

**EXHIBIT A**  
**LEGAL DESCRIPTION**

BEING a tract or parcel of land situated in the M. Rockerfellow Survey, Abstract Number 1267 in the City of Mansfield, Tarrant County, Texas and being all of that tract of land described to Gregory Ryan and Ashley Kiblinger in Instrument Number D210073046 and Volume 1427, Page 270 and Volume 1450, Page 321, Deed Records, Tarrant County, Texas and being more particularly described as follows:

BEGINNING at a 5/8" iron rod with yellow cap marked "Adams Surveying 5610" set (herein after described as IRSC) for corner in the westerly line of Cardinal Lane (a 60 foot wide right-of-way at this point) AND BEING THE MOST NORTHEASTERLY CORNER OF Lot 1, Block 1 of Glover Addition, an addition to the City of Mansfield as recorded in Cabinet A, Slide 6980, Plat Records, Tarrant County, Texas;

THENCE South 48°22'28" East, along the southerly line of said Cardinal Lane, a distance of 782.72 feet to a IRSC for corner at the intersection of said Cardinal Lane and the northerly line Newt Patterson Road (a variable width right-of-way) to a IRSC for corner;

THENCE South 60°03'00" West, leaving the southerly line of said Cardinal Lane and with the northerly line of said Newt Patterson Road, a distance of 449.48 feet to a IRSC for the southeast corner of a tract of land described to Jeffery Newberry in Deed recorded in Volume 15278, Page 356, Deed Records, Tarrant County, Texas;

THENCE North 30°13'56" West, leaving the northerly line of said Newt Patterson Road and with the common line of said Jeffery Newberry tract, a distance of 169.06 feet to a 3/8 inch iron rod found for corner;

THENCE South 60°21'32" West, with the northerly line of said Jeffery Newberry tract, a distance of 194.28 feet to a point for corner in a creek being in the east line of a tract of land described to James Crocker in Deed recorded in Volume 6409, Page 735, Deed Records, Tarrant County, Texas;

THENCE North 01°23'09" West, along the said creek and with the easterly line of said James Crocker tract, a distance of 41.80 feet to a point for corner;

THENCE continuing along the said creek and with the easterly line of said James Crocker tract the following courses and distances, to wit:

North 54°23'09" West a distance of 56.10 feet to a point for corner;

North 50°05'09" West a distance of 100.45 feet to a point for corner;

North 20°07'09" West a distance of 153.90 feet to a point for corner;

South 87°13'51" West a distance of 129.40 feet to a point for corner;

North 18°41'09" West a distance of 69.10 feet to a point for corner;

THENCE South 61°12'57" West, leaving the said creek and with the north line of said James Crocker tract and the north line of a tract of land described to Darwin Joe Barbosa in Deed recorded in Volume 13175, Page 9, Deed Records,

Tarrant County, Texas, a total distance of 467.81 feet to a 3/8 inch iron rod found for corner;

THENCE South 25°45'09" East, along the west line of said Darwin Joe Barbosa tract, a distance of 121.88 feet to a IRSC set for corner;

THENCE South 64°19'21" West, leaving the west line of said Darwin Joe Barbosa tract and passing a 3/8 inch iron rod found for the northeast corner of Lot 1, Block 1 of F K Naylor addition on Plat recorded in Volume 388, Page 205, Plat Records, Tarrant County, Texas, a distance of 30.0 feet, and continuing a total distance of 238.62 feet to a 3/8 inch iron rod found for the northwest corner of said F K Naylor Addition;

THENCE South 25°42'09" East, with the said F K Naylor Addition and the west line of a tract of land described to Pamela & Gary Birge in instrument Number D206000940, Tarrant County Official Public Records, a total distance of 496.88 feet to a IRSC for corner at the beginning of a curve to the right whose chord bears North 86°37'33" West, 221.68 feet, being in the northern line of said Newt Patterson Road;

THENCE in a Westerly direction with the north line of said Newt Patterson Road and along said curve to the right having a central angle of 22°53'07", a radius of 558.70 feet, and an arc length of 223.16 feet to a IRSC

THENCE North 75°10'59" West, continuing with the north line of said Newt Patterson Road, a distance of 181.69 feet to a IRSC for the southeast corner of a tract of land described to Gerald Nelson in instrument Number D210293187, Official Public Records, Tarrant County;

THENCE North 15°02'44" East, leaving the north line of said Newt Patterson Road and with the eastern line of said Gerald Nelson tract, a distance of 311.10 feet to a 3/8 inch iron rod found for corner;

THENCE South 71°41'33" West, along the north of said Gerald Nelson tract, a distance of 101.83 feet to a 5/8 inch iron rod found for the common corner of said Gerald Nelson tract and a tract of land described to Joseph & Dianna Metzger in Instrument Number D194226541, Volume 11758, Page 1598, Deed Records, Tarrant County, Texas;

THENCE North 75°12'08" West, along the north line of said Joseph & Dianna Metzger tract, a distance of 183.81 feet to a 5/8 inch iron rod found for the common corner of said Joseph & Dianna Metzger tract and a tract of land described to Aaron Perkins in Instrument Number D204172505 Deed Records, Tarrant County, Texas;

THENCE North 52°32'00" West, along the north line of said Aaron Perkins tract and a tract of land described to John & Candy Patterson in Instrument Number D180057959, Volume 7012, Page 446, Deed Records, Tarrant County, Texas, a total distance of 363.21 feet to a IRSC for corner in the southern line of a tract of land described to Alison Kay Goodson in Volume 10865, Page 1554, Deed Records, Tarrant County, Texas;

THENCE North 57°43'54" East, leaving the north line of said John & Candy Patterson tract and with the southern line of said Alison Kay Goodson tract passing at 326.70 feet a 3/8 inch iron rod found for the common corner of said Alison Goodson tract and the southwesterly corner of a tract of land described to Jas C ETUX Suzanne Mulhausen in Volume 9857, Page 794, Deed

Records, Tarrant County, Texas, and continuing along the southerly line of said Jas C ETUX Suzanne Mulhausen tract passing the common corner of said Jas C ETUX Suzanne Mulhausen tract and the southwesterly corner of Lot 1, Block 1 Stone Addition, an addition to the City of Mansfield, as recorded in Cabinet B, Slide 896, Plat Records, Tarrant County, Texas at 977.83 feet, and continuing along said Stone Addition passing at a distance of 1275.06 feet the southwesterly corner of Lot 1, Block 1 Bennett Addition, an addition to the City of Mansfield, as recorded in Cabinet A, Slide 8581, Plat Records, Tarrant County, Texas, and continuing a total 1358.38 feet to a IRSC for the northwest corner of a tract of land described to Jas C ETUX Suzanne Milhausen in Volume 9857, Page 794, Deed Records, Tarrant County, Texas;

THENCE South 47°25'29" East, along the westerly line of said Jas C ETUX Suzanne Milhausen tract, a distance of 167.10 feet to a 3/8 inch iron rod found for the common corner of said Jas C ETUX Suzanne Milhausen tract and said Lot 1, Block 1 of Glover Addition;

THENCE South 48°22'28" East, along the westerly line of said Lot 1, Block 1 of the Glover Addition, a distance of 170.00 feet to a 3/8 inch iron rod found for corner;

THENCE North 57°22'56" East, along the southerly line of said Lot1, Block 1 of Glover Addition, a distance of 264.87 feet to the POINT OF BEGINNING and containing 23.8445 acres of land, more or less.

**EXHIBIT B**

**PLANNED DEVELOPMENT  
CARDINAL PARK ESTATES  
MANSFIELD, TEXAS**

Cardinal Park Estates proposes 55 residential lots on 23.84 acres with 5.88 acres of open space. The proposed development is to adhere to the SF 8.4 standards, unless provided herein. However, the lots have an average of 11,700 square feet with the largest lot being 24,000 square feet. The project has been designed to provide a curvilinear street pattern, which incorporates the natural amenities of the open space. There will be a six foot hike and bike trail with a low water crossing provided for the residents with access throughout the development.

A mandatory Home Owners Association will be established to maintain the open space, common areas, and screening walls. The Open Space is shown as a Possible Future Spine Trail connection in the 2009 Parks, Recreation, Open Space & Trails Master Plan for the City of Mansfield. The existing flood plain will not be affected by the development of this project.

A. The following minimum standards shall apply for the Single Family.

- |     |   |   |                   |
|-----|---|---|-------------------|
| 1)  | Minimum Front Yard                          | - | 20 feet           |
| 2)  | Minimum Front Yard for Front Facing Garages | - | 24 feet           |
| 3)  | Minimum Rear Yard                           | - | 15 feet           |
| 4)  | Minimum Side Yard                           | - | 7 1/2 feet        |
| 5)  | Maximum Height                              | - | 35 feet           |
| 6)  | Minimum Lot Area                            | - | 8,400 square feet |
| 7)  | Minimum Lot Width                           | - | 70 feet           |
| 8)  | Minimum Lot Depth                           | - | 110 feet          |
| 9)  | Maximum Lot Coverage                        | - | 45 percent        |
| 10) | Minimum Dwelling Unit                       | - | 2,200 square feet |

## B. Community Features

1. 6' Hike and Bike trail along the open space with picnic tables and benches as shown on Exhibit D.
2. Entrance Monuments, as shown on Exhibit D.
3. Masonry Screening Wall and Wrought Iron Fencing along adjacent roads as shown on Exhibit D.
4. Landscape and irrigation along adjacent to Newt Patterson Road & Cardinal Road.
5. A Homeowner's Association will be formed to provide for perpetual maintenance. A professional management company will be utilized to oversee HOA Operations.
6. Streetlights must be historical lanterns. Sidewalks, a minimum of 4' in width shall be provided on both sides of the streets, as depicted in Exhibit D.
7. Large Open Space areas with access corridors for all residents
8. At least six different housing models will be used throughout the subdivision.
9. Each housing model shall have at least three characteristics which clearly distinguish it from other housing models, including different floor plans, exterior materials, roof lines, garage placement and placement of the footprint on the lot and or building face.
10. No use of the same brick color, duplicate building elevation (front and rear facades) and building profiles should be allowed on a house built on a lot that is within six lots of a structure with similar building elements that is located on the same side of street in between intersecting streets.

## C. Home Features

1. Irrigate and sod front, side and rear yards.
2. Plant 3 – 3" trees per lot with 2 in the front yard.
3. 80% masonry on entire structure with numerous architectural features.
4. 8/12 roof pitches with dimensional shingles.

5. Each home must have a masonry mailbox, however, two houses may use one mailbox structure.
6. All homes will feature a covered front or rear porch.
7. All homes will include a cedar garage door and washed aggregate driveway.



# *Cardinal Park Estates*

Exhibit D

Mansfield, TX

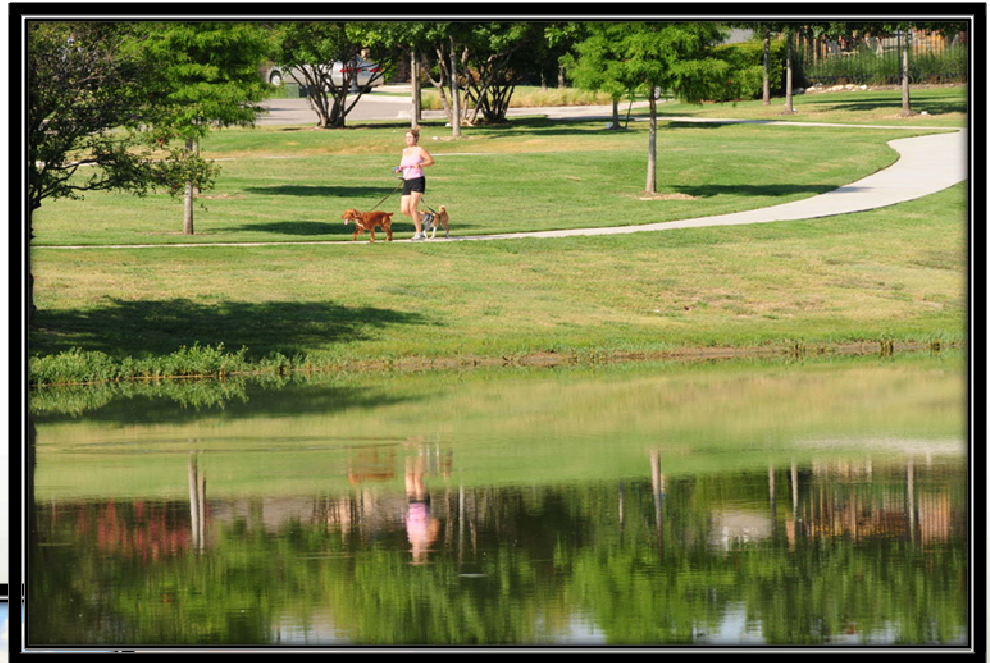




- Maintained open, public space within community
- An Abundance of trees and shrubs
- Community Pond

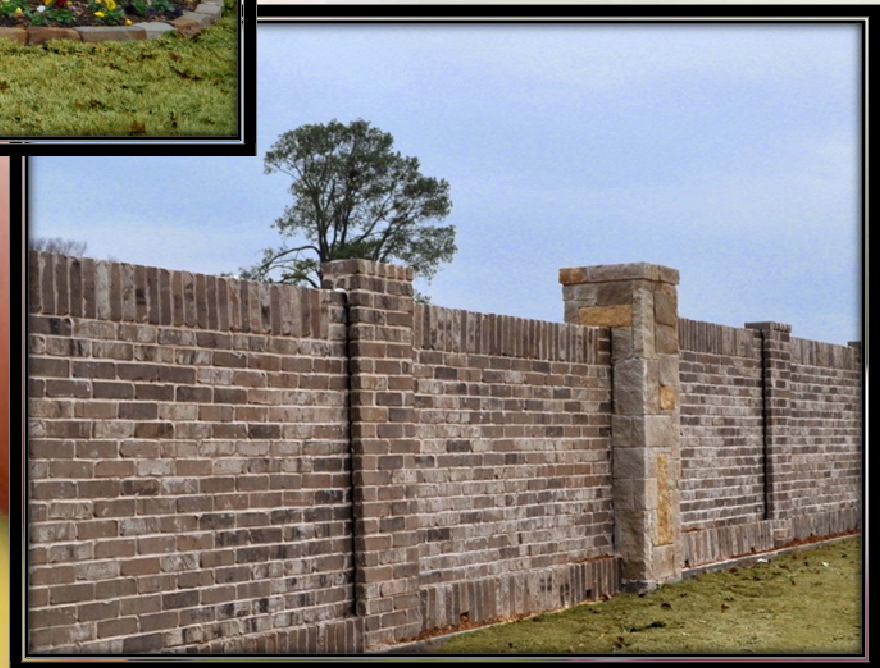


- Meandering, continuous public trail system
- Wrought iron fences at back of home sites facing open space





- Stone masonry entry monuments
- Entry landscaping
- Wrought iron, brick and stone exterior fencing





- Unique stone and brick exteriors
- Historically inspired architecture with a variety of materials
- Cedar garage doors





- Covered front and rear porches and balconies
- Upgraded landscaping with stone borders
- Full sod and sprinkler system



**Exhibit "E"**  
**Design Guidelines for Planned Development Districts for Residential Neighborhoods**

<b>REQUIREMENT</b>	<b>COMPLIANCE Yes / No</b>	<b>COMMENTS</b>
<p><b>A. Preamble.</b>            These Design Guidelines are applicable to the review of future zoning change applications for Planned Development for new residential neighborhoods. They are intended to express the high level of quality that the City of Mansfield is looking for in residential neighborhoods based on desires of the citizens, analysis of existing quality neighborhoods, and research of planning practices and principles being implemented nation-wide today. The City believes that these Guidelines will assist developers in the review and approval process for a residential Planned Development.</p> <p>The Design Guidelines could raise the quality for all residential developments as it is the City's goal to provide a quality, sustainable community. They will be shared with developers to provide insight to how the City sees neighborhoods at their best; however, they are not intended to replace any current regulations. Strict compliance with all applicable regulations in an existing residential zoning district is expected. Should a developer seek to develop in a manner that deviates from the zoning district regulations, these Design Guidelines should be consulted in the preparation of a zoning change application for Planned Development.</p> <p><b>B. Purpose.</b>            The purpose of this document is to provide guidelines applicable to residential development. The guidelines apply to small infill as well as large master planned communities. They encourage the highest level of design quality while allowing flexibility in the design of the residential development.</p> <p>Concepts for development are consistent with many principles of urban design for residential growth, including concepts for Smart Growth, Traditional Neighborhood Development and typical suburban patterns of growth. Smart</p>		

growth involves housing choice, educational opportunity, jobs and the balance of jobs and house, essential facilities and services and community identity. Site specific standards, where applicable, and guidelines for Planned Developments and Specific Plan areas, such as Downtown, should take precedence when in conflict with the following standards. Where such standards or guidelines are silent, these guidelines will serve as a supplement.

**C. Architecture.**

1. Architectural diversity and creativity should be encouraged to avoid homogeneity and sterility. Contrast and variety contribute strongly to the visual interest and perceptions of quality.
2. Avoid standards that promote sameness and stifle individuality.
3. Preserve and incorporate structures which are distinctive because of their age, cultural significance, or unique architectural style into the project.
4. Establish attractive, inviting, imaginative and functional site arrangement of buildings and parking areas, and a high quality of architectural and landscape design.
5. The arrangement of structures, circulation and open spaces should recognize the particular characteristics of the site and should relate to the surrounding built environment in pattern, function, scale, character and materials.
6. In developed areas, new projects should meet or exceed the standards of quality which have been set by surrounding development.
7. Residential uses should be buffered from incompatible development. Intensified landscaping, increased setbacks and appropriate building orientation should be utilized as a means of providing adequate separation between such land uses.
8. Energy efficiency beyond the base requirements of the Building Codes is encouraged. The use of Green Building techniques that minimize toxicity, enhance indoor air quality, emphasize natural light, and reduce utility bills will be favored.

**D. Density and Intensity.**

1. Preserve and incorporate natural amenities unique to the site such as

Yes

A variety of floor plans with at least three elevations each will be utilized.

Yes

Elevations include at least 80% stone and brick material. The majority of elevations include front or rear covered porches.

Yes

Architectural windows are featured on all elevations.

Yes

Yes

Compatible with surrounding properties

Yes

Yes

Energy saving features included in all homes: Radiant Barrier decking; 15 SEER HVAC; Vinyl windows with double panel, Low E glass; Programmable thermostat; R38 Insulation in attics; Energy Star appliances.

Yes

Yes

Existing mature trees in flood plain and open

<p>topography, mature trees, water features, etc. into the project. By protecting natural amenities and setting those areas aside, a development may establish a more natural intensity for the project.</p> <p>2. Lot sizes and housing types should be varied to blend and average out densities and avoid homogenous neighborhoods. A wide mix of housing types make it possible for people of all ages, income levels, classes and family configurations to live in close proximity.</p> <p>3. Average gross density of the developed area should be evaluated as part of any zoning change request; however, it is only one of several factors in a decision. Density and intensity of the surrounding community and neighborhoods should be included in the evaluation.</p> <p>4. A community is made up of multiple neighborhoods that share something in common, such as shopping, thoroughfares, parks, and communication, like an organized association and newsletter. A neighborhood may be as small as one development or multiple developments and large acres.</p> <p>5. New or infill development should respect the scale, proportion, and character of the surrounding areas. Avoid the physical disassociation of new neighborhoods to existing by eliminating walls and other physical separations and barriers, where appropriate.</p> <p>6. Higher densities involving multi family or attached single-family dwelling units are generally proposed in, adjacent to, or within close proximity to the core area. The neighborhood core area can vary over a period of time and development. It may refer to a predominant intersection such as Matlock Road and Debbie Lane; Downtown Mansfield; or near unique land uses, such as an entertainment venue. Depending on the development proposal, Highway 287 may serve as a core in some discussions.</p> <p>7. Lower densities, usually detached single family dwellings, are located toward the edge. The neighborhood edge is usually where the neighborhood joins the larger community.</p> <p>8. A clear edge establishes the presence of the neighborhood, its beginning and end. Examples of good edges may be streets, open space, or creeks.</p> <p>9. Cores are not necessarily located in the middle of the neighborhood, but should be sited to maximize the accessibility thereto by residents of the neighborhood and other intended users. Cores may be a square or green, and</p>	<p></p> <p>Yes</p> <p>Yes</p> <p>Yes</p> <p>Yes</p> <p>N/A</p> <p>Yes</p> <p>Yes</p> <p>Yes</p>	<p>space are being preserved.</p> <p>Lot sizes range from 8400 feet to 24000 square feet.</p> <p>2.3 homes per acre</p> <p>Trail system links neighborhood on both sides of creek.</p> <p>Screening and fencing consistent with City of Mansfield guidelines</p>
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<p>help provide an identity to the neighborhood.</p> <p>10. Open space areas should be located within approximately 1,500 feet from every dwelling in the new development.</p> <p>11. Provide for adequate open space and other design characteristics such as ample street parking and privacy.</p> <p>12. Provide single loaded streets adjacent to open space. No residential lot should back to public open space.</p> <p><b>E. Lot Types and Products.</b></p> <p>1. Single family detached units may range from Garden Homes on small lots to Ranchettes on small acreages.</p> <p>2. Lot widths should be established based on the proposed product allowing for ample setbacks to side yards.</p> <p>3. A mix of housing products are encouraged to meet different needs of owners, family programs, classes, and styles</p> <p>4. Single family attached units may be townhouses, duplexes or row houses. Minimum areas for these individual units should be 1,200 square feet. It is preferred that each unit be placed on its own lot for individual ownership of land and unit.</p> <p><b>F. Setbacks.</b></p> <p>1. Twenty five feet is the standard front yard setback. Fifteen feet should be the minimum rear yard setback of any yard.</p> <p>2. Variation of building placement and lot development patterns are essential to achieve visual diversity and avoid monotony. At least three techniques noted below should be incorporated into a residential project design.</p> <p>3. Placement of homes and garages at variable setbacks establishes different patterns of visible open spaces and creates a visually interesting streetscape.</p> <p>4. Front building setbacks may be reduced to twenty (20) feet as long as the garage facade is established at no less than twenty-five (25) feet from the street right-of-way to allow for parking.</p> <p>5. Porches (non-auto related) may be extended five (5) additional feet into the front setbacks.</p>	<p>Yes</p> <p>Yes</p> <p>N/A</p> <p>Yes</p> <p>Yes</p> <p>Yes</p> <p>Yes</p> <p>Yes</p> <p>Yes</p> <p>Yes</p> <p>Yes</p> <p>Yes</p>	<p>Open space is private and maintained by HOA.</p> <p>Setbacks are consistent with City of Mansfield Standards.</p> <p>2200 Square foot minimum</p> <p>Setbacks are specified on Exhibit C.</p>
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<p>6. Varying the distance between adjoining homes or between homes and fences, results in different types/sizes of yards and private patio areas, maximizing use of land and enhancing dwelling privacy.</p>	<p>Yes</p>	
<p>7. Lot widths should vary to provide different amounts of open space areas between structures and allows siting of different types of homes.</p>	<p>Yes</p>	
<p>8. On narrow lots, a variation of only three or four feet can make a difference in perception.</p>	<p>Yes</p>	
<p>9. Clustering homes or using a zero lot line arrangement is an effective method to gain density and increase the size of common open spaces.</p>	<p>N/A</p>	
<p><b>G. Housing Models.</b></p>		
<p>1. One hundred (100) or more single family detached housing lots should have at least ten (10) housing models, as described below.</p>	<p>N/A</p>	
<p>2. Fewer than one hundred (100) lots should have at least six (6) different housing models.</p>	<p>Yes</p>	
<p>3. No more than twenty-five (25) percent of one model should be permitted per development.</p>	<p>Yes</p>	
<p>4. Each model should occupy at least five (5) percent of the development.</p>	<p>Yes</p>	
<p><b>H. Model Characteristics.</b></p>		
<p>1. Each housing model should have at least three (3) characteristics which clearly and obviously distinguish it from other housing models, including different floor plans, exterior materials, roof lines, garage placement, and placement of the footprint on the lot and/or building face.</p>	<p>Yes</p>	
<p>2. No use of the same brick masonry color, duplicate building elevation (front and rear facades) and building profile should be allowed on a house built on a lot that is within six (6) lots of a structure constructed with similar building elements that is located on the same side of street in-between intersecting streets.</p>	<p>Yes</p>	<p>See Exhibit B</p>
<p>3. A variety of decorative garage doors should be used throughout the neighborhood.</p>	<p>No</p>	<p>Cedar garage door will be standard</p>
<p>4. Other quality products should be proposed including, but not limited to dimensional shingles instead of three tab shingles where appropriate; other tile and metal roofs suited to the home architecture; decorative columns and railings; varied patterns, style and type of materials; and architectural details (such as tile work and moldings) or accent materials integrated into the building facade.</p>	<p>Yes</p>	<p>Standard features will include: Dimensional shingles; Front and rear porches on many elevations; Stone and brick elevations; Washed aggregate driveways; Architectural windows</p>

<p>5. No residential building should be built with similar aforementioned building elements and color pallet as one located directly across the street.</p>	<p>Yes</p>	
<p><b>I. Streets.</b></p>		
<p>1. Minimum fifty (50) foot right-of-way with twenty-nine (29) feet of pavement is the standard residential street used throughout the city.</p>	<p>Yes</p>	
<p>2. Streets should be of a minimum width to accommodate the street, median, planting strips, sidewalks, utilities and maintenance considerations</p>	<p>N/A</p>	
<p>3. Street widths should be appropriate for adjacent land uses and building types.</p>	<p>Yes</p>	<p>See Exhibit D</p>
<p>4. No residential development should be developed without sidewalks, pedestrian ways, neighborhood connections, trails and paths. The street should complement the distinctive character of the neighborhood or district while providing connections to adjoining neighborhoods.</p>	<p>Yes</p>	
<p>5. Slip Roads should be used when fronting homes onto collectors or greater to reduce the number of drives that ingress and egress on the street while creating more depth to the front yards and separating the homes from the busy street.</p>	<p>N/A</p>	
<p>6. Divided 2-Lane roadways with: 80' ROW, 22' pavement in each direction, curb-side parking should be permitted in residential neighborhoods providing a landscaped median.</p>	<p>N/A</p>	
<p>7. Single loaded streets may be reduced to 27' of pavement with parking on one side only.</p>	<p>N/A</p>	
<p>8. Alley ways are discouraged.</p>	<p>Yes</p>	
<p><b>J. Street Pattern.</b></p>		
<p>Residential streets are encouraged to be curvilinear in design. Alternatives such as "Traditional Grid" street patterns may be used in those instances where other traditional elements are incorporated into the development.</p>		
<p>1. Curvilinear street patterns are appropriate where blending with existing developments.</p>	<p>Yes</p>	
<p>2. A short grid street pattern is appropriate for smaller lots and flat, unadorned land.</p>	<p>N/A</p>	

<p>3. Dense interconnected patterns are suited to walk-able neighborhoods.</p> <p>4. Interconnectivity should be assessed by its ability to permit multiple routes to diffuse traffic and to shorten walking distances.</p>	<p>N/A</p> <p>N/A</p>	
<p><b>K. Block Length.</b></p> <p>Six hundred (600) to nine hundred (900) linear feet is an appropriate block length in most developments.</p> <p>1. All or most low speed low volume streets should have short block lengths.</p> <p>2. Exceptions may be needed due to topography, environmental protection preservation of cultural resources and similar considerations.</p>	<p>Yes</p> <p>Yes</p> <p>N/A</p>	
<p><b>L. Relationship of Buildings to the Street.</b></p> <p>1. Buildings should be oriented toward a public or private street</p> <p>2. Create visual interest and variety, while maintaining a sense of harmony and property along street frontages and other portions of the project exposed to public view.</p> <p>3. Buildings in a development core may be placed closer to the street. All lots and sites should have pedestrian connections and the core area should be fully accessible to pedestrians.</p> <p>4. Parking lots and garages should be discouraged from facing the street. Off-street parking may be located to the side or behind buildings but not in front of buildings or in such a manner as to interfere with pedestrian access.</p>	<p>Yes</p> <p>Yes</p> <p>N/A</p> <p>N/A</p>	
<p><b>M. Perimeter Screen Along 60 foot or wider thoroughfares.</b></p> <p>1. Community perimeter walls should be of masonry construction or ornamental metal and sited to accommodate a minimum 15' landscaped setback, adjacent to the thoroughfare. Heavy landscaping with alternative screening fences is encouraged.</p> <p>2. Wall sections greater than fifty (50) feet in length should incorporate at least three of the following design features which are proportionate to the wall length:</p> <p>i) A minimum 2 foot change in plane for at least 10 feet.</p> <p>ii) A minimum 18 inch raised planter for at least 8 feet.</p>	<p>Yes</p> <p>Yes</p>	<p>See Exhibit E</p> <p>See Exhibit E for example of wall and columns</p>

<p>iii) Use of columns at 35 foot intervals and changes in wall planes.</p> <p>iv) A minimum 4 foot high opaque fence with 2 — 4 foot of see through materials, not chain link.</p> <p>3. Gates should be provided in walls or fences to allow emergency access and to facilitate convenient pedestrian access to activity areas and adjacent uses.</p> <p>4. A wall(s) may be eliminated or sited to provide additional setback areas at project entries to accommodate distinctive landscaping, ornamental gateways, signage, and street furniture.</p> <p>5. Walls should be curved or angled at corner locations to accommodate appropriate visibility and add variety.</p> <p>6. Masonry fencing and walls should have a design life of 30 years. Additional information may be found in the Construction, Zoning and Subdivision Ordinances.</p>	<p>Yes</p> <p>Yes</p> <p>Yes</p> <p>Yes</p>	
<p><b>N. Perimeter Walkways and Landscape.</b></p> <p>1. Minimum four (4) foot sidewalks along both sides of the street are required in all residential neighborhoods. Provide five (5) foot on thoroughfares.</p> <p>2. The value of trees and landscaping should be recognized as important features that strongly influence the aesthetics and environmental quality of the city. This recognition of value will be reflected in all development standards.</p>	<p>Yes</p>	
<p><b>0. Lighting and furnishings along Open Space, Easements and Trails.</b></p> <p>1. The type and location of site and building lighting should preclude direct glare onto adjoining property, streets or skyward.</p> <p>2. Pedestrian scale/decorative light fixtures and furnishings are encouraged. Oncor/TXU installs and maintains neighborhood lighting. The standard pole is galvanized steel with a cobra head. There is one decorative alternative that is more pedestrian in scale. Reference City of Mansfield street light standards.</p> <p>3. Trails and open space should be adequately lighted with low maintenance fixtures.</p> <p>4. Street lights should assist in illuminating street signs.</p> <p>5. Lighting is intended to be as needed for security and visibility. Obnoxious, invasive or glaring lights are prohibited.</p>	<p>Yes</p> <p>Yes</p> <p>No</p> <p>Yes</p>	<p>Historical street lights will be utilized.</p> <p>Designed for daytime use. No electrical improvements will be constructed in the flood plain.</p>

<p><b>P. Home Owner Associations.</b></p> <p>1. Where common items or areas are proposed, a property owners association should be created to enforce the restrictions of this ordinance at the expense of the property owners association.</p> <p>2. Said association should also maintain required and/or common masonry screening walls, street landscaping, monument signage, irrigation, and other common areas of the development. HOA's are required to pay for electricity and irrigation. Accounts should be established in those association names.</p> <p>3. Documentation establishing such association should be submitted at the time of final plat review. Page 7</p> <p>4. Accessory uses and/or buildings and parking or storage such as accessory or storage buildings, parking or storage of RV's or boats, parking on streets, are items that should all be addressed in the deed restrictions.</p> <p>5. Community facilities are encouraged within neighborhoods depending on anticipated activity levels of occupants. Trails, open space, access and links to adjacent open space; swimming pools and play grounds; and community meeting rooms may all be considered as necessary amenities to a neighborhood. Design standards for these should be complimentary and blend with the neighborhood.</p> <p><b>Q. Entry Features and Medians.</b></p> <p>1. Development along major entranceways influences first impressions and the image of Mansfield.</p> <p>2. Neighborhoods should be distinguished by entry and edge design features such as ornamental landscaping, open space areas, natural features, architectural monuments and enhanced paving.</p> <p>3. Entry walls should be provided at the intersections of major thoroughfares and neighborhood entries. One wall should be provided per side of street.</p> <p>4. Entry walls should be designed to turn into the neighborhood to avoid uncoordinated fences at all entry points.</p> <p>5. Screening fences should be coordinated throughout the residential neighborhood. Screening is encouraged to be made of cedar or red wood</p>	<p>Yes</p> <p>Yes</p> <p>Yes</p> <p>Yes</p> <p>Yes</p> <p>Yes</p> <p>Yes</p> <p>Yes</p> <p>Yes</p> <p>Yes</p>	<p>Mandatory HOA will be created.</p> <p>See Exhibit D. Trail system, picnic area and benches will be incorporated into open space.</p> <p>See Exhibit E.</p>
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<p>fencing, wrought iron and masonry walls; beans; landscaping or a combination of these elements.</p> <p><b>R. Subdivision Name.</b> Walls should have the name of the subdivision on it either attached or incorporated into the wall design. Repetitive design or signage is discouraged. Logos may be placed no closer than fifty (50) feet apart.</p> <p><b>S. Illuminated walls.</b> Up lighting should be provided to light any signage at night. Other lighting is encouraged for safety and to provide articulation of screening walls. Except for the sign walls, lighting may be directed downward. Lighting should be as required for safety but not obtrusive on neighbors or passing traffic.</p> <p><b>T. Signage.</b> 1. Where architectural features are incorporated into the wall, entry feature or signage, the architecture should not be counted toward sign compliance.</p> <p><b>U. Maximum Lot Coverage.</b> Single family attached and detached are limited to 45% coverage.</p> <p><b>V. Garage Location.</b> 1. Garage design should diminish the visual impact of garage doors along street frontages. Offsetting the garage behind the front façade of the house, providing a side entry garage, accessing the garage from the side or rear of the lot, or locating the garage to the rear of the lot is encouraged. 2. Every single family detached unit should include a two car garage. 3. The siting of garages and their driveways should maximize the availability of on—street parking. 4. Vary driveway locations whenever possible to add variety to the street. 5. Front facing garages are encouraged to be decorative. The same garage door should not be repeated within four (4) houses on a street. Multiple panel door designs, windows or other architectural detailing should be used on garage doors to reduce their impact and scale.</p>	<p>Yes</p> <p>Yes</p> <p>Yes</p> <p>Yes</p> <p>Yes</p> <p>Yes</p> <p>Yes</p> <p>Yes</p>	<p>See Exhibit E.</p> <p>Cedar garage doors will be standard on all homes</p>
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<p>6. Garage doors should not dominate the street scene. No more than two doors may be continuous. If a third garage door (stall or bay) is provided, it should be separated from the other doors by at least a brick column.</p>	<p>Yes</p>	
<p>7. Front facing garages set at 25' should have automatic garage door openers with sectional roll-up doors.</p>	<p>Yes</p>	
<p>8. Garages that are varied in size, detached, or connected to homes by breezeways are encouraged. W. Storm Water Management and Flood Plain.</p>	<p>Yes</p>	
<p>1. Flood Plain development is governed by the Flood Damage Prevention Ordinance and the City of Mansfield Master Drainage Plans.</p>	<p>N/A</p>	
<p>2. Flood Plains and Flood Ways shall be based on fully developed hydrology.</p>	<p>Yes</p>	<p>A hydrology report will be obtained</p>
<p>3. Developers are encouraged to leave Flood Plains and major drainage ways natural and intact to promote flood prevention and water quality.</p>	<p>Yes</p>	
<p>4. Post construction water quality measures will be required by the City's Storm Water Management Program as those standards are developed.</p>	<p>Yes</p>	
<p><b>W. Storm Water Management and Flood Plain.</b>Flood Plain development is governed by the Flood Damage Prevention Ordinance and the City of Mansfield Master Drainage Plans.</p>	<p>Yes</p>	
<p>1. Flood Plains and Flood Ways shall be based on fully developed hydrology.</p>	<p>Yes</p>	
<p>2. Developers are encouraged to leave Flood Plains and major drainage ways natural and intact to promote flood prevention and water quality.</p>	<p>Yes</p>	<p>No flood plain will be reclaimed.</p>
<p>3. Post construction water quality measures will be required by the Water. Storm Water Management and Flood Plain.</p>	<p>Yes</p>	
<p>4. Flood Plain development is governed by the Flood Damage Prevention Ordinance and the City of Mansfield Master Drainage Plans.</p>	<p>Yes</p>	
<p>5. Flood Plains and Flood Ways shall be based on fully developed hydrology.</p>	<p>Yes</p>	
<p>6. Developers are encouraged to leave Flood Plains and major drainage ways natural and intact to promote flood prevention and water</p>	<p>Yes</p>	

<p>quality.</p> <p>7. Post construction water quality measures will be required by the City's Storm Water Management Program as those standards are developed.</p>	<p>Yes</p>	