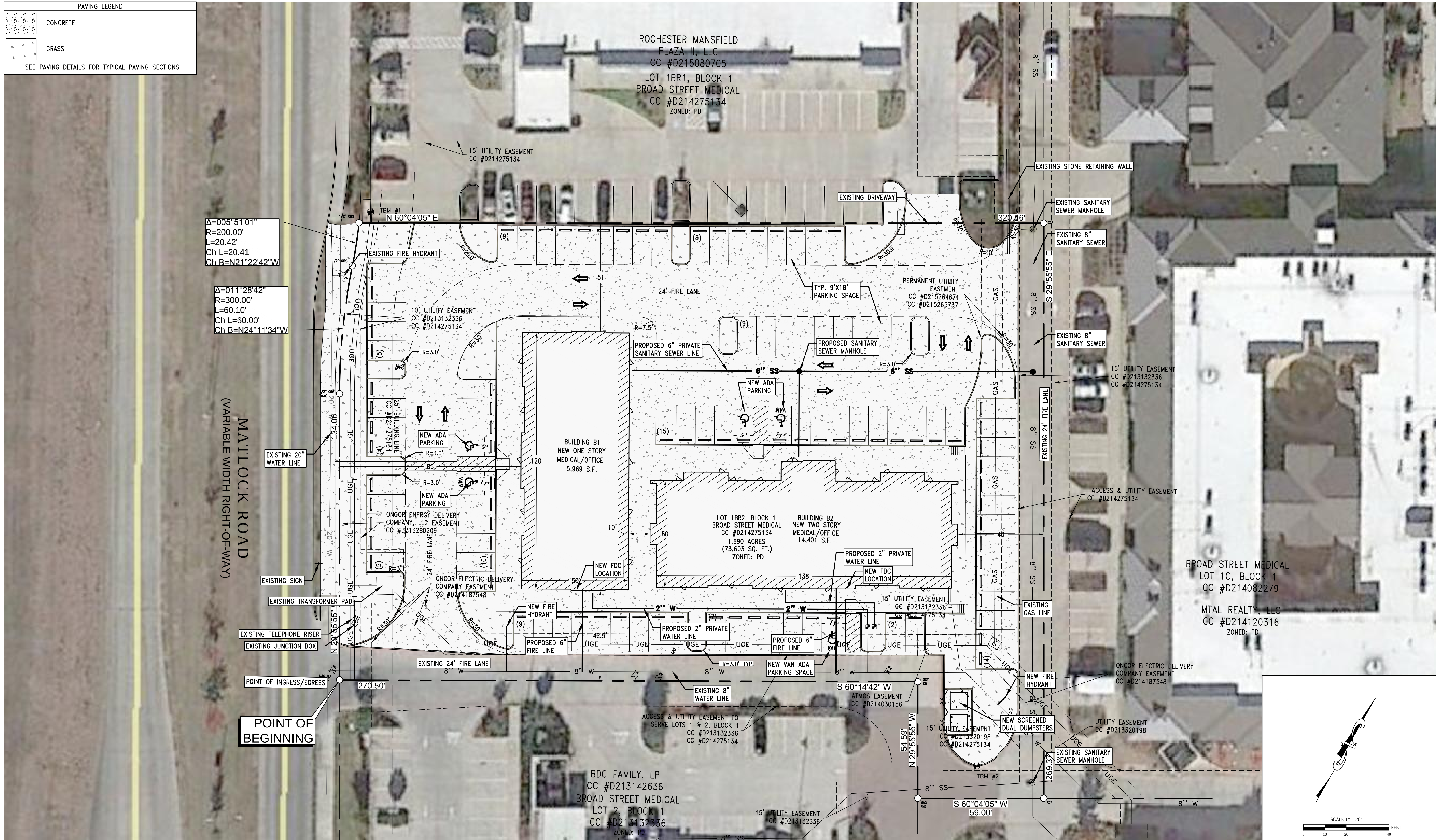


PAVING LEGEND

CONCRETE

GRASS

SEE PAVING DETAILS FOR TYPICAL PAVING SECTIONS



SITE DATA TABLE

ORIGINAL LOT AREA:	73,603 SF	ZONING:	PLANNED DEVELOPMENT (PD)
GROSS BUILDING AREA:	20,370 SF	CURRENT LAND USE:	OPEN LOT
PARKING AND BUILDING AREA:	68,801 SF	PROPOSED LAND USE:	MEDICAL/OFFICE
REQUIRED MEDICAL/OFFICE PARKING:	1 PER 300 SF	PERCENT LOT COVERAGE:	92
TOTAL PARKING REQUIRED:	68 SPACES	LANDSCAPE AREA REQUIRED:	N/A
TOTAL PARKING PROVIDED:	97 SPACES	LANDSCAPE AREA PROVIDED:	5,743 SF
STANDARD PARKING SPACES:	92 SPACES	1 STORY BUILDING HEIGHT:	23.67 FT MAX.
ADA PARKING SPACES:	5 SPACES	2 STORY BUILDING HEIGHT:	44.5 FT MAX.

PRELIMINARY
FOR REVIEW ONLY

THESE DOCUMENTS ARE FOR DESIGN REVIEW
AND NOT INTENDED FOR CONSTRUCTION,
BIDDING, OR PERMIT PURPOSES. THEY WERE
PREPARED BY, OR UNDER SUPERVISION OF,
BRAD A. LEHMAN 124715 06-12-2019
PE NO. DATE

MJTHOMAS
★ ENGINEERING, LLC ★

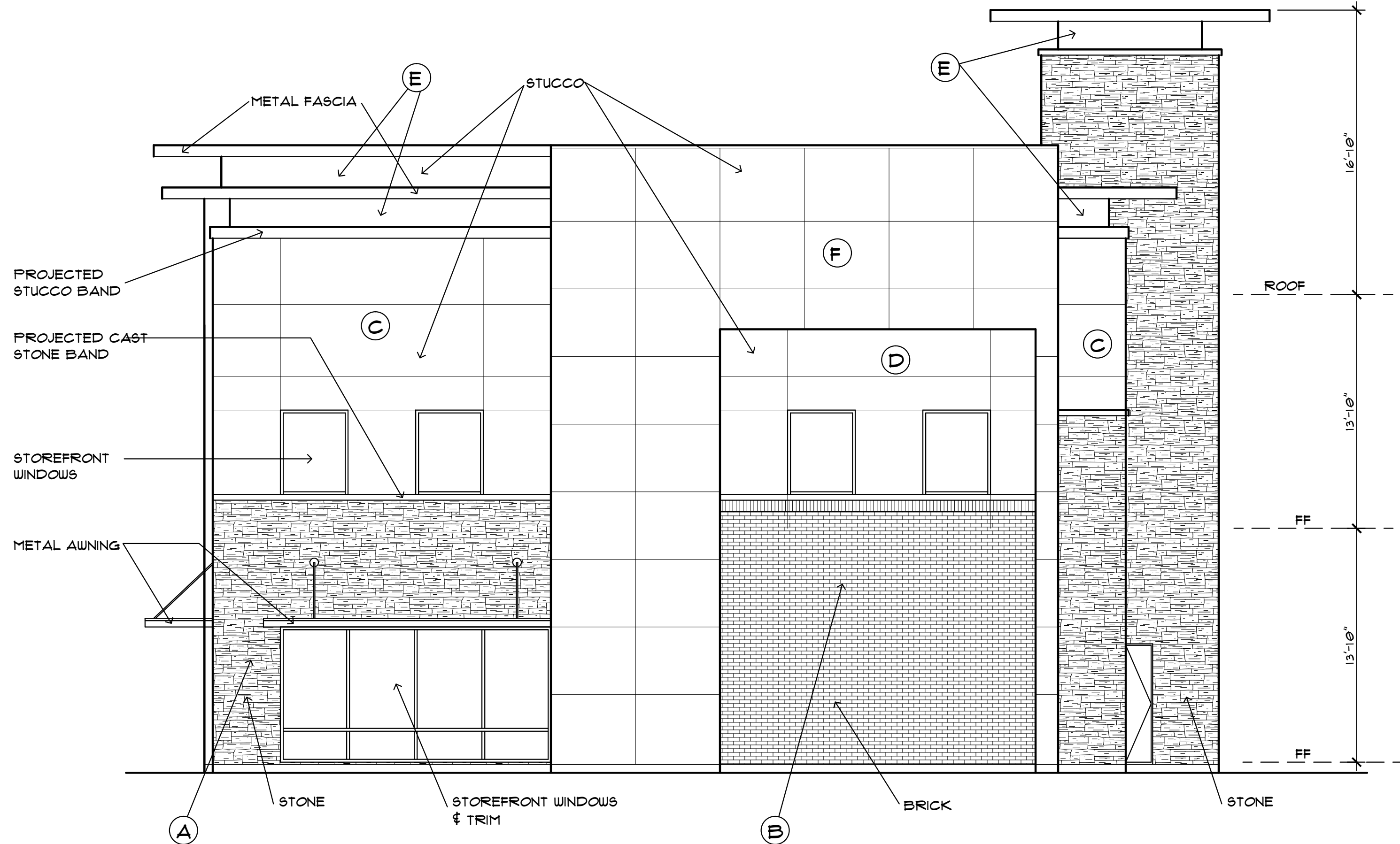
3973 W. VICKERY BLVD., SUITE 103
FORT WORTH, TX 76107
REGISTRATION NO. F-9435
PHONE - (817) 732-9839
FAX - (817) 732-9841
MJT NO. - 830-002

SITE PLAN

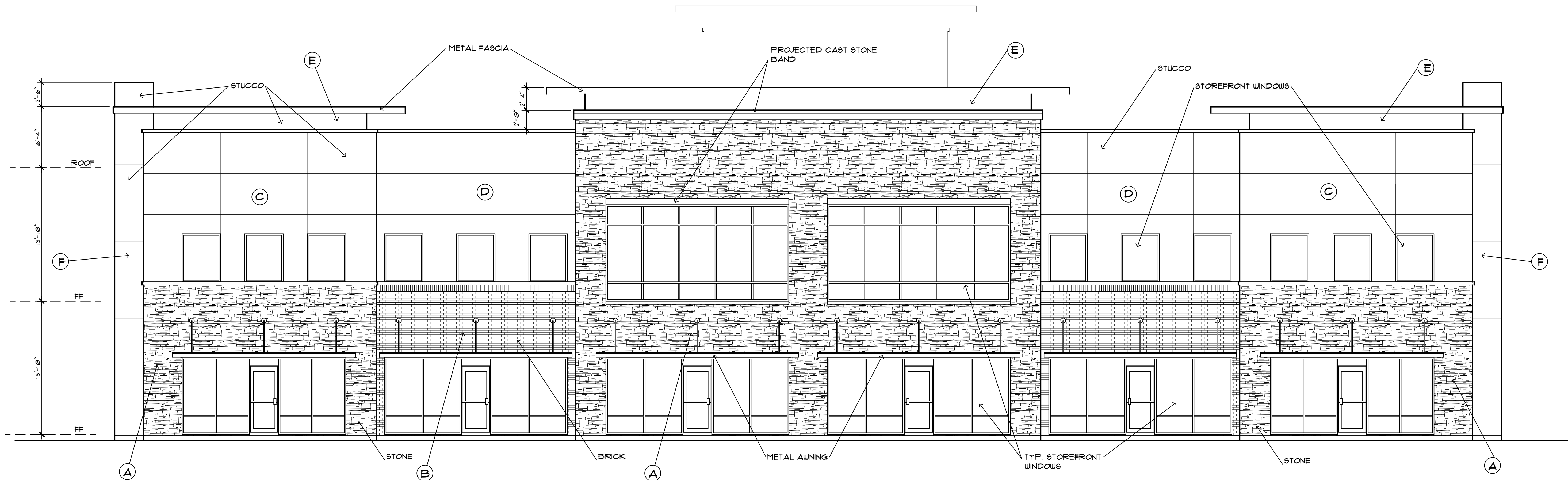
LOT 1BR2, BLOCK 1
CITY OF MANSFIELD, TARRANT COUNTY, TEXAS
BROAD STREET MEDICAL
350 MATLOCK ROAD
MANSFIELD, TEXAS
JUNE 12, 2019
ZC#10-005C EXHIBIT B

BUILDING B1 MATERIAL BREAKDOWN		
NORTH ELEVATION		
STONE	40.34%	
BRICK	24.54%	
STUCCO	35.12%	
SOUTH ELEVATION		
STONE	43.53%	
BRICK	10.60%	
STUCCO	45.19%	
EAST ELEVATION		
STONE	26.45%	
BRICK	14.93%	
STUCCO	58.62%	
WEST ELEVATION		
STONE	18.55%	
BRICK	16.50%	
STUCCO	64.83%	
TOTAL BUILDING		
STONE	35.16%	
BRICK	17.20%	
STUCCO	47.64%	
TOTAL GLASS		
	22.09%	

LEGEND		
MATERIAL	MANUFACTURER & COLOR	
A	STONE	CORONADO STONE/VIRGINIA LEDGE-HILLSIDE
B	BRICK	ACME/DOVE GRAY
C	STUCCO	SHERWIN WILLIAMS/SW 7010 SITE WHITE
D	STUCCO	SHERWIN WILLIAMS/SW 7050 GRAY CLOUDS
E	STUCCO	SHERWIN WILLIAMS/SW 7021 CEILING BRIGHT
F	STUCCO	SHERWIN WILLIAMS/SW 7044 AMAZING GRAY
AWNINGS & STOREFRONT TO BE NATURAL ALUMINUM COLOR		



02-BUILDING B1 EAST ELEVATION - 2 STORY OFFICE
SCALE: 3/16" = 1'-0"



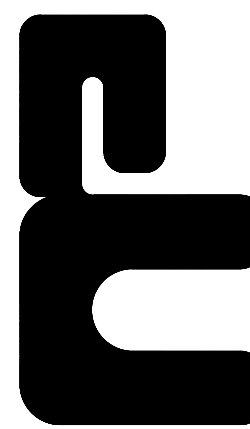
01-BUILDING B1 SOUTH ELEVATION - 2 STORY OFFICE
SCALE: 3/16" = 1'-0"

ZC#10-005C
EXHIBIT C.1

REVISIONS:

MANSFIELD OFFICE BUILDING
MATLOCK ROAD @ BROAD ST.
MANSFIELD, TEXAS

NORMAN PATTEN & ASSOC.



ARCHITECTURE & PLANNING

413 CEDAR ST. @ MAIN - CEDAR HILL, TX 75104 - 972/293 - 9929
npatten@flash.net

4-2-19
DATE:

1852
JOB NO.

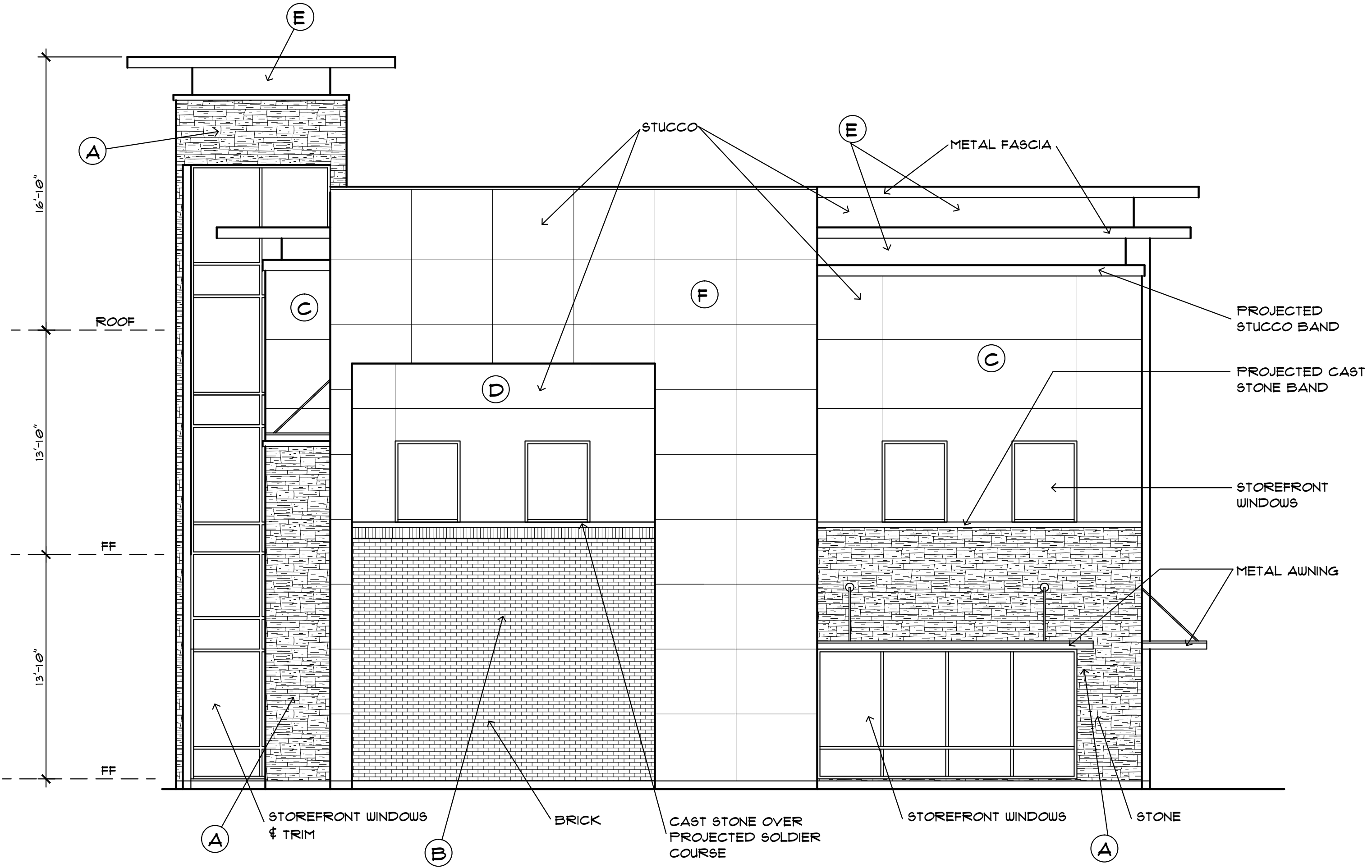
SHEET NO.

A2

BUILDING B1 MATERIAL BREAKDOWN	
NORTH ELEVATION	
STONE	40.34%
BRICK	24.54%
STUCCO	35.12%
SOUTH ELEVATION	
STONE	43.53%
BRICK	10.68%
STUCCO	45.79%
EAST ELEVATION	
STONE	26.45%
BRICK	14.33%
STUCCO	58.62%
WEST ELEVATION	
STONE	18.59%
BRICK	16.58%
STUCCO	64.83%
TOTAL BUILDING	
STONE	35.16%
BRICK	17.20%
STUCCO	47.64%
TOTAL GLASS	22.09%

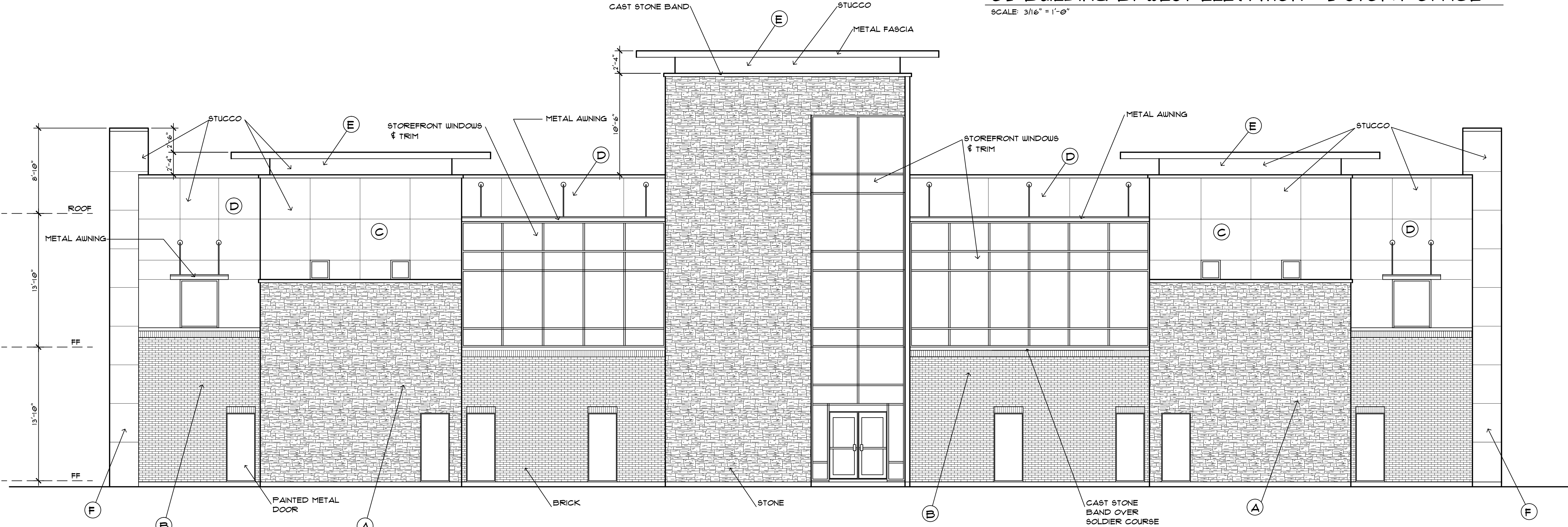
LEGEND	
MATERIAL	MANUFACTURER & COLOR
A STONE	CORONADO STONE/VIRGINIA LEDGE-HILLSIDE
B BRICK	ACHE/DOVE GRAY
C STUCCO	SHERWIN WILLIAMS/SW 1010 SITE WHITE
D STUCCO	SHERWIN WILLIAMS/SW 1658 GRAY CLOUDS
E STUCCO	SHERWIN WILLIAMS/SW 1001 CEILING BRIGHT
F STUCCO	SHERWIN WILLIAMS/SW 1044 AMAZING GRAY

AWNINGS & STOREFRONT TO BE NATURAL ALUMINUM COLOR



02-BUILDING B1 WEST ELEVATION - 2 STORY OFFICE

SCALE: 3/16" = 1'-0"



01-BUILDING B1 NORTH ELEVATION - 2 STORY OFFICE

SCALE: 3/16" = 1'-0"

ZC#10-005C
EXHIBIT C.2

REVISIONS:

MANSFIELD OFFICE BUILDING
MATLOCK ROAD @ BROAD ST.
MANSFIELD, TEXAS

NORMAN PATTEN & ASSOC.
ARCHITECTURE & PLANNING

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DATE:

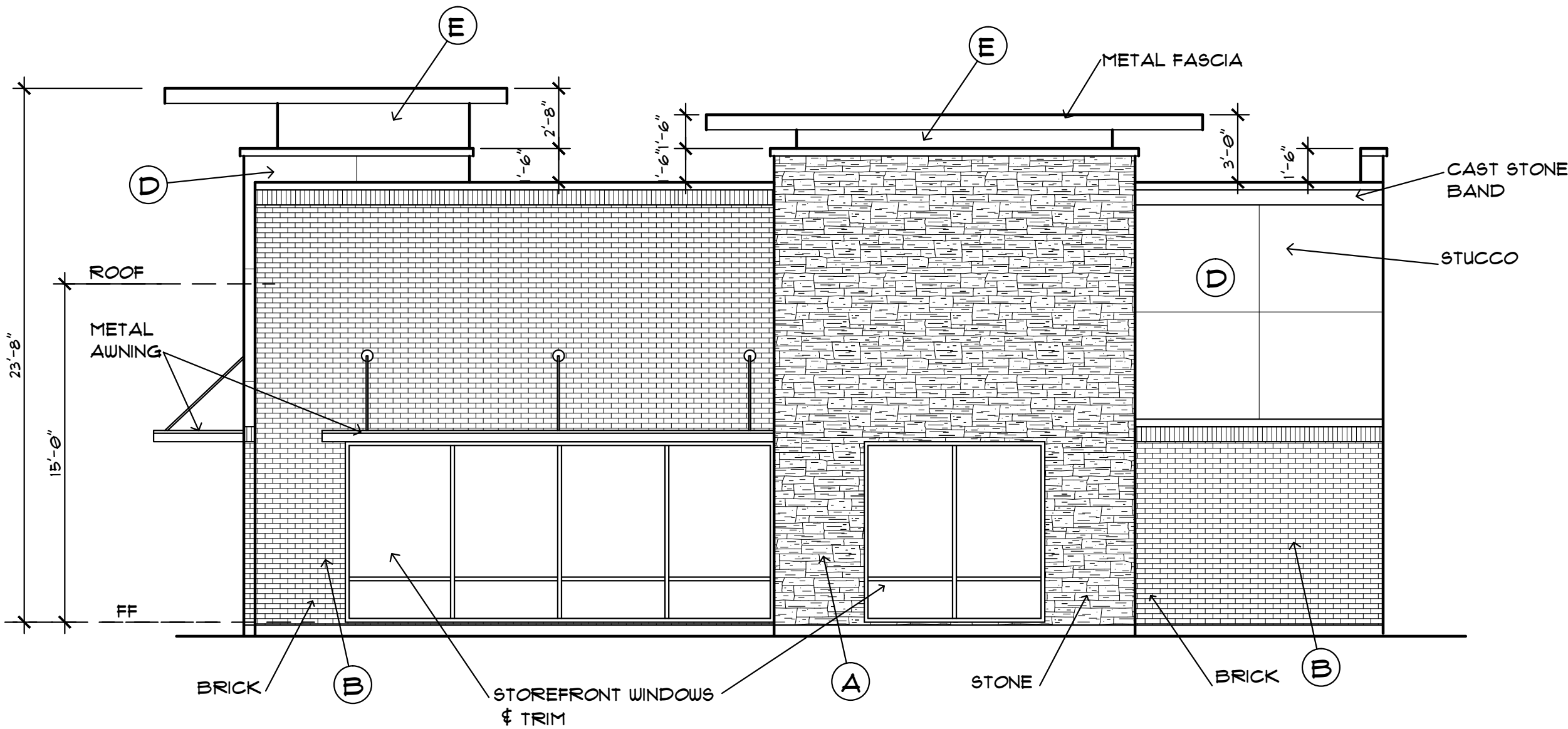
1852
JOB NO.

SHEET NO.

A3

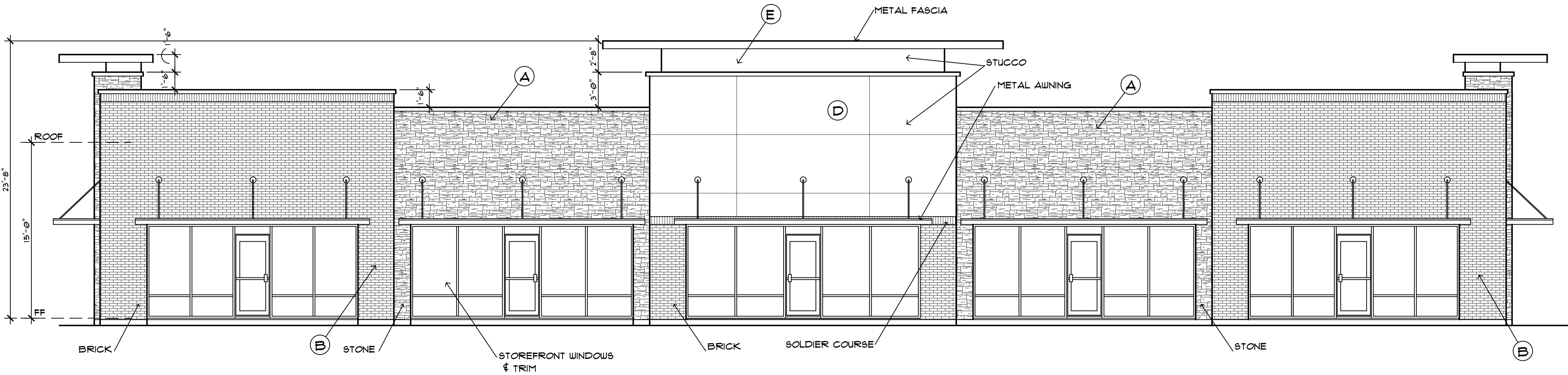
BUILDING B2 MATERIAL BREAKDOWN		
NORTH ELEVATION	STONE	32.18%
	BRICK	48.14%
	STUCCO	18.48%
SOUTH ELEVATION	STONE	32.18%
	BRICK	48.14%
	STUCCO	18.48%
EAST ELEVATION	STONE	1.23%
	BRICK	61.20%
	STUCCO	31.51%
WEST ELEVATION	STONE	30.88%
	BRICK	46.30%
	STUCCO	22.82%
TOTAL BUILDING	STONE	19.08%
	BRICK	53.24%
	STUCCO	21.11%
TOTAL GLASS		17.23%

LEGEND		
MATERIAL	MANUFACTURER & COLOR	
A	STONE	CORONADO STONE/VIRGINIA LEDGE-HILLSIDE
B	BRICK	ACME/DOVE GRAY
C	STUCCO	SHERWIN WILLIAMS/SW 1010 SITE WHITE
D	STUCCO	SHERWIN WILLIAMS/SW 1658 GRAY CLOUDS
E	STUCCO	SHERWIN WILLIAMS/SW 1001 CEILING BRIGHT
F	STUCCO	SHERWIN WILLIAMS/SW 1044 AMAZING GRAY
AWNINGS & STOREFRONT TO BE NATURAL ALUMINUM COLOR		



02-BUILDING B2 SOUTH ELEVATION - 1 STORY OFFICE

SCALE: 3/16" = 1'-0"



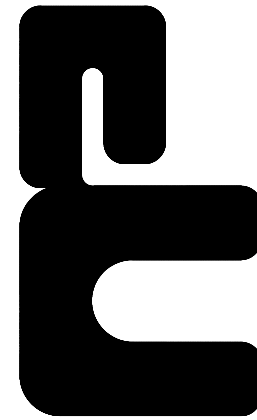
01-BUILDING B2 WEST ELEVATION - 1 STORY OFFICE

SCALE: 3/16" = 1'-0"

REVISIONS:

MANSFIELD OFFICE BUILDING
MATLOCK ROAD @ BROAD ST.
MANSFIELD, TEXAS

NORMAN PATTEN & ASSOC.



ARCHITECTURE & PLANNING

413 CEDAR ST. @ MAIN - CEDAR HILL, TX 75104 - 972/ 293 - 2929
npatten@flash.net

4-2-19
DATE:

1852
JOB NO.

SHEET NO.

A4

ZC#10-005C
EXHIBIT C.3

REVISIONS:

MANSFIELD OFFICE BUILDING
MATLOCK ROAD @ BROAD ST.
MANSFIELD, TEXAS

NORMAN PATTEN & ASSOC.
ARCHITECTURE & PLANNING

np

413 CEDAR ST. @ MAIN - CEDAR HILL, TX 75104 - 972/ 993 - 9929
npatten@flash.net

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DATE:

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JOB NO.

SHEET NO.

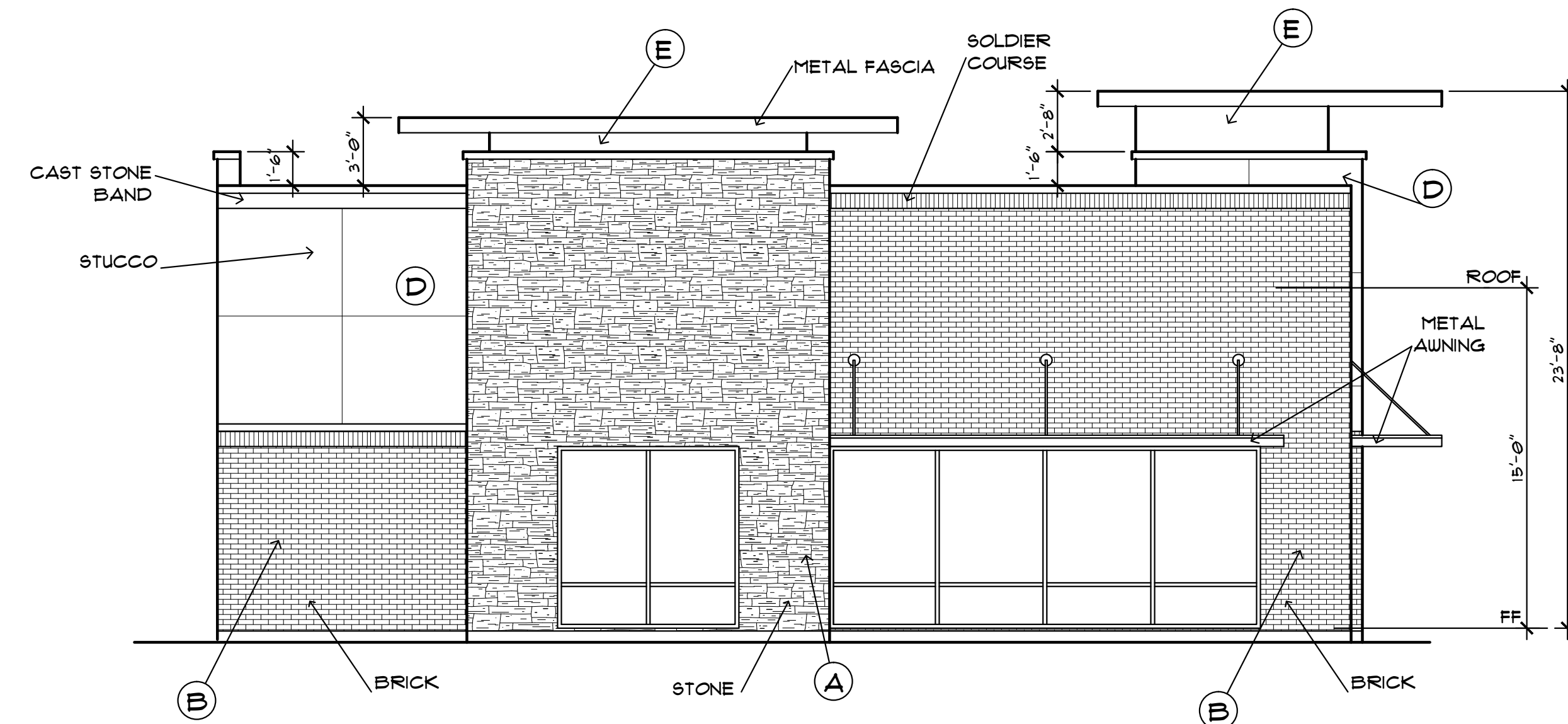
A5

BUILDING B2 MATERIAL BREAKDOWN	
NORTH ELEVATION	
STONE	32.18%
BRICK	48.14%
STUCCO	18.48%
SOUTH ELEVATION	
STONE	32.18%
BRICK	48.14%
STUCCO	18.48%
EAST ELEVATION	
STONE	1.23%
BRICK	61.20%
STUCCO	37.57%
WEST ELEVATION	
STONE	30.88%
BRICK	46.30%
STUCCO	22.82%
TOTAL BUILDING	
STONE	19.08%
BRICK	53.24%
STUCCO	27.71%
TOTAL GLASS	17.23%

LEGEND

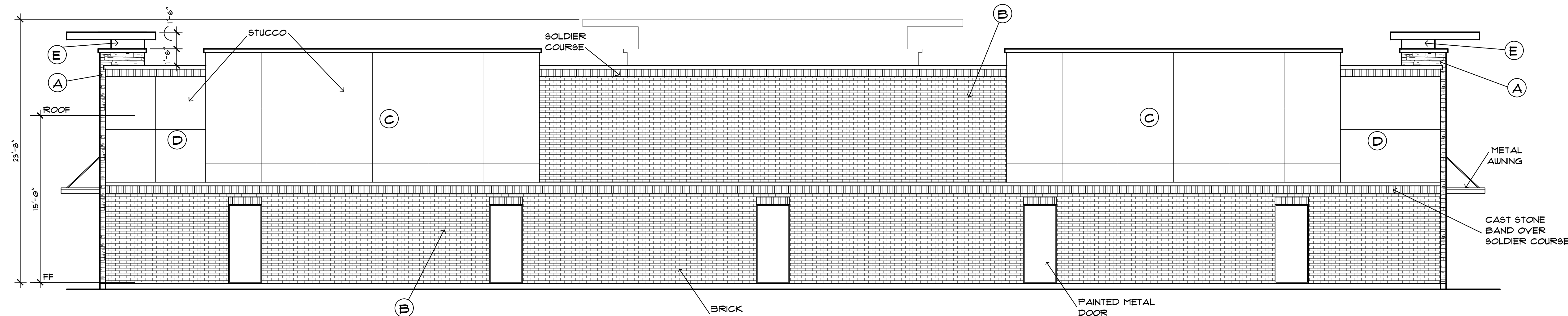
MATERIAL	MANUFACTURER & COLOR
A STONE	CORONADO STONE/VIRGINIA LEDGE-HILLSIDE
B BRICK	ACME/DOVE GRAY
C STUCCO	SHERWIN WILLIAMS/SW 1010 SITE WHITE
D STUCCO	SHERWIN WILLIAMS/SW 1658 GRAY CLOUDS
E STUCCO	SHERWIN WILLIAMS/SW 1001 CEILING BRIGHT
F STUCCO	SHERWIN WILLIAMS/SW 1044 AMAZING GRAY

AWNING & STOREFRONT TO BE NATURAL ALUMINUM COLOR



02-BUILDING B2 NORTH ELEVATION - 1 STORY OFFICE

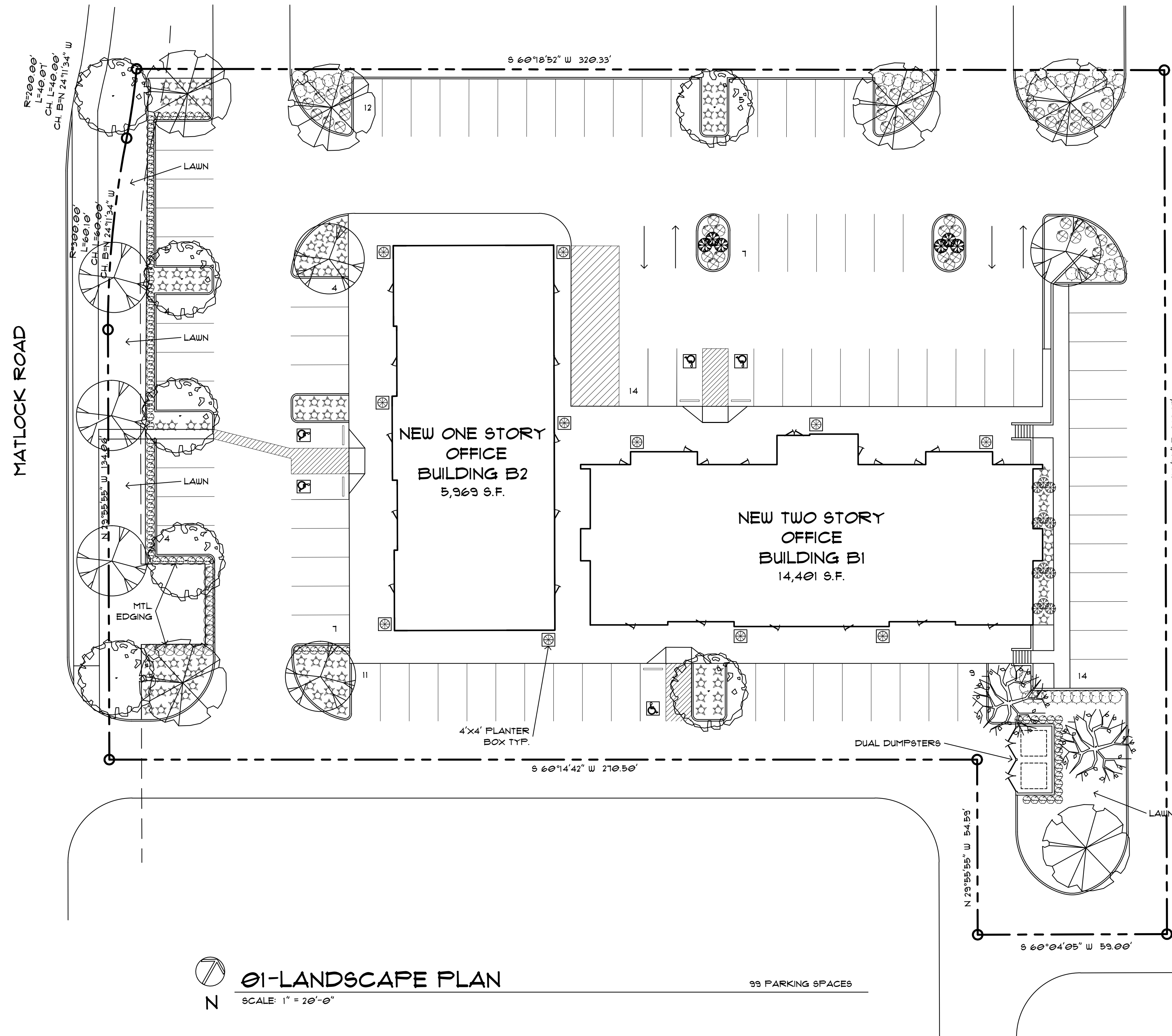
SCALE: 3/16" = 1'-0"



01-BUILDING B2 EAST ELEVATION - 1 STORY OFFICE

SCALE: 3/16" = 1'-0"

ZC#10-005C
EXHIBIT C.4



01-LANDSCAPE PLAN
SCALE: 1" = 20'-0"

99 PARKING SPACES

PLANT LEGEND					
KEY	COMMON NAME	SCIENTIFIC NAME	SIZE	QTY	SPACING
	LIVE OAK	QUERCUS VIRGINIANA	5"	6	AS SHOWN
	RED OAK	QUERCUS SHUMARDII	5"	6	AS SHOWN
	CEDAR ELM	ULMUS CRASSIFOLIA	5"	1	AS SHOWN
	BRODIE EASTERN RED CEDAR	JUNIPERUS VIRGINIANA BRODIE	3"	2	AS SHOWN
	CRAPE MYRTLE	INDICA	3 - 1" CANES	6	AS SHOWN
	MANEY CHINESE JUNIPERS	JUNIPERUS CHINENSIS 'MANEY'	5 GAL	58	3' O.C.
	JUNIPERUS BLUE POINT	JUNIPERUS CHINENSIS	3"	11	AS SHOWN
	DWARF BURFORD HOLLY	ILEX CORNUTA	5 GAL	122	24" O.C.
	DWARF NANDINA	NANDINA DOMESTICA	5 GAL	645	18" O.C.
	DWARF YAUPOH HOLLY	ILEX VOMITORIA NANA	5 GAL	93	AS SHOWN
	BERMUDA LAWN	CYNODON DACTYLON	SOD SEED	—	AS SHOWN

AREA TABULATIONS	
LOT AREA	= 13,824 S.F. (0.695 ACRES)
IMPERVIOUS AREA	= 68,081 S.F.
LANDSCAPE AREA	= 9,143 S.F.
FRONT ZONE DOUBLE ROW TREES @ 36' O.C.	= 10 TREES
PARKING LOT TREES REQ. @ 11/10 SPACES	= 10 TREES
PARKING LOT TREES PROVIDED	= 12 TREES
PLANTER BOX TREES @ SIDEWALK	= 11 TREES
TOTAL SITE TREES PROVIDED	= 48 TREES

REVISIONS:

MANSFIELD OFFICE BUILDING
MATLOCK ROAD @ BROAD ST.
MANSFIELD, TEXAS

NORMAN PATTEN & ASSOC.
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4-2-19
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1852
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SHEET NO.
L1

ZC#10-005C
EXHIBIT D