY OF MANSFIELD NOTES

LANDSCAPING MAINTENANCE:
THE PROPERTY OWNER, TENANT OR AGENT, SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL REQUIRED LANDSCAPING IN A HEALTHY, NEAT ORDERLY AND LIVE-GROWING CONDITION AT ALL TIMES. THIS SHALL INCLUDE MOWING, PRUNING, FERTILIZING, IRRIGATION, WEEDING, AND OTHER SUCH ACTIVITIES COMMON TO THE MAINTENANCE OF LANDSCAPING. LANDSCAPED AREAS SHALL BE KEPT FREE OF TRASH, LITTER, WEEDS AND OTHER SUCH MATERIALS NOT A PART OF THE LANDSCAPING. PLANT MATERIALS THAT DIE SHALL BE REPLACED WITH PLANT MATERIALS OF SIMILAR VARIETY AND SIZE.



Vicinity Map

Not to Scale

PROPOSED

- BOUNDARY LINE
- RIGHT OF WAY LINE
- STORM DRAIN
- TYPICAL PLANTING WITH QUANTITY AND KEY (SEE PLANT LIST)
- STEEL EDGING

GENERAL NOTES

- BEFORE COMMENCING WORK CONTACT APPROPRIATE UTILITY COMPANIES FOR UTILITY LOCATIONS, AND COORDINATE WITH GENERAL CONTRACTOR IN REGARDS TO LOCATION OF PROPOSED UTILITIES, SLEEVES, CONDUITS, ETC.
- ALL PROPOSED LANDSCAPING IS TO BE INSTALLED PER LOCAL CITY ORDINANCES AND CODES. NOTIFY THE LANDSCAPE ARCHITECT OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.
- CONTRACTOR TO INSPECT SITE AND VERIFY CONDITIONS AND DIMENSIONING PRIOR TO PROCEEDING WITH WORK DESCRIBED HERE IN. NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES PRIOR TO BEGINNING ANY CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE FOR WORK IN ACCORDANCE WITH PLANS, DETAILS, SPECIFICATIONS AND APPLICABLE CODES AND REQUIREMENTS.
- IMMEDIATELY AFTER AWARD OF CONTRACT, NOTIFY THE OWNER'S REPRESENTATIVE AND/OR THE LANDSCAPE ARCHITECT OF UNAVAILABILITY OF SPECIFIED PLANT MATERIAL FROM COMMERCIAL NURSERIES. THE OWNER'S REPRESENTATIVE AND/OR LANDSCAPE ARCHITECT WILL PROVIDE ALTERNATE PLANT MATERIAL SELECTIONS IF UNAVAILABILITY OCCURS.
- ALL PLANT MATERIALS TO CONFORM TO THE AMERICAN STANDARD FOR NURSERY STOCK ANSI Z60.1.
- THE OWNER'S REPRESENTATIVE RESERVES THE RIGHT TO REFUSE ANY MATERIAL HE/OR SHE DEEM UNACCEPTABLE.
- CONTRACTOR SHALL BRING FINISH GRADE UP TO TOP OF CURB ELEVATION WITH A MINIMUM OF 4" OF TOP OF SOIL PRIOR TO PLACEMENT OF SOD.
- ANY LANDSCAPE AREAS DISTURBED FOR ANY REASON PRIOR TO FINAL ACCEPTANCE OF THE PROJECT, SHALL BE CORRECTED BY CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
- FERTILIZE ALL PLANTS AT THE TIME OF PLANTING WITH TIME RELEASE FERTILIZER PER BRAND'S SPECIFIED APPLICATION RATES.
- SHREDDED HARDWOOD MULCH SHALL BE USED AS A FOUR INCH (4") TOP DRESSING IN ALL PLANTING BEDS AND AROUND ALL TREES. SINGLE TREES OR SHRUBS SHALL BE MULCHED TO THE OUTSIDE EDGE OF THE SAUCER OF LANDSCAPE ISLAND (SEE PLANTING DETAILS).
- LANDSCAPE CONTRACTOR SHALL INSTALL (PER CITY CODE) AN UNDERGROUND, AUTOMATED IRRIGATION SYSTEM WHICH PROVIDES COMPLETE COVERAGE OF THE SITE BEFORE THE INSTALLATION OF LANDSCAPE MATERIALS.

LANDSCAPE NOTES

50A STEEL EDGING

- SODDED GREEN AREA (BERMUDAGRASS)
- FOUR INCH (4") SHREDDED HARDWOOD MULCH

LANDSCAPE DETAILS

- 50A TREE PLANTING
- 50B SHRUB PLANTING

Driver'sEdge
COMPLETE AUTO REPAIR

28862.0	6/24/15	AS	BD	CMR	CMR
CEI PROJECT NO.	INITIAL DATE	DPOB	PM	DES	DRW

CEI Engineering Associates, Inc.
ENGINEERS PLANNERS SURVEYORS
LANDSCAPE ARCHITECTS ENVIRONMENTAL SCIENTISTS

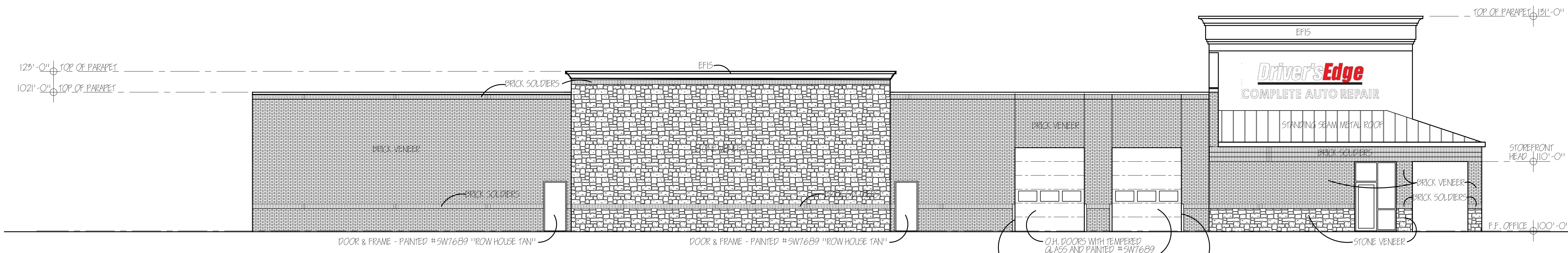
3030 LBJ FREEWAY, SUITE 100
DALLAS, TX 75234

PHONE: 972-488-3737
FAX: 972-488-6732

BRHACO LLC
N. HOLLAND RD. & E. BROAD ST.
MANSFIELD, TX (TARRANT COUNTY)

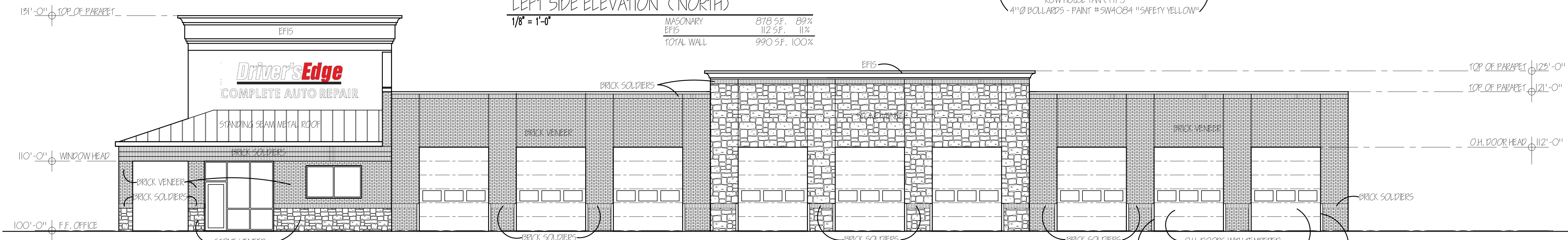
LANDSCAPE PLAN FOR SUP	REV DATE 6/24/15 SUP	SHEET NO. SUP-2
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PRELIMINARY
NOT FOR
CONSTRUCTION



LEFT SIDE ELEVATION (NORTH)
1/8" = 1'-0"

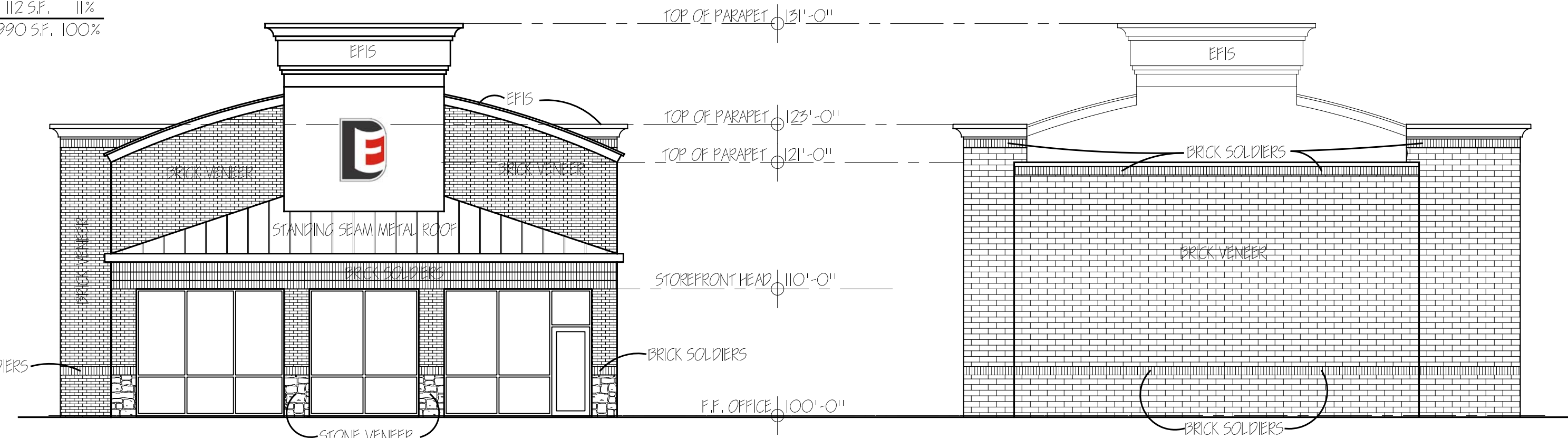
MASONARY	878 SF.	89%
EFIS	112 SF.	11%
TOTAL WALL	990 SF.	100%



RIGHT SIDE ELEVATION (SOUTH)
1/8" = 1'-0"

MASONARY	878 SF.	89%
EFIS	112 SF.	11%
TOTAL WALL	990 SF.	100%

MATERIALS LIST	
STONE VENEER	GRANDBURY STONE
BRICK VENEER	ACME "OLD SALEM"
EFIS	"SANDLEWOOD BEIGE"
METAL ROOF	UNA-CLAD "SIERRA TAN SR"

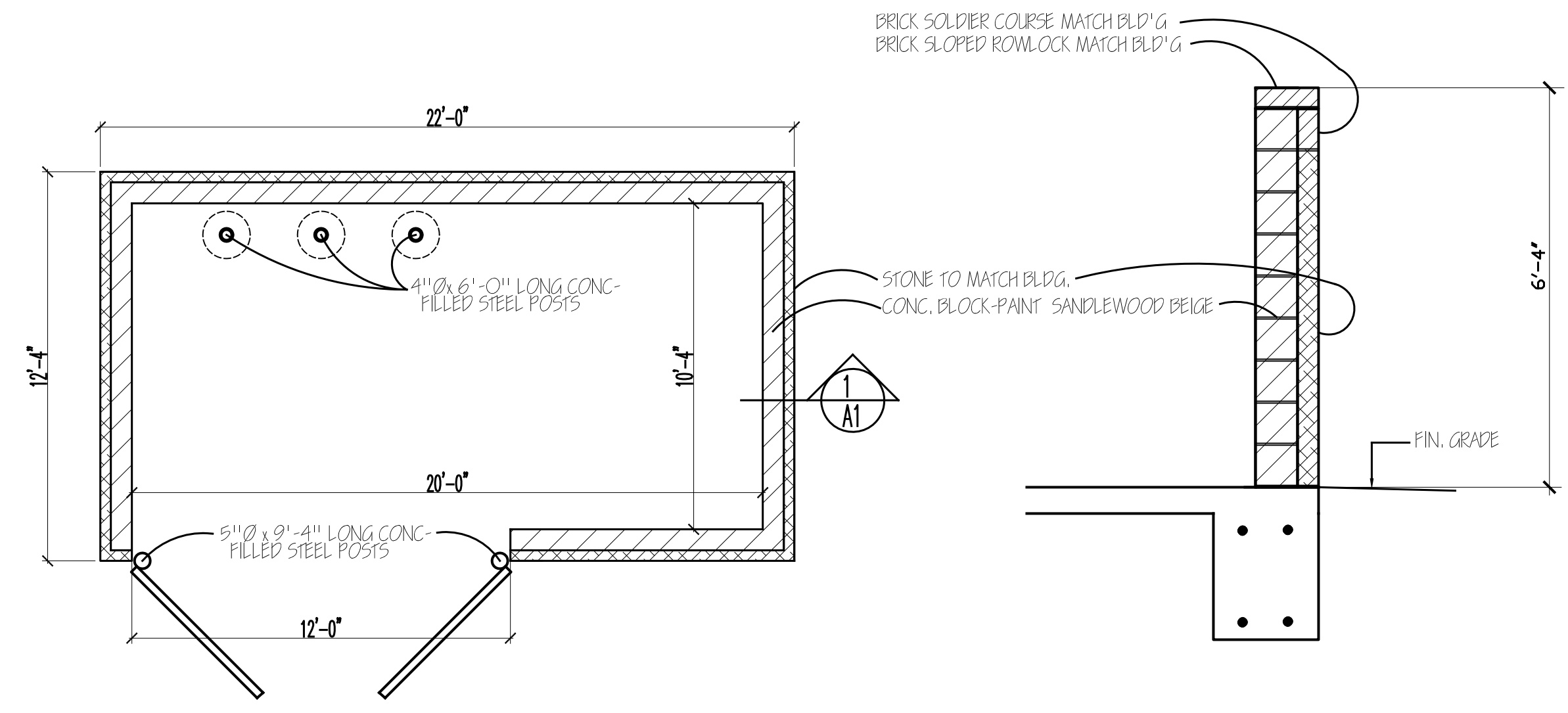


FRONT ELEVATION (WEST)
1/8" = 1'-0"

MASONARY	298 SF.	89%
EFIS	48 SF.	17%
TOTAL WALL	286 SF.	100%

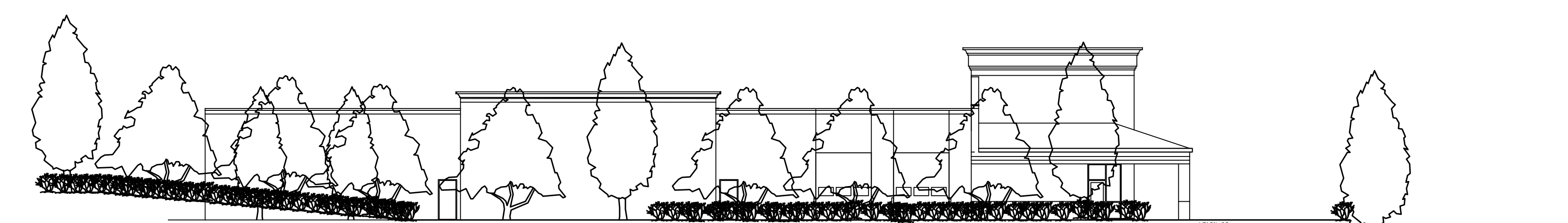
REAR ELEVATION (EAST)
1/8" = 1'-0"

MASONARY	292 SF.	81%
EFIS	64 SF.	19%
TOTAL WALL	286 SF.	100%

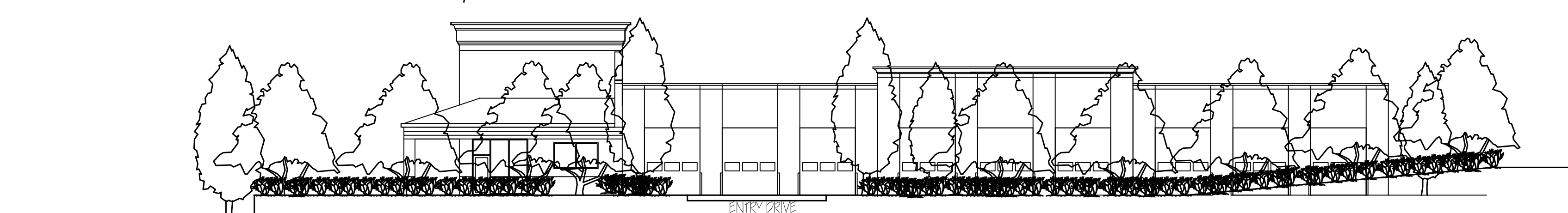


DUMPSTER ENCLOSURE PLAN
1/4" = 1'-0"

SECTION
1/2" = 1'-0"



LANDSCAPE PROFILE - LEFT SIDE ELEVATION (NORTH)
1/16" = 1'-0"



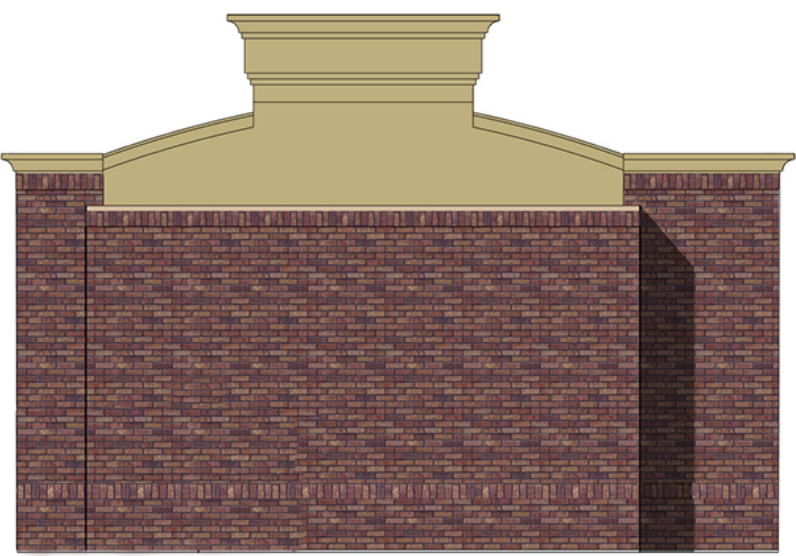
LANDSCAPE PROFILE - RIGHT SIDE ELEVATION (SOUTH)
1/16" = 1'-0"



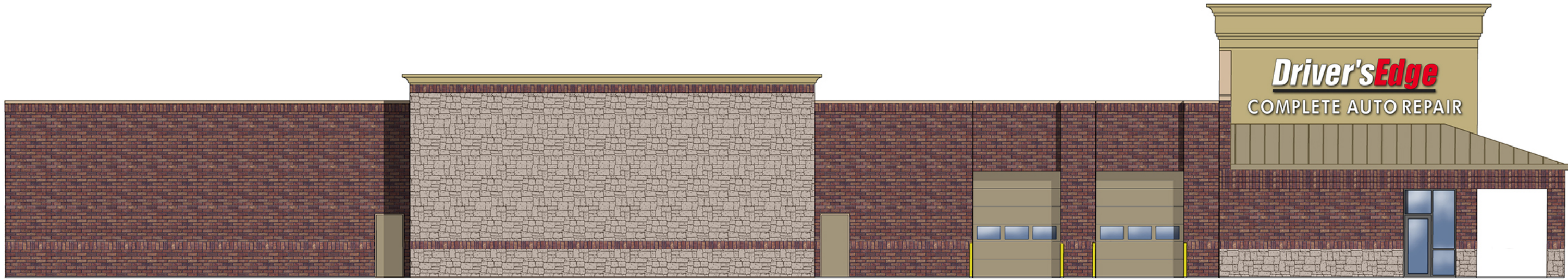
FRONT ELEVATION



RIGHT ELEVATION



REAR ELEVATION



LEFT ELEVATION



0384335A

Sheet 1 of 5

DRIVERS EDGE

Address

N. HOLLAND RD & BROAD ST.
MANSFIELD, TX.

Account Rep. PAB

Designer RFF

Date 06.29.15

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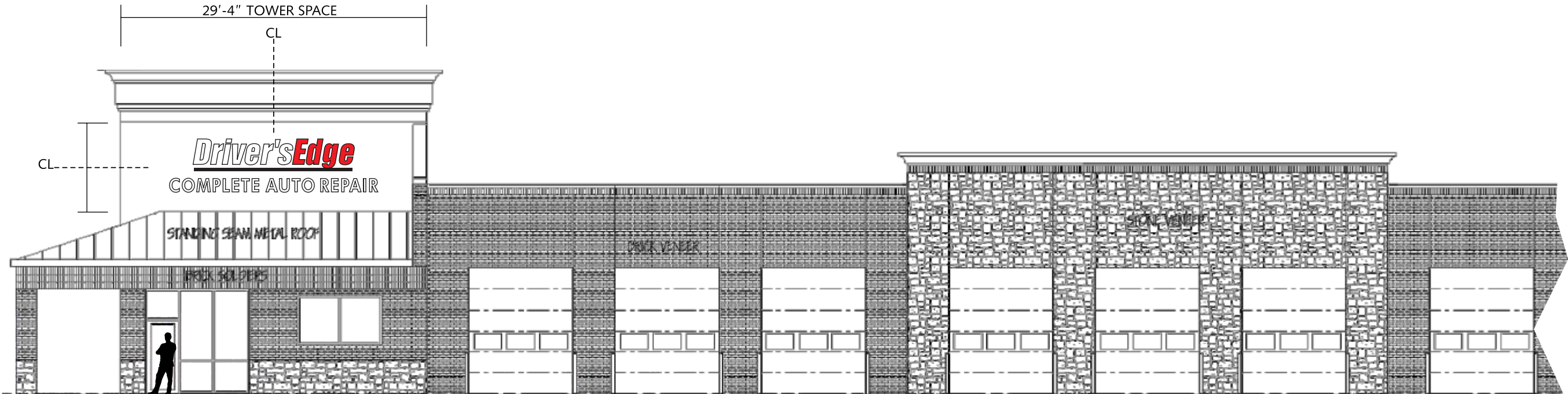
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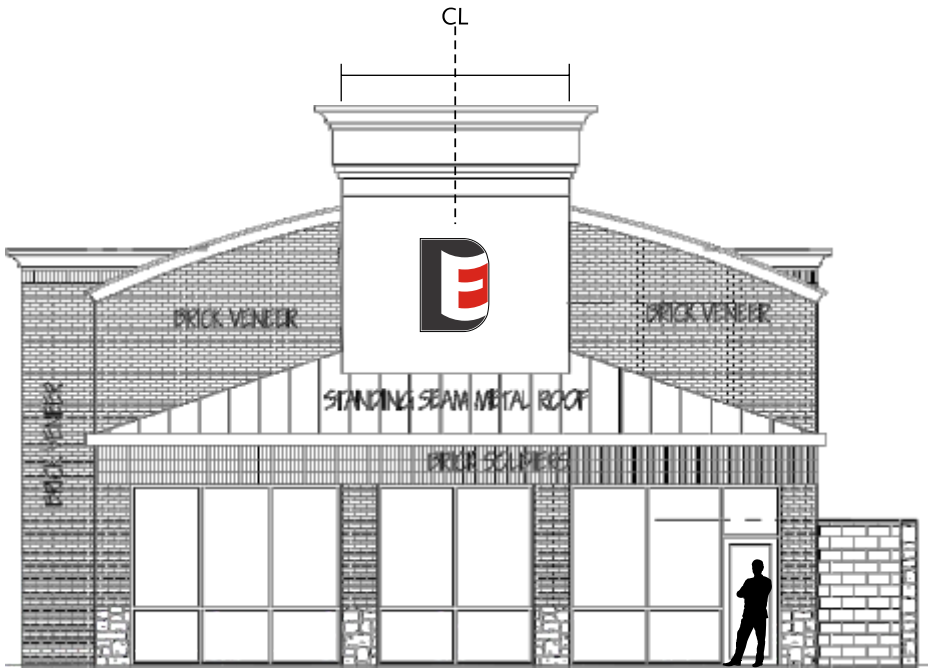
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A SOUTH BUILDING ELEVATION SCALE: 3/32" = 1'-0"



C WEST BUILDING ELEVATION SCALE: 3/32" = 1'-0"

0384335A

Sheet 2 of 5

DRIVERS EDGE

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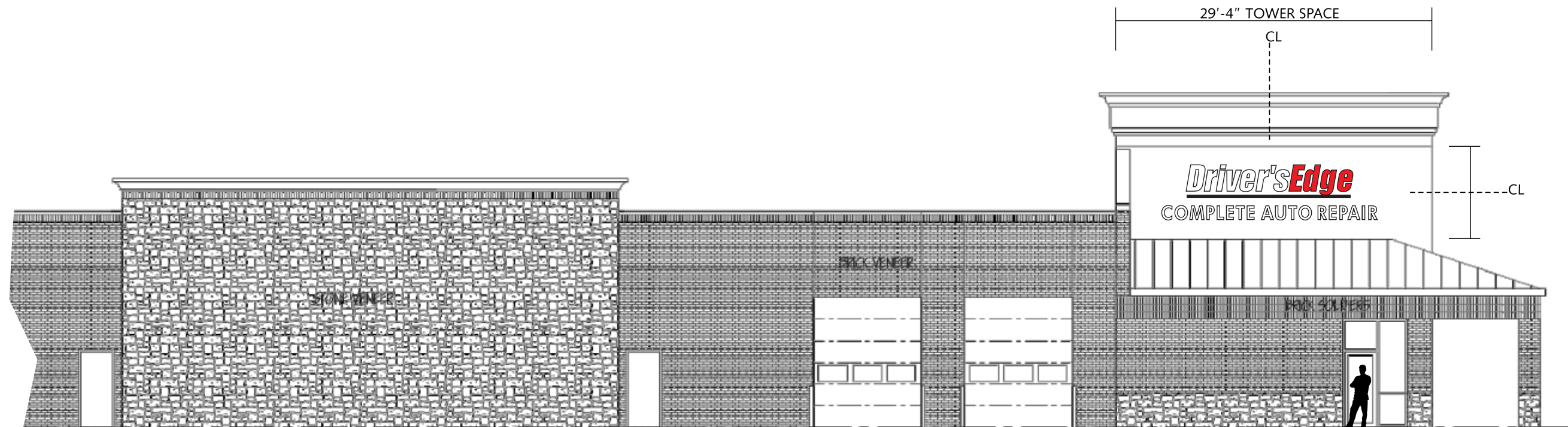
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Designer **RFF**

Date 06.29.15

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B NORTH BUILDING ELEVATION SCALE: 3/32" = 1'-0"



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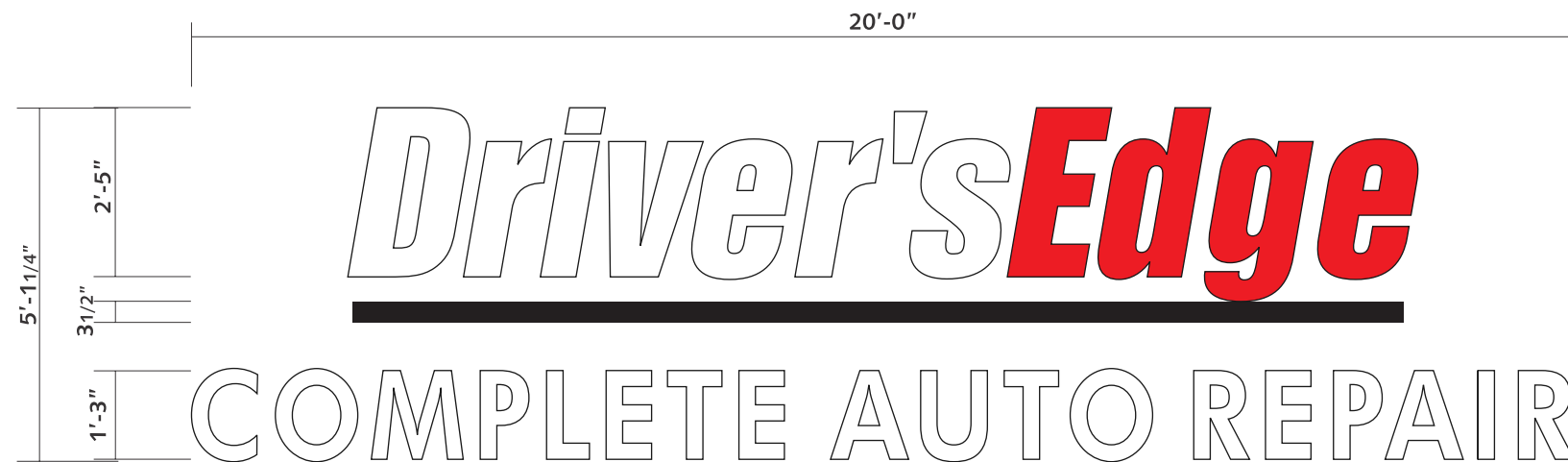
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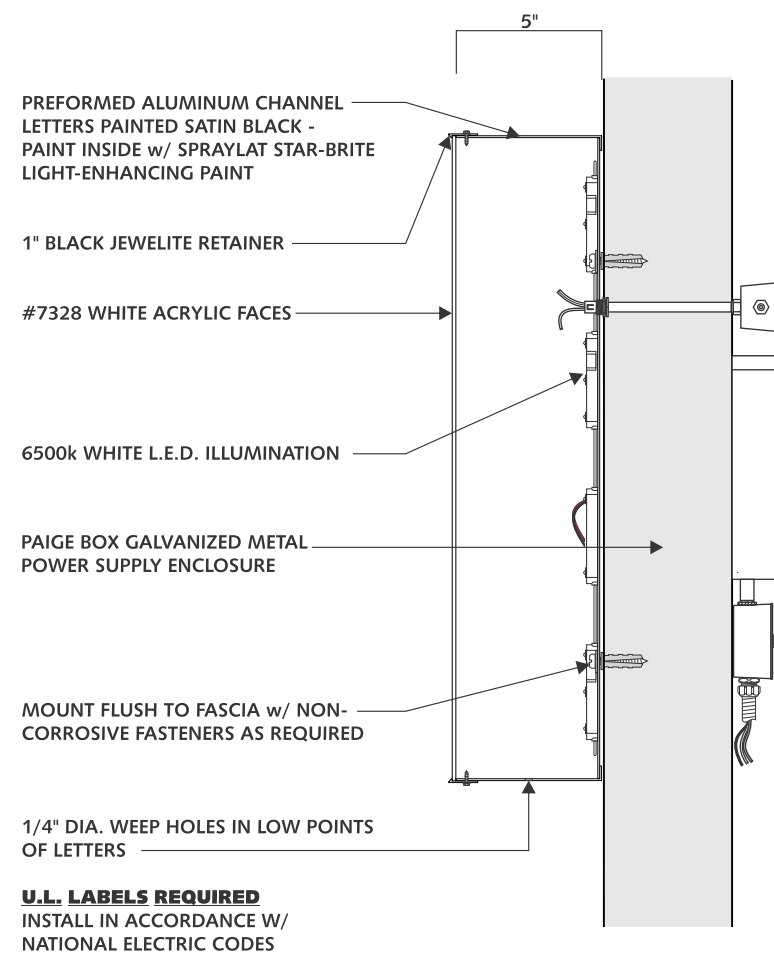
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104 SQ. FT.



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5"

PREFORMED ALUMINUM CHANNEL
LETTERS PAINTED SATIN BLACK -
PAINT INSIDE w/ SPRAYLAT STAR-BRITE
LIGHT-ENHANCING PAINT

BLACK RETAINER
WHITE ON FACE

WHITE LEXAN FACE WITH VINYL
OVERLAYS

3M 3630-43 LIGHT TOMATO RED VINYL
3M 3630-22 BLACK VINYL

WHITE L.E.D. ILLUMINATION

PAIGE BOX GALVANIZED METAL
POWER SUPPLY ENCLOSURE

MOUNT FLUSH TO FASCIA w/ NON-
CORROSIVE FASTENERS AS REQUIRED

1/4" DIA. WEEP HOLES IN LOW POINTS
OF LETTERS

U.L. LABELS REQUIRED
INSTALL IN ACCORDANCE W/
NATIONAL ELECTRIC CODES

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Sheet 5 of 5

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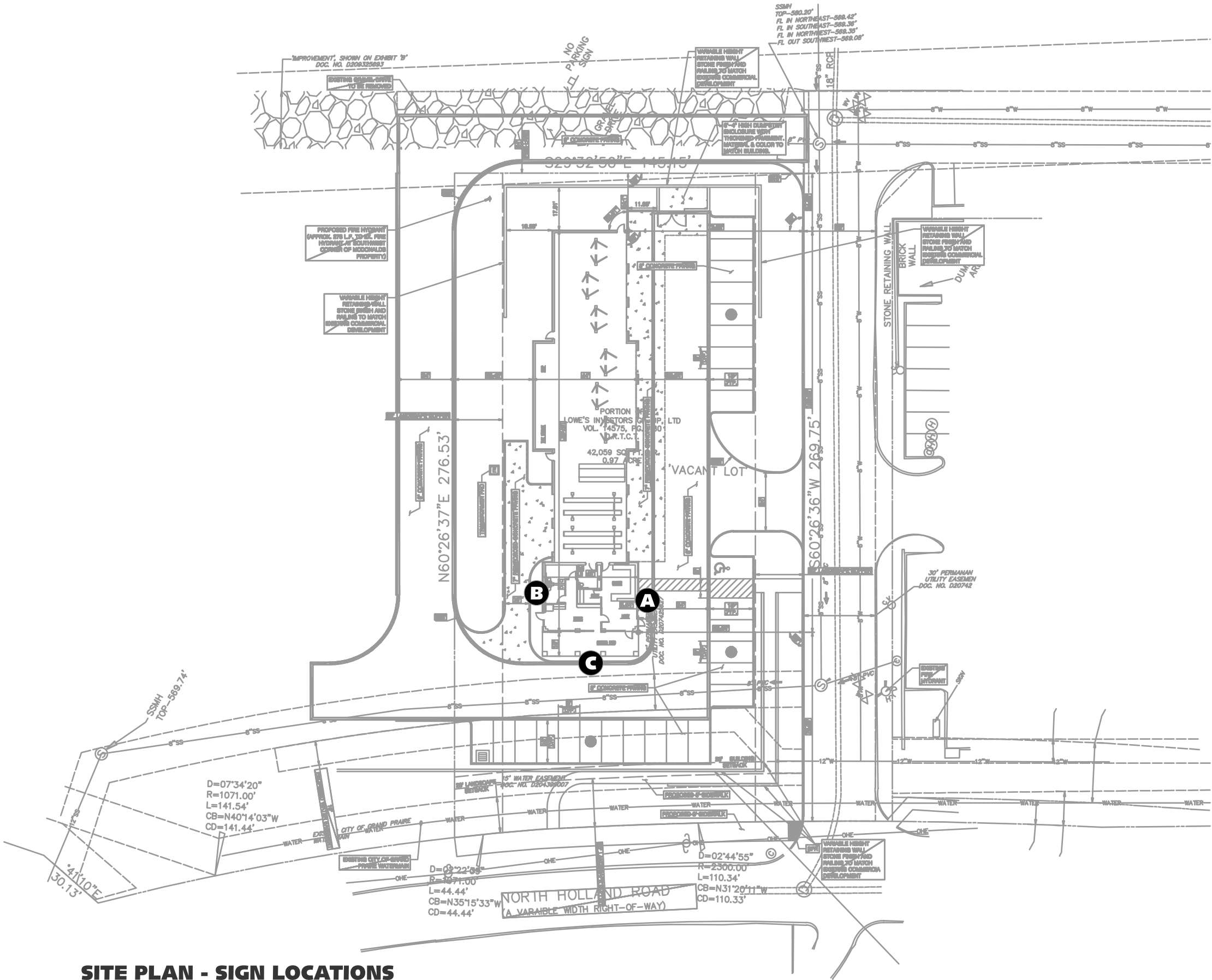
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SITE PLAN - SIGN LOCATIONS