



HANDICAP PATH OF TRAVEL:
 DISTANCE = 120'
 5% MAX SLOPE IN DIRECTION OF TRAVEL AND 2% MAX CROSS SLOPE

NOTE: ACCESSIBLE PARKING STALLS AND ACCESS AISLE TO HAVE MAX SLOPE OF 1:48 IN ANY DIRECTION

EXISTING H/C STALLS
 EXISTING H/C RAMP

THIS PROJECT
 TINT WORLD

GC TO LOCATE ADDRESSING PER FIRE MARSHALL REQUIREMENTS

NO MODIFICATIONS TO EXTERIOR OF BUILDING

2 EXISTING SITE PLAN (NO NEW WORK)
 SCALE: NTS



ND ENTERPRISES, LLC
 6501 E. GREENWAY PKWY #103-707 SCOTTSDALE, AZ 85254
 P. 480-297-5577 www.ndentlax.com

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**2840 HIGHWAY 157
 SUITES 110 - 112
 N. MANSFIELD, TX 76063**

TINT WORLD

STORE NO.: 155

REVISION
1
2
3

DATE: 3.17.2023



EXISTING SITE PLAN

A1.1

1. Services Offered

a. The sales and installation of automotive: Window Tinting, Vehicle Body Protective Films and Coatings, exterior Vehicle Wraps and Vehicle Graphics, Audio and Video Systems, Mobile Electronics, and Security Systems.

2. Business Operation

a. Tint World is a retail store franchise. The Mansfield location offers the sale and application of window tinting, exterior paint protection film, vehicular graphic wraps, mobile electronics, car security, accessories, and detailing to automobiles, trucks, and boats. Tint World is not an auto repair shop and does not work with engine oils, grease, engine repairs, transmissions or anything otherwise related to the automotive repair industry. Tint World occupies locations nationwide, in Retail Centers as well as Stand Alone Buildings.

CONSTRUCTION NOTES
ARCHITECT'S DESIGN WITHOUT CONSTRUCTION PHASE SERVICES

SINCE DIRECT CONSTRUCTION OBSERVATIONS AND REVIEW OF THE CONTRACTOR'S PERFORMANCE IS NOT INCLUDED AS PART OF THE ARCHITECT'S BASIC SERVICES, IT IS UNDERSTOOD THAT SUCH RESPONSIBILITIES WILL BE ASSUMED BY OTHERS. ND ENTERPRISES LLC AVAILS ITSELF TO THE CLIENT, THE CONTRACTOR, AND ANY OTHER PARTIES AS NECESSARY (VIA TELEPHONE, FAX, AND EMAIL) IN ORDER TO ASSIST IN PROVIDING CLARIFICATIONS OR RESOLVING ISSUES AND PROBLEMS THAT MAY ARISE. ALTHOUGH MANY ISSUES CAN BE EASILY ADDRESSED WITHOUT THE ARCHITECT'S INVOLVEMENT, THERE ARE TIMES WHEN PARTICIPATION IS ADVISABLE. DETERMINATION OF WHEN INVOLVEMENT IS APPROPRIATE IS LEFT TO THE PROFESSIONAL DISCRETION OF THE CONTRACTOR. IT IS UNDERSTOOD THAT THE CLIENT AND/OR THE CONTRACTOR ASSUMES ALL RESPONSIBILITY FOR INTERPRETATION OF THE DRAWINGS, AND ANY OTHER SUPPLEMENTAL INFORMATION, AND WHEN THE ARCHITECT IS DENIED THE OPPORTUNITY TO PROVIDE CLARIFICATIONS OR PARTICIPATE IN CHANGES TO THE DESIGN OR THE RESOLUTION OF ISSUES OR PROBLEMS, ALL PARTIES WAIVE ANY CLAIMS AGAINST THE ARCHITECT THAT MAY BE IN ANY WAY CONNECTED THERETO. ND ENTERPRISES IS HELD HARMLESS FROM LOSS, CLAIM, OR COSTS ARISING OR RESULTING FROM MODIFICATIONS OR CHANGES MADE TO THE DESIGN (WITHOUT THE KNOWLEDGE OF THE ARCHITECT) DUE TO CONDITIONS OR CIRCUMSTANCES (ANTICIPATED OR NOT) BEYOND THE ARCHITECT'S CONTROL.

G.C. COMPLIANCE:
OWNER'S GENERAL CONTRACTOR SHALL VISIT THE PREMISES AND VERIFY ALL EXISTING CONDITIONS PRIOR TO START OF CONSTRUCTION AND SHALL REPORT ALL DISCREPANCIES TO TENANT'S ARCHITECT. TENANT'S GENERAL CONTRACTOR SHALL CONFORM TO ALL REQUIREMENTS REGARDING CONSTRUCTION PROCEDURES, INSURANCE, ETC., AS SET FORTH BY THE LANDLORD.

G.C. COMPLIANCE:
OWNER'S SIGNAGE CONTRACTOR SHALL PREPARE SIGNAGE SHOP DRAWINGS AND SUBMIT TO BUILDING DEPT. & LANDLORD FOR APPROVAL. ALL SIGNAGE IS UNDER SEPARATE PERMIT.

ND ENTERPRISES, LLC
6501 E. GREENWAY PKWY #103-107 SCOTTSDALE, AZ 85254
P. 480-297-5577 www.ndentaz.com

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TINT WORLD

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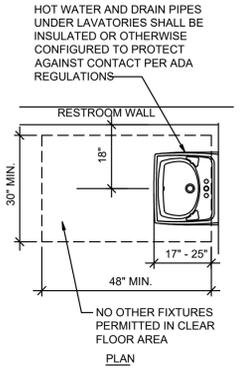
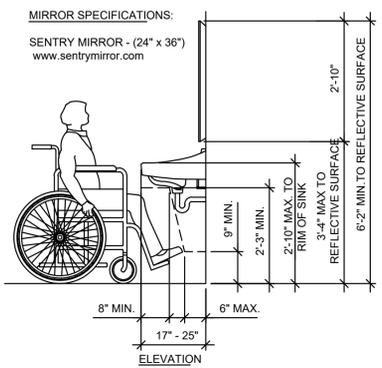
REVISION
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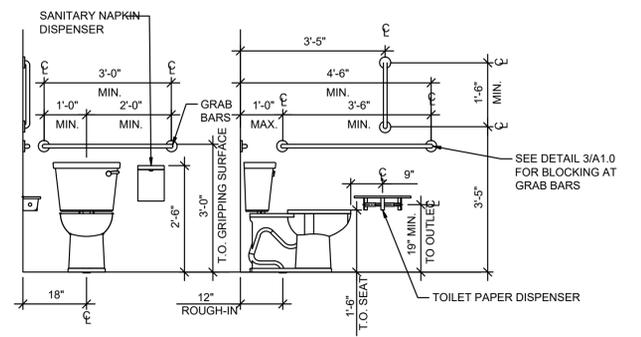


EGRESS PLAN

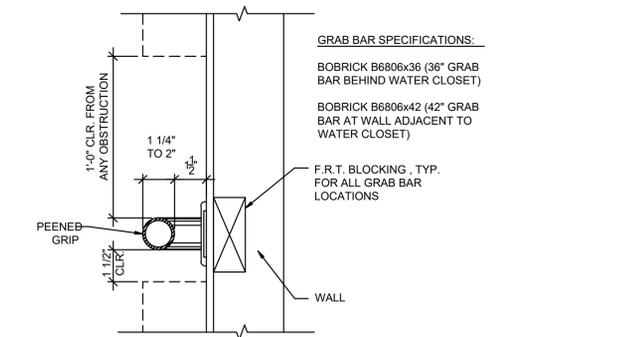
A1.0



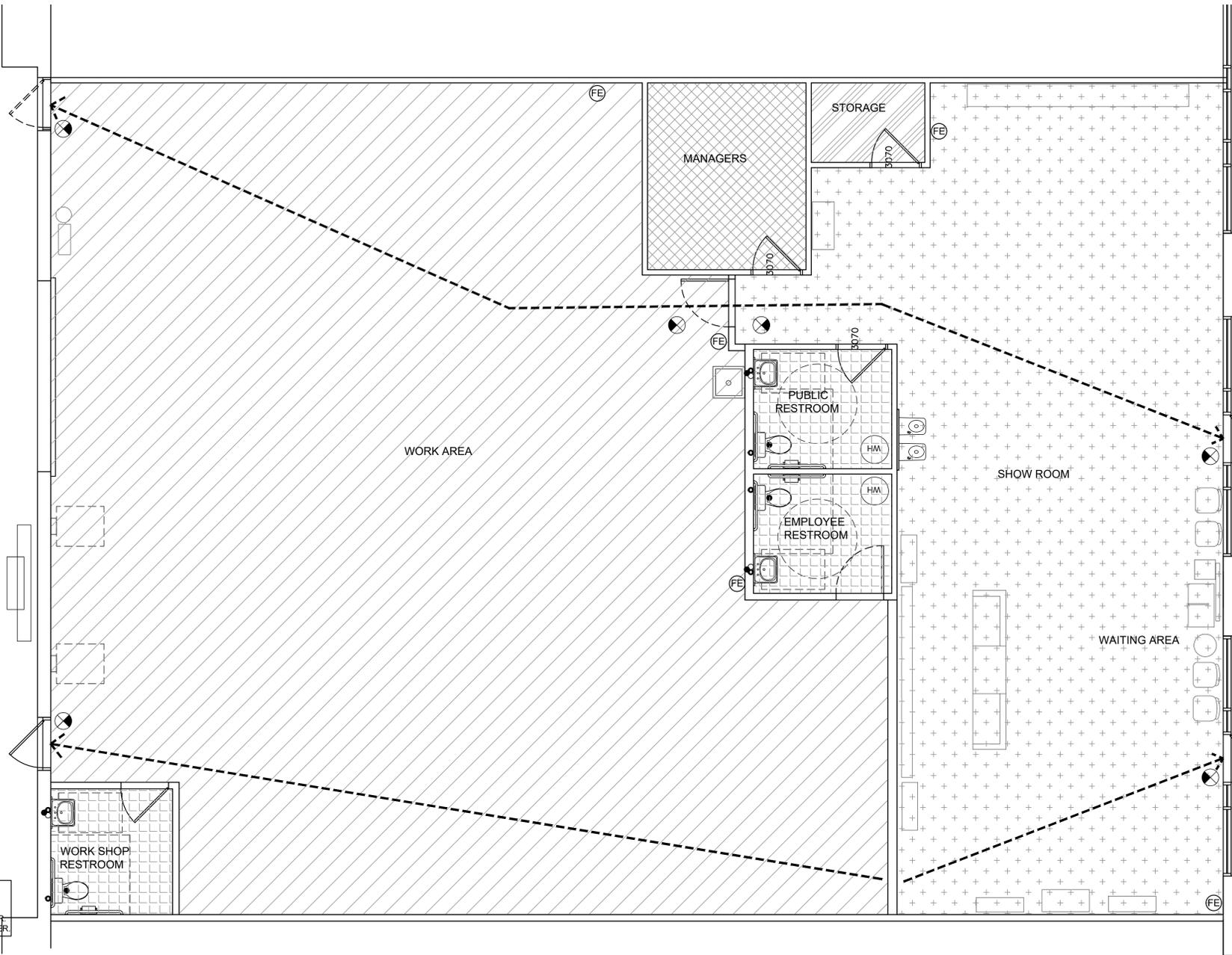
1 ACCESSIBLE LAVATORY PLAN & ELEVATION
SCALE: 1/2" = 1'-0"



2 ACCESSIBLE WATER CLOSET ELEVATIONS
SCALE: 1/2" = 1'-0"



3 GRAB BAR SECTION
SCALE: N.T.S.



LEGEND

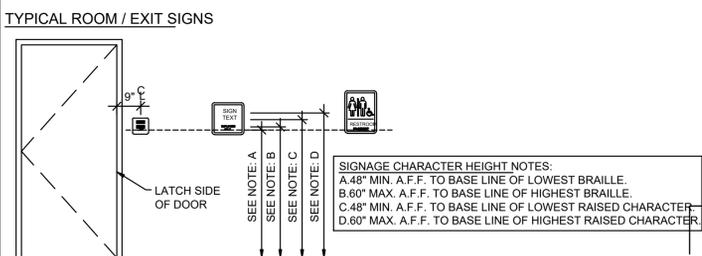
	EXIT SIGN, CONFIRM LOCATION REQUIREMENTS WITH FIRE MARSHAL
	EGRESS PATH OF TRAVEL
	FIRE EXTINGUISHER

NOTE:
EVERY ROOM OR SPACE THAT IS A BUILDING OCCUPANCY SHALL HAVE THE OCCUPANT LOAD OF THE ROOM OR SPACE POSTED IN A CONSPICUOUS PLACE, NEAR THE MAIN EXIT OR EXIT ACCESS DOORWAY FROM THE ROOM OR SPACE. POSTED SIGNS SHALL BE OF AN APPROVED LEGIBLE PERMANENT DESIGN AND SHALL BE MAINTAINED BY THE OWNER OR AUTHORIZED AGENT.

COMMON PATH OF TRAVEL
DISTANCE: 78'-4" 36" MIN
CLEAR SPACE REQUIRED

	SHOWROOM / WAITING AREA TOTAL SF: 1150 / 150 MERCANTILE= 8 OCCUPANTS
	MANAGER AREA TOTAL SF: 118 SF / 150 = 1 OCCUPANTS
	WORK AREA TOTAL SF: 2317 SF / 300 = 8 OCCUPANTS
	RESTROOMS TOTAL SF: 193 SF / 0 = 0 OCCUPANTS ACTUAL
	STORAGE TOTAL SF: 36 SF / 200 = 1 OCCUPANTS

THIS PROJECT:
TOTAL OCCUPANT LOAD: 18 OCCUPANTS
1 EXIT REQUIRED
4 EXITS PROVIDED
3 RESTROOMS PROVIDED



NOTES:
1.CHARACTERS, SYMBOLS AND THEIR BACKGROUND SHALL HAVE A NON-GLARE FINISH. CHARACTERS AND SYMBOLS SHALL CONTRAST WITH THEIR BACKGROUND.
2.CHARACTERS ON SIGNS SHALL BE RAISED 1/32" MINIMUM & SHALL BE SANS SERIF UPPERCASE CHARACTERS. CHARACTERS SHALL BE A MINIMUM OF 5/8" AND A MAXIMUM OF 2" HIGH.
3.BRAILLE SHALL BE GRADE 2 AND SHALL COMPLY SIZE AND SPACING REQUIREMENTS IN THE ACCESSIBILITY CODE. BRAILLE CHARACTERS SHALL BE LOCATED BELOW THE SIGN TEXT, WITH A 3/8" MINIMUM SPACE BETWEEN BRAILLE AND TEXT OR OTHER SIGNAGE ELEMENTS (BORDER, PICTOGRAM, ETC).
4.PICTOGRAMS SHALL BE ACCOMPANIED BY THE VERBAL DESCRIPTION PLACED DIRECTLY BELOW THE PICTOGRAM. THE OUTSIDE DIMENSION OF THE PICTOGRAM FIELD SHALL BE A MINIMUM OF 6" IN HEIGHT.

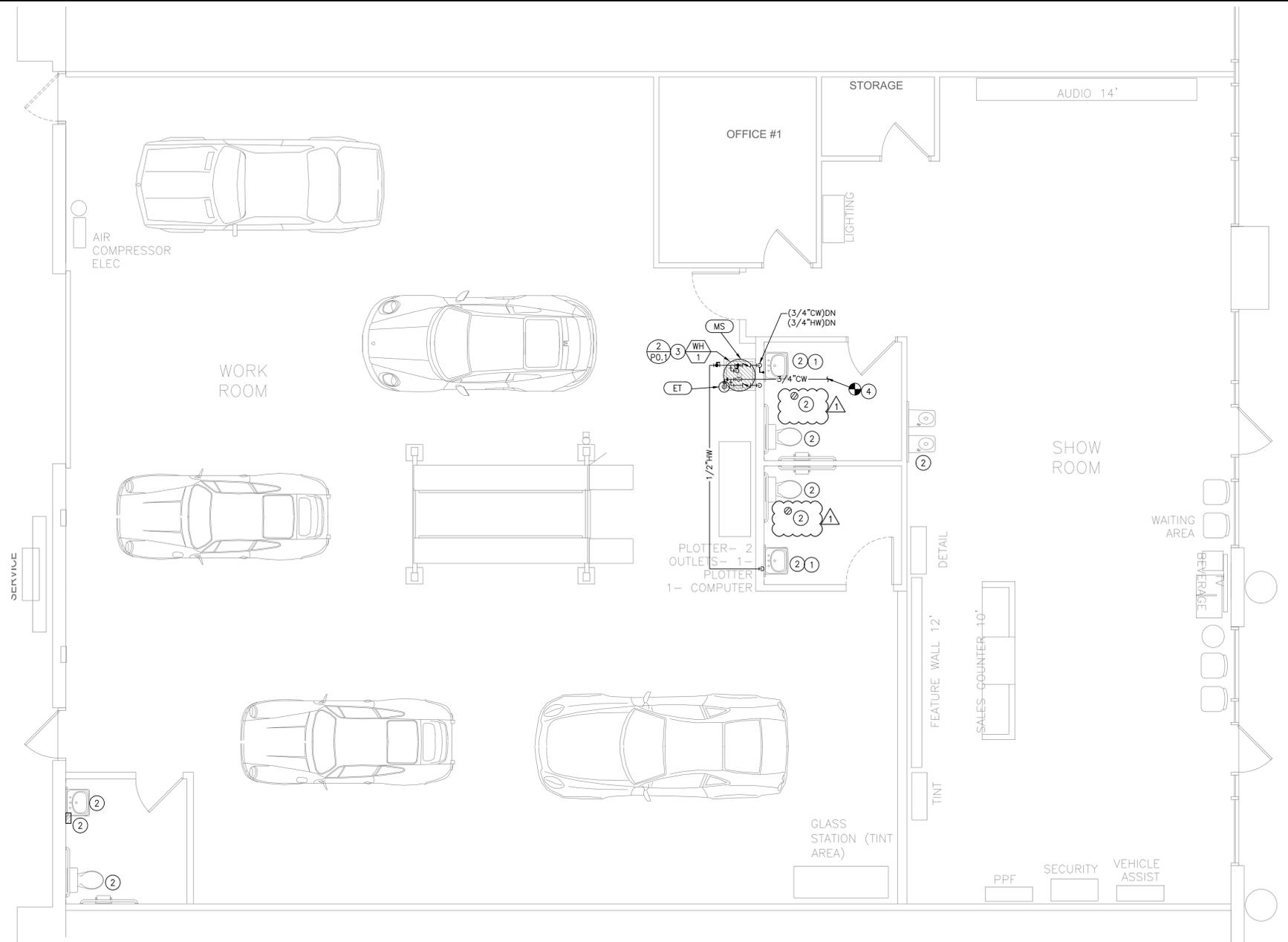
4 SIGN DETAILS
SCALE: N.T.S.

1 EGRESS / OCCUPANCY PLAN
SCALE: 1/4" = 1'-0"

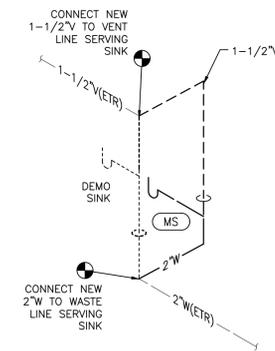


#FLOOR PLAN NOTES

1. ROUTE NEW 1/2" HOT WATER LINE TO EXISTING HOT WATER LINE SERVING THE EXISTING LAVATORY FAUCET. PROVIDE WITH THERMOSTATIC MIXING VALVE ASSE 1070 COMPLIANT.
2. EXISTING PLUMBING FIXTURE TO REMAIN.
3. NEW 20-GALLON ELECTRIC WATER HEATER ON WATER HEATER PLATFORM, 7'-0" ABOVE MOP SINK.
4. CONNECT NEW 3/4" COLD WATER LINE TO AN EXISTING COLD WATER LINE THAT IS NOT LESS THAN 3/4" DIAMETER.



1 PLUMBING FLOOR PLAN
SCALE: 1/4"=1'-0"



2 SANITARY & VENT RISER DIAGRAM
SCALE: NONE

EVOLUTION ENGINEERING PLLC
 TX FIRM # 19093
 P: 602.492.7944 | Elhalisf@gmail.com
 5080 W LAREDO ST. | Chandler, Arizona 85226

ND ENTERPRISES, LLC
 6601 E. GREENWAY PKWY #103-707 SCOTTSDALE, AZ 85254
 P 480-297-5577 www.ndentiaaz.com

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TINT WORLD

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1	City Comments 5.07.2023
2	
3	

DATE: 3.17.2023



PLUMBING FLOOR PLAN
P1.0

GENERAL NOTES:

- ALL DIMENSIONS ARE FROM FACE OF DRYWALL, UNLESS OTHERWISE NOTED.
- ALL GYPSUM BOARD USED SHALL BE 5/8" TYPE 'X' FIRE TAPED. DEMISING PARTITIONS SHALL BE OF FIRECODE 'X' SHEETROCK, TAPED AND SEALED TO DECK ABOVE.
- ALL PLYWOOD, PLYWOOD BACKING, PARTICLE BOARD, WOOD BLOCKING, AND FRAMING USED SHALL BE FIRE RETARDANT & STAMPED NON-COMBUSTIBLE.
- PLACE AND FINISH ALL NEW MATERIALS SO AS TO PROVIDE A SMOOTH & INTEGRAL TRANSITION TO EXISTING FINISHES & MATERIALS.
- PROVIDE ADDITIONAL FRAMING/BRACING FOR ALL WALL MOUNTED EQUIPMENT. CHECK CUTSHEETS OF ALL EQUIPMENT PRIOR TO INSTALLATION.
- GENERAL CONTRACTOR TO PROVIDE REQUIRED FIRE EXTINGUISHER(S) PER CODE.
- NOT USED
- SEE MECHANICAL AND ELECTRICAL SHEETS FOR ALL FIXTURE SPECIFICATIONS, WIRING, AND POWER REQUIREMENTS. - VERIFY WITH EQ SHEETS.
- NEWLY INSTALLED OR RELOCATED DOORS MUST HAVE LEVER TYPE HARDWARE OR OTHER SHAPE WHICH WILL PERMIT OPERATION BY WRIST OR ARM PRESSURE AND WHICH DOES NOT REQUIRE TIGHT GRASPING, PINCHING OR TWISTING TO OPERATE, PER WAC 51.20.3103 (A) AND (C).
- ALL DOORS TO PROVIDE 32" MIN. CLEAR OPENING WHEN OPENED TO 90 DEGREE POSITION.
- FLOORS IN FOOD PREPARATION AREA, DISH WASHING AREA, SERVICE AREA, JANITORIAL AREA, STORAGE AREA, AND ANY AREA WHERE FOR EQUIPMENT IS PLACED SHALL BE SMOOTH, EASILY CLEANABLE, WASHABLE, DURABLE, AND OF COMMERCIAL GRADE MATERIAL AND SHALL HAVE A MINIMUM 3/8" RADIUS INTEGRAL COVE BASE EXTENDING AT LEAST 4" UP THE WALL. GROUT SPACING FOR TILE SHALL NOT EXCEED 1/4" AND SHALL BE SEALED.
- NOT USED
- TENANT'S GC TO COMPLETE SITE VISIT AND VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS - GC TO REVIEW TENANT'S LEASE DURING BID PROCESS TO DETERMINE RESPONSIBILITIES.
- FLOOR SINKS SHALL BE INSTALLED FLUSH WITH THE FLOOR SURFACE AND BE LOCATED SO AS TO BE READILY ACCESSIBLE FOR CLEANING AND REPAIR.
- SUPPORT WIRING FOR LAY-IN CEILING SHALL NOT BE ATTACHED TO ANY OF THE LANDLORD'S MECH, ELEC, PLUMB, OR FIRE PROTECTION PIPING OR EQUIPMENT.
- ALL EXITS SHALL BE OPERABLE FROM INTERIOR OF BUILDING WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE OR EFFORT. (REQUIRED BY CITY / FIRE) LABEL EXTERIOR DOORS TO REMAIN UNLOCKED DURING BUSINESS HOURS IF THERE IS NO HANDLE TO OPERATE

SPECIALTIES:

- GENERAL CONTRACTOR TO PROVIDE BLOCKING IN WALLS AS NEEDED FOR ALL WALL MOUNTED FIXTURES, SIGNS, TVS ETC. PER DRAWINGS.
- USE FIRE TREATED WOOD FOR MISCELLANEOUS WOOD FRAMES, ETC.

NOTE:
DURING BID PROCESS - GC TO VISIT SITE & GC RESPONSIBLE FOR ALL TI CONSTRUCTION IE. CONCRETE POUR, ELECTRIC, PLUMBING, ROOF PENETRATIONS AND MECHANICAL ETC. ACCORDING TO LEASE

NOTE:
GC TO VERIFY ALL EXISTING DIMENSIONS AND COLUMNS DURING BID AND ALERT NEPTUNE IF DIFFERENT FROM PLAN.

NOTE:
GC TO XRAY SLAB AT ALL PLUMBING FLOOR LOCATIONS TO ENSURE ADEQUATE CLEARANCE FROM STRUCTURAL BEAM. NOTIFY ARCHITECT IMMEDIATELY IF PLUMBING FIXTURES NEED TO BE RELOCATED.

NOTE:
RESTROOM DOORS MUST BE EQUIPPED WITH SELF-CLOSING DEVICES.

NOTE:
FLOOR OR LANDING SHALL NOT BE MORE THAN 1/2" LOWER THAN THE THRESHOLD OF THE DOORWAY. CHANGE IN LEVEL BETWEEN 1/4" AND 1/2" SHALL BE BEVELED WITH A SLOPE NO GREATER THAN ONE UNIT VERTICAL TO 2 UNITS HORIZONTAL.

NOTE:
CLEAR HEIGHT OF EACH FLOOR LEVEL IN VEHICLE AND PEDESTRIAN TRAFFIC AREAS SHALL BE NOT LESS THAN 7' PER 406.2.2

GARAGE DOOR OPENER shall be listed and labeled in accordance with UL325.

NOTE:
THIS LAYOUT MAY NOT BE MODIFIED IN ANYWAY WITHOUT TINT WORLD CORPORATE APPROVAL.

WALL LEGEND:

- EXISTING WALL TO REMAIN. VERIFY CONDITION PATCH AND REPAIR TO LIKE NEW CONDITION - GC TO VERIFY FIRE RATING IF APPLICABLE
- EXISTING DEMISING WALL BY LANDLORD- TENANTS GC TO INSTALL GYP BD FULL HEIGHT WALL TO DECK AND CONFIRM INSTALL DURING BID PHASE
- 1 LAYER 5/8" GYPSUM BOARD EACH SIDE OVER 3 5/8" 20 GA METAL STUDS AT 16" O.C. TO CEILING. BRACE STUDS @ 4'-0" O.C. DESIGN NOTE: ACTUAL CONDITIONS OF 16'-0" DECK HT, GC TO CONFIRM IN FIELD. METAL STUD SCHEDULE LOCATED ON SHEET A6.0 FOR ADDITIONAL INFO.
- WALL TYPE FULL HT- TO DECK- SEE DETAIL 12/ A6.0
- WALL TYPE FULL HT- SEE DETAIL 14/ A6.0

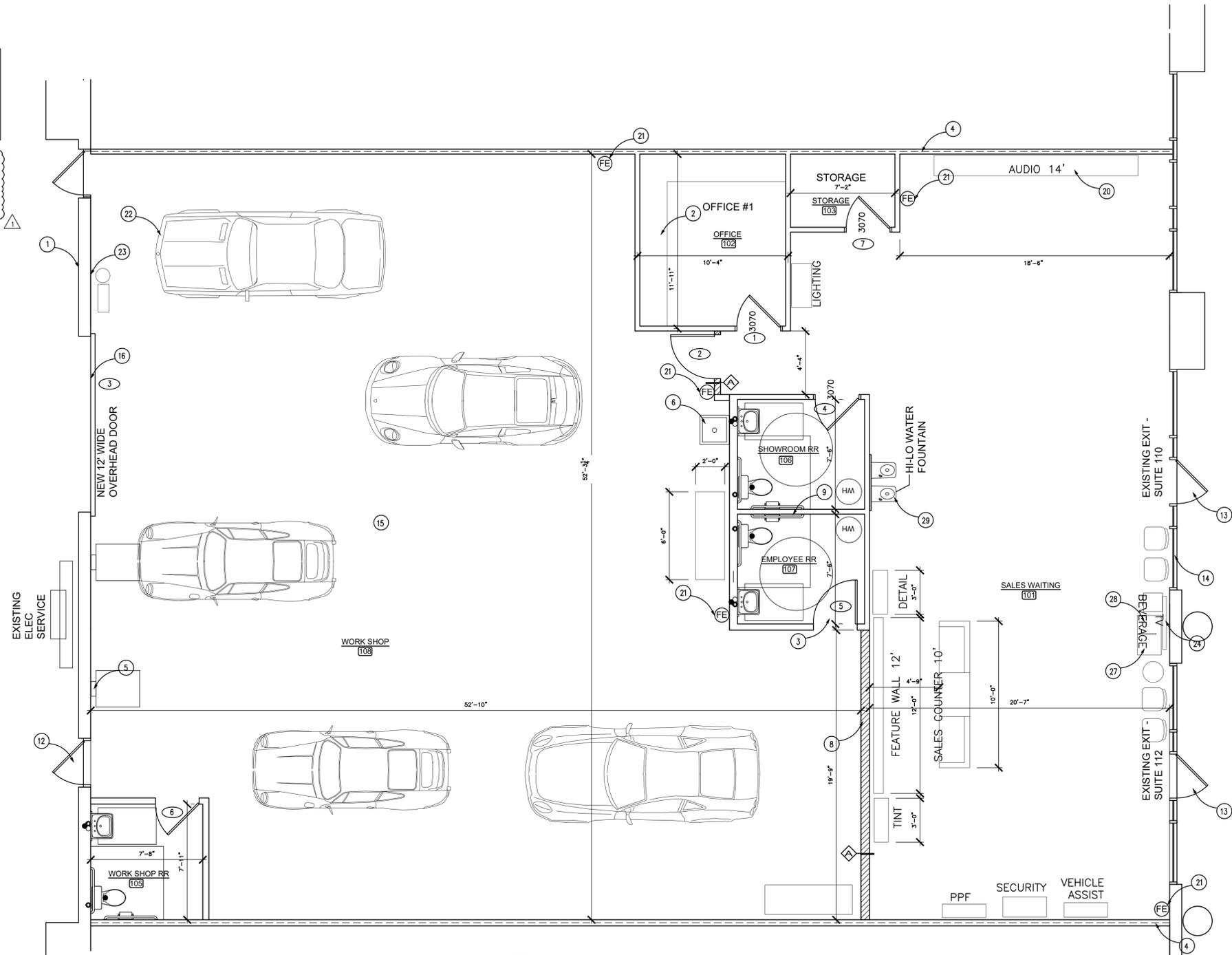
KEYED NOTES:

- EXISTING EXTERIOR WALL TO REMAIN- PATCH AND REPAIR ANY DAMAGES, DISCUSS WITH TENANT.
- MILLWORK FOR DESK. BY MILLWORK SUPPLIER. SHOP DRAWINGS MUST BE SUBMITTED FOR REVIEW AND APPROVAL PRIOR TO FABRICATION.
- NEW 3" WIDE HOLLOW METAL DOOR-SEE DOOR SCHEDULE
- DEMISING WALL- EXISTING TO REMAIN
- ELECTRICAL PANEL - SEE ELECTRICAL DRAWINGS
- MOP SINK-SEE PLUMBING SHEETS
- NOT USED
- NEW INTERIOR NON BEARING WALL
- EXISTING ADA RESTROOMS TO REMAIN
- NOT USED
- NOT USED
- EXISTING SERVICE DOOR TO REMAIN
- EXISTING STOREFRONT DOOR TO REMAIN. GC TO CONFIRM WORKING ORDER.
- EXISTING GLASS TO REMAIN
- PREP ALL EXISTING SURFACES FOR NEW FINISHES
- NEW 12' x 12' WIDE ROLL UP DOOR. CONSULT STRUCTURAL ENGINEERING FOR OPENING AND NEW HEADER. PROVIDE ENGINEERED DRAWINGS TO CITY AND LANDLORD FOR REVIEW AND APPROVAL.
- NOT USED
- NOT USED
- NOT USED
- 14" AUDIO & 55" TV LOCATED ON WALL- (PROVIDE BACKING CONFIRM FINAL LOCATION)
- APPROVED FIRE EXTINGUISHER- SEE A1.0
- AUTOMOBILE (TBD) PROVIDE 36" MIN CLEAR BETWEEN WALLS AND ADJACENT CARS.
- EXISTING EXTERIOR WALL TO REMAIN. GC TO PATCH REPAIR INTERIOR AND PREPARE FOR NEW FINISHES. GC TO MATCH SHELL BUILDING COLORS AND MATERIALS AT NEW OPENING
- WALL MOUNTED PLASMA DISPLAY - PROVIDE BACKING FOR WALL MOUNT
- NOT USED
- NOT USED
- COFFEE COUNTER- 36" WIDE. FURNITURE BY TENANT. PROVIDE ELEC
- MINI REFRIG LOCATED ON FLOOR. BY TENANT INSTALL
- HI/LOW DRINKING FOUNTAIN REQUIRED BY BUILDING DEPARTMENT

NOTE:
MAIN ENTRY/EXIT DOORS MAY BE KEY OPERATED FROM INTERIOR IF SIGNAGE WITH 1" LETTERING IS PROVIDED ON OR ADJACENT TO DOOR STATING "THIS DOOR TO REMAIN UNLOCKED WHEN BUILDING IS OCCUPIED".

NOTE: DIMENSIONED TO FINISHED WALL.
NOTE: ALL EXTERIOR WALLS TO BE INSULATED.

NOTE:
TENANT TO CONSULT WITH SOUND SPECIALIST ON LOCATION OF SPEAKER LOCATION AND GC TO REVIEW ALL LOW VOLTAGE REQUIREMENTS WITH TENANT.



NOTE:
SEE SHEETS A4.0 AND A5.0 FOR FINISH PLANS AND FINISH SCHEDULES

1 PROPOSED FLOOR PLAN
SCALE: 1/4" = 1'-0"

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TINT WORLD

STORE NO.: 155

REVISION

- 5.12.2023 CITY
- 2
- 3

DATE: 3.17.2023



FLOOR PLAN

A2.0



