



CITY OF MANSFIELD

1200 E. Broad St.
Mansfield, TX 76063
mansfieldtexas.gov

Meeting Agenda Planning and Zoning Commission

Monday, February 5, 2024

6:00 PM

City Hall Council Chambers

1. **CALL TO ORDER**

2. **INVOCATION**

3. **PLEDGE OF ALLEGIANCE**

4. **TEXAS PLEDGE**

5. **APPROVAL OF MINUTES**

[24-5857](#)

Minutes - Approval of the January 23, 2024, Planning and Zoning Commission Meeting Minutes

Attachments: [1-23-24 DRAFT Minutes](#)

6. **CITIZENS COMMENTS**

Citizens wishing to address the Commission on non-public hearing agenda items and items not on the agenda may do so at this time. Once the business portion of the meeting begins, only comments related to public hearings will be heard. All comments are limited to 5 minutes.

In order to be recognized during the "Citizens Comments" or during a public hearing (applicants included), please complete a blue "Appearance Card" located at the entry to the Chambers and present it to the Planning Secretary.

7. **PUBLIC HEARINGS**

[24-5846](#)

Public Hearing on a Change of Zoning from SF-12/22 Single-Family Residential District to PD Planned Development District for Attached Single-Family Residential (Rowhouse) Uses on Approximately 2.794 Acres out of the Henry McGehee Survey, Abstract No. 989, Tarrant County, TX, located at 1225 E Debbie Ln. 5E Real Estate, Developer (ZC#23-026)

Attachments: [Maps and Supporting Information](#)

[Exhibits A-D](#)

[24-5847](#)

Public Hearing on a Change of Zoning from PD Planned Development District for Single-Family to PD Planned Development District for detached and attached single-family residential (rowhouse) uses on approximately 11.621 acres out of the T. Hanks Survey, Abstract No. 644 and the M. Dickey Survey Abstract No. 1986 Tarrant County, TX, located at 801 Lillian

Rd. and 1340 W. Broad St. Josephdam Real Estate, Developer
(ZC#23-016)

Attachments: [Maps and Supporting Information](#)

[Exhibits](#)

8. **SUMMARY OF CITY COUNCIL ACTIONS**
9. **COMMISSION ANNOUNCEMENTS**
10. **STAFF ANNOUNCEMENTS**
11. **ADJOURNMENT OF MEETING**
12. **NEXT MEETING DATE: Monday, February 19, 2024**

I certify that the above agenda was posted on the bulletin board next to the main entrance of City Hall on February 2, 2024, prior to 5:00 p.m. in accordance with Chapter 551 of the Texas Government Code.

Clarissa Carrasco, Administrative Assistant II

* This building is wheelchair accessible. Disabled parking spaces are available. Request for sign interpreter services must be made 48 hours ahead of meeting to make arrangements. Call 817 473-0211 or TDD 1-800-RELAY TX,

* In deciding a zoning change application, the Planning & Zoning Commission and City Council are required to determine the highest and best use of the property in question. The Commission may recommend and the Council may approve a change in zoning to the category or district requested by the applicant or to any zoning category or district of lesser intensity. Notice is presumed sufficient for every District up to the intensity set forth in the zoning change application.



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STAFF REPORT

File Number: 24-5857

Agenda Date: 2/5/2024

Version: 1

Status: Approval of Minutes

In Control: Planning and Zoning Commission

File Type: Meeting Minutes

Agenda Number:

Title

Minutes - Approval of the January 23, 2024, Planning and Zoning Commission Meeting Minutes



CITY OF MANSFIELD

1200 E. Broad St.
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Meeting Minutes - Draft

Planning and Zoning Commission

Tuesday, January 23, 2024

6:00 PM

City Hall Council Chambers

1. CALL TO ORDER

Chair Mainer called the meeting to order at 6:04 p.m. in the City Council Chambers of City Hall, 1200 East Broad Street, with the meeting being open to the public and notice of said meeting, giving the date, place, and subject thereof, having been posted as prescribed by Chapter 551, Texas Government Code.

Staff present:

*Executive Director of Planning and Development Services Jason Alexander
Director of Engineering Services Raymond Coffman
Assistant Director of Planning Arty Wheaton-Rodriguez
Administrative Assistant II Clarissa Carrasco*

Commissioners:

Present 7 - Blake Axen; Jennifer Thompson; Brandon Shaw; David Goodwin; Michael Mainer; Michael Bennett and Patrick Moses

2. INVOCATION

Commissioner Goodwin gave the invocation.

3. PLEDGE OF ALLEGIANCE

4. TEXAS PLEDGE

5. APPROVAL OF MINUTES

[24-5836](#)

Minutes - Approval of the December 4, 2023, Planning and Zoning Commission Meeting Minutes

Commissioner Shaw made a motion to approve the meeting minutes as presented. Vice Chair Axen seconded the motion which carried by the following vote:

Aye: 6 - Blake Axen; Jennifer Thompson; Brandon Shaw; Michael Mainer; Michael Bennett and Patrick Moses

Nay: 0

Abstain: 1 - David Goodwin

6. CITIZENS COMMENTS

There were no citizen comments.

7. PUBLIC HEARINGS

[24-5837](#)

Public Hearing to Consider proposed amendments of Chapter 155 of the Mansfield Code of Ordinances to revise Section 155.054(B), "Permitted Use Table", permitting donation boxes as an accessory use by right in the 2F, MF-1, MF-2, O-P, C-1, C-2, C-3, I-1, and I-2 Districts and to amend the regulations in Section 155.099(B)(40) related to donation boxes (OA#24-001)

Mr. Alexander gave a presentation on the proposed ordinance amendment and was available to answer any questions.

Chair Mainer opened the public hearing at 6:16 p.m. and called for anyone wishing to speak to come forward.

Seeing no one come forward to speak, Chair Mainer closed the public hearing at 6:17 p.m.

Commissioner Goodwin made a motion to approve the ordinance amendment as presented. Commissioner Moses seconded the motion which carried by the following vote:

Aye: 7 - Blake Axen; Jennifer Thompson; Brandon Shaw; David Goodwin; Michael Mainer; Michael Bennett and Patrick Moses

Nay: 0

Abstain: 0

[24-5825](#)

Public Hearing on a Change of Zoning from PR, Pre-Development District to PD, Planned Development District for a mixed lot single-family residential development on 32.352 acres out of the James McDonald Survey, Abstract No. 997, Tarrant County, TX, located at 1970 N Main. Kinney Family Living Trust, owner, Arcadia Realty Corp., Developer (ZC#23-018)

Mr. Wheaton-Rodriguez presented the zoning case and was available to answer any questions.

Alex Hodge, applicant, Arcadia Realty Corp., gave a presentation on the case and was available to answer any questions.

William Gietema, applicant, Arcadia Realty Corp., also gave a presentation on the case and was available to answer any questions.

Chair Mainer opened the public hearing at 7:07 p.m. and called for anyone wishing to speak to come forward.

Chair Mainer had a non-speaker card for this case:

Maninderjit Rai, 1981 North Main Street, in favor of this project.

Seeing no one else come forward to speak, Chair Mainer closed the public hearing at 7:07 p.m.

Commissioner Shaw made a motion to approve the zoning change with the following conditions:

1. Require all township lots to have a porch or stoop in addition to other exterior features that may encroach into building setbacks.
2. That the proposed language for the PD, Planned Development District be revised to reflect language that “all exterior walls of a single building shall maintain a uniform level of quality in materials and detailing, including trim”.
3. That the proposed language for the PD, Planned Development District be revised to reflect language that accessory dwelling units be designed and constructed in accordance with applicable provisions in the Mansfield Zoning Ordinance and that all proposed language inconsistent with the regulations provided in the Mansfield Zoning Ordinance be deleted.
4. That the proposed language for the PD, Planned Development District be revised to reflect language that adequately defines building height (or story), and that the minimum height of the first story as measured from finished floor to finished ceiling be nine (9) feet.
5. That the proposed language for the PD, Planned Development District include additional details for stucco (e.g., if the material will be masonry and the type of finish).
6. That all retaining walls, where visible from a thoroughfare or open space area be constructed of brick or stone or faced with brick or stone veneer.

Commissioner Moses seconded the motion which carried by the following vote:

Aye: 7 - Blake Axen; Jennifer Thompson; Brandon Shaw; David Goodwin; Michael Mainer; Michael Bennett and Patrick Moses

Nay: 0

Abstain: 0

8. NEW BUSINESS

[24-5835](#)

Consider Proposed Revisions to the City of Mansfield Standard Construction Details (January 2024)

Mr. Coffman presented the proposed revisions to the standard construction details and was available to answer any questions.

Vice Chair Axen made a motion to approve the revision to the standard construction details. Commissioner Goodwin seconded the motion which carried by the following vote:

Aye: 7 - Blake Axen; Jennifer Thompson; Brandon Shaw; David Goodwin; Michael Mainer; Michael Bennett and Patrick Moses

Nay: 0

Abstain: 0

9. SUMMARY OF CITY COUNCIL ACTIONS

Mr. Alexander summarized the actions from the previous City Council meetings.

10. COMMISSION ANNOUNCEMENTS

There were no commissioner announcements.

11. STAFF ANNOUNCEMENTS

There were no staff announcements.

12. ADJOURNMENT OF MEETING

Vice Chair Axen made a motion to adjourn the meeting. Commissioner Shaw seconded the motion which carried by the following vote:

Aye: 7 - Blake Axen; Jennifer Thompson; Brandon Shaw; David Goodwin; Michael Mainer; Michael Bennett and Patrick Moses

Nay: 0

Abstain: 0

With no further business, Chair Mainer adjourned the meeting at 8:30 p.m.

Michael Mainer, Chair

Clarissa Carrasco, Administrative Assistant II



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STAFF REPORT

File Number: 24-5846

Agenda Date: 2/5/2024

Version: 1

Status: Public Hearing

In Control: Planning and Zoning Commission

File Type: Zoning Case

Agenda Number:

Title

Public Hearing on a Change of Zoning from SF-12/22 Single-Family Residential District to PD Planned Development District for Attached Single-Family Residential (Rowhouse) Uses on Approximately 2.794 Acres out of the Henry McGehee Survey, Abstract No. 989, Tarrant County, TX, located at 1225 E Debbie Ln. 5E Real Estate, Developer (ZC#23-026)

Requested Action:

To consider the subject zoning change request.

Recommendation:

If approved, the Department of Planning and Development Services would encourage consideration of the following conditions:

1. That all windows fronting a thoroughfare or a civic space use vertically proportioned panes. This architectural detail is consistent with the local architectural vernacular found within the D, Downtown District, the S, South Mansfield Form-Based Development District, and the other PD, Planned Development Districts that have been recently approved throughout the City of Mansfield.
2. That the minimum height of the first story of each row house dwelling be nine (9) feet.

Description/History

Existing Use: Vacant

Existing Zoning: SF 12/22, Single Family Residential District

Mansfield 2040 Land Use Designation: Mixed-Use Local

Surrounding Land Use & Zoning:

North: Existing Multi-family Residential, MF-2, Multi-family Residential District

South: Existing Commercial, C-2, Community Business District

East: Existing Commercial, C-2, Community Business District

West: Existing Single Family Residential, SF 7.5/16, Single-family Residential District

Synopsis

The requested zoning for this property --- PD, Planned Development District --- is consistent with the vision and recommendations found in the recently adopted Mansfield 2040 Future Land Use Plan. The subject property is designated as Mixed-Use Local and,

as such, the proposed development intends to deliver attached single-family (i.e., row house) dwellings that are appropriate in scale and intensity with established residences and provide a mix of uses within an existing large commercial tract. The development emphasizes placemaking and the pedestrian experience through public and private amenities. As a landlocked property, connections to the surrounding commercial uses occur at the only existing access; and, that while not ideal, serves as a direct connection to the existing commercial uses surrounding the property. The project serves not only as a provider of missing middle housing within an existing developed pattern, but also how to integrate infill residential activity in a purposeful manner that intelligently expands the tax base without substantially increasing infrastructure expansion and maintenance costs.

Mansfield 2040 Goals and Strategies

NH.1: Encourage Inclusive Housing Options (Allows inclusive housing options: townhomes)

NH.2: Support Our Existing Neighborhoods (Establishes infill development that focuses on compatibility in scale and density with surrounding developments)

MU.1: Support Vibrant Intensity (Consider high-intensity residential developments when paired with horizontally integrated nonresidential)

Analysis

The subject property consists of a single tract of land located in Tarrant County totaling approximately 2.494 acres. The developer is proposing to build a maximum of 25 row house units in both 2- and 3-story models. The proposed 2-story homes will be set along the western edge of the property to ensure a transition between existing single-family and this site. The site is challenging for development in a conventional manner --- as it is the landlocked remaining portion of property between the larger grocery store and retail center at the northwest intersection of East Debbie Lane and Matlock Road. During the development of the grocery store and retail center, a remainder portion of SF 12/22, Single-Family Residential District zoning designation remained at the rear of the commercial development without intentional vehicular or pedestrian connections to the existing multi-family to the north or the single-family development west of the site.

To work within the constraints these site conditions, the proposed development seeks to create a small community of row houses that surround a shared green space (civic space) within its center. All units face into the provided civic space and garage and guest parking access is provided via an alley that circles the outside of the units. The civic space includes tree lined pathways with park benches, tables, pavilion and a fountain near the entrance of the space. A little over 36 percent of the overall site is dedicated to landscaping.

The row homes utilize brick, stone, or stucco construction for the exterior of the buildings. The provided elevations (please refer to Exhibit E) provide standards for cornice details, building material mix, frontages (e.g., dooryards, patios, porches, and stoops) as well as outlines the elevated architectural standards for "High Visibility Elevations", which have been identified on the site plan to ensure that those elevations that face open areas remain articulated and visually interesting.

Plat Review Committee:

The Plat Review Committee is composed of representatives of an inter-departmental group of staff that reviews all zoning and platting applications for completeness and compliance with city ordinances and design criteria. No remaining comments are present from the committee.

Attachments:

Maps and Supporting Information

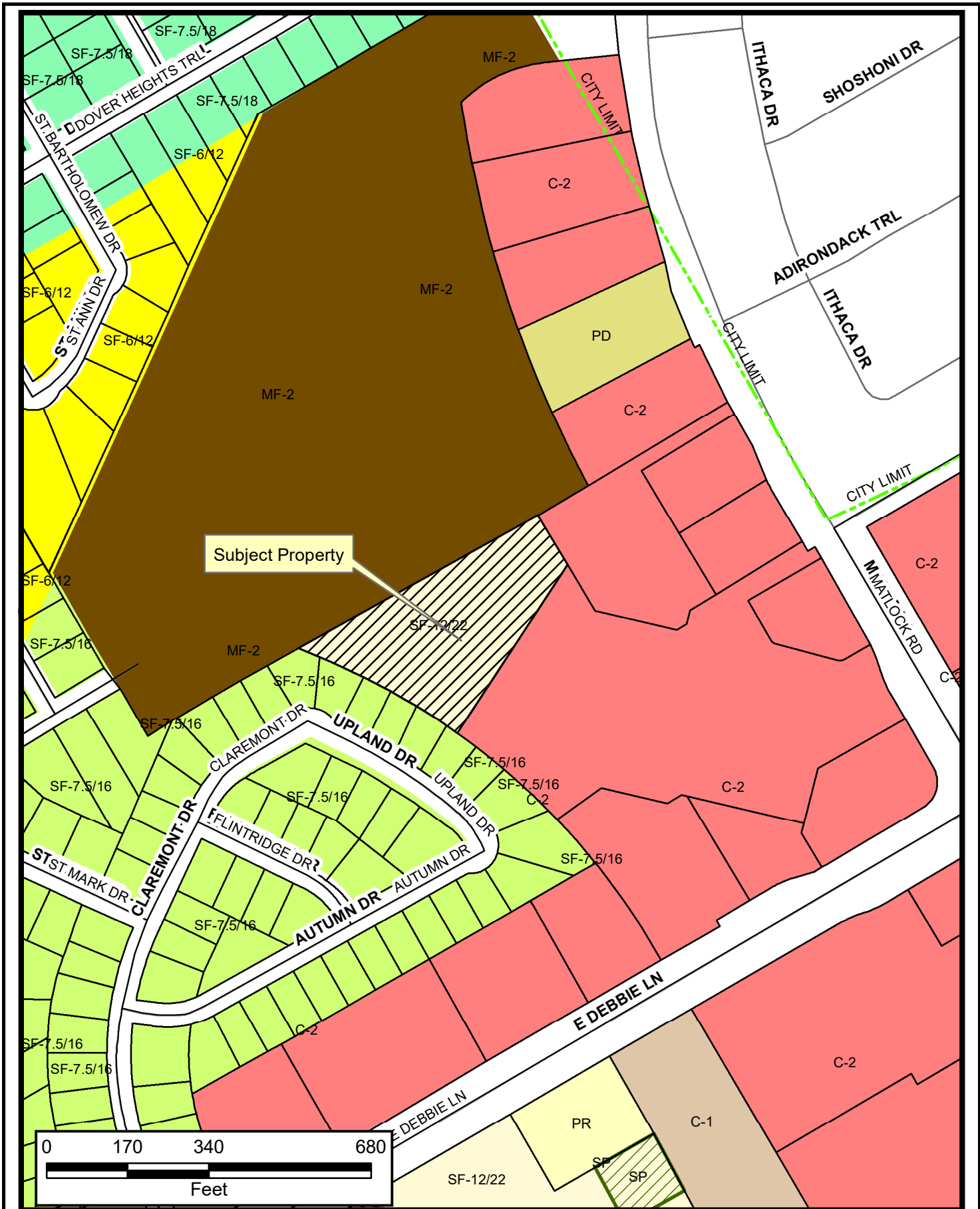
Exhibits A-D



ZC#23-026

This information is for illustrative purposes only. Not for design or development purposes. Site-specific studies may be required to obtain accurate feature locations. Every effort is made to ensure the information displayed here is accurate; however, the City of Mansfield makes no claims to its accuracy or completeness.

1/24/2024



ZC#23-026

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1/24/2024

Property Owner Notification for ZC#23-026

LEGAL DESC 1	LEGAL DESC 2	OWNER NAME	OWNER ADDRESS	CITY	ZIP
			*** NO ADDRESS ***	*** NO CITY ***	* NO ZIP *
CLAREMONT ESTATES ADDITION	BLK 2	ADETULA, HENRY F	2917 CLAREMONT DR	MANSFIELD, TX	76063-7945
CLAREMONT ESTATES ADDITION	BLK 2	TURNER, THANYAPORN	3014 UPLAND DR	MANSFIELD, TX	76063
CLAREMONT ESTATES ADDITION	BLK 2	AWADI, MAHMOD	2915 CLAREMONT DR	MANSFIELD, TX	76063-7945
CLAREMONT ESTATES ADDITION	BLK 2	DREAMLAND PROPERTIES LLC	PO BOX 572731	HOUSTON, TX	77257
CLAREMONT ESTATES ADDITION	BLK 2	SINGH, UNDEDEEP	2805 ST MARIA DR	MANSFIELD, TX	76063
CLAREMONT ESTATES ADDITION	BLK 2	HOWARD, RICKEY L	3010 UPLAND DR	MANSFIELD, TX	76063-7946
CLAREMONT ESTATES ADDITION	BLK 2	DAVIS, JEFFREY L	3008 UPLAND DR	MANSFIELD, TX	76063-7946
CLAREMONT ESTATES ADDITION	BLK 2	EZE, APOLLOS	1605 SHERIDAN BLVD APT 60	LAKEWOOD, CO	80214
CLAREMONT ESTATES ADDITION	BLK 2	BATTS, GLEN	3004 UPLAND DR	MANSFIELD, TX	76063-7946
CLAREMONT ESTATES ADDITION	BLK 2	LONGACRE, NITTHAKARN	3002 UPLAND DR	MANSFIELD, TX	76063
CLAREMONT ESTATES ADDITION	BLK 3	TORRES, ELEAZAR	3009 UPLAND DR	MANSFIELD, TX	76063-7947
CLAREMONT ESTATES ADDITION	BLK 3	GERGES, SHERIF	3007 UPLAND DR	MANSFIELD, TX	76063
CLAREMONT ESTATES ADDITION	BLK 3	LAM, TU T	3005 UPLAND DR	MANSFIELD, TX	76063-7947
CLAREMONT ESTATES ADDITION	BLK 3	2018-4 IH BORROWER LP	1717 MAIN ST STE 2000	DALLAS, TX	75201
CLAREMONT ESTATES ADDITION	BLK 3	PROUDHORSE, BILLY	3001 UPLAND DR	MANSFIELD, TX	76063
MANSFIELD CROSSING SHOP CENTER	BLK	KROGER TEXAS LP (035)	1014 VINE ST 7TH FL	CINCINNATI, OH	45202
MCGEHEE, HENRY SURVEY	A 998	5E REAL ESTATE LLC	1222 E ARAPAHO SUITE 331	RICHARDSON, TX	75081
THOMAS, J M ADDITION	LOT 4	BLUE ATLANTIC WALNUT CREEK LP	1025 KANE CONCOURSE STE 215	MIAMI BEACH, FL	33154

Property Owner Notification for ZC#23-026

LEGAL DESC 1	LEGAL DESC 2	OWNER NAME	OWNER ADDRESS	CITY	ZIP
THOMAS, J M ADDITION	LOT 7	ZAXBY'S PROPERTIES LLC	1040 FOUNDERS BLVD	ATHENS, GA	30606

PLANNED DEVELOPMENT BOUNDARY DESCRIPTION

108,655 SQUARE FEET/2.494 ACRES

HENRY McGEHEE. SURVEY, ABSTRACT NO. 989

CITY OF MANSFIELD, TARRANT COUNTY, TEXAS

BEING a called 2.494 acre tract of land situated in the **HENRY MCGEHEE SURVEY, ABSTRACT NO. 989**, City of Mansfield, Tarrant County, Texas and being all of that certain tract of land described as Tract 1 in a General Warranty Deed recorded in Instrument No. D223055799 of the Official Public Records of Tarrant County, Texas (O.P.R.T.C.T.) and being more particularly described as follows:

BEGINNING at a "V" cut found at the northeast corner of said Tract 1, same being the most northerly northwest corner of Lot 4R1 of Mansfield Crossing Shopping Center, an addition to the City of Mansfield, per plat recorded in Instrument No. D214214081 (O.P.R.T.C.T.), same also being in the south line of Lot 4 of the J.M. Thomas Addition, an addition to the City of Mansfield, per plat recorded in Cabinet H, Slide 7447 of the Plat Records of Tarrant County Texas (P.R.T.C.T.);

THENCE leaving the south line of said J.M. Thomas Addition, over and across said Lot 4R1 the following courses and distances:

South 30 degrees 27 minutes 49 seconds East, a distance of 120.02 feet to a 1/2 inch iron rod found for the west corner of said Tract 1, same being an inside ell corner of said Lot 4R1;

South 33 degrees 37 minutes 24 seconds West, a distance of 422.31 feet to a point for corner in the southwest line of said Mansfield Crossing Shopping Center, same being the common northeast line of Claremont Estates, an addition to the City of Mansfield, per plat recorded in Cabinet A, Slide 5875 (P.R.T.C.T.), and also being the beginning of a non-tangent curve to the left having a radius of 1262.79 feet, a central angle of 9 degrees 10 minutes 23 seconds, and a chord that bears North 60 degrees 57 minutes 03 seconds West, a distance of 201.95 feet;

THENCE along said common line and said curve to the left, an arc distance of 202.17 feet to a point for corner;

THENCE North 65 degrees 14 minutes 07 seconds West, continuing along the northeast line of said Claremont Estates, a distance of 160.41 to a 5/8 inch iron rod found at the west corner of said Tract 1, same being the north corner of Lot 9, block 2 of said Claremont Estates, same also being the common south line of said J.M. Thomas Addition;

PLANNED DEVELOPMENT BOUNDARY DESCRIPTION

108,655 SQUARE FEET/2.494 ACRES

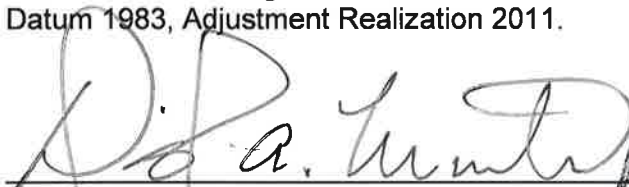
HENRY McGEHEE. SURVEY, ABSTRACT NO. 989

CITY OF MANSFIELD, TARRANT COUNTY, TEXAS

THENCE North 59 degrees 39 minutes 33 seconds East, along the north line of said Tract 1, same being the common south line said J.M. Thomas Addition, a distance of 573.80 feet to the **POINT OF BEGINNING** and containing 2.494 acres (108,655 square feet) of land, more or less.

THIS DOCUMENT WAS PREPARED UNDER 22 TAC §663.21 AND IS NOT TO BE USED TO CONVEY OR ESTABLISH INTERESTS IN THE REAL PROPERTY EXCEPT THOSE RIGHTS AND INTERESTS IMPLIED OR ESTABLISHED BY THE CREATION OR RECONFIGURATION OF THE BOUNDARY OF THE POLITICAL SUBDIVISION FOR WHICH IT WAS PREPARED.

The Basis of Bearing is the State Plane Coordinate System, Texas North Central Zone 4202, North American Datum 1983, Adjustment Realization 2011.



David A. Minton
Registered Professional Land Surveyor
Texas Registration No. 6233

Date



Exhibit B – Planned Development Standards

Case ZC 23-026

A. GENERAL:

1. The existing provisions of the City of Mansfield, Texas Zoning Ordinance shall continue to be applicable to issues not covered by these PD, planned development district standards for Arcadia Park Townhomes.
2. In the event of a conflict between these PD planned development district standards and those of the City of Mansfield Texas Zoning Ordinance, as amended, the provisions set forth herein shall take precedence.
3. In the event of a conflict between these PD, Planned Development District standards and any of its illustrations, photographs, and other exhibits, including the site plan, that are attached thereto, and that are specified elsewhere in text, the standards that are set forth herein in the text shall prevail.
4. That the appeals process for this PD, Planned Development District, follow the considerations and procedures as set forth in Section 155.066 of the Mansfield Zoning Ordinance.

B. SITE DESIGN:

1. A walking path shall be provided to and through a courtyard area at the center of the development. This open space shall be enclosed on all sides with the exception of openings for pedestrian access by the residential units.
2. The residential units shall be accessed through a common access easement with a 24-foot wide concrete paved section. Parking areas will be provided at various areas along the access easement in addition to the two car garage parking at each unit in order to exceed the City's parking goal of 2 spaces per unit.

All setbacks shall be as defined on the Development Plan.

C. GARAGE ORIENTATION:

All townhome lots within Arcadia Park Townhomes shall be served by common access easement at the rear of each unit.

D. LANDSCAPING

Landscaping shall be as presented on the site landscape plan.

E. ELEVATION CONTROLS

In order to encourage architectural variety on a continuous block, the building facades for the townhouses will have slightly alternating elevations/materials on either side of the central courtyard. A different combination or an intermix of materials or color shall be incorporated for the townhomes within these parameters.

F. HOMEOWNERS ASSOCIATION:

A Homeowners Association ("HOA") shall be incorporated, and each lot/homeowner shall be a mandatory member. The bylaws of this association shall establish a system of payment of dues; a system of enforcement of its rules and regulations; shall establish a clear and distinct definition of the responsibility of each member; and other provisions as deemed appropriate to secure a sound and stable association. In addition to maintaining all residential common areas, the HOA shall be responsible for maintaining the front yards and side yard space between buildings.

G. MINIMUM HOUSE SIZES:

The minimum floor area for each home shall be 1,500 square feet.

H. ARCHITECTURAL STANDARDS:

1. Masonry Requirements: With the exception of openings for doors and windows only, a minimum of 80 percent of each building wall shall be fired-clay brick, cast stone, stone, or stucco. In addition:
 - a. Exterior insulated finishing systems (E.I.F.S.) is not a permitted material.
 - b. Doors and windows shall be recessed a minimum of three (3) inches in building facades constructed of brick or stone. Flush mounted windows shall be allowed at stucco or siding.

2. Required Architectural Features for Dwellings Only:

a. Each dwelling shall be required to provide a dooryard, a patio, a porch, or a stoop along the front building façade.

b. All dooryards, patios, porches, and stoops shall be designed and constructed as provided below:

i. Patios:

- All patios, where provided, shall be a minimum of 50 square feet in area.
- Patio flooring shall be brick, poured concrete, or stone.

ii. Porches:

- All porches, where provided, shall be a minimum of 50 square feet in area.
- Porch flooring shall be brick, poured concrete, or stone.

Synthetic materials are permitted provided that they have the same appearance as the masonry materials.

iii. Stoops:

- All stoops, where provided, shall have minimum depth of four (4) feet.
- Stoops shall be constructed of brick or concrete.

Wrap-around porches shall be allowed to encroach up to three (3) feet into the side setback.

i. All corner dwellings at the intersection of two streets shall be required to have a wrap-around porch. The required wrap-around porch shall be at least one (1) story in height.

d. In addition to the requirement of a dooryard, a patio, a porch, or a stoop on the front building façade, each dwelling shall incorporate four or more of the following architectural features:

- i. Awning, canopy, porch, and/or trellis;
- ii. Balconies (a minimum of 50. square feet in total area);
- iii. Offsets between an adjacent building façade (a minimum 12 inches to receive credit);
- iv. Horizontal banding, molding or cornice;
- v. Front porch columns (all columns shall be a minimum of 6 inches in depth and width);
- vi. Horizontal banding across individual units of the building
- vii. A vertical architectural feature between units.

4. Roof Pitch:

Roofs shall be low-slope (i.e., flat). All flat roofs shall be enclosed on all sides by a parapet wall. Roofs for patios, porches, and stoops may be shed roof, and a minimum of 3:12.

5. Windows:

All openings for doors and windows shall be vertical in orientation and rectangular in proportion where visible from streets and civic spaces. 25 percent of windows may be in a square proportion.

6. Fencing Requirements:

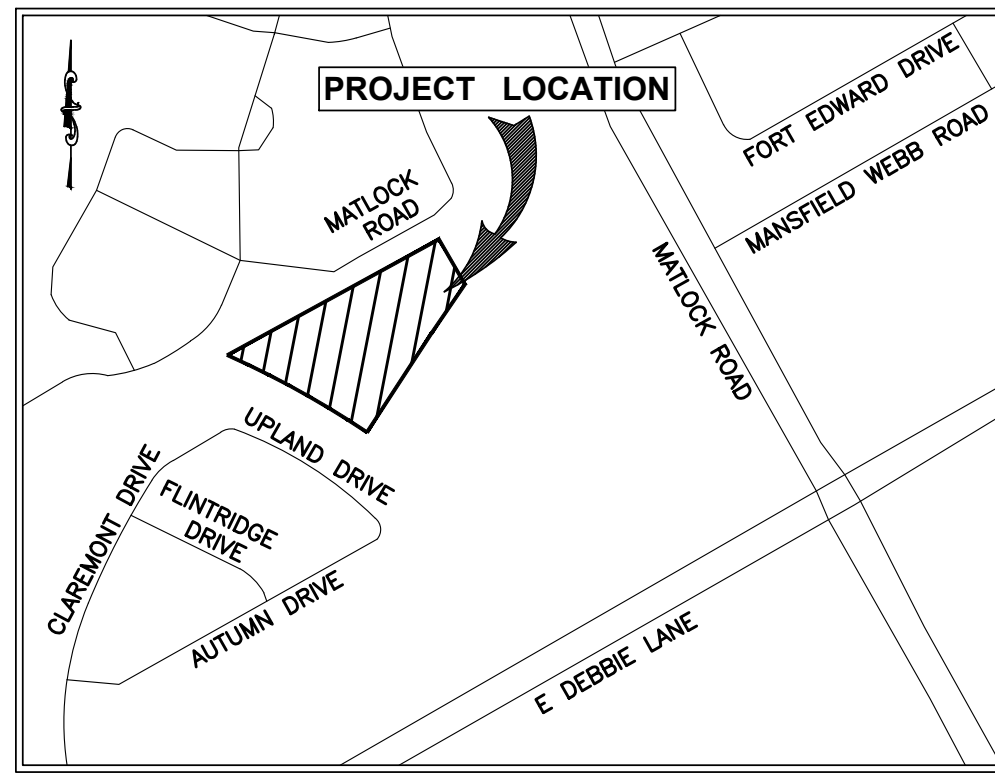
Except as specifically provided in this PD, planned development district, all fencing requirements shall comply with the provisions set forth in Section 155.094 (General provisions for all fences and free-standing walls) of the City of Mansfield, Texas Zoning Ordinance, as amended. In addition, the Developer shall provide gated access to the site utilizing ornamental metal fence along the access easement at the northeast corner of the development. The ornamental metal fence may only have openings large enough for automobile and pedestrian access to the site.

7. Garage Door

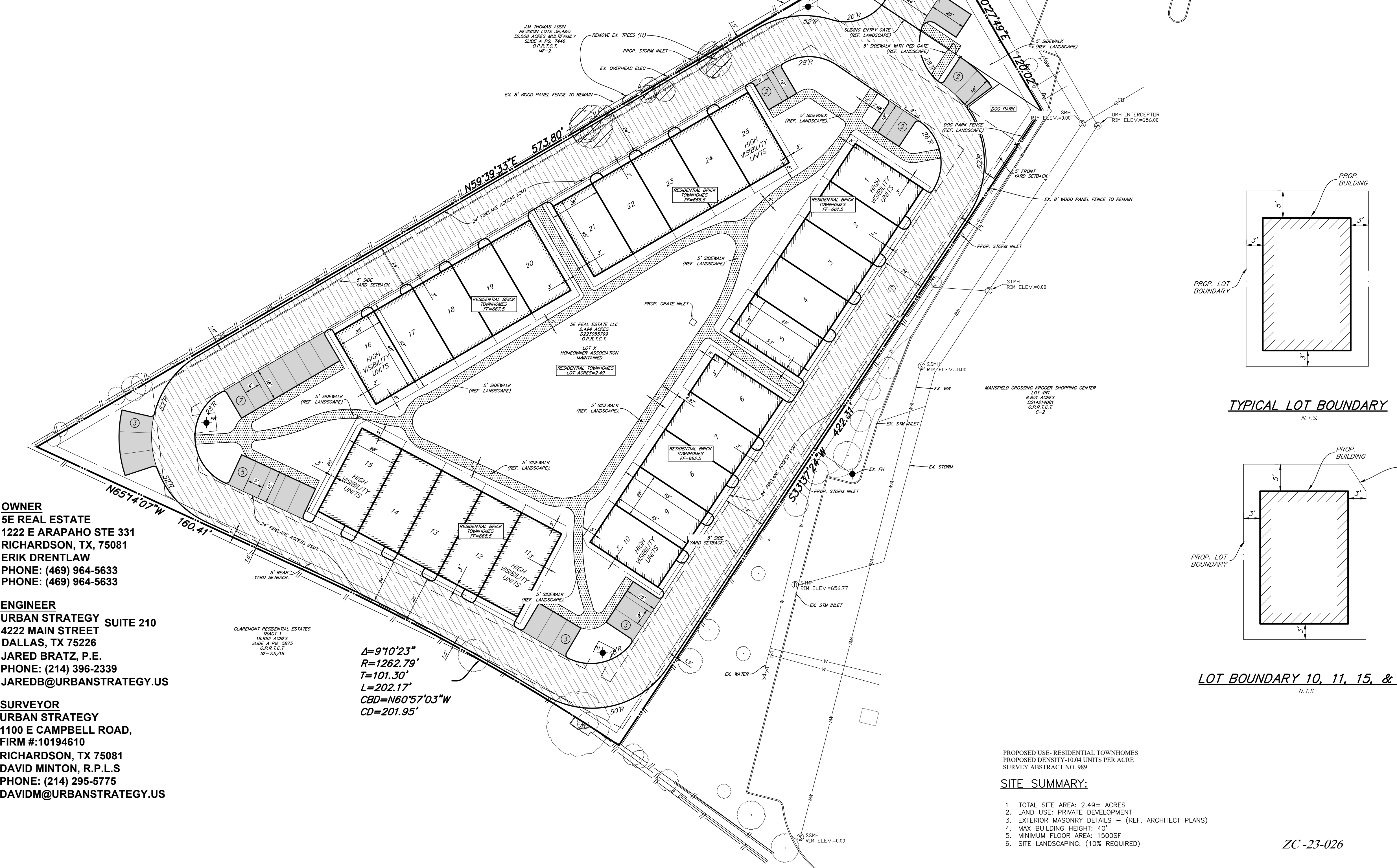
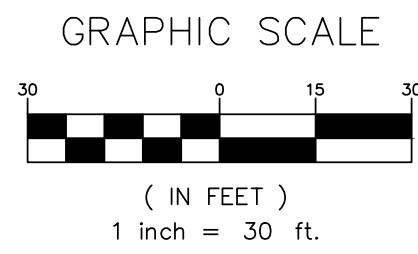
Garage door to be raised panel steel garage doors – Clopay / Long Panel.

8. Exterior Sconce

Exterior sconce shall be installed next to the door – architectural exterior wall sconce / down light / rectangular aluminum body that shield direct exposure of luminance.

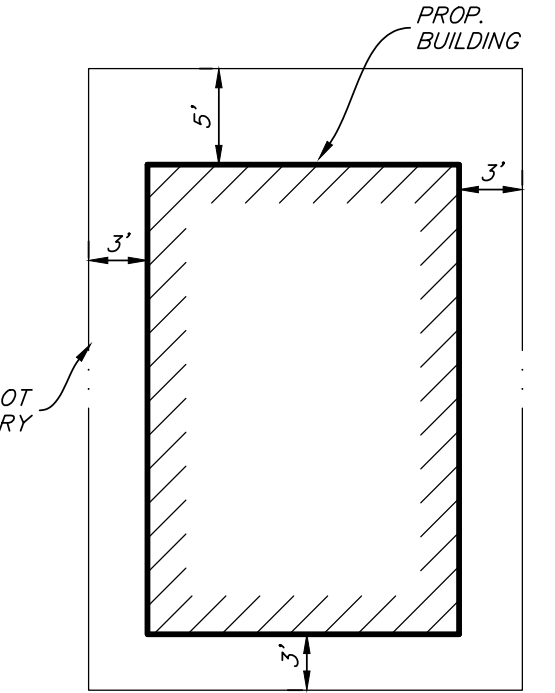


VICINITY MAP
(NOT TO SCALE)
(MAPSCO TAR-110Z)

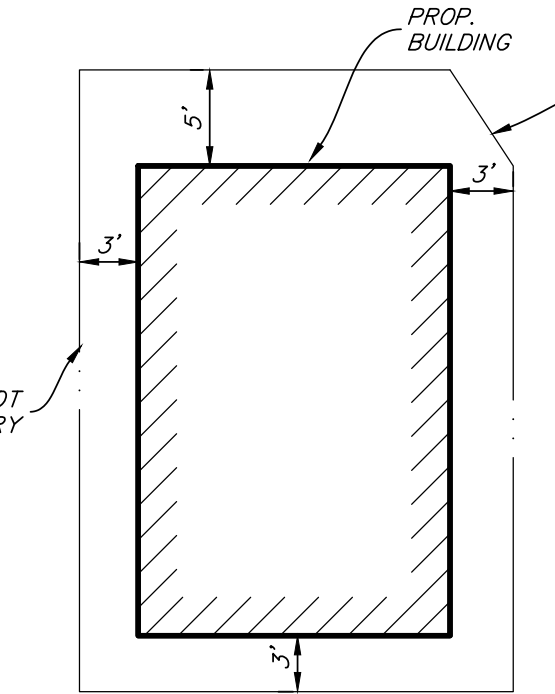


SITE/PAVING LEGEND

- PROPERTY LINE
- - - SAWCUT PATH
- RETAINING WALL
- EX. ASPHALT PAVEMENT
- EX. OVERHEAD ELECTRIC WIRE
- (with number) PARKING COUNT
- (with W) EX. WASTEWATER MANHOLE
- (with D) EX. STORM DRAINAGE MANHOLE
- (with G) EX. GAS MANHOLE
- (with F) EX. FIRE HYDRANT
- (with JB) JUNCTION BOX
- (with GI) GRATE INLET
- (with CI) CURB INLET
- (with W) WASTEWATER MANHOLE
- (with D) STORM DRAINAGE MANHOLE
- (with X) WATER METER VAULT
- (with FH) FIRE HYDRANT
- (with WM) WATER METER
- (with G) GAS METER
- (with FDC) FIRE DEPARTMENT CONNECTION (FDC)
- (with S) SIGNAGE
- (with T) EX. TRAFFIC LIGHT
- (with T) EX. TREE TO BE REMOVED
- (with S) SIDEWALKS (PUBLIC & PRIVATE SIDEWALK AND HARDSCAPE AREAS) 4" 3000 PSI CONCRETE PAVEMENT WITH #3 BARS @ 24" O.C.E.W. ON 8" COMPACTED SUBGRADE PER CITY STANDARD DETAIL
- (with M) MEDIUM DUTY PAVING (PRIVATE) MAIN ACCESS DRIVE AREA 4" 3600 PSI CONCRETE PAVEMENT WITH #3 BARS @ 24" O.C.E.W. ON 8" COMPACTED SUBGRADE PER ELECTRICAL RECOMMENDATIONS
- (with H) HEAVY DUTY PAVING/RESURFACING 4" 4000 PSI CONCRETE PAVEMENT WITH #3 BARS @ 18" AND 8" CEMENT STABILIZED SUBGRADE W/ W/EPASA, CURB & GUTTER



TYPICAL LOT BOUNDARY
N.T.S.



LOT BOUNDARY 10, 11, 15, & 16
N.T.S.

OWNER
5E REAL ESTATE
1222 E ARAPAHO STE 331
RICHARDSON, TX, 75081
ERIK DRENTLAW
PHONE: (469) 964-5633
PHONE: (469) 964-5633

ENGINEER
URBAN STRATEGY SUITE 210
4222 MAIN STREET
DALLAS, TX 75226
JARED BRATZ, P.E.
PHONE: (214) 396-2339
JAREDB@URBANSTRATEGY.US

SURVEYOR
URBAN STRATEGY
1100 E CAMPBELL ROAD,
FIRM #: 10194610
RICHARDSON, TX 75081
DAVID MINTON, R.P.L.S.
PHONE: (214) 295-5775
DAVIDM@URBANSTRATEGY.US

$\Delta = 9710'23"$
 $R = 1262.79'$
 $T = 101.30'$
 $L = 202.17'$
 $CBD = N60'57'03"W$
 $CD = 201.95'$

PROPOSED USE- RESIDENTIAL TOWNHOMES
PROPOSED DENSITY- 10.04 UNITS PER ACRE
SURVEY ABSTRACT NO. 989

SITE SUMMARY:

1. TOTAL SITE AREA: 2.49± ACRES
2. LAND USE: PRIVATE DEVELOPMENT
3. EXTERIOR MASONRY DETAILS - (REF. ARCHITECT PLANS)
4. MAX BUILDING HEIGHT: 40'
5. MINIMUM FLOOR AREA: 1500SF
6. SITE LANDSCAPING: (10% REQUIRED)

NOTES:

A MANDATORY OWNERS ASSOCIATION WILL BE RESPONSIBLE FOR THE MAINTENANCE OF THE "INSERT LIST OF PRIVATE AMENITIES AND COMMON AREAS HERE". (EXAMPLES: SCREENING FENCES, COMMON AREAS, PARKS, AMENITY CENTERS, LANDSCAPING)

THE OWNERS ASSOCIATION AND ASSOCIATED DOCUMENTS SHALL BE FILED IN ACCORDANCE WITH THE CITY OF MANSFIELD POLICIES. THESE DOCUMENTS MUST BE REVIEWED BY THE CITY ATTORNEY PRIOR TO FILING THE FINAL PLAT. THE DOCUMENTS SHALL BE FILED WITH THE FINAL PLAT AT TARRANT COUNTY WHEN DEEMED NECESSARY BY THE ATTORNEY. THE DOCUMENTS SHALL BE SUBMITTED IN A TIMELY MANNER TO ALLOW FOR A MINIMUM OF 60 DAYS REVIEW. FAILURE TO SUBMIT THE DOCUMENTS OR INCOMPLETE DOCUMENTS MAY RESULT IN DELAY OF CONSTRUCTION, ACCEPTANCE OF THE SUBDIVISION OR DELAY IN APPROVAL OF A BUILDING PERMIT. THE CITY DOES NOT ACCEPT THE RESPONSIBILITY FOR ANY DELAYS IN CONSTRUCTION, APPROVAL OR ACCEPTANCE OF THE SUBDIVISION CAUSED BY THE FAILURE TO SUBMIT THE ASSOCIATION DOCUMENTS OR THE INACCURACY OF THE DOCUMENTS.

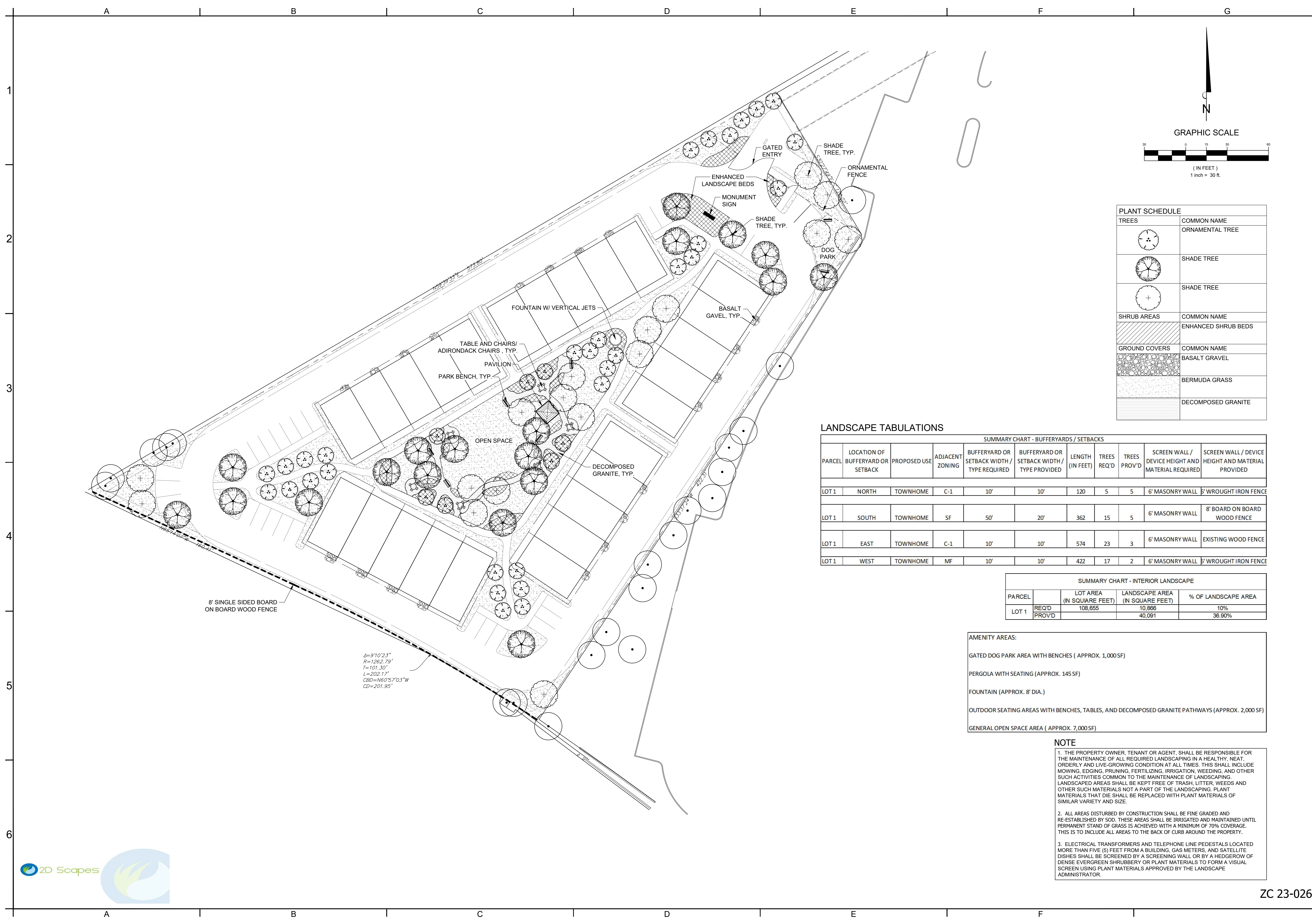
THIS PROPOSED DEVELOPMENT WILL BE IN COMPLETE ACCORDANCE WITH THE PROVISIONS OF THE APPROVED PLANNED DEVELOPMENT DISTRICT AND THAT ALL DEVELOPMENT PLANS RECORDED HEREBY SHALL BE BINDING UPON THE APPLICANT THEREOF, HIS SUCCESSORS AND ASSIGNS, AND SHALL LIMIT AND CONTROL ALL BUILDING PERMITS.

ZC-23-026

URBAN STRATEGY 4222 Main Street Dallas, Texas 75226 Firm Registration #F-2252	
TEL: 214-396-2339	www.urbanstrategy.us
PRELIMINARY NOT FOR CONSTRUCTION, BIDDING, OR PERMIT PURPOSE. PREPARED UNDER THE SUPERVISION OF JARED W. BRATZ P.E. #4892 ON 1/10/2024	
MANSFIELD TOWNHOMES 1225 E DEBBIE LANE 2.49 ACRES MANSFIELD, TARRANT, TX 25 RESIDENTIAL LOTS	
DEVELOPMENT PLAN	
CLIENT: XXX	U.S. PROJECT: ###
DRAWN BY: XXX	SHEET TITLE:
DESIGNER: XXX	
REVIEWER: XXX	
NO.	DATE
REVISION	

SHEET
EX- C

FILE NAME: C:\P\PLAN\DWG...
LAST MODIFIED ON: 1/10/2024 11:09 AM
LAST MODIFIED BY: JAMES PHILLIPS
PLOTTED ON: 1/10/2024 12:07 PM



PLANT SCHEDULE	
TREES	
	COMMON NAME ORNAMENTAL TREE
	SHADE TREE
	SHADE TREE
SHRUB AREAS	
	COMMON NAME ENHANCED SHRUB BEDS
GROUND COVERS	
	COMMON NAME BASALT GRAVEL
	BERMUDA GRASS
	DECOMPOSED GRANITE

LANDSCAPE TABULATIONS

SUMMARY CHART - BUFFERYARDS / SETBACKS										
PARCEL	LOCATION OF BUFFERYARD OR SETBACK	PROPOSED USE	ADJACENT ZONING	BUFFERYARD OR SETBACK WIDTH / TYPE REQUIRED	BUFFERYARD OR SETBACK WIDTH / TYPE PROVIDED	LENGTH (IN FEET)	TREES REQ'D	TREES PROV'D	SCREEN WALL / DEVICE HEIGHT AND MATERIAL REQUIRED	SCREEN WALL / DEVICE HEIGHT AND MATERIAL PROVIDED
LOT 1	NORTH	TOWNHOME	C-1	10'	10'	120	5	5	6' MASONRY WALL	6' WROUGHT IRON FENCE
LOT 1	SOUTH	TOWNHOME	SF	50'	20'	362	15	5	6' MASONRY WALL	8' BOARD ON BOARD WOOD FENCE
LOT 1	EAST	TOWNHOME	C-1	10'	10'	574	23	3	6' MASONRY WALL	EXISTING WOOD FENCE
LOT 1	WEST	TOWNHOME	MF	10'	10'	422	17	2	6' MASONRY WALL	6' WROUGHT IRON FENCE

SUMMARY CHART - INTERIOR LANDSCAPE				
PARCEL		LOT AREA (IN SQUARE FEET)	LANDSCAPE AREA (IN SQUARE FEET)	% OF LANDSCAPE AREA
LOT 1	REQ'D	108,655	10,866	10%
	PROV'D		40,091	36.90%

AMENITY AREAS:

- GATED DOG PARK AREA WITH BENCHES (APPROX. 1,000 SF)
- PERGOLA WITH SEATING (APPROX. 145 SF)
- FOUNTAIN (APPROX. 8' DIA.)
- OUTDOOR SEATING AREAS WITH BENCHES, TABLES, AND DECOMPOSED GRANITE PATHWAYS (APPROX. 2,000 SF)
- GENERAL OPEN SPACE AREA (APPROX. 7,000 SF)

NOTE

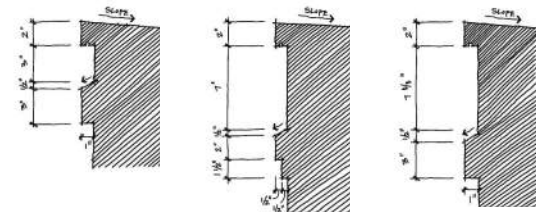
- THE PROPERTY OWNER, TENANT OR AGENT, SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL REQUIRED LANDSCAPING IN A HEALTHY, NEAT, ORDERLY AND LIVE-GROWING CONDITION AT ALL TIMES. THIS SHALL INCLUDE MOWING, EDGING, PRUNING, FERTILIZING, IRRIGATION, WEEDING, AND OTHER SUCH ACTIVITIES COMMON TO THE MAINTENANCE OF LANDSCAPING. LANDSCAPED AREAS SHALL BE KEPT FREE OF TRASH, LITTER, WEEDS AND OTHER SUCH MATERIALS NOT A PART OF THE LANDSCAPING. PLANT MATERIALS THAT DIE SHALL BE REPLACED WITH PLANT MATERIALS OF SIMILAR VARIETY AND SIZE.
- ALL AREAS DISTURBED BY CONSTRUCTION SHALL BE FINE GRADED AND RE-ESTABLISHED BY SOIL. THESE AREAS SHALL BE IRRIGATED AND MAINTAINED UNTIL PERMANENT STAND OF GRASS IS ACHIEVED WITH A MINIMUM OF 70% COVERAGE. THIS IS TO INCLUDE ALL AREAS TO THE BACK OF CURB AROUND THE PROPERTY.
- ELECTRICAL TRANSFORMERS AND TELEPHONE LINE PEDESTALS LOCATED MORE THAN FIVE (5) FEET FROM A BUILDING, GAS METERS, AND SATELLITE DISHES SHALL BE SCREENED BY A SCREENING WALL OR BY A HEDGEROW OF DENSE EVERGREEN SHRUBBERY OR PLANT MATERIALS TO FORM A VISUAL SCREEN USING PLANT MATERIALS APPROVED BY THE LANDSCAPE ADMINISTRATOR.

TEL: 214-396-2339		4222 Main Street Dallas, Texas 75226 Firm Registration #F-2252
www.urbanstrategy.us		
THE WYATT TOWNHOMES 1225 E DEBBIE LANE 2.49 ACRES MANSFIELD, TARRANT, TX 25 RESIDENTIAL LOTS		
PROJECT: XXX		SHEET TITLE: EXHIBIT D - LANDSCAPE PLAN
CLIENT: XXX	DRAWN BY: XXX	SHEET L-1.0
DESIGNER: XXX	REVIEWER: XXX	
U.S. PROJECT: ###		
NO. DATE REVISION		



CORNICE DETAIL NOTES:

1. EACH BAND OF CORNICE SHALL PROJECT AT LEAST 1" BEYOND MAIN FACADE'S ELEVATION TO FORM STRONG SHADOW LINE
2. EACH BAND OF CORNICE TO ALTERNATE IN HEIGHT
3. OVERALL CORNICE HEIGHT SHALL BE AT LEAST 12" TALL



CORNICE DETAIL SCHEME 1 CORNICE DETAIL SCHEME 2 CORNICE DETAIL SCHEME 3

ARCHITECTURAL FEATURES:

- A. DECORATIVE CORNICE
- B. CANOPY
- C. BALCONY
- D. SOLDIER COURSE BANDING
- E. ORNAMENTAL RAILING
- F. FRONT PORCH COLUMNS
- G. VERTICAL ARCHITECTURE FEATURE
- H. SCONCE LIGHTING
- I. AWNING
- J. ORNAMENTAL FENCE W/ BRICK POST

MATERIAL CALCULATION

	BRICK	BRICK %	STUCCO	STUCCO %	TOTAL
NORTH	3,196 SF	85 %	567 SF	15 %	3,763 SF
EAST	1,648 SF	100 %	0 SF	0 %	1,648 SF
SOUTH	2,620 SF	68 %	1,220 SF	32 %	3,840 SF
WEST	1,611 SF	100 %	0 SF	0 %	1,611 SF
TOTAL:	9,075 SF	83.5 %	1,787 SF	16.5 %	10,862 SF



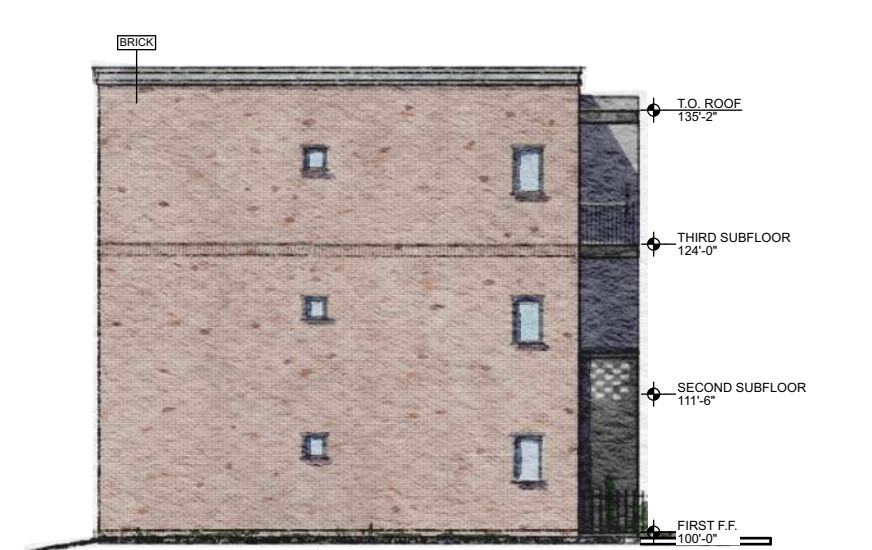
1 TYP. FRONT ELEVATION
SCALE: 1/16" = 1'-0"



2 TYP. HIGH VISIBILITY ELEVATION
SCALE: 1/16" = 1'-0"



3 TYP. BACK ELEVATION
SCALE: 1/16" = 1'-0"



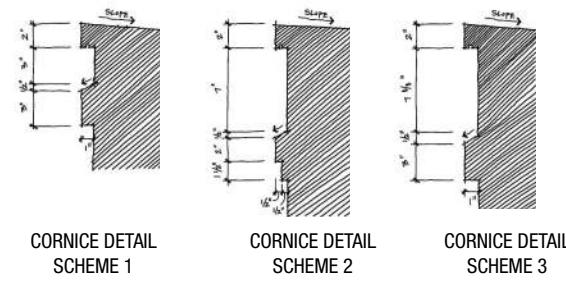
4 TYP. BREEZEWAY ELEVATION
SCALE: 1/16" = 1'-0"

"NOT FOR REGULATORY APPROVAL, PERMITTING OR CONSTRUCTION"

SCOTT A MAREK
REGISTERED ARCHITECT
NO. 18502
21 DECEMBER 2023

CORNICE DETAIL NOTES:

1. EACH BAND OF CORNICE SHALL PROJECT AT LEAST 1" BEYOND MAIN FACADE'S ELEVATION TO FORM STRONG SHADOW LINE
2. EACH BAND OF CORNICE TO ALTERNATE IN HEIGHT
3. OVERALL CORNICE HEIGHT SHALL BE AT LEAST 12" TALL



ARCHITECTURAL FEATURES:

- A. DECORATIVE CORNICE
- B. CANOPY
- C. BALCONY
- D. SOLDIER COURSE BANDING
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- F. FRONT PORCH COLUMNS
- G. VERTICAL ARCHITECTURE FEATURE
- H. SCONCE LIGHTING
- I. AWNING
- J. ORNAMENTAL FENCE W/ BRICK POST

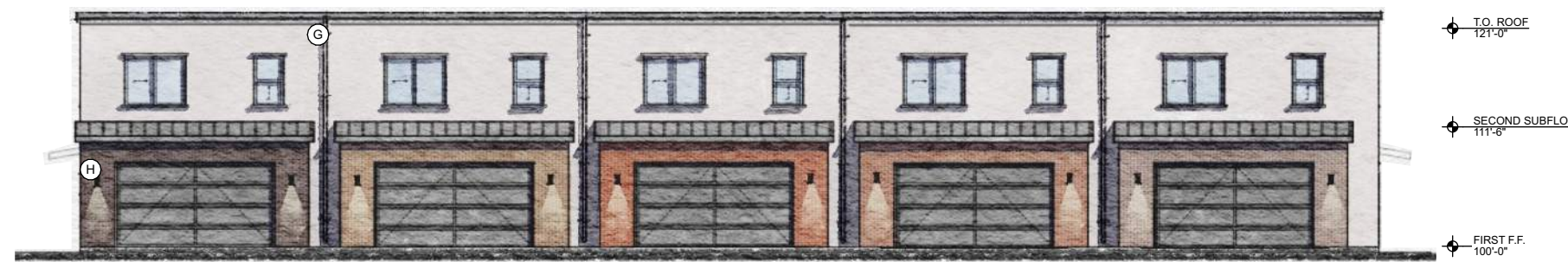
MATERIAL CALCULATION					
	BRICK	BRICK %	STUCCO	STUCCO %	TOTAL
NORTH	1,815 SF	77 %	555 SF	23 %	2370 SF
EAST	492 SF	53 %	430 SF	47 %	922
SOUTH	540 SF	26 %	1,569 SF	74 %	2,109 SF
WEST	560 SF	61 %	354 SF	39 %	914 SF
TOTAL:	3,407 SF	54 %	2,908 SF	46 %	6,315 SF



1 NORTH ELEVATION
SCALE: 1/16" = 1'-0"



2 WEST ELEVATION
SCALE: 1/16" = 1'-0"



3 SOUTH ELEVATION
SCALE: 1/16" = 1'-0"



4 EAST ELEVATION
SCALE: 1/16" = 1'-0"

"NOT FOR REGULATORY APPROVAL, PERMITTING OR CONSTRUCTION"

SCOTT A MAREK
REGISTERED ARCHITECT
NO. 18502
21 DECEMBER 2023



CITY OF MANSFIELD

1200 E. Broad St.
Mansfield, TX 76063
mansfieldtexas.gov

STAFF REPORT

File Number: 24-5847

Agenda Date: 2/5/2024

Version: 1

Status: Public Hearing

In Control: Planning and Zoning Commission

File Type: Zoning Case

Agenda Number:

Title

Public Hearing on a Change of Zoning from PD Planned Development District for Single-Family to PD Planned Development District for detached and attached single-family residential (rowhouse) uses on approximately 11.621 acres out of the T. Hanks Survey, Abstract No. 644 and the M. Dickey Survey Abstract No. 1986 Tarrant County, TX, located at 801 Lillian Rd. and 1340 W. Broad St. Josephdam Real Estate, Developer (ZC#23-016)

Requested Action:

To consider the subject zoning change request.

Recommendation:

If approved, the Department of Planning and Development Services would encourage consideration of the following conditions:

1. That the building elevations of the attached single-family residences shall meet the design and elevation control requirements depicted in Diagram 3 of Exhibit C.
2. That the masonry requirement found in the architectural standards, Exhibit C, be adjust to reflect the materials shown in the provided row house elevations.
3. That the minimum height of the first story of each row house dwelling be nine (9) feet.
4. That no two (2) detached single-family residences shall be designed or constructed to have the same front building elevation and that no more than one (1) garage door be permitted to front any thoroughfare.

Description/History

Existing Use: Vacant

Existing Zoning: PD, Planned Development for Single-Family Residential (with a base zoning of SF-7.5/18, Single-family Residential District uses) for Tract 3, Zoning Case No. 18-031)

Mansfield 2040 Land Use Designation: Urban Neighborhood and Mixed-Use Local, Western Promise Special Area Plan

Surrounding Land Use & Zoning:

North: Vacant Commercial, PD, Planned Development for C-2, Community Business District Uses (Tracts 1 and 2, Zoning Case No. 18-031)

- South: Existing Single-Family Residential, PD, Planned Development for Single-Family Residential (with a base zoning of SF 7.5/18, Single-Family Residential District uses, Zoning Case No. 18-031, Silver Oak)
- East: Existing Single-Family Residential, PR, Pre-Development District (separated from site by existing drainage channel)
- West: Existing Single-Family Residential, SF 7.5/12, Single-Family Residential District (separated by Lillian Rd.)

Synopsis

The requested zoning for this property --- PD, Planned Development District --- is consistent with the vision and recommendations found in the recently adopted Mansfield 2040 Plan. The subject property is designated as Urban Neighborhood and Mixed-Use Local and, as such, the proposed development envisions attached single-family dwellings (e.g., row houses) and a transitional zone of detached single-family homes that are appropriate in scale and intensity with established residences provide a mix of uses within an existing large commercial tract. The development emphasizes placemaking and the pedestrian experience through public and private amenities. The development provides future connections to the surrounding commercially zoned property. The project, if approved, could provide an excellent example of missing middle housing within an existing development pattern.

Mansfield 2040 Goals and Strategies

NH.1: Encourage Inclusive Housing Options (Allows inclusive housing options: townhomes)

NH.2: Support Our Existing Neighborhoods (Establishes infill development that focuses on compatibility in scale and density with surrounding developments)

MU.1: Support Vibrant Intensity (Consider high-intensity residential developments when paired with horizontally integrated nonresidential)

The Western Promise Special Area Plan

This development is along the Urban Neighborhood Core along West Broad Street

WP.1 Foster Complete Communities in Residential Neighborhoods and Mixed-Use Areas (c) Promote a wider variety of housing in the area.

Analysis

The subject property consists of two tracts of land located in Tarrant County totaling approximately 11.621 acres. The developer is proposing to build a maximum of 86 dwelling units. The current development proposes that 74 of those dwelling units be delivered as 3-story attached single-family (rowhouses) and the remaining 12 units be provided as 2-story detached single-family residential. The detached single-family dwelling units are proposed to be constructed along the southern boundary of the development and provide a transition from the existing Silver Oaks Neighborhood to the more intense rowhouse units that are being proposed. All detached single-family units are served by J-swing style garages, reducing the focus of a garage dominated façade.

The proposed row house portion of the development provides units with units that front on

Retta Road and address the street with appropriate frontages (e.g., porch, stoop, dooryards or patios). The larger tract of the development is on the west side of Retta Road and has units that front on a significant neighborhood green space that connects future residents to future commercial opportunities along West Broad Street in the future. The units on the east side of Retta Road take advantage of existing terrain and natural resources around the drainage channel along the eastern edge of the property. Much of this area is proposed to remain in its current state and allows for a landscape-based buffer to uses east of the development. All row house units are served by alley accessed garages.

The PD, Planned Development Standards (Exhibit “C”), as proposed, provides architectural standards for building materials, architectural features, landscaping, and civic spaces.

At the time of this analysis, the developer was preparing final elevations to be presented in both Exhibits “B” and “C”. The developer has been encouraged to draft building elevations that exemplify elements from other regionally- and nationally-acclaimed projects while ensuring visual harmony and consistency with the architectural character of existing development. The example projects provided include neo-traditional architectural design elements (e.g., masonry, appropriate window proportions, articulations, et cetera) that provide the iconic sense of place desired in the City of Mansfield and that appropriately interact with and address the public and semi-public realms.

Plat Review Committee:

The Plat Review Committee is comprised of representatives of an inter-departmental review committee that oversees all zoning and platting applications. The Plat Review Committee verifies application completeness, compliance with city ordinances, and appropriate application of all design criteria. As the project moves through the process from conceptualization to entitlement, a drainage analysis will need to be provided to demonstrate the preliminary engineering assertion that the provided detention on the western half of the development can “over detain” and offset the need for improvements on the eastern half of the development.

Attachments:

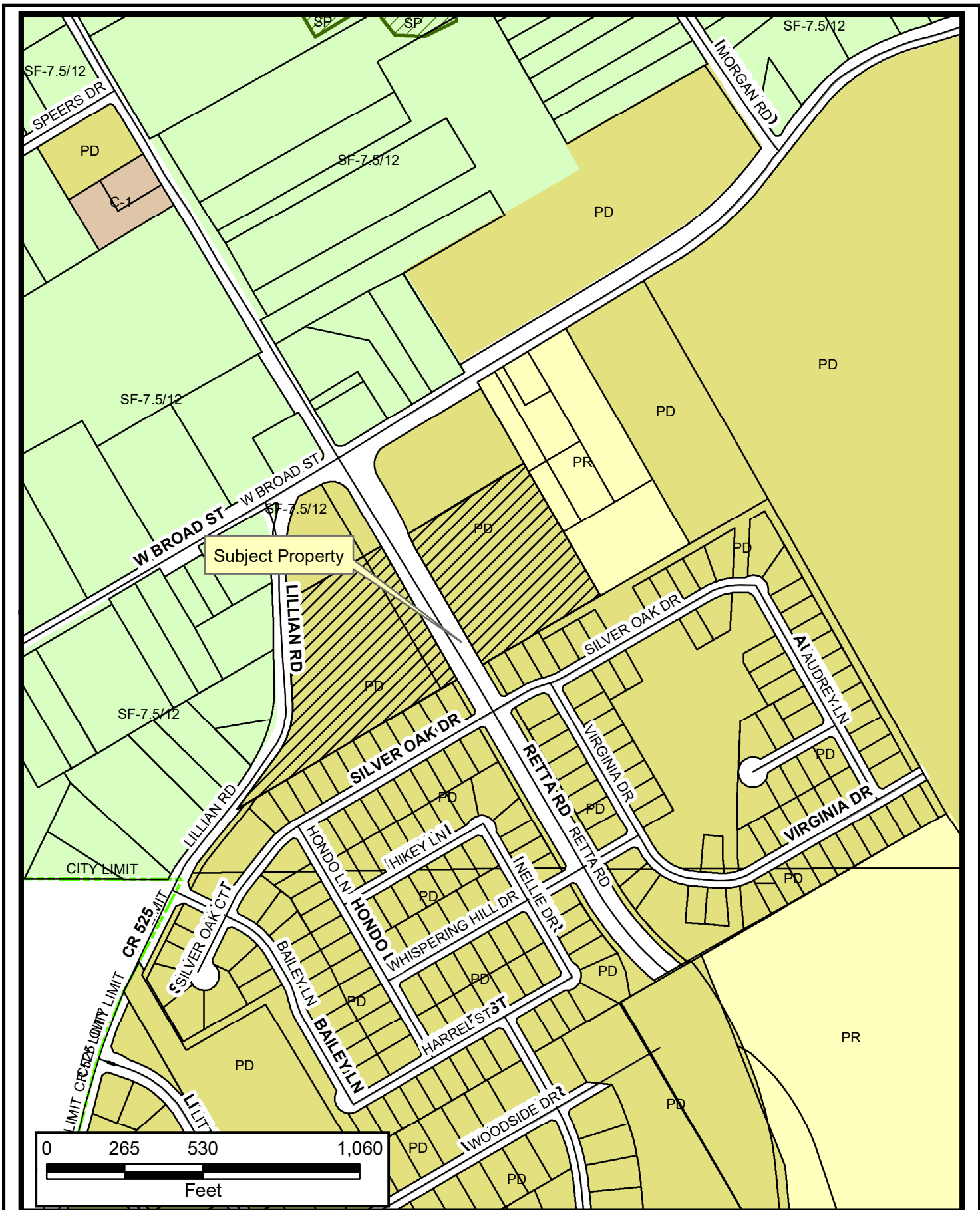
Maps and Supporting Information
Exhibits A-D



ZC#23-016

This information is for illustrative purposes only. Not for design or development purposes. Site-specific studies may be required to obtain accurate feature locations. Every effort is made to ensure the information displayed here is accurate; however, the City of Mansfield makes no claims to its accuracy or completeness.

1/24/2024



ZC#23-016

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1/24/2024

Property Owner Notification for ZC#23-016

LEGAL DESC 1 ADDRESS	LEGAL DESC 2 CITY	LEGAL DESC 3 ZIP	LEGAL DESC 4	ACREAGE	OWNER NAME	OWNER
90231					CITY OF ARLINGTON ARLINGTON T,X	P.O. BOX 76004--323
RAGLAND ROAD					GRAND PRAIRIE LAKE PARKS GRAND PRAIRIE, TX	3401 75052
HILLCREST ST					MANSFIELD ISD MANSFIELD, TX	203 76063
WALTER STEPHENSON					MIDLOTHIAN ISD MIDLOTHIAN, TX	100 76065 ROAD
LOOP 820					TXDOT FORT WORTH, TX	2501 SW 76113
ADDRESS ***				0.25195416 *** NO CITY *** 8275		*** NO * NO ZIP *
ADDRESS ***				0.05854059 *** NO CITY *** 83775		*** NO * NO ZIP *
ADDRESS ***				0.05854059 *** NO CITY *** 838		*** NO * NO ZIP *
ADDRESS ***				0.25504406 *** NO CITY *** 1571		*** NO * NO ZIP *
ADDRESS ***				1.94913821 *** NO CITY *** 211		*** NO * NO ZIP *
BONNER ESTATES	BLK 1	LOT 2		1.04985065 777	BONNER, CYNTHIA	PO BOX 352
BONNER ESTATES LILLIAN RD	BLK 1 MANSFIELD, TX	LOT 1 76063		0.33212368 7407	BONNER, FONDA	808
DICKEY, M D SURVEY LILLIAN RD	A 1986 MANSFIELD, TX	TR 3D 76063		5.54066290 632	JOSEPDAM REAL ESTATE LLC	303
DICKEY, M D SURVEY	A 1986	TR 3A01C		1.18896843 44	NEW GALILEE BAPTIST CHURCH	PO BOX 601
DICKEY, M D SURVEY LILLIAN RD	A 1986 MANSFIELD, TX	TR 3A01P 76063		1.15040246 459	SUAREZ, JOSE	764
DICKEY, M D SURVEY LILLIAN RD	A 1986 MANSFIELD, TX	TR 3A01K 76063		0.96823534 7976	BONNER, WILMER	808
DICKEY, M D SURVEY 15732	A 1986 FORT WORTH, TX	TR 3A01S 76119		2.46998925 995	BAILEY, LENARD R	PO BOX

DICKEY, M D SURVEY	A 1986	TR 3	1.39735260 955	WALKER, NELLIE	PO BOX 291
HANKS, THOMAS J SURVEY BROAD ST	A 644 MANSFIELD, TX	TR 4B02 76063	0.34439820	SANDOVAL-GARCIA, NIRIA	1301 W
HANKS, THOMAS J SURVEY BROAD ST	A 644 MANSFIELD, TX	TR 4B 76063	9216 0.70771792	SANDOVAL-GARCIA, NIRIA	1301 W
HANKS, THOMAS J SURVEY LILLIAN RD	A 644 MANSFIELD, TX	TR 4H 76063	4865 5.42972337	JOSEPDAM REAL ESTATE LLC	303
HANKS, THOMAS J SURVEY LAKE DR	A 644 ARLINGTON, TX	TR 4B01 76018-2252	55 0.70985208	MENDEZ, CRUZ S	5921 INKS
			3717		

Wednesday, January 24, 2024

Property Owner Notification for ZC#23-016

LEGAL DESC 1 ADDRESS	LEGAL DESC 2 CITY	LEGAL DESC 3 ZIP	LEGAL DESC 4	ACREAGE	OWNER NAME	OWNER
HANKS, THOMAS J SURVEY LAKE DR	A 644 ARLINGTON, TX	TR 4C01 76018-2252		0.37866259	MENDEZ, CRUZ S	5921 INKS
HANKS, THOMAS J SURVEY BROAD ST	A 644 MANSFIELD, TX	TR 4D 76063-4405		2561 2.01470309	SUAREZ, ISMAEL	1247 W
HANKS, THOMAS J SURVEY	A 644	TR 4		816 3.02304876	WALKER, NELLIE	PO BOX 291
HANKS, THOMAS J SURVEY	A 644	TR 4G	SEPARATED TR REF D220064559	236 0.42446361 4396	WALKER, NELLIE	PO BOX 291
HANKS, THOMAS J SURVEY LILLIAN RD	A 644 MANSFIELD, TX	TR 4G01 76063		0.78713080	JOSEPDAM REAL ESTATE LLC	303
SANDOVAL ADDITION BROAD ST	BLK 1 MANSFIELD, TX	LOT 1 76063-4400		3901 0.56151090	SANDOVAL, NIRIA L	1301 W
SHINY ADDITION BROOKFIELD LN	BLK 1 MANSFIELD, TX	LOT 2 76063		2879 0.34440532	KRALICH INVESTING LLC	1222
SILVER OAK ADDITION VIRGINIA DR	BLK 10 MANSFIELD, TX	LOT 1 76063		9679 0.23382743	GUZMAN, MIGUEL	800
SILVER OAK ADDITION SILVER OAK DR	BLK 11 MANSFIELD, TX	LOT 5 76063		84 0.20661157	NDIAYE, MOUSSA	1020
SILVER OAK ADDITION SILVER OAK DR	BLK 11 MANSFIELD, TX	LOT 4 76063		0679 0.21741719	KOLA, SRINIVAS	1022
SILVER OAK ADDITION SILVER OAK DR	BLK 11 MANSFIELD, TX	LOT 3 76063		6004 0.20242147	THE ROMINES FAMILY TRUST	1024
SILVER OAK ADDITION SILVER OAK DR	BLK 11 MANSFIELD, TX	LOT 2 76063		6777 0.19735319	JOSEPH, SEENA	1026
SILVER OAK ADDITION SILVER OAK DR	BLK 11 MANSFIELD, TX	LOT 7 76063		0034 0.17906336	RUDOLPH, MARY	1016
SILVER OAK ADDITION SILVER OAK DR	BLK 11 MANSFIELD, TX	LOT 10 76063		0908 0.18055555	CROSBY, ELWOOD	1008
SILVER OAK ADDITION SILVER OAK DR	BLK 11 MANSFIELD, TX	LOT 6 76063		5634 0.17906336	MILLS, ANDREA	1018
SILVER OAK ADDITION SILVER OAK DR	BLK 11 MANSFIELD, TX	LOT 9 76063		0813 0.18055555	EVANS, AMY	1010
SILVER OAK ADDITION LN	BLK 2 MANSFIELD, TX	LOT 23 76063	BAL IN JOHNSON COUNTY	5491 0.24015867	MEJIA, DIEGO ALEJANDRO	901 HONDO
				5846		

SILVER OAK ADDITION RD SUITE 680	BLK 3 DALLAS, TX	LOT 2X 75240	OPEN SPACE	0.63919543	SILVER OAK RESIDENTIAL	5757 ALPHA
				2219	COMMUNI	
SILVER OAK ADDITION SILVER OAK DR	BLK 3 MANSFIELD, TX	LOT 14 76063		0.19487859	MACHA, BINDU	1100
				8019		
SILVER OAK ADDITION CENTER ST SUITE 500	BLK 3 ARLINGTON, TX	LOT 13 76010		0.19398530	FIRST BAPTIST CHURCH OF	301 S
				7628	ARLING	
SILVER OAK ADDITION SILVER OAK DR	BLK 3 MANSFIELD, TX	LOT 12 76063		0.19398530	TRAN, HANG	1104
				7623		

Wednesday, January 24, 2024

Property Owner Notification for ZC#23-016

LEGAL DESC 1 ADDRESS	LEGAL DESC 2 CITY	LEGAL DESC 3 ZIP	LEGAL DESC 4	ACREAGE	OWNER NAME	OWNER
SILVER OAK ADDITION SILVER OAK DR	BLK 3 MANSFIELD, TX	LOT 11 76063		0.19398530 7626	AZIZ, BAHER	1106
SILVER OAK ADDITION SUSSEX LN	BLK 3 MANSFIELD, TX	LOT 10 76063		0.19398530 7624	WILLIAMS, DONALD	7140
SILVER OAK ADDITION SILVER OAK DR	BLK 3 MANSFIELD, TX	LOT 9 76063		0.19398530 7627	NED, ETINYENE	1110
SILVER OAK ADDITION SILVER OAK DR	BLK 3 MANSFIELD, TX	LOT 8 76063		0.19398530 7619	DAVENPORT, SEAN	1112
SILVER OAK ADDITION SILVER OAK DR	BLK 3 MANSFIELD, TX	LOT 7 76063		0.19398530 7627	LEWIS, LESTER	1114
SILVER OAK ADDITION SILVER OAK DR	BLK 3 MANSFIELD, TX	LOT 6 76063		0.19398530 7626	HERRING, BRANDI	1116
SILVER OAK ADDITION SILVER OAK DR	BLK 3 MANSFIELD, TX	LOT 5 76063		0.19398530 7627	GRAVES, ROXANN	1118
SILVER OAK ADDITION SILVER OAK DR	BLK 3 MANSFIELD, TX	LOT 4 76063		0.20279626 3563	SHEPOTKIN, SERGEY	1120
SILVER OAK ADDITION SILVER OAK DR	BLK 3 MANSFIELD, TX	LOT 3 76063		0.22003660 5196	GREENWELL, TYRONE	1122
SILVER OAK ADDITION RD SUITE 680	BLK 3 DALLAS, TX	LOT 1X 75240	OPEN SPACE	0.14203993 9776	SILVER OAK RESIDENTIAL COMMUNI	5757 ALPHA
SILVER OAK ADDITION SILVER OAK DR	BLK 4 MANSFIELD, TX	LOT 10 76063		0.22629185 0318	EFUWAPE, MERCY	1101
SILVER OAK ADDITION SILVER OAK DR	BLK 4 MANSFIELD, TX	LOT 9 76063		0.19398530 7623	KENNEDY, ELNORA	1103
SILVER OAK ADDITION TOSCANA CIR	BLK 4 FORT WORTH, TX	LOT 8 76140-8239		0.19398530 7624	BRANT, ROGER	6253
SILVER OAK ADDITION SILVER OAK DR	BLK 4 MANSFIELD, TX	LOT 7 76063		0.19398739 1356	LUNDBERG, ANDREW	1107
SILVER OAK ADDITION SILVER OAK DR	BLK 4 MANSFIELD, TX	LOT 6 76063		0.19398739 1348	LOPEZ-MARRERO, LUIS	1109
SILVER OAK ADDITION SILVER OAK DR	BLK 4 MANSFIELD, TX	LOT 5 76063		0.19398739 1353	JACKSON, CAMERON	1111
SILVER OAK ADDITION	BLK 4	LOT 4		0.19398739	GUZMAN, CARLOS	1113

SILVER OAK DR	MANSFIELD, TX	76063			
SILVER OAK ADDITION SILVER OAK DR	BLK 4 MANSFIELD, TX	LOT 3 76063	1351 0.19398739	HAYWORTH, PATRICK	1115
SILVER OAK ADDITION SILVER OAK DR	BLK 4 MANSFIELD, TX	LOT 2 76063	1352 0.19398739	WHITLOCK, VIRGINIA	1117
SILVER OAK ADDITION SILVER OAK DR	BLK 4 MANSFIELD, TX	LOT 1 76063	1346 0.22177096	HUNSAKER-MORALES, ALEXA	1119
SILVER OAK ADDITION VIRGINA DR	BLK 9 MANSFIELD, TX	LOT 1 76063	9551 0.24441581	HOLMES, TOMIEKA	801
WRIGHT ADDITION SILVERWOOD CIR	BLK 1 SOUTHLAKE, TX	LOT 1 76092-8558	0102 0.86167466	DEL ROSARIO, GRACIA	345
			7265		

Wednesday, January 24, 2024

EXHIBIT A

CASE NO. ZC#23-016

STATE OF TEXAS:
 COUNTY OF TARRANT:
 LEGAL DESCRIPTION

TRACT 1
 BEING A PORTION OF A TRACT OF LAND OUT OF THE T. HANKS SURVEY, ABSTRACT NUMBER 644, AND THE M. DICKEY SURVEY, ABSTRACT NUMBER 1986, AS CONVEYED TO JOSEPDAM REAL ESTATE, LLC IN A DEED RECORDED IN INSTRUMENT NUMBER D221049733 OF THE DEED RECORDS OF TARRANT COUNTY, TEXAS (D.R.T.C.T.), SAVE AND EXCEPT A PORTION OF LAND HEREIN DESCRIBED AS TRACT 2, AND SAVE AND EXCEPT A PORTION OF LAND DEDICATED AS RETTA ROAD RIGHT-OF-WAY, IN INSTRUMENT NUMBER D220064559, AND BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

BEGINNING AT A 1/2-INCH IRON ROD FOUND WITH YELLOW CAP STAMPED "JBI", SAID POINT BEING THE MOST SOUTHWESTERLY CORNER OF SAID TRACT 1, SAID POINT ALSO BEING A NORTHWESTERLY CORNER OF LOT 1X, BLOCK 3, SILVER OAK ADDITION, PHASE 1, AS DEPICTED IN A PLAT THEREOF, RECORDED IN INSTRUMENT NUMBER 2020-171 OF THE PLAT RECORDS OF JOHNSON COUNTY, TEXAS (P.R.J.C.T.), SAID POINT ALSO BEING IN THE EASTERLY RIGHT-OF-WAY LINE OF LILLIAN ROAD, SAID POINT ALSO BEING THE POINT OF BEGINNING;

THENCE, FOLLOWING THE EASTERLY RIGHT-OF-WAY LINE OF LILLIAN ROAD THE FOLLOWING COURSES:

NORTH 35 DEGREES 09 MINUTES 47 SECONDS EAST, A DISTANCE OF 157.98 FEET, TO A 5/8-INCH IRON ROD SET WITH YELLOW CAP STAMPED "HANNA SURV PLS 6647";

NORTH 32 DEGREES 55 MINUTES 02 SECONDS EAST, A DISTANCE OF 100.25 FEET, TO A 5/8-INCH IRON ROD SET WITH YELLOW CAP STAMPED "HANNA SURV PLS 6647";

NORTH 20 DEGREES 19 MINUTES 32 SECONDS EAST, A DISTANCE OF 57.02 FEET, TO A 5/8-INCH IRON ROD SET WITH YELLOW CAP STAMPED "HANNA SURV PLS 6647";

NORTH 15 DEGREES 31 MINUTES 42 SECONDS EAST, A DISTANCE OF 27.85 FEET, TO A 5/8-INCH IRON ROD SET WITH YELLOW CAP STAMPED "HANNA SURV PLS 6647";

NORTH 10 DEGREES 57 MINUTES 02 SECONDS EAST, A DISTANCE OF 44.00 FEET, TO A 5/8-INCH IRON ROD SET WITH YELLOW CAP STAMPED "HANNA SURV PLS 6647";

NORTH 04 DEGREES 24 MINUTES 08 SECONDS EAST, A DISTANCE OF 359.62 FEET, TO A 1/2-INCH IRON ROD FOUND WITH ORANGE CAP STAMPED "R.W. COOMBS RPLS 5294", SAID POINT BEING THE MOST NORTHWESTERLY CORNER OF SAID TRACT 1, SAID POINT ALSO BEING THE MOST SOUTHERLY CORNER OF A REMAINDER TRACT OF LAND, KNOWN AS TRACT 3, AS CONVEYED TO NELLIE WALKER IN A DEED RECORDED IN INSTRUMENT NUMBER D181052760, D.R.T.C.T.;

THENCE, DEPARTING THE EASTERLY RIGHT-OF-WAY LINE OF LILLIAN ROAD, AND FOLLOWING THE COMMON LINE OF SAID TRACT 1 AND SAID WALKER TRACT 3, NORTH 59 DEGREES 53 MINUTES 08 SECONDS EAST, A DISTANCE OF 354.42 FEET, TO A 1/2-INCH IRON ROD FOUND WITH ORANGE CAP STAMPED "R.W. COOMBS RPLS 5294", SAID POINT BEING THE MOST NORTHERLY CORNER OF SAID TRACT 1, SAID POINT ALSO BEING IN THE SOUTHWESTERLY RIGHT-OF-WAY LINE OF RETTA ROAD;

THENCE, DEPARTING THE COMMON LINE OF SAID TRACT 1 AND SAID WALKER TRACT 3, AND FOLLOWING THE SOUTHWESTERLY RIGHT-OF-WAY LINE OF RETTA ROAD, SOUTH 30 DEGREES 10 MINUTES 01 SECONDS EAST, A DISTANCE OF 519.86 FEET, TO A 1/2-INCH IRON ROD FOUND WITH YELLOW CAP STAMPED "JBI", SAID POINT BEING THE MOST SOUTHEASTERLY CORNER OF SAID TRACT 1, SAID POINT ALSO BEING THE MOST NORTHERLY CORNER OF LOT 15X, BLOCK 3 OF SAID SILVER OAK ADDITION, PHASE 1;

THENCE, DEPARTING THE SOUTHWESTERLY RIGHT-OF-WAY LINE OF RETTA ROAD, AND FOLLOWING THE COMMON LINE OF SAID TRACT 1 AND SAID SILVER OAK ADDITON, SOUTH 59 DEGREES 34 MINUTES 03 SECONDS WEST, PASSING A 1/2-INCH IRON ROD FOUND WITH YELLOW CAP STAMPED "JBI", AT A DISTANCE OF 787.99 FEET, AND CONTINUING A TOTAL DISTANCE OF 836.56 FEET, TO THE POINT OF BEGINNING, AND CONTAINING 267,465.02 SQUARE FEET OR 6.140 ACRES OF LAND MORE OR LESS.

OWNER/CLIENT:
 RASAQ KUTEY
 610 S 4TH AVENUE
 MANSFIELD, TX 76063
 (817) 312-1480
 EMAIL: ROK@JOSEPDAM.COM

SURVEYOR:
 HANNA SURVEYING AND ENGINEERING, LLC
 SAM HANNA
 11729 E FM 917
 ALVARADO, TX 76009
 PH: 682-553-9474
 FIRM NO. 10194633

THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE COMMITMENT, THEREFORE THERE MAY BE OTHER MATTERS THAT AFFECT THIS PROPERTY THAT ARE NOT SHOWN.

EXHIBIT A

LEGAL DESCRIPTION OF TRACT 1 A 6.140 ACRE TRACT OF LAND, OUT OF THE T. HANKS SURVEY, ABSTRACT NO. 644 & M. DICKEY SURVEY ABSTRACT NO. 1986
 MANSFIELD, TARRANT COUNTY, TEXAS.

HANNA SURVEYING & ENGINEERING LLC.		
FIELD SURVEY BY: AJ	DATE: 5/30/2023	PROJECT NO. 23-765
DRAWN BY: SK	SCALE: N/A	SAM@HANNA-SE.COM

EXHIBIT A

CASE NO. ZC#23-106

TRACT 2

BEING A PORTION OF A TRACT OF LAND OUT OF THE T. HANKS SURVEY, ABSTRACT NUMBER 644, AND THE M. DICKEY SURVEY, ABSTRACT NUMBER 1986, AS CONVEYED TO JOSEPDAM REAL ESTATE, LLC IN A DEED RECORDED IN INSTRUMENT NUMBER D221049733 OF THE DEED RECORDS OF TARRANT COUNTY, TEXAS (D.R.T.C.T.), SAVE AND EXCEPT A PORTION OF LAND HEREIN DESCRIBED AS TRACT 1, AND SAVE AND EXCEPT A PORTION OF LAND DEDICATED AS RETTA ROAD RIGHT-OF-WAY, IN INSTRUMENT NUMBER D220064559, AND BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

BEGINNING AT A 1/2-INCH IRON ROD FOUND WITH YELLOW CAP STAMPED "JBI", SAID POINT BEING THE MOST SOUTHWESTERLY CORNER OF SAID TRACT 2, SAID POINT ALSO BEING THE NORTHWESTERLY CORNER OF LOT 1X, BLOCK 11, SILVER OAK ADDITION, PHASE 2, AS DEPICTED IN A PLAT THEREOF, RECORDED IN INSTRUMENT NUMBER 2021-50 OF THE PLAT RECORDS OF JOHNSON COUNTY, TEXAS (P.R.J.C.T.), SAID POINT ALSO BEING IN THE NORTHEASTERLY RIGHT-OF-WAY LINE OF RETTA ROAD, SAID POINT ALSO BEING **THE POINT OF BEGINNING**;

THENCE, FOLLOWING THE NORTHEASTERLY RIGHT-OF-WAY LINE OF RETTA ROAD THE FOLLOWING COURSES:

NORTH 30 DEGREES 10 MINUTES 01 SECONDS WEST, A DISTANCE OF 447.35 FEET, TO A 5/8-INCH IRON ROD SET WITH YELLOW CAP STAMPED "HANNA SURV PLS 6647", SAID POINT BEING THE BEGINNING OF A TANGENTIAL CURVE TO THE RIGHT WITH A RADIUS OF 600.00 FEET, A CENTRAL ANGLE OF 06 DEGREES 09 MINUTES 26 SECONDS, AND BEING SUBTENDED BY A CHORD BEARING NORTH 27 DEGREES 05 MINUTES 18 SECONDS WEST, A CHORD DISTANCE OF 64.45 FEET;

ALONG SAID TANGENTIAL CURVE TO THE RIGHT, AN ARC LENGTH OF 64.48 FEET, TO A 5/8-INCH IRON ROD SET WITH YELLOW CAP STAMPED "HANNA SURV PLS 6647", SAID POINT BEING THE MOST NORTHWESTERLY CORNER OF SAID TRACT 2, SAID POINT ALSO BEING THE MOST SOUTHERLY CORNER OF A REMAINDER TRACT OF LAND, KNOWN AS TRACT 4, AS CONVEYED TO NELLIE WALKER IN A DEED RECORDED IN INSTRUMENT NUMBER D181052760, D.R.T.C.T.;

THENCE, DEPARTING THE NORTHEASTERLY RIGHT-OF-WAY LINE OF RETTA ROAD, AND FOLLOWING THE COMMON LINE OF SAID TRACT 2 AND SAID WALKER TRACT 4, NORTH 58 DEGREES 36 MINUTES 48 SECONDS EAST, A DISTANCE OF 460.03 FEET, TO A 5/8-INCH IRON ROD SET WITH YELLOW CAP STAMPED "HANNA SURV PLS 6647", SAID POINT BEING THE MOST NORTHERLY CORNER OF SAID TRACT 2, SAID POINT ALSO BEING IN THE SOUTHWESTERLY LINE OF LOT1, BLOCK 1, SANDOVAL ADDITION, AS DEPICTED IN A PLAT THEREOF, RECORDED IN INSTRUMENT NUMBER D201115385 OF THE PLAT RECORDS OF TARRANT COUNTY, TEXAS (P.R.T.C.T.);

THENCE, DEPARTING THE COMMON LINE OF SAID TRACT 2 AND SAID WALKER TRACT 4, AND FOLLOWING THE COMMON LINE OF SAID TRACT 2 AND SAID SANDOVAL ADDITION, SOUTH 30 DEGREES 09 MINUTES 52 SECONDS EAST, PASSING A 1/2-INCH IRON ROD FOUND WITH YELLOW CAP, AT A DISTANCE OF 43.49 FEET, FOR THE MOST SOUTHERLY CORNER OF SAID SANDOVAL ADDITION, AND THE MOST NORTHWESTERLY CORNER OF A CALLED 0.391 ACRE TRACT OF LAND, AS CONVEYED TO CRUZ S. MENDEZ IN A DEED RECORDED IN INSTRUMENT NUMBER D213304739, D.R.T.C.T., AND CONTINUING A TOTAL DISTANCE OF 519.21 FEET, TO A 5/8-INCH IRON ROD SET WITH YELLOW CAP STAMPED "HANNA SURV PLS 6647", SAID POINT BEING THE MOST SOUTHEASTERLY CORNER OF SAID TRACT 2, SAID POINT ALSO BEING THE MOST SOUTHWESTERLY CORNER OF A CALLED 2.09 ACRE TRACT OF LAND, AS CONVEYED TO ISMAEL SUAREZ IN A DEED RECORDED IN INSTRUMENT NUMBER D205383301, D.R.T.C.T., SAID POINT ALSO BEING IN THE NORTHERLY LINE OF LOT 8X, BLOCK 11 OF SAID SILVER OAK ADDITION, PHASE 2;

THENCE, DEPARTING THE COMMON LINE OF SAID TRACT 2 AND SAID SUAREZ TRACT, AND FOLLOWING THE COMMON LINE OF SAID TRACT 2 AND SAID SILVER OAK ADDITION, PHASE 2, SOUTH 59 DEGREES 33 MINUTES 02 SECONDS WEST, PASSING A 1/2-INCH IRON ROD FOUND WITH YELLOW CAP STAMPED "JBI", AT A DISTANCE OF 246.59 FEET, AND CONTINUING A TOTAL DISTANCE OF 463.37 FEET, TO **THE POINT OF BEGINNING**, AND CONTAINING 238,759.14 SQUARE FEET OR 5.481 ACRES OF LAND MORE OR LESS.

EXHIBIT A

LEGAL DESCRIPTION OF TRACT 2 A 5.481 ACRE TRACT OF LAND, OUT OF THE T. HANKS SURVEY, ABSTRACT NO. 644 & M. DICKEY SURVEY ABSTRACT NO. 1986 MANSFIELD, TARRANT COUNTY, TEXAS.

PAGE 2 OF 2

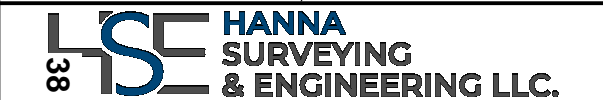
CASE NO. ZC#23-106

<p>OWNER/CLIENT: RASAO KUTEYI 610 S 4TH AVENUE MANSFIELD, TX 76063 (817) 312-1480 EMAIL: ROK@JOSEPDAM.COM</p> <p>SURVEYOR: HANNA SURVEYING AND ENGINEERING, LLC SAM HANNA 11729 E FM 917 ALVARADO, TX 76009 PH: 882-553-9474 FIRM NO. 10194633</p>	<p>THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE COMMITMENT, THEREFORE THERE MAY BE OTHER MATTERS THAT AFFECT THIS PROPERTY THAT ARE NOT SHOWN.</p>
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MANSFIELD, TARRANT COUNTY, TEXAS

* NOTES *
1. THE PURPOSE OF THIS EXHIBIT IS TO DESCRIBE TRACT 2

FIELD SURVEY BY: AJ	DATE: 5/30/2023	PROJECT NO. 23-765
DRAWN BY: SK	SCALE: N/A	SAM@HANNA-SE.COM



NO.	REVISION/ISSUED	DATE
1	ZONING CHANGE APPLICATION - PRELIM	06/19/23
2	ZONING CHANGE APPLICATION - REV "1"	08/31/23
3	ZONING CHANGE APPLICATION - REV "2"	10/26/23
4	ZONING CHANGE APPLICATION - REV "3"	12/14/23
5	ZONING CHANGE APPLICATION - REV "4"	01/11/23

CASE NO. ZC#23-016

Exhibit B: Site Plan

DRAWN BY: F. CANOURA

CHECKED BY:

DATE: 06-19-23

SCALE: AS NOTED

A1.0

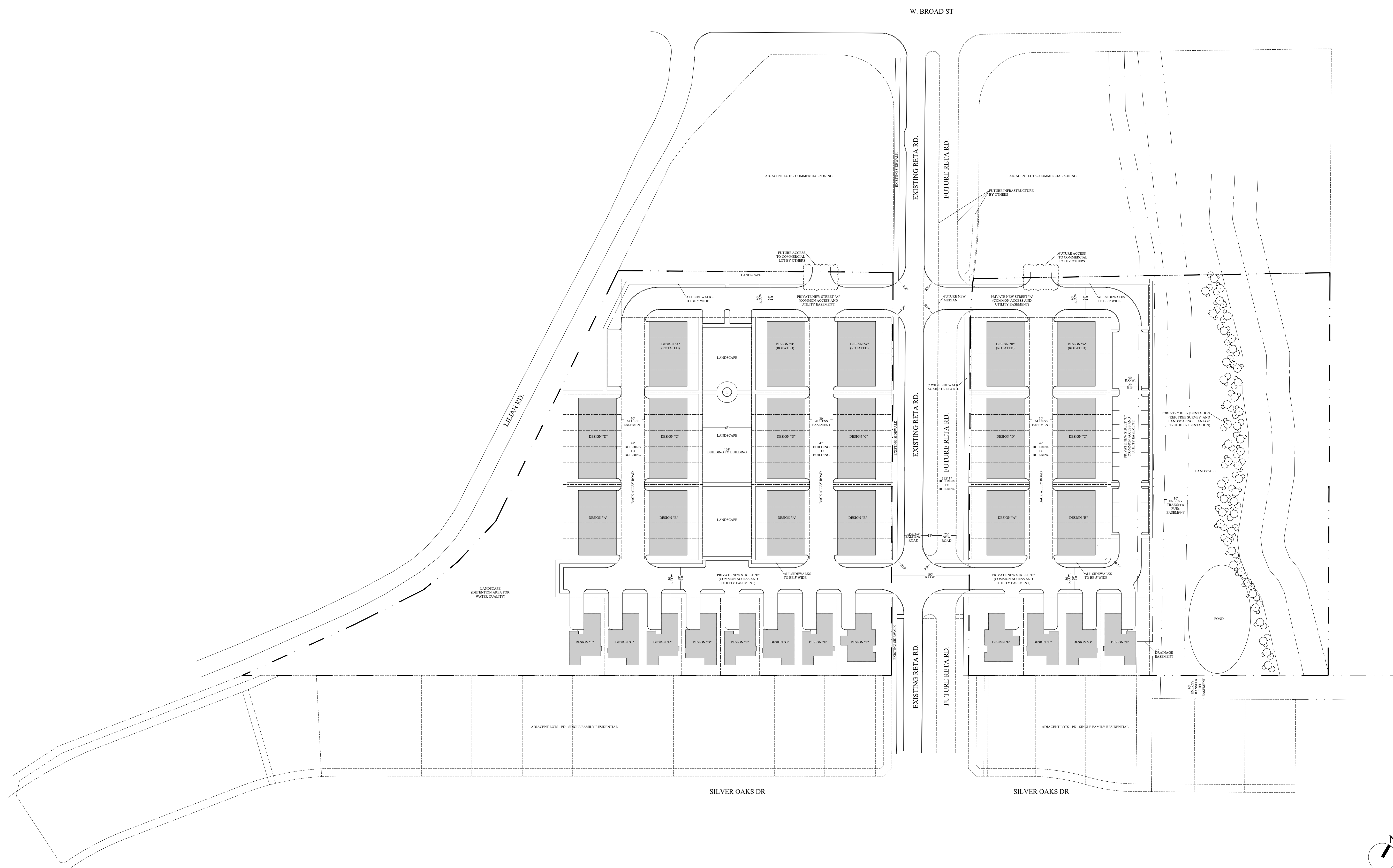


EXHIBIT “C”

803 LILLIAN RD DEVELOPMENT (Single family residential attached and detached)

APPLICANT: FC DESIGNS ON BEHALF OF JOSEPDAM REAL ESTATE, LLC

ZC#23-106

A. GENERAL

1. The existing provisions of the City of Mansfield, Texas Code of Ordinances shall continue to be applicable to issues not covered by this planned development district standards (PD) for 803 Lillian Rd Development.
2. In the event of a conflict between these PD, Planned Development District standards, and those of the City of Mansfield, Texas Code of Ordinances, as amended, the provisions set forth herein shall take precedence.
3. In the event of a conflict between these PD, Planned Development District standards and any of its illustrations, photographs, and other exhibits, including the site plan, that are attached thereto, and that are specified elsewhere in text, the standards that are set herein in the text shall prevail.
4. That the appeals process of this PD, Planned Development District, follow the considerations and procedures as set forth in Section 155.066 of the Mansfield Zoning Ordinance.

B. SITE DESIGN

1. The Developer shall design with great care the public areas surrounding Reta Rd since this arterial collector generates a passage between the commercial lots located on the north side of the development and the residential neighborhood located on the south side of the development.
 - i. The developer shall design and provide sidewalks, benches, contemporary fixtures, and landscaping (all items subject to the approval of the Director of Planning) that will encourage walkability and accessibility through and to the development. Ref. Diagram 1.

2. The Developer shall design and provide large landscaping areas that will encourage the residents of the development to enjoy the openness of the site. Landscaping areas shall include undisturbed forestry areas, wildflower gardens, water fountains and amenities that will encourage exercising (subject to the approval of the Director of Planning). Ref. Diagram 2.
3. The developer shall design and build a system of sidewalks that loops through the entire development and connect with existing sidewalks of adjacent developments to promote connectivity to adjacent communities (subject to the Director of Planning). All sidewalks to be 5' wide.
4. All buildings shall be designed to face a landscape area or major public road, and this shall be the designated main façade, in both instances each building shall have a landscaped front patio.
5. Setbacks for single family attached.
 - i. Front setback: 20'
 - ii. Rear setback against alley: 3'
 - iii. Rear setback against property lines: 10'
 - iv. Side setback on corners or property lines: 5'
6. Setbacks for single family detached.
 - i. Front setback: 20'
 - ii. Rear setback against alley: 3'
 - iii. Rear setback against property lines: 10'
 - iv. Side setback against property lines: 5'
 - v. Side setback on corner lots: 20'

C. GARAGE ORIENTATION

1. All single family attached lots shall be alley-served.
2. All single family detached lots shall not have front facing garage access.
 - i. Garage shall be accessed through side entrance or rear entrance through alley.

D. ALLEY ROADS

1. All alley roads shall be 30' wide to accommodate infrastructure and fire truck access.

- i. No dead end shall exceed a linear 150'

E. STREET TREES

1. Canopy trees at least three (3) inches caliper in size at the time of planting shall be planted between the sidewalk and street section. Every lot shall have a minimum of one (1) canopy tree.

F. ELEVATIONS CONTROL

1. To encourage architectural variety on a continuous block or landscaped area, the building facades for the single family attached buildings will not have repeating elevations across one another and on either side of the subject building.
 - i. Four (4) single family attached buildings have been designed. The same building shall never face each other. A different exterior finish palette can be applied to the same design throughout the development to encourage diversity.
 - ii. Three (3) single family detached homes have been designed. The same design shall not be adjacent to one another. A different exterior finish palette can be applied to the same design throughout the development to encourage diversity.
2. Ref. Diagram 3 for design intent in all buildings.

G. HOMEOWNERS ASSOCIATION

1. A Homeowners Association (HOA) shall be incorporated, and each lot/homeowner shall be a mandatory member. The bylaws of this association shall establish a system of payment of dues; a system of enforcement of its rules and regulations; shall establish a clear and distinct definition of the responsibility of each member, and other provisions as deemed appropriate to secure a sound and stable association. In addition to maintaining all residential common areas, the HOA shall be responsible for maintaining the front yards and side yard space between buildings.

H. MINIMUM HOUSE SIZE

1. The minimum floor livable floor area for each home shall be 1,800 square feet.

I. ARCHITECTURAL STANDARDS

1. Masonry requirements: except for openings for doors and windows only, a minimum of 50 percent of each building wall shall be fired-clay brick, cast stone, stone and/or stucco.
 - i. Exterior insulated finishing system (E.I.F.S) is not a permitted material.
 - ii. Doors and windows shall be recessed a minimum of three (3) inches in building facades constructed of brick, stone, or stucco.
 - iii. Flushed mounted windows are prohibited.
2. Required Architectural Features for all dwellings
 - i. Architectural design intent is a modern contemporary design that celebrates strong horizontal lines, glazing, a contemporary color palette on traditional materials that contrast one another and the addition of warm materials (such as wood and siding) to emphasize carvings and pop-outs into and from the buildings.
 - ii. Combination of flat roof and traditional pitch roof designs with a slope not larger than 8:12 for pitch roofs. Flat roof designs shall be protected by a parapet wall of at least forty-two (42) inches high on areas with accessibility and eighteen (18) inches high on not accessible rooftops. All flat roof designs shall be properly drained through roof drain.
 - iii. All main entrances into the dwellings shall be celebrated in a unique way to clearly identify each unit. Corner units may have a side entrance to celebrate both facades. A dooryard, front patios, stoops, enclosed entries, and awnings can promote celebrate such feature.
 - iv. All dooryards and patios shall be at least fifteen (15) feet deep by the width of the lot. Dooryards and patios shall be enclosed by ornamental metal fence no higher than four (4) feet in all single family attached lots. Dooryards and patios shall not be enclosed by fence on single family residential detached lots. Eight (8) feet high wood fences are permitted on single family residential to provide privacy into each lot backyard. Backyard wood fences shall be installed behind the main entrance façade wall.

- a. Except as specifically provided in this PD, planned development district, all fencing requirements shall comply with the provisions set forth in section 155.094 (General provisions for all fences and free-standing walls) of the City of Mansfield, Texas Code of Ordinances, as amended. In addition, the Developer shall install an ornamental wall or fence against the commercial properties on the north side of the development. Such wall/fence shall be complimented with landscaping and allow openings through multiple places to allow for lots to communicate with one another. Wall/fence is subject to the approval of the Director of Planning.
- v. All stoops, where provided, shall be elevated a minimum of two (2) feet above the adjacent sidewalk and shall have a minimum depth of four (4) feet. Stoops shall be constructed of brick, concrete, or stone material to match the adjacent building facade.
- vi. Enclosed entrances shall be celebrated by carving into the building and allowing the architecture of the building to cover the outdoor entrance space and/or creating a pop-out from the main structure that clearly identifies each main entry. Pop-outs shall be of a different material or color than the wall behind it on the main building.
- vii. All dwellings to be constructed on corner lots or high visibility lots shall be held to an elevated standard of architecture as depicted on the Development Plan. Side entrances, larger glazing areas, patios/balconies are some of the ways to celebrate such instances.
- viii. In addition to the requirements of a dooryard, patio, a porch, or stoop on a front building façade, each dwelling shall incorporate four or more of the following architectural features to stimulate visual interest and to ensure building variety.
 - a. Awnings or canopies
 - b. Balconies or enclosed patios
 - c. Dormers
 - d. Offsets between adjacent units (a minimum of 12 inches)

- e. Scone lighting
 - f. Decorative banding or molding
 - g. Eyebrow soldier courses
 - h. Large opening (windows)
 - i. Columns
 - j. Ornamental metal railings
 - k. Ornamental parapet wall caps
- ix. All openings for doors and windows shall be proportional to the space it celebrates and to each individual unit while maintaining the integrity of the overall building. Designer contemporary windows openings are subject to the approval of the Director of Planning.

January, 2024

J. DIAGRAM 1



K. DIAGRAM 2



Diagram 3



BUILDING A - FACADE

SCALE: 1/4" = 1'-0"



FEDERICO CANOURA
FCANOURA@FC-DESIGNS.NET
(682) 407-5770

CLIENT: JOSEPDAM REAL ESTATE, LLC
2100 N HWY 360 #2100A, GRAND PRAIRIE, TX 75050

PROJECT: RETA RD DEVELOPMENT
803 LILLIAN RD, MANSFIELD, TX 76063

SHEET TITLE: BUILDING A - FACADE

NO.	REVISION/ISSUED	DATE
1	ZONING CHANGE APPLICATION - PRELIM	06/19/23
2	ZONING CHANGE APPLICATION - REV "1"	08/31/23
3	ZONING CHANGE APPLICATION - REV "2"	10/26/23
4	ZONING CHANGE APPLICATION - REV "3"	12/14/23
5	ZONING CHANGE APPLICATION - REV "4"	01/11/23

CASE NO. ZC#23-016

DRAWN BY: F. CANOURA

CHECKED BY:

DATE: 06-19-23

SCALE: AS NOTED

A12.0

Diagram 3



BUILDING B - FACADE
SCALE: 1/4" = 1'-0"

NO.	REVISION/ISSUED	DATE
1	ZONING CHANGE APPLICATION - PRELIM	06/19/23
2	ZONING CHANGE APPLICATION - REV "1"	08/31/23
3	ZONING CHANGE APPLICATION - REV "2"	10/26/23
4	ZONING CHANGE APPLICATION - REV "3"	12/14/23
5	ZONING CHANGE APPLICATION - REV "4"	01/11/23

Diagram 3



BUILDING C - FACADE
SCALE: 1/4" = 1'-0"

NO.	REVISION/ISSUED	DATE
1	ZONING CHANGE APPLICATION - PRELIM	06/19/23
2	ZONING CHANGE APPLICATION - REV "1"	08/31/23
3	ZONING CHANGE APPLICATION - REV "2"	10/26/23
4	ZONING CHANGE APPLICATION - REV "3"	12/14/23
5	ZONING CHANGE APPLICATION - REV "4"	01/11/23

Diagram 3



BUILDING D - FACADE

SCALE: 1/4" = 1'-0"



FEDERICO CANOURA
FCANOURA@FC-DESIGNS.NET
(682) 407-5770

CLIENT: JOSEPDAM REAL ESTATE, LLC
2100 N HWY 360 #2100A, GRAND PRAIRIE, TX 75050

PROJECT: RETA RD DEVELOPMENT
803 LILLIAN RD, MANSFIELD, TX 76063

SHEET TITLE: BUILDING D - FACADE

NO.	REVISION/ISSUED	DATE
1	ZONING CHANGE APPLICATION - PRELIM	06/19/23
2	ZONING CHANGE APPLICATION - REV "1"	08/31/23
3	ZONING CHANGE APPLICATION - REV "2"	10/26/23
4	ZONING CHANGE APPLICATION - REV "3"	12/14/23
5	ZONING CHANGE APPLICATION - REV "4"	01/11/23

CASE NO. ZC#23-016

DRAWN BY: F. CANOURA

CHECKED BY:

DATE: 06-19-23

SCALE: AS NOTED

A15.0

Diagram 3



Diagram 3



Diagram 3



Diagram 3



Diagram 3

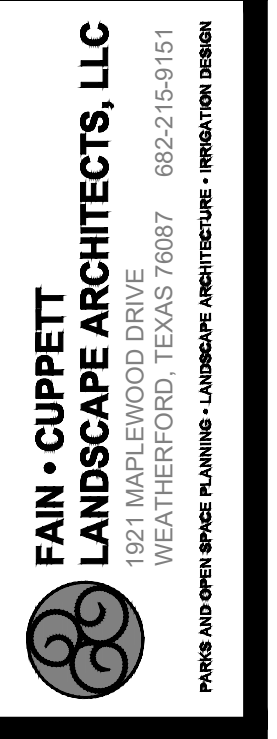


Diagram 3



Diagram 3



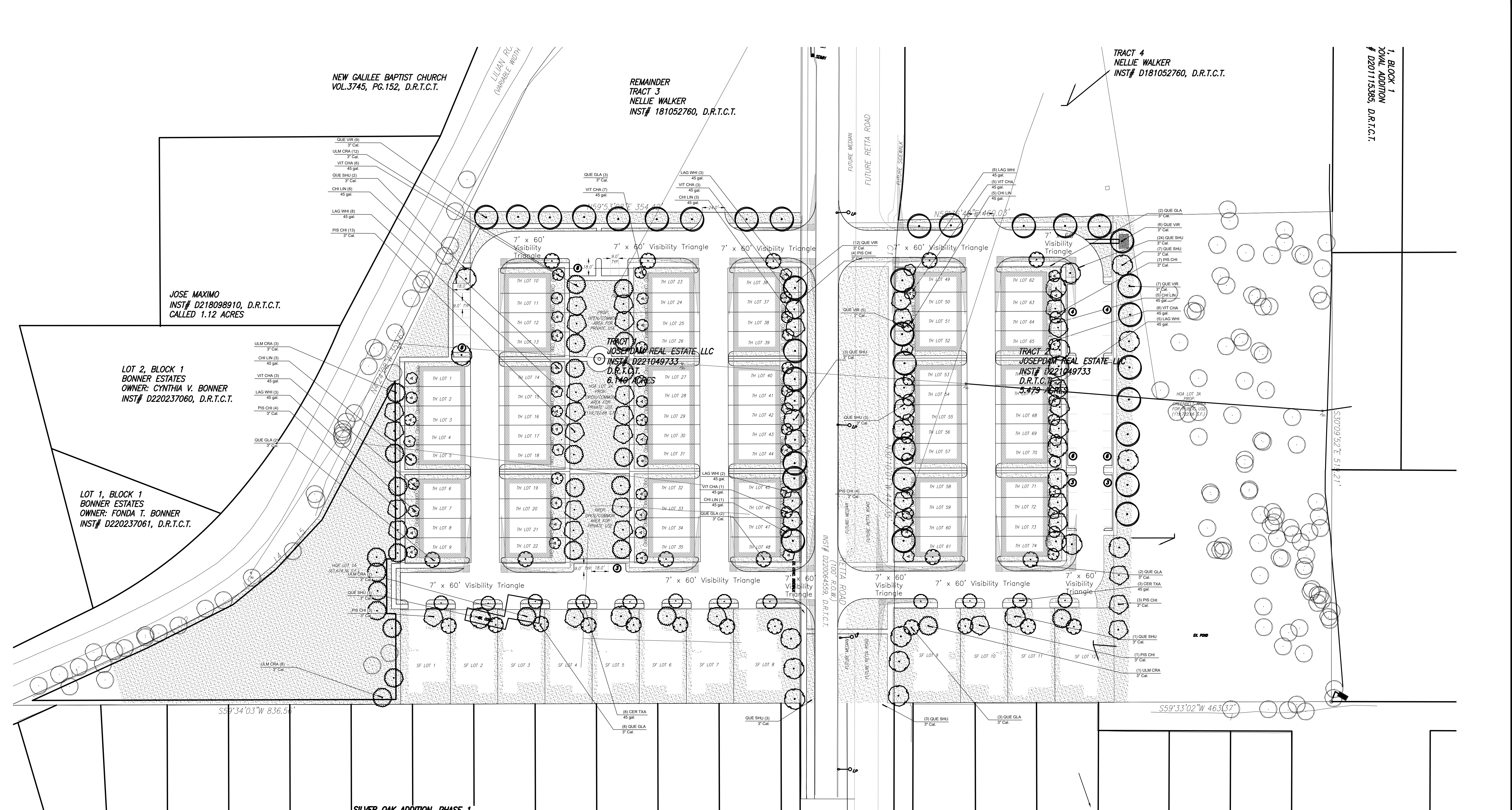


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RETTA ROAD DEVELOPMENT
 803 LILLIAN RD
 MANSFIELD, TEXAS

Sheet No.

L-3

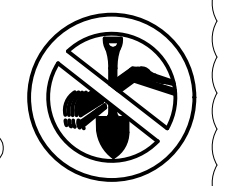


PLANTING NOTES:

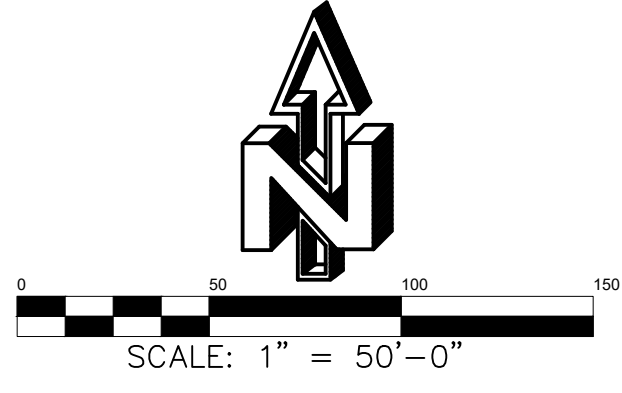
1. PLANT SIZE, TYPE, AND CONDITION SUBJECT TO APPROVAL OF OWNER'S REPRESENTATIVE.
2. ALL PLANT MATERIAL TO BE NURSERY GROWN STOCK.
3. CONTRACTOR RESPONSIBLE FOR MAINTENANCE OF ALL PLANT MATERIAL UNTIL PROJECT ACCEPTANCE.
4. ALL CONTAINER GROWN PLANTS TO HAVE FULL, VIGOROUS ROOT SYSTEM, COMPLETELY ENCOMPASSING CONTAINER.
5. ALL PLANTS WELL ROUNDED AND FULLY BRANCHED. ALL TREES WITH SPREAD 2/3 OF HEIGHT.
6. CONTRACTOR TO PROVIDE OWNER WITH PREFERRED MAINTENANCE SCHEDULE OF ALL PLANTS AND LAWNS.
7. MAINTAIN/PROTECT VISIBILITY TRIANGLE WITH PLANT MATERIAL PER CITY STANDARDS AT ALL ENTRANCES TO SITE.
8. PREP ENTIRE WIDTH OF ALL DEFINED PLANTING BEDS WITH MIX AS OUTLINED IN SPECS. WHERE SHRUBS ARE LOCATED ALONG CURB, SET SHRUBS BACK FROM CURB 3 FT.
9. SEE DETAIL SHEET L-8 FOR PLANTING DETAILS.
10. CONTRACTOR RESPONSIBLE FOR LOCATION OF ALL UTILITIES, INCLUDING BUT NOT LIMITED TO TELEPHONE, TELECABLE, ELECTRIC, GAS, WATER AND SEWER. ANY DAMAGE TO UTILITIES TO BE REPAIRED BY CONTRACTOR AT NO COST TO OWNER.
11. EXISTING TREES ARE SHOWN TO REMAIN, CONTRACTOR SHALL PRUNE WITH APPROVAL OF OWNER AND CITY ARBORIST. WORK TO INCLUDE REMOVAL OF ALL SUCKER GROWTH; DEAD AND DISEASED BRANCHES AND LIMBS; VINES, BRIARS AND OTHER INVASIVE GROWTH; AND ALL INTERFERING BRANCHES, AS WELL AS BRANCHES THAT OBSTRUCT SIGN VISIBILITY. MAKE ALL CUTS FLUSH TO REMAINING LIMB. RETAIN NATURAL SHAPE OF PLANT. ALL WORK SUBJECT TO APPROVAL OF OWNER'S REPRESENTATIVE.
12. QUANTITIES ARE PROVIDED AS A COURTESY AND NOT INTENDED FOR BID PURPOSES. CONTRACTOR TO VERIFY PRIOR TO PRICING.
13. INSTALL EDGING BETWEEN LAWN AND PLANTING BEDS. REFER TO SPECIFICATIONS. FILE ALL CORNERS SMOOTH.
14. INSTALL CURLEX BLANKET (OR EQUAL) PER MANUFACTURERS INSTRUCTIONS ON ALL GROUNDCOVER/SHRUB BEDS WITH A SLOPE OF 4:1 OR GREATER.
15. AT TIME OF PLAN PREPARATION, SEASONAL PLANT AVAILABILITY CANNOT BE DETERMINED. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO SECURE AND RESERVE ALL B&B PLANTS WHEN AVAILABLE IN CASE ACTUAL INSTALLATION OCCURS DURING THE OFF-SEASON. PURCHASE AND HOLD B&B PLANTS FOR LATE SEASON INSTALLATION.
16. BERM ALL PARKING LOT ISLANDS AS SHOWN ON ENCLOSED DETAIL SHEET. (BERMS MAY NOT BE SHOWN ON GRADING PLAN.)
17. PRIOR TO TREE PLANTING, CONTRACTOR SHALL STAKE TREE LOCATIONS FOR APPROVAL BY OWNER.

TEMPORARY IRRIGATION WILL BE REQUIRED TO ESTABLISH TURF IN ALL DISTURBED AREAS WITHOUT A PERMANENT IRRIGATION SYSTEM. HYDRO-MULCH IN ALL DISTURBED AREAS AS IDENTIFIED ON GRADING AND EROSION CONTROL PLANS.

CAUTION!!!
 UNDERGROUND UTILITIES ARE LOCATED IN THIS AREA. 48 HOURS PRIOR TO ANY CONSTRUCTION ACTIVITIES, CONTACT LINE LOCATES FOR FRANCHISE UTILITY INFO. CALL BEFORE YOU DIG!
 TEXAS EXCAVATION SAFETY SYSTEM (TESS)
 1-800-344-8377
 TEXAS ONE CALL SYSTEMS
 1-800-245-4545
 LONE STAR NOTIFICATION CENTER
 1-800-669-8344 EXT. 5

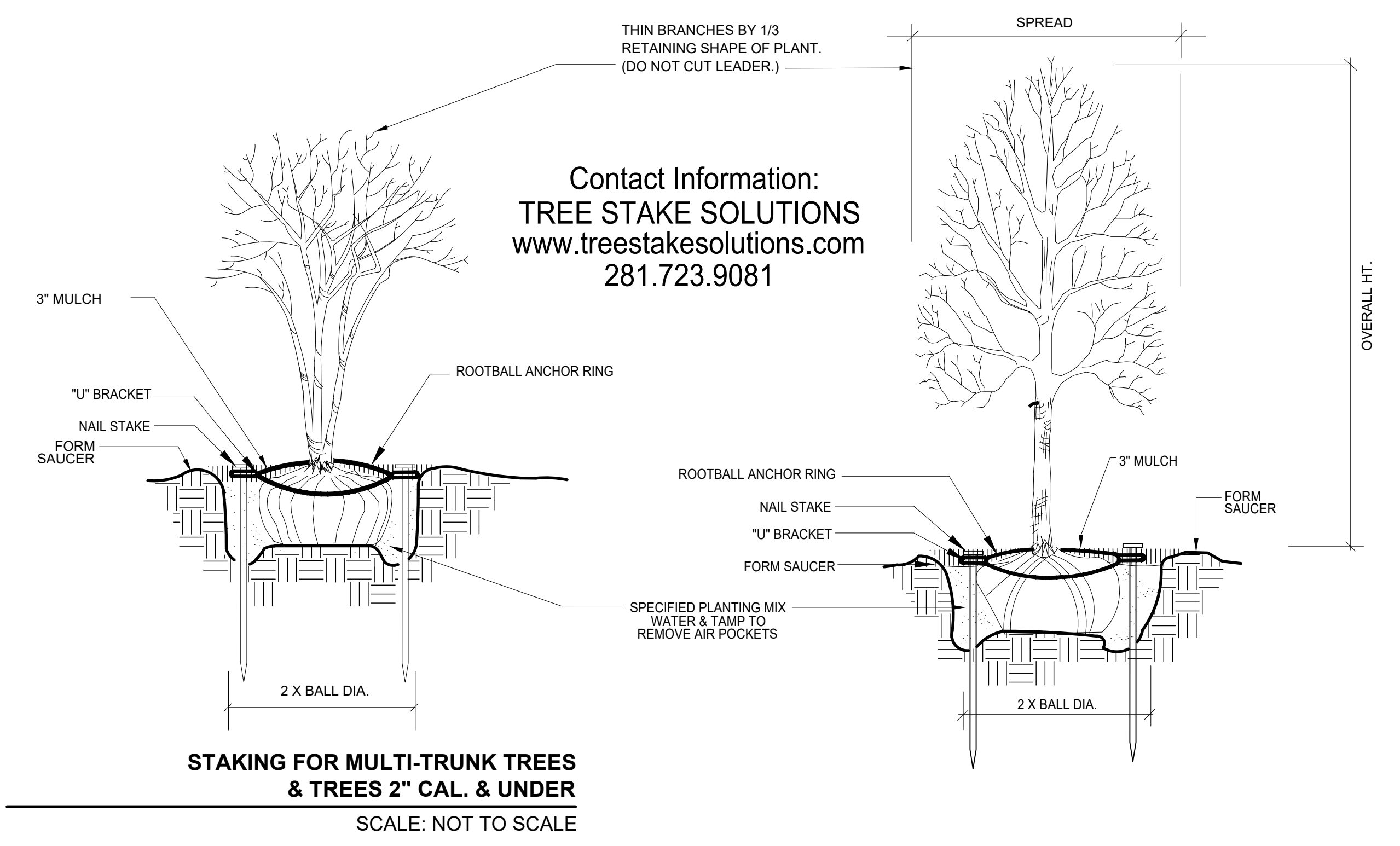


BEFORE YOU DIG...

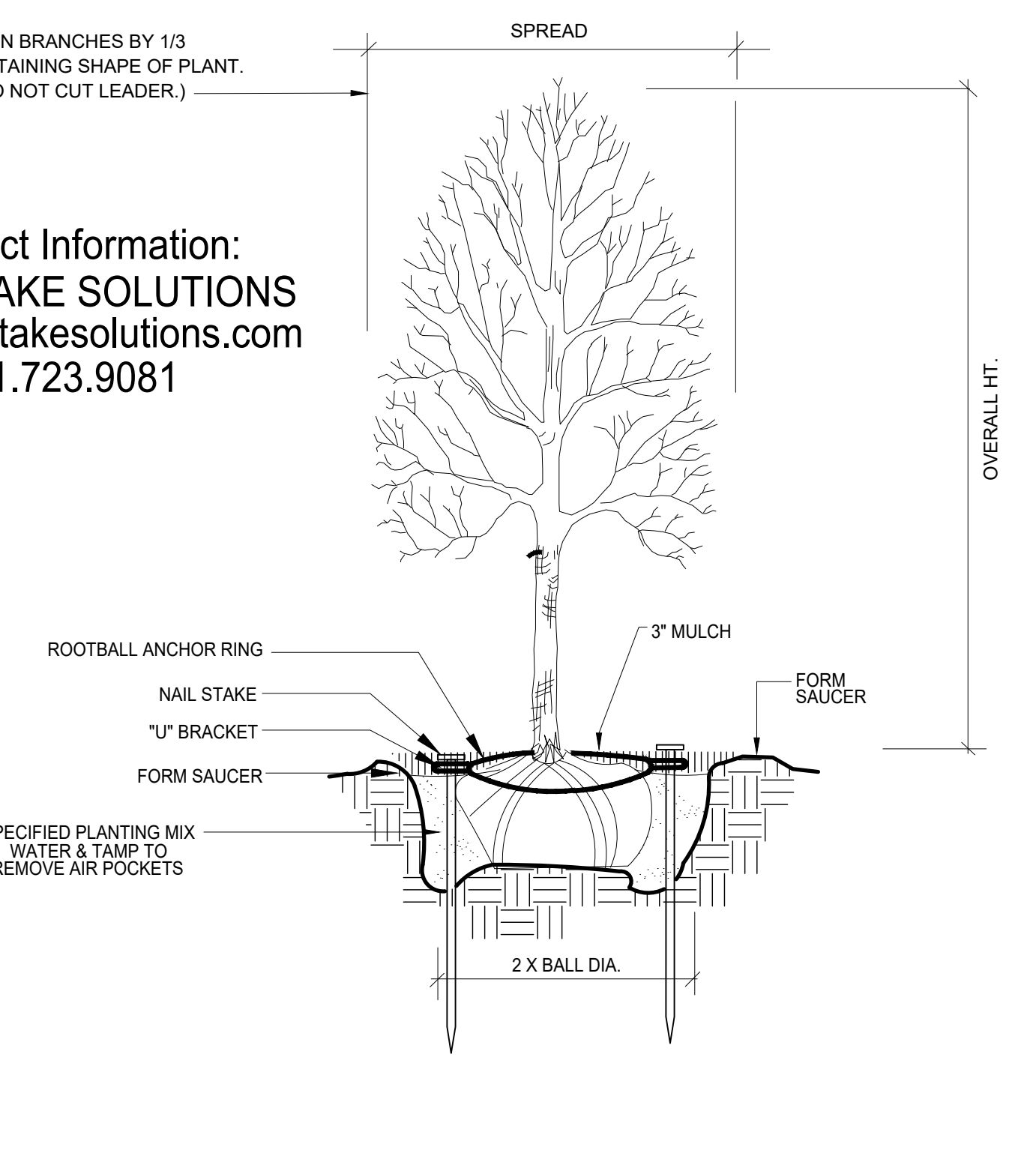


LANDSCAPE PLAN
 ZC23-016

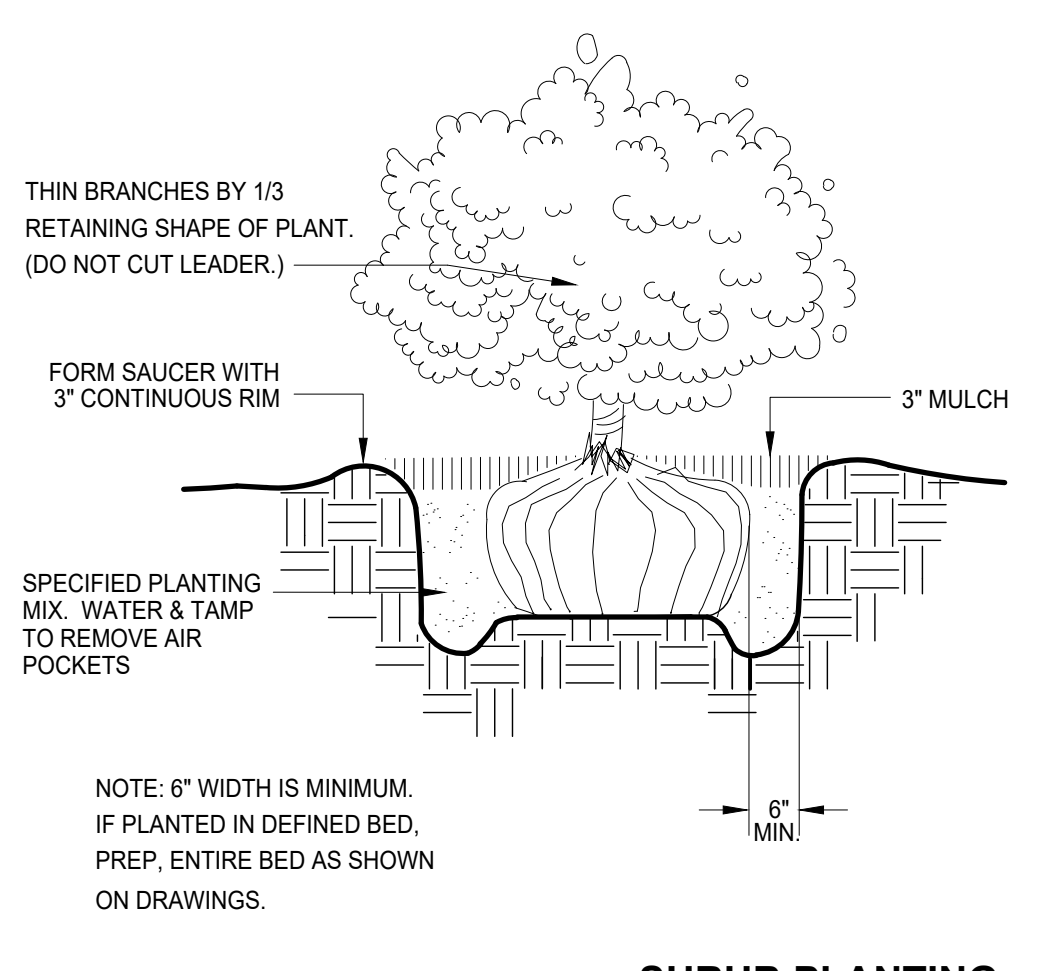
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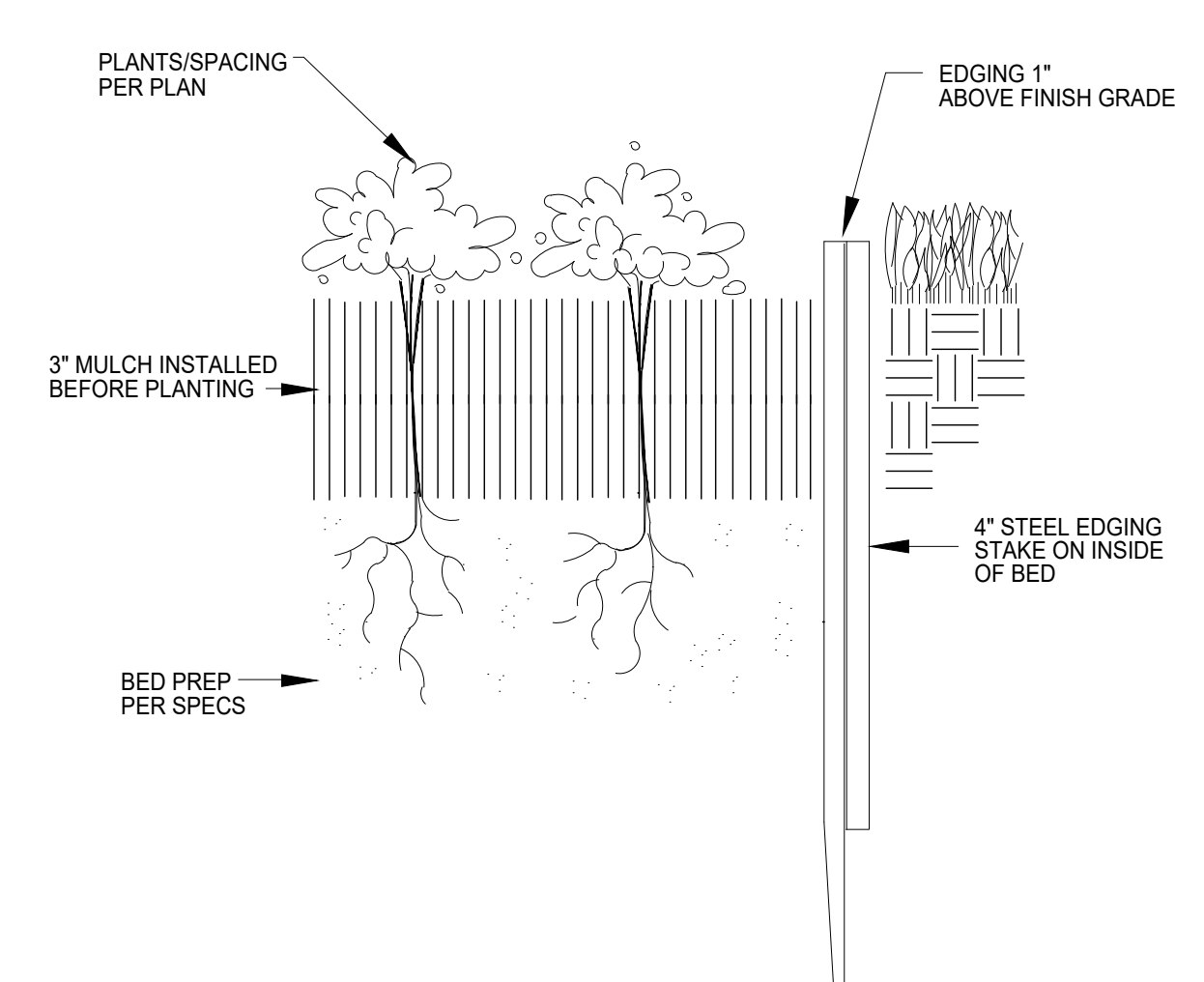
STAKING FOR MULTI-TRUNK TREES & TREES 2" CAL. & UNDER
 SCALE: NOT TO SCALE



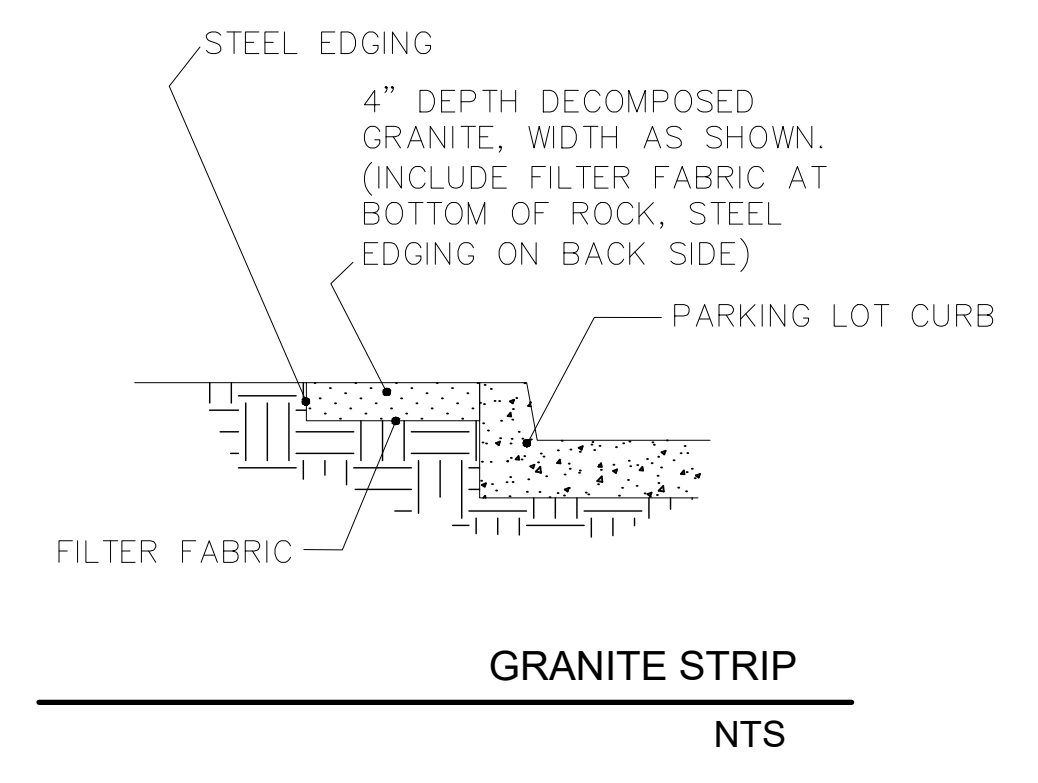
TREE PLANTING OVER 2" CALIPER
 SCALE: NOT TO SCALE



SHRUB PLANTING
 SCALE: NOT TO SCALE



BEDDING PLANTS/EDGING DETAIL
 SCALE: NOT TO SCALE



GRANITE STRIP
 NTS

PLANT SCHEDULE

SYMBOL	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	HEIGHT	SPACING	REMARKS
TREES								
	PIS CHI	40	<i>Pistacia chinensis</i>	Chinese Pistache	3" Cal.	10' Min.	As Shown	
	QUE GLA	23	<i>Quercus glaucooides</i>	Lacey Oak	3" Cal.	8' Min.		
	QUE SHU	29	<i>Quercus shumardii</i>	Shumard Oak	3" Cal.	12' Height Min		
	QUE VIR	34	<i>Quercus virginiana</i>	Southern Live Oak	3" Cal.	12' Height Min	As Shown	
	ULM CRA	27	<i>Ulmus crassifolia</i>	Cedar Elm	3" Cal.	12' Height Min	As Shown	
ORNAMENTAL TREES								
	CER TXA	12	<i>Cercis canadensis texensis</i>	Texas Redbud	45 gal.	6' Min Ht		
	CHI LIN	23	<i>Chilopsis linearis</i>	Desert Willow	45 gal.	6' Min Ht		
	LAG WHI	25	<i>Lagerstroemia indica x fauriei 'Natchez'</i>	Natchez Crape Myrtle Multi-Trunk	45 gal.	8' Min.		
	VIT CHA	26	<i>Vitex agnus-castus</i>	Chaste Tree	45 gal.	8' Min.		
SHRUBS								
	ILE NAN	296	<i>Ilex vomitoria 'Nana'</i>	Dwarf Yaupon Holly	5 gal.		36" O.C.	
	MYR PUS	148	<i>Myrica pusilla</i>	Dwarf Southern Wax Myrtle	5 gal.		48" O.C.	
SYMBOL	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	HEIGHT	SPACING	REMARKS
GROUND COVERS								
	CYN DAC	184,723 sf	<i>Cynodon dactylon</i>	Bermudagrass	Hydro-Mulch			

SECTION 02830

TREES, SHRUBS, AND GROUNDCOVERS

PART I GENERAL

1.01 DESCRIPTION OF WORK

A. Scope

1. Bed prep
2. Metal edging
3. Topsoil
4. Planting
5. Mulching
6. Guarantee

B. Related Work Specified Elsewhere

1. General Requirements – All locations
2. Section 02740 – Irrigation Trenching
3. Section 02750 – Irrigation
4. Section 02800 - Lawns

1.02 QUALITY ASSURANCE

A. Contractor Qualifications

Minimum of three (3) years experience on projects of similar characteristics and size.

B. Reference Standards:

1. American Joint Committee Of Horticultural Nomenclature: Standardized Plant Names, Second Edition, 1942;
2. American Association Of Nurserymen: American Standard For Nursery Stock, 1973

C. Substitutions

1. Substitutions accepted only upon written approval of Landscape Architect and Owner.
2. Submit substitutions possessing same characteristics as indicated on plans and specifications.

D. Inspection and Testing

1. The project Owner's representative reserves the right to inspect and tag plants at the place of growth with the Contractor.
2. Inspection at place of growth does not preclude the right of rejection due to improper digging or handling.
3. Owner's representative reserves the right to request soil samples and analysis of soil and plant mix. Remove or correct unacceptable soil. Cost of testing by Contractor.

1.03 SUBMITTALS

A. Certificates

1. Submit State and Federal certificates of inspection with invoice. (Only if required by Landscape Architect.)
2. File certificates with Owner's representative prior to material acceptance.

1.04 PRODUCT DELIVERY, STORAGE, & HANDLING

A. Preparation of Delivery

1. Balled & Burlaped (B&B) Plants
 - a. Dig and prepare for shipment in manner that will not damage roots, branches, shape, and future development after replanting.
 - b. Ball with firm, natural ball of soil, wrapped tightly with burlap covering entire ball.
 - c. Ball size and ratios: conform to American Association of Nurserymen standards unless otherwise shown on plant list.

2. Pack plant material to protect against climatic & seasonal damage, as well as breakage injuries during transit.
3. Securely cover plant tops with ventilated tarpaulin or canvas to minimize wind-whipping and drying in transit.
4. Pack and ventilate to prevent sweating of plants during transit. Give special attention to insure prompt delivery and careful handling to point of delivery at job site.

B. Delivery

1. Deliver fertilizer, fertilizer tablets, peat, mulch, soil additives, and amendment materials to site in original, unopened containers, bearing manufacturer's guaranteed chemical analysis, name, trade name, trademark, and conformance to State law.
2. Deliver plants with legible identification and size labels on example plants.
3. Protect during delivery to prevent damage to root ball or desiccation of leaves.
4. Notify Owner's representative of delivery schedule in advance so plant material may be inspected upon arrival at job site.
5. Deliver plants to job site only when areas are prepared.

C. Storage

1. Protect roots of plant material from drying or other possible injury with wetted mulch or other acceptable material.
2. Protect from weather.
3. Maintain and protect plant material not to be planted immediately upon delivery.

D. Handling

1. Do not drop plants.
2. Do not damage ball, trunk, or crown.
3. Lift and handle plants from bottom of container or ball.

1.05 JOB CONDITIONS

- A. Planting Season Perform actual planting only when weather and soil conditions are suitable in accordance with locally acceptable practices.
- B. Protection Before excavations are made, take precautionary measures to protect areas trucked over and where soil is temporarily stacked.

1.06 GUARANTEE

- A. Guarantee new plant material for one year after acceptance of final installation (ie. Final Acceptance of project).
- B. Make replacement (one per plant) during one year guarantee period at appropriate season with original plant type, size and planting mixture.
- C. Repair damage to other plants, lawns, & irrigation caused during plant replacement at no cost to Owner.
- D. Use only plant replacements of indicated size and species.

PART II PRODUCTS

2.01 MATERIALS

A. Plant Materials

1. Hardy under climatic conditions similar to locality of project.
2. True to botanical and common name variety.
3. Sound, healthy, vigorous, well branched, and densely foliated when in leaf, with healthy well-developed root system.
4. Free from disease, insects, and defects such as knots, sun-scald, windburn, injuries, disfigurement, or abrasions.
5. Conform to measurements after pruning with branches in normal positions.
6. Conform to American Association of Nurserymen standards unless shown differently on plant list.
7. Trees:
 - a. Single, straight trunks, unless indicated otherwise
 - b. Trees with weak, thin trunks not capable of support will not be accepted.
 - c. All multi-stem trees are to have a minimum of three stems, similar in size and shape, with a spread of approximately 2/3 of the height. All yaupons to be female. Crape myrtle color selection by Landscape Architect.

8. Nursery grown stock only.
9. Subject to approval of Landscape Architect.

10. Seasonal color:

- a. Annuals in 4" pots or as specified
- b. Perennials in 4" pots, clumps, bulbs as specified

B. Topsoil

1. Natural, fertile, friable soils having a textural classification of loam or sandy loam possessing characteristics of soils in vicinity which produce heavy growth of crops, grass, or other vegetation.
2. Free of subsoil, brush, organic litter, objectionable weeds, clods, shale, stones 3/4" diameter or larger, stumps, roots or other material harmful to grading, planting, plant growth, or maintenance operations.
3. Presence of vegetative parts of Bermuda grass (Cynodon dactylon), Johnson grass, nut grass (Cyperus rotundus), and other hard to eradicate weeds or grass will be cause for rejection of topsoil.
4. Test topsoil (cost by Contractor):
 - a. Available nitrogen
 - b. Available phosphorus
 - c. Available potash
 - d. Iron
 - e. Ph: 5.5 to 7.0
 - f. Decomposed organic matter: 6-10%

C. Mulch

1. Top Dressing Mulch – Shredded cypress or hard wood only
2. Soil prep – 3 Parts native soil to 1 Part composted landscape mix.
3. In pre-packaged bags only; bulk shredded material is unacceptable

- D. Peat Moss Commercially available baled peat moss or approved equivalent.

E. Staking Material

1. Stakes for tree support:
 - a. Construction grade yellow pine, stain brown
 - b. Size as noted on plans
2. Wires:
 - a. Padded with rubber hose to protect tree
 - b. Galvanized
 - c. With galvanized turnbuckle
 - d. Evenly tighten turnbuckles with plant in vertical position.

F. Water

1. Free of oils, acids, alkali, salt, and other substances harmful to plant growth
2. Location: Furnish temporary hoses and connections on site.

G. Sand – Washed builders sand

H. Antidesicant – "Wilt-proof" or equal.

I. Edging – 3/16" X 4" green, new and unused; with stakes.

2.02 MIXES

D. Planting Mixture

1. Existing topsoil – 50%
2. Shredded pine bark – 50%
3. Fertilizer 10:20:10 at 30 lb/1000 SF

E. Planting Mix for Annuals/Perennials

1. Prepare above mix
2. Add 2" of sand

F. Azalea mix: solid peat moss in hole 9" wider than root ball each direction. Plant in solid peat moss and provide mound at base of plant to allow for drainage.

G. Japanese maple, dogwood, camellias: Provide 50/50 peat moss to topsoil mix, raise for drainage.

PART III - EXECUTION

3.01 UTILITIES - verify location of all utilities prior to initiating construction; repair any damage caused by construction at no cost to owner.

3.02 INSPECTION

- A. Inspect plants for injury and insect infestation; prune prior to installation.
- B. Inspect site to verify suitable job conditions.

3.03 FIELD MEASUREMENTS

- A. Location of all trees and shrubs to staked in the field and approved by Owner's representative prior to installation.
- B. Location of all groundcover and seeding limits as shown on plans.

3.04 EXCAVATION FOR PLANTING

A. Pits

1. Shape - Vertical hand scarified sides and flat bottom.
2. Size for trees – 2 feet wider or twice the root ball, whichever is greater.
3. Size for shrubs – Size of planting bed as shown on drawings.
4. Rototill soil mix thoroughly, full depth.
5. NOTE: If beds are proposed beneath drip line of existing tree canopy, pocket prep plants. Do not roto-till beneath existing trees.

B. Obstructions Below Ground

1. Remove rock or underground obstructions to depth necessary to permit planting.
2. If underground obstructions cannot be removed, notify Owner's representative for instruction.

C. Excess Soil Dispense of unacceptable or excess soil away from the project site at Contractor's expense.

3.05 PLANTING

A. General

1. Set plants 2" above existing grade to allow for settling.
2. Set plants plumb and rigidly braced in position until planting mixture has been tamped solidly around ball.
3. Apply soil in accordance with standard industry practice for the region.
4. Thoroughly settle by water jetting and tamping soil in 6" lifts.
5. Prepare 3" dish outside root ball after planting.
6. Thoroughly water all beds and plants.
7. Stake trees and large shrubs as indicated on plans.
8. Apply anti-desicant according to manufacturer's instructions.
9. Apply commercially manufactured root stimulator as directed by printed instruction.
10. Plant and fertilize bedding plants per trade standards.
11. Apply 3" mulch top dressing.

B. Balled Plants

1. Place in pit of planting mixture that has been hand tamped prior to placing plant.
2. Place with burlap intact to ground line. Top of ball to be 2" above surrounding soil to allow for settling.
3. Remove binding at top of ball and lay top of burlap back 6".
4. Do not pull wrapping from under ball, but cut all binding cord.
5. Do not plant if ball is cracked or broken before or during planting process or if stem or trunk is loose.
6. Backfill with planting mixture in 6" lifts.

C. Container Grown Plants

1. Place in pit on planting mixture that has been hand tamped prior to placing plant.
2. Cut cans on two sides with an acceptable can cutter, and remove root ball from can. Do not injure root ball.
3. Carefully remove plants without injury or damage to root balls.
4. Backfill with planting mixture in 6" lifts.

D. Mulching

1. Cover planting bed evenly with 3" of mulch.
2. Water immediately after mulching.
3. Where mulch has settled, add additional mulch to regain 3" thickness.
4. Hose down planting area with fine spray to wash leaves of plants.

D. Pruning

1. Prune minimum necessary to remove injured twigs and branches, dead wood, and succors; remove approximately 1/3 of twig growth as directed by landscape architect; do not cut leaders or other major branches of plant unless directed by landscape architect.
2. Make cuts flush, leaving no stubs.
3. Faint cuts over 1" diameter with approved tree wound paint.
4. Do not prune evergreens except to remove injured branches.

3.06 EDGING

- A. Stake edging alignment with string line prior to installation. Use framing square to insure right angles are true.
- B. Install all edging straight and true as indicated on drawings. Where edging layout is circular in design, maintain true and constant radii as shown.
- C. When required on slopes, make vertical cuts (approximately 6" on center) on bottom of edging to allow bending without crimping edging.
- D. Install edging so that approximately 1" is exposed on lawn side. Edging should not be visible from bed side after application of mulch.
- E. Align edging with architectural features (ie pavement joints, windows, columns, wall, etc.) when drawings indicate.
- F. Bend all corners, do not cut corners.
- G. Interlock all pieces with pre-fabricated connectors.
- H. Install with all stakes on inside of planting bed.
- I. Remove, file off all sharp corners and burrs.

3.07 CLEAN-UP

A. Sweep and wash all paved surfaces.

Remove all planting and construction debris from site, including rocks, trash and all other miscellaneous materials.

3.08 MAINTENANCE

A. Contractor responsible for routine, and regular maintenance of site until Final Acceptance is awarded by Owner. Work includes:

1. Weeding (weekly)
2. Watering (as required)
3. Pruning
4. Spraying
5. Fertilizing
6. Mulching
7. Mowing (weekly)

B. Provide Owner and Landscape Architect with preferred maintenance schedule in writing. Schedule shall include the above-listed tasks and shall address all frequencies, rates, times, levels, etc.

END OF SECTION



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