

PLAT RECORD VOLUME 388 194

84

CITY OF MANSFIELD, TEXAS
CITY PLANNING AND ZONING COMMISSION
NOTE: THIS PLAT IS VALID ONLY IF RECORDED WITHIN SIX (6) MONTHS AFTER DATE OF APPROVAL.
PLAT APPROVED DATE: 05/21/1985
BY: R. S. [Signature]
ATTEST: [Signature]

388-194
84
COUNTY OF TARRANT
STATE OF TEXAS
I hereby certify that this instrument was FILED on this date and at the time stamped hereon by me and was duly RECORDED in the Volume and Page of the Record of Tarrant County, Texas, as stamped hereon, to wit:
JAN 10 1985
Madrin Huffman
COUNTY CLERK
TARRANT COUNTY, TEXAS

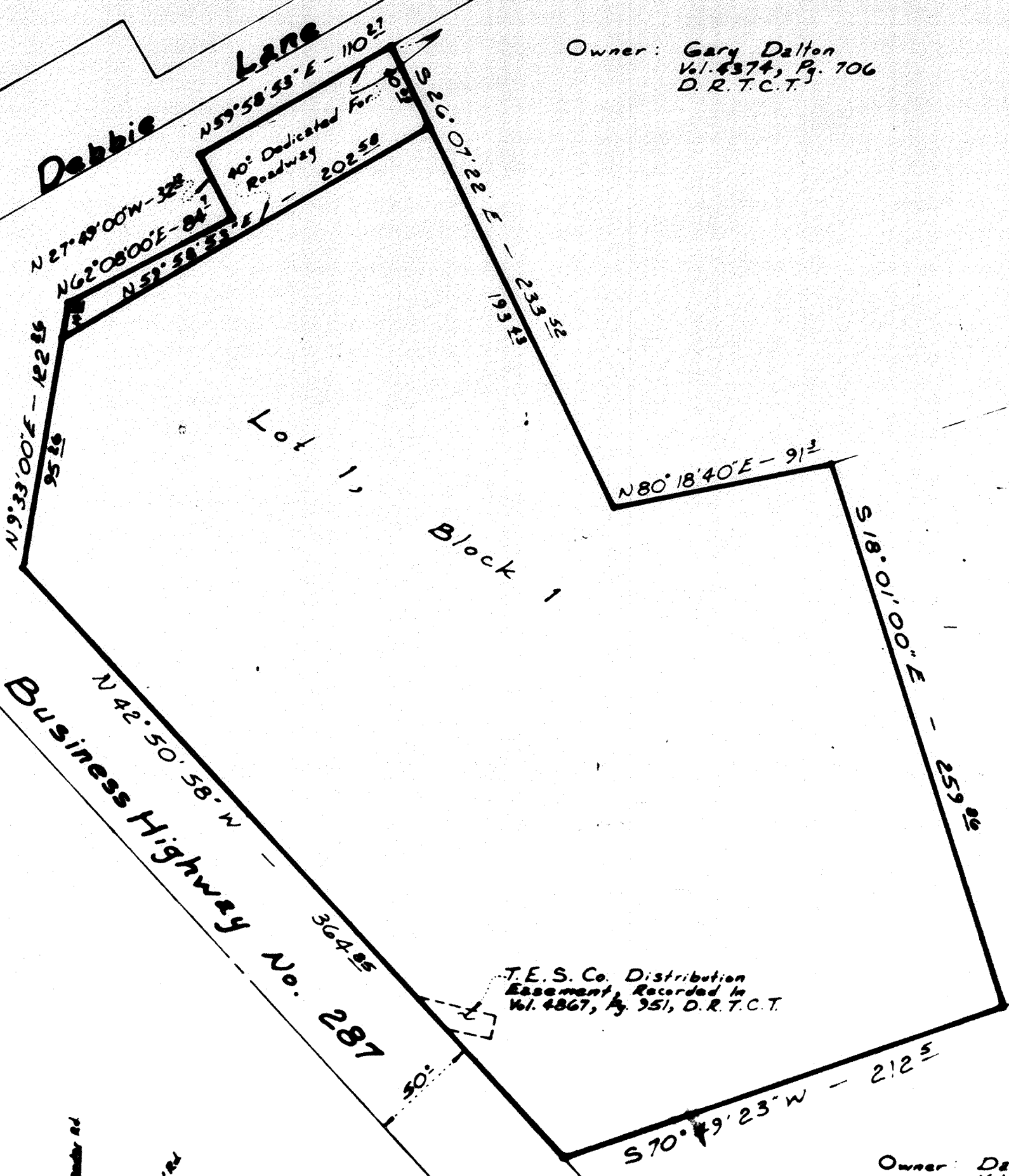
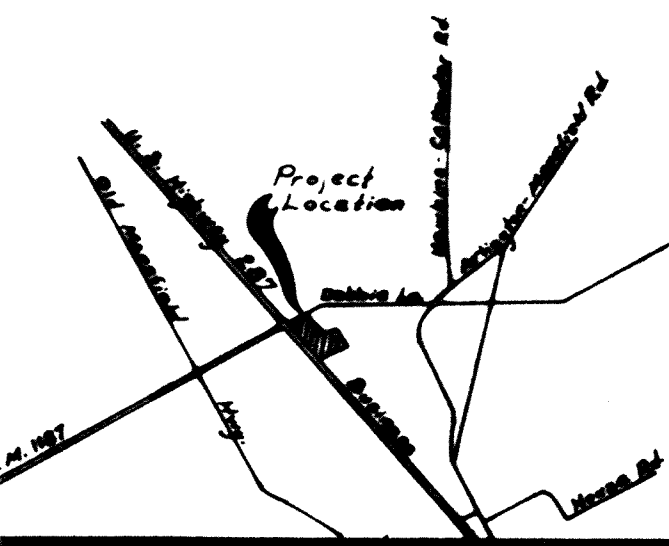
PLAT SHOWING
Lot 1, Block 1
HWH BUSINESS PARK
City of Mansfield, Tarrant County, Texas
out of the
M. Rockerfellow Survey, Abstract 1267.
2.787 Acres

FILED
TARRANT COUNTY, TEXAS
1000
JAN 10 1985
7:00 W.D.
01/13/86
MADRIN HUFFMAN
COUNTY CLERK
BY: [Signature]
CHECKED
BY: [Signature]

For Approval:
TESCO [Signature]
Lone Star Gas [Signature]
Southwestern Bell [Signature]
Black Hawk Cable TV [Signature]

STATE OF TEXAS
COUNTY OF TARRANT
WHEREAS, WE, Chris J. Harris, Grady W. Harris, and Sonny Wooten, do hereby certify that we are the owners of that certain lot, tract or parcel of land out of the M. Rockerfellow Survey, Abstract 1267, Tarrant County, Texas, being that same tract of land as conveyed by Gary Dalton, et ux, Vienna Dalton, to Chris J. Harris, Grady W. Harris, and Sonny Wooten, by deed recorded in Volume 7908, Page 1046, Deed Records, Tarrant County, Texas, and being a portion of a tract of land described in deed recorded in Volume 4905, Page 477, Deed Records, Tarrant County, Texas; said 2.794 acre tract of land being more particularly described by metes and bounds as follows:
BEGINNING at an iron pin found, the most westerly northwest corner of a 1.63 acre tract of land described in deed recorded in Volume 6926, Page 396, Deed Records, Tarrant County, Texas;
THENCE -- South 18 degrees 01 minutes 00 seconds East, with the west line of said 1.63 acre tract of land, 239.86 feet, to an iron pin in the southwest corner of said 1.63 acre tract of land;
THENCE -- South 70 degrees 49 minutes 23 seconds West, 212.50 feet to an iron pin in the northeasterly right-of-way line of U.S. Highway 287;
THENCE -- North 42 degrees 50 minutes 58 seconds West, with said right-of-way line, 364.85 feet to the base of a metal "T" post at a fence corner;
THENCE -- North 09 degrees 33 minutes 00 seconds East, with a fenceline, 122.26 feet to an iron pin at a fence corner;
THENCE -- North 62 degrees 08 minutes 00 seconds East, with a fenceline, 84.70 feet to the base of a metal "T" post at a fence corner;
THENCE -- North 27 degrees 49 minutes 00 seconds West, with a fenceline, 32.12 feet to an iron pin at a fence corner, being in the south right-of-way line of County Road 2053;
THENCE -- North 59 degrees 58 minutes 53 seconds East, along said south right-of-way line, 110.27 feet to an iron pin at a fence corner;
THENCE -- South 26 degrees 07 minutes 22 seconds East, along a metal pipe fenceline in the west line of a 1.248 acre tract of land, 233.52 feet to an iron pin at a fence corner;
THENCE -- North 80 degrees 18 minutes 40 seconds East, along a metal pipe fenceline, 91.30 feet to the point of beginning, containing 2.794 acres (121,704.16 square feet), having 300 square feet in the occupancy of a TESCO Easement, leaving a net of 2.787 acres (121,404.16 square feet) of land, more or less.
THEREFORE, KNOW ALL MEN BY THESE PRESENTS: That we, Chris J. Harris, Grady W. Harris, and Sonny Wooten, do hereby adopt the foregoing plat as Lot 1, Block 1, HWH Business Park, an addition to the City of Mansfield, Tarrant County, Texas, and do hereby dedicate for public use forever the streets and easements as shown thereon. In witness thereof this dedication is executed this 17th day of May, 1985.
Grady W. Harris
Chris J. Harris
4200 South Cooper, Suite 202, Arlington, Texas 76015 467-5511
Sonny Wooten

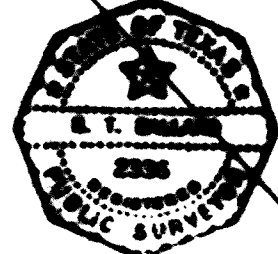
STATE OF TEXAS
COUNTY OF TARRANT
BEFORE ME, the undersigned, a Notary Public, on this day personally appeared Chris J. Harris, Grady W. Harris, and Sonny Wooten, known to me as the persons whose names are subscribed to the foregoing instrument and acknowledged to me that they executed the same for the purposes and consideration therein expressed.
GIVEN UNDER MY HAND AND SEAL OF OFFICE this 17th day of May, 1985.
Notary Public, Tarrant County, Texas



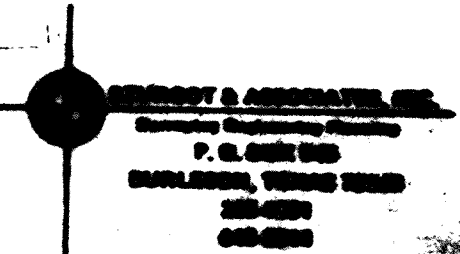
Owner: Gary Dalton
Vol. 6374, Pg. 706
D.R.T.C.T.

Owner: Dalton Best Maid Products, Inc.
Pg. 396, D.R.T.C.T.

Owner: Dalton Best Maid Products
Vol. 7045, Pg. 1036 D.R.T.C.T.



This plat compiled from records and surveys prepared by others.
[Signature]
5-22-85



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CITY PLANNING AND ZONING COMMISSION
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PLAT APPROVED DATE: 05/21/1985
BY: Q. S. TAYLOR
ATTEST: Paula Hedrick

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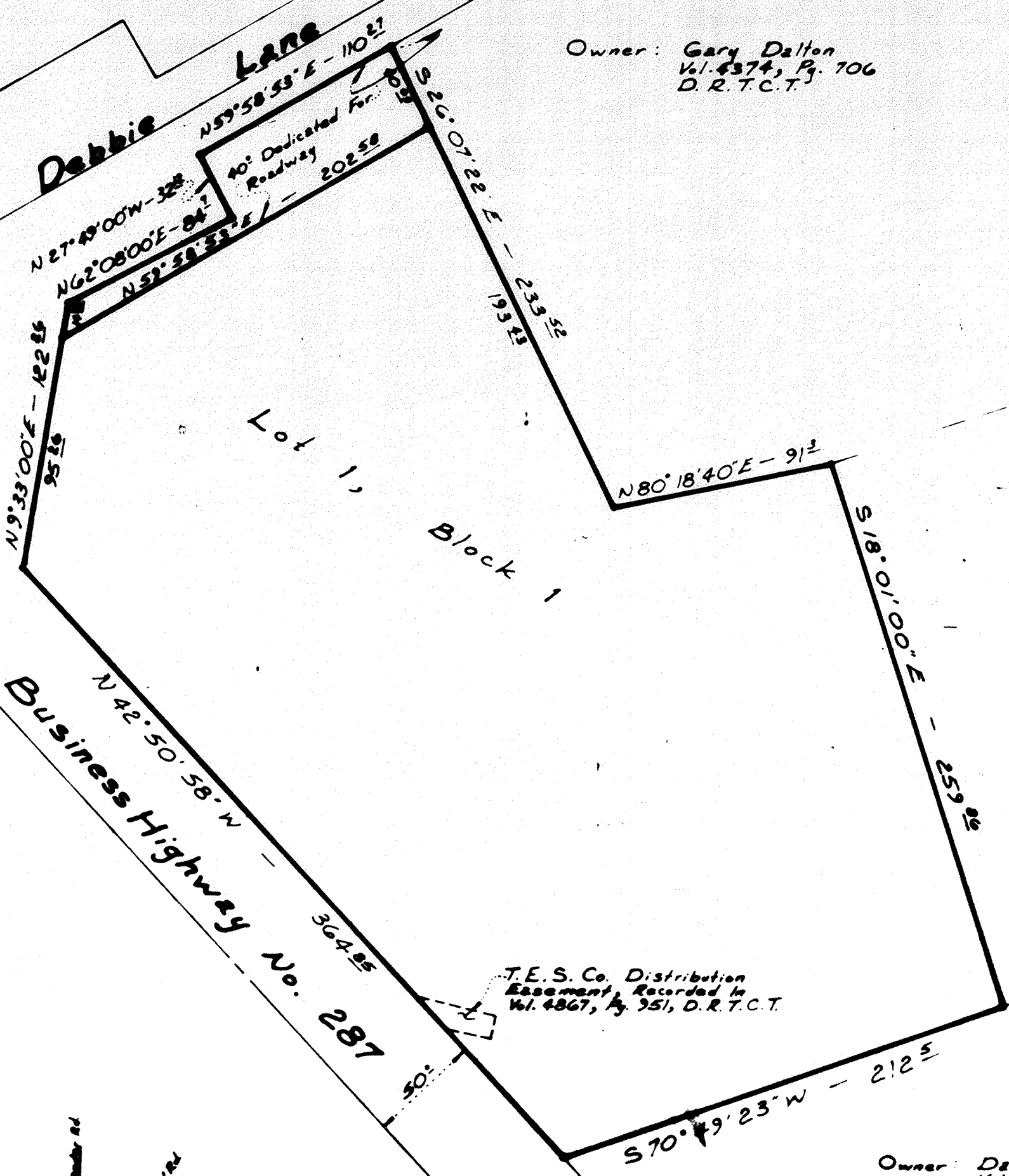
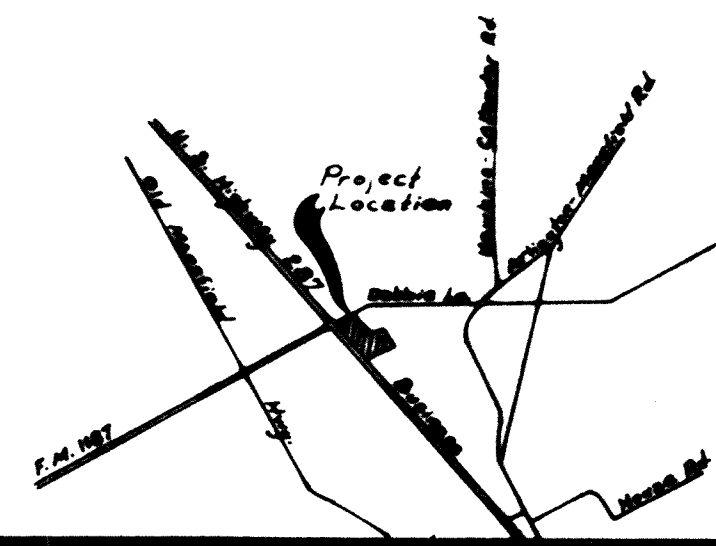
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CHECKED
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For Approval:
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Lone Star Gas D. S. Morgan 6-13-85
Southwestern Bell Al. P. ... 6-13-85
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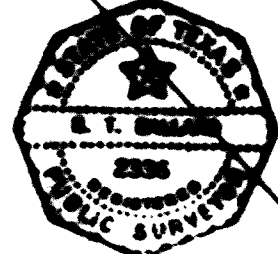
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BEFORE ME, the undersigned, a Notary Public, on this day personally appeared Chris J. Harris, Grady W. Harris, and Sonny Wooten, known to me as the persons whose names are subscribed to the foregoing instrument and acknowledged to me that they executed the same for the purposes and consideration therein expressed.
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Notary Public, Tarrant County, Texas



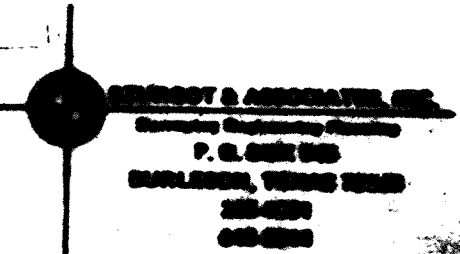
Owner: Gary Dalton
Vol. 6374, P. 706
D.R.T.C.T.

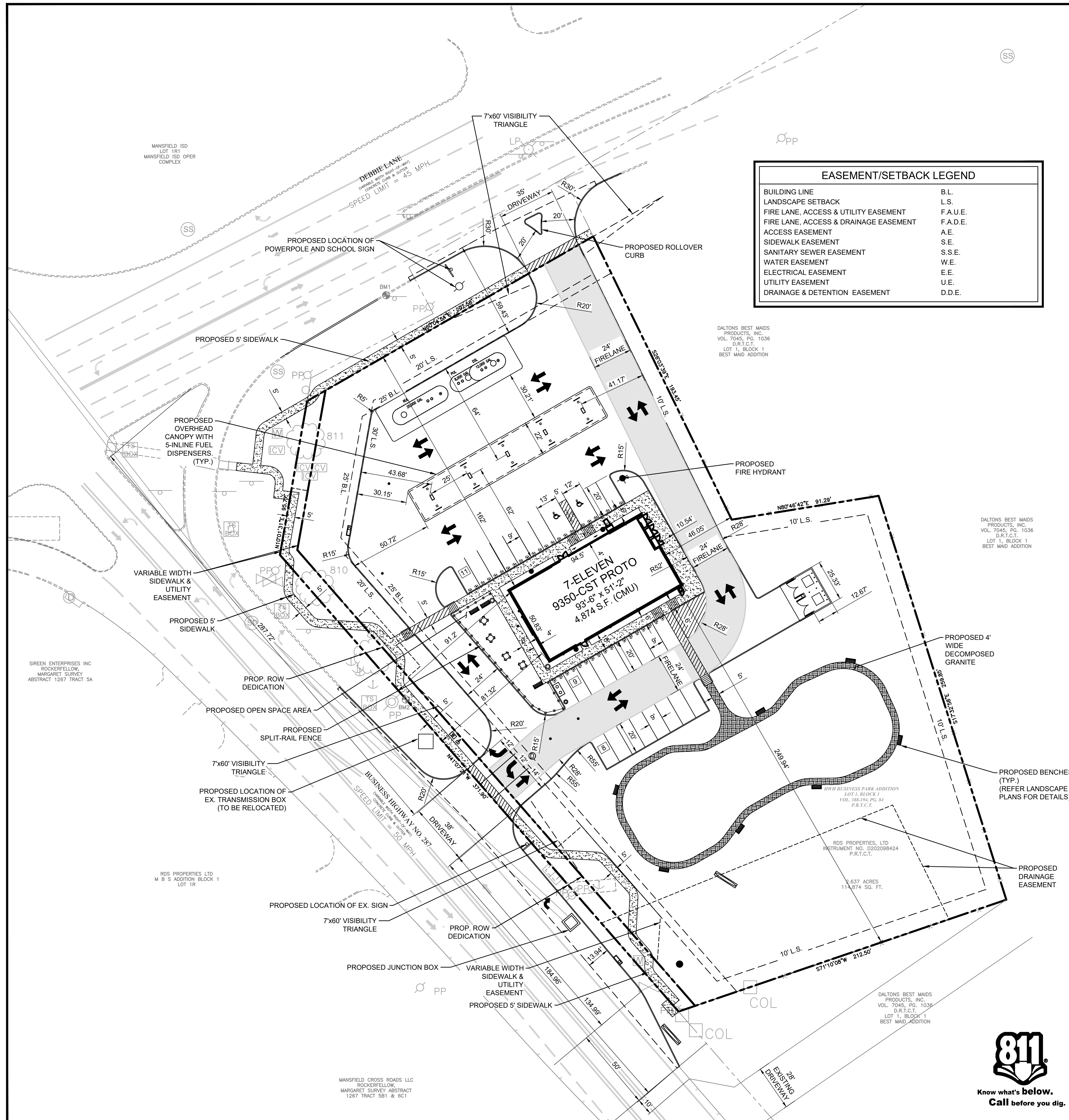
Owner: Dalton Best Maid Products, Inc. 6926
Pg. 396, D.R.T.C.T.

Owner: Dalton Best Maid Products
Vol. 7045, P. 1036 D.R.T.C.T.



This plat compiled from records and surveys prepared by others.
...
5-22-85





EASEMENT/SETBACK LEGEND

BUILDING LINE	B.L.
LANDSCAPE SETBACK	L.S.
FIRE LANE, ACCESS & UTILITY EASEMENT	F.A.U.E.
FIRE LANE, ACCESS & DRAINAGE EASEMENT	F.A.D.E.
ACCESS EASEMENT	A.E.
SIDEWALK EASEMENT	S.E.
SANITARY SEWER EASEMENT	S.S.E.
WATER EASEMENT	W.E.
ELECTRICAL EASEMENT	E.E.
UTILITY EASEMENT	U.E.
DRAINAGE & DETENTION EASEMENT	D.D.E.

EXISTING LEGEND

1/2" IR FOUND	IRRIGATION VALVE	NO PARKING
1/2" IR SET	WATER VALVE	CONCRETE
5/8" IR FOUND	FIRE HYDRANT	GRAVEL
3/8" IR FOUND	IR. VALVE	BRICK
60-D NAIL FOUND	UTILITY POLE	STONE
PK NAIL SET	WATER METER	WOOD DECK
1/2" IP FOUND	GAS METER	BUILDING WALL
X-FOUND	A.C. PAD	TILE
X-SET	TRANS. BOX	BUILDING LINE
1" IR FOUND	GAS MARKER	EASEMENT
1" IP FOUND	OVERHEAD UTILITY LINE	BOUNDARY
POINT FOR CORNER	GUY WIRE ANCHOR	HIGHBANK LINE
CON. MONUMENT	BARBED WIRE FENCE	PARKING STRIPE
3/4" IP FOUND	IRON FENCE	HANDICAP SPACE
TELE. BOX	CHAINLINK FENCE	
CABLE BOX	WOOD FENCE	
ELECTRIC BOX	PIPE RAIL FENCE	
BRICK COLUMN	COVERED AREA	
STONE COLUMN	ASPHALT	
STORM DRAIN MH.	FIRE LANE STRIPE	
SAN. SEW. CO.	BRICK RET. WALL	
BOLLARD POST	STONE RET. WALL	
LIGHT POLE	CON. RET. WALL	
SAN. SEW. MH.		

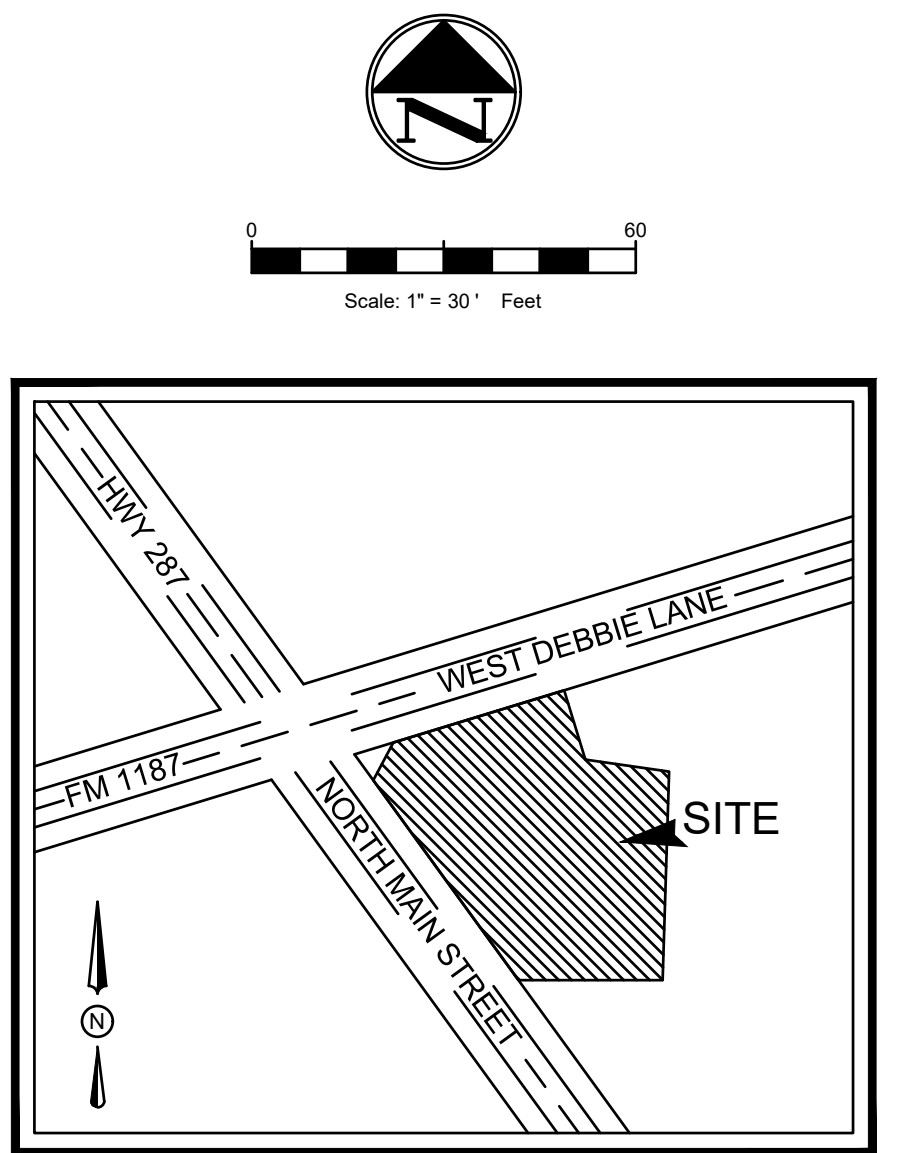
SITE DATA SUMMARY TABLE

SITE ACREAGE:	2.637 ACRES (114,868 S.F.)
ZONING:	C-2 (COMMERCIAL)
PROPOSED USE:	SERVICE STATION
BUILDING AREA (SERVICE STATION):	4874 S.F.
NUMBER OF STORIES:	1
BUILDING HEIGHT:	22'-8"
BUILDING COVERAGE:	4.24%
FLOOR AREA RATIO:	0.04
IMPERVIOUS AREA:	53,280 S.F. (46.38%)
PERVIOUS/LANDSCAPE AREA:	61,588 S.F. (53.62%)
REGULAR PARKING REQUIRED:	25 SPACES
1 SP PER 200 S.F.	
REGULAR PARKING PROVIDED:	26 SPACES
HANDICAP PARKING REQUIRED:	2 SPACES (1 VAN ACCESSIBLE)
HANDICAP PARKING PROVIDED:	2 SPACES (1 VAN ACCESSIBLE)
TOTAL PARKING PROVIDED:	28 SPACES

SITE LEGEND

CONCRETE CURB	---
SAW-CUT LINE	---
FENCE	x - x
FIRE LANE	---
STRIPING	---
PARKING SPACES	[X]
MONUMENT/PYLON SIGN	[]
WHEEL STOPS	[]
HANDICAP LOGO	[]
HANDICAP SIGN	[]
RAMP	[]
BOLLARD	[]
TRAFFIC ARROW	[]
FIRE HYDRANT	[]
DUMPSTER	[]
SANITARY SEWER MANHOLE	[]
SANITARY SEWER CLEANOUT	[]
SANITARY SEWER DOUBLE CLEANOUT	[]
SANITARY SEWER SAMPLE PORT	[]
GREASE TRAP	[]
DOMESTIC WATER METER	[]
IRRIGATION METER	[]
GAS METER	[]
TRANSFORMER	[]
LIGHT POLE	[]
POWER POLE	[]

ADDITIONAL NOTE:
 1. THE PROPOSED DRIVEWAY LOCATION AT NORTH MAIN STREET IS CONTINGENT TO TxDOT APPROVAL.



- ### SITE GENERAL NOTES
- ALL CONSTRUCTION SHALL BE IN STRICT ACCORDANCE WITH THE CITY OR LOCAL JURISDICTION STANDARDS.
 - THE LOCATION OF UNDERGROUND UTILITIES INDICATED ON THE PLANS IS TAKEN FROM AS-BUILTS, UTILITY PLANS OR SURVEY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO MAKE ARRANGEMENTS WITH THE OWNERS OF SUCH UNDERGROUND UTILITIES PRIOR TO WORKING IN THE AREA TO CONFIRM THEIR EXACT LOCATION AND TO DETERMINE WHETHER ANY ADDITIONAL UTILITIES OTHER THAN THOSE SHOWN ON THE PLANS MAY BE PRESENT. THE CONTRACTOR SHALL PRESERVE AND PROTECT ALL UNDERGROUND UTILITIES. IF EXISTING UNDERGROUND UTILITIES ARE DAMAGED, THE CONTRACTOR WILL BE RESPONSIBLE FOR THE COST OF REPAIRING THE UTILITY.
 - WHERE EXISTING UTILITIES OR SERVICE LINES ARE CUT, BROKEN OR DAMAGED, THE CONTRACTOR SHALL REPLACE OR REPAIR THE UTILITIES OR SERVICE LINES WITH THE SAME TYPE OF ORIGINAL MATERIAL AND CONSTRUCTION, OR BETTER, UNLESS OTHERWISE SHOWN OR NOTED ON THE PLANS, AT HIS OWN COST AND EXPENSE. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER AT ONCE OF ANY CONFLICTS WITH UTILITIES.
 - ALL EXCAVATIONS, TRENCHING AND SHORING OPERATIONS SHALL COMPLY WITH THE REQUIREMENTS OF THE U. S. DEPARTMENT OF LABOR, OSHA, CONSTRUCTION SAFETY AND HEALTH REGULATIONS AND ANY AMENDMENTS THERETO.
 - THE CONTRACTOR SHALL RESTORE ALL AREAS DISTURBED BY CONSTRUCTION TO ORIGINAL CONDITION OR BETTER. RESTORED AREAS INCLUDE, BUT ARE NOT LIMITED TO TRENCH BACKFILL, SIDE SLOPES, FENCES, DRAINAGE DITCHES, DRIVEWAYS, PRIVATE YARDS AND ROADWAYS.
 - ANY CHANGES NEEDED AFTER CONSTRUCTION PLANS HAVE BEEN RELEASED, SHALL BE APPROVED BY THE CITY ENGINEER. THESE CHANGES MUST BE RECEIVED IN WRITING.
 - THE CONTRACTOR SHALL PROVIDE "RED LINED" MARKED PRINTS TO THE ENGINEER PRIOR TO FINAL INSPECTION INDICATING ALL CONSTRUCTION WHICH DEVIATED FROM THE PLANS OR WAS CONSTRUCTED IN ADDITION TO THAT INDICATED ON THE PLANS.
 - ALL CURB RADIUS TO BE 10' OR 2' UNLESS OTHERWISE NOTED ON THE SITE PLAN.

OWNER/DEVELOPER INFORMATION:
 OWNER/DEVELOPER
 SCHAFFER CONSTRUCTION
 2601 NETWORK BLVD., SUITE 413
 FRISCO, TEXAS 75034
 ERIN MILLER
 214-888-6923

SUP#23-004
EXHIBIT B (DEVELOPMENT PLAN)
7-11 (9350 PROTO)
 LOT 1, BLOCK 1, HWH BUSINESS PARK ADDITION
 CITY OF MANSFIELD, TARRANT COUNTY, TEXAS 76063
 DATE OF PREPARATION : 2023-10-17
 SITE ACREAGE: 2.637 ACRES
 NUMBER OF LOTS : 1

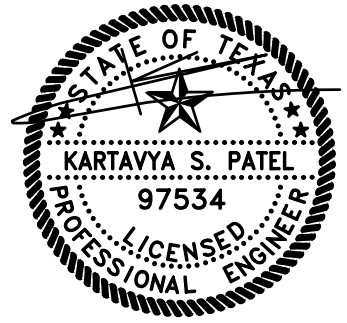
TRIANGLE ENGINEERING LLC
 T: 469.331.8566 | F: 469.213.7145 | E: info@triangle-engr.com
 W: triangle-engr.com | O: 1782 W. McDermott Drive, Allen, TX 75013

Planning | Civil Engineering | Construction Management

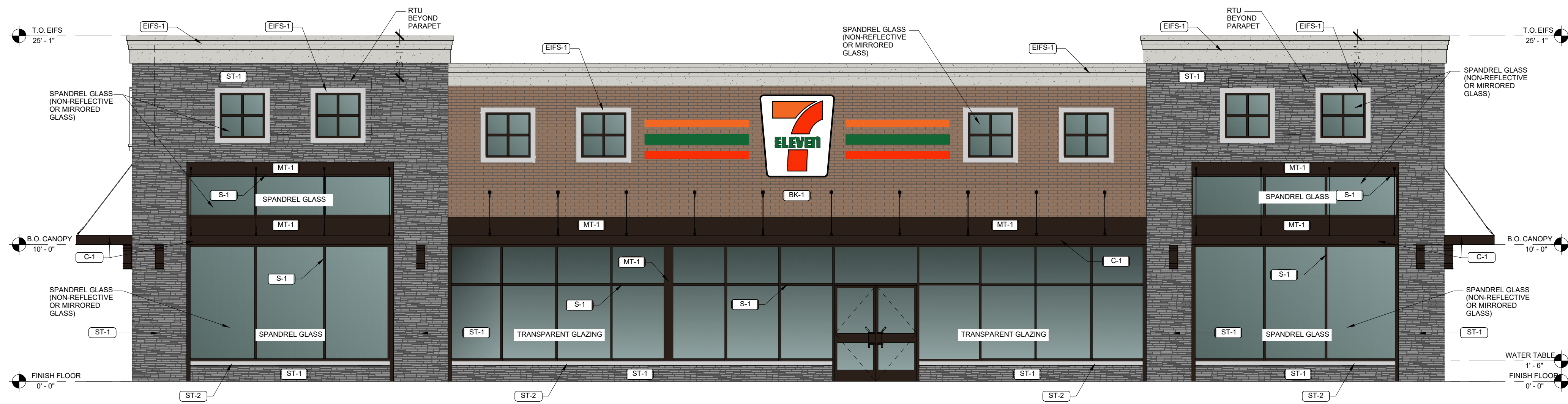
P.E.	DES.	DATE	SCALE	PROJECT NO.	SHEET NO.
KP	KR	10/31/23	SCALE BAR	105-23	

TX. P.E. FIRM #11525

NO.	DATE	DESCRIPTION	BY
1	10/02/23	1st CITY SUBMITTAL	KP
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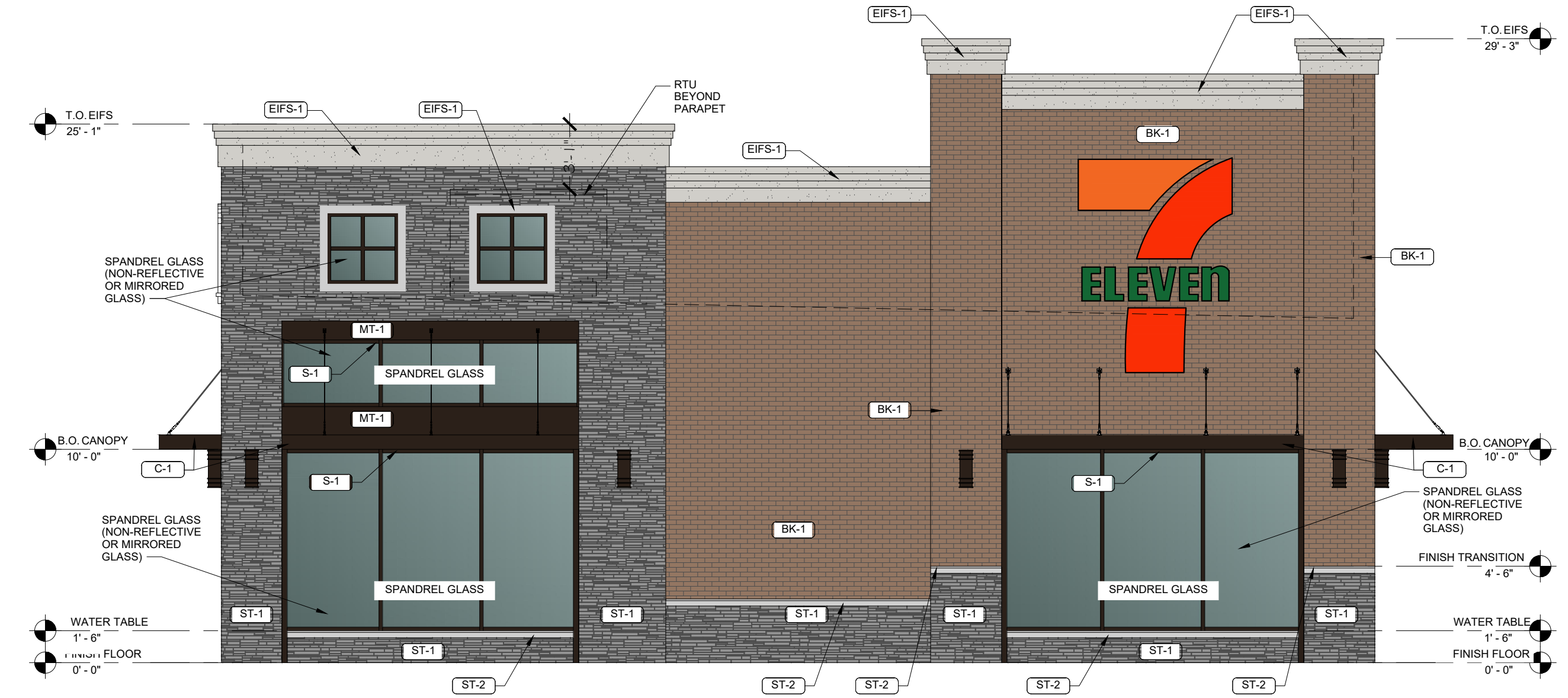


10/31/23



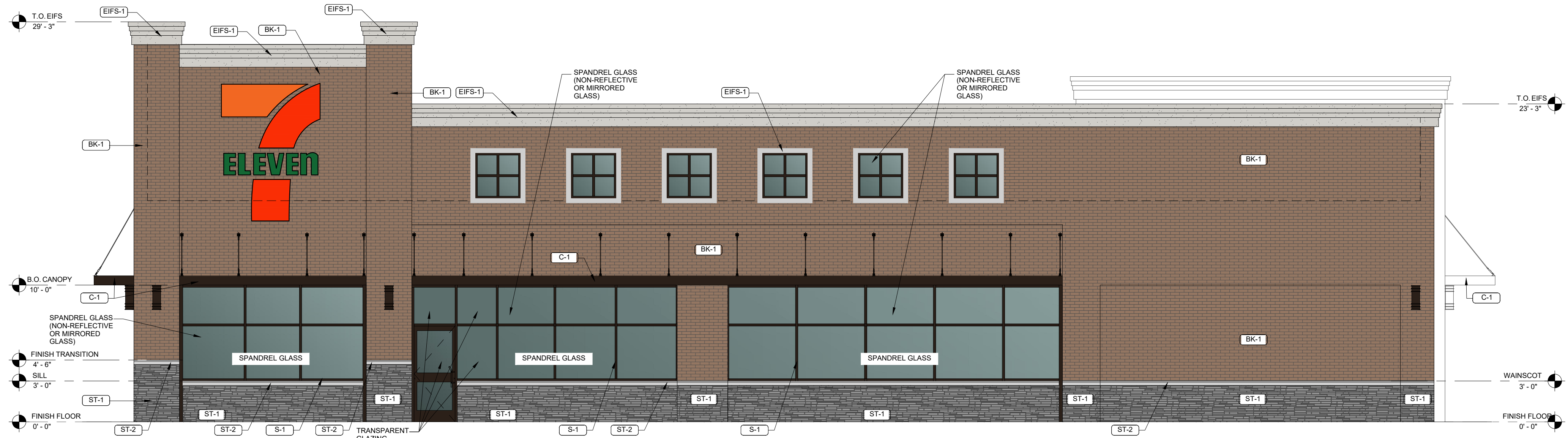
1 ELEVATION - FRONT
3/16" = 1'-0"

Front Elevation Materials	SF	Percent
BK-1 (BRICK)	490 sf	34%
ST-1/ST-2 (STONE)	628 sf	44%
MT-1	133 sf	9%
EFS-1	178 sf	13%
Total	1,429 sf	100%
Total Masonry %		76%



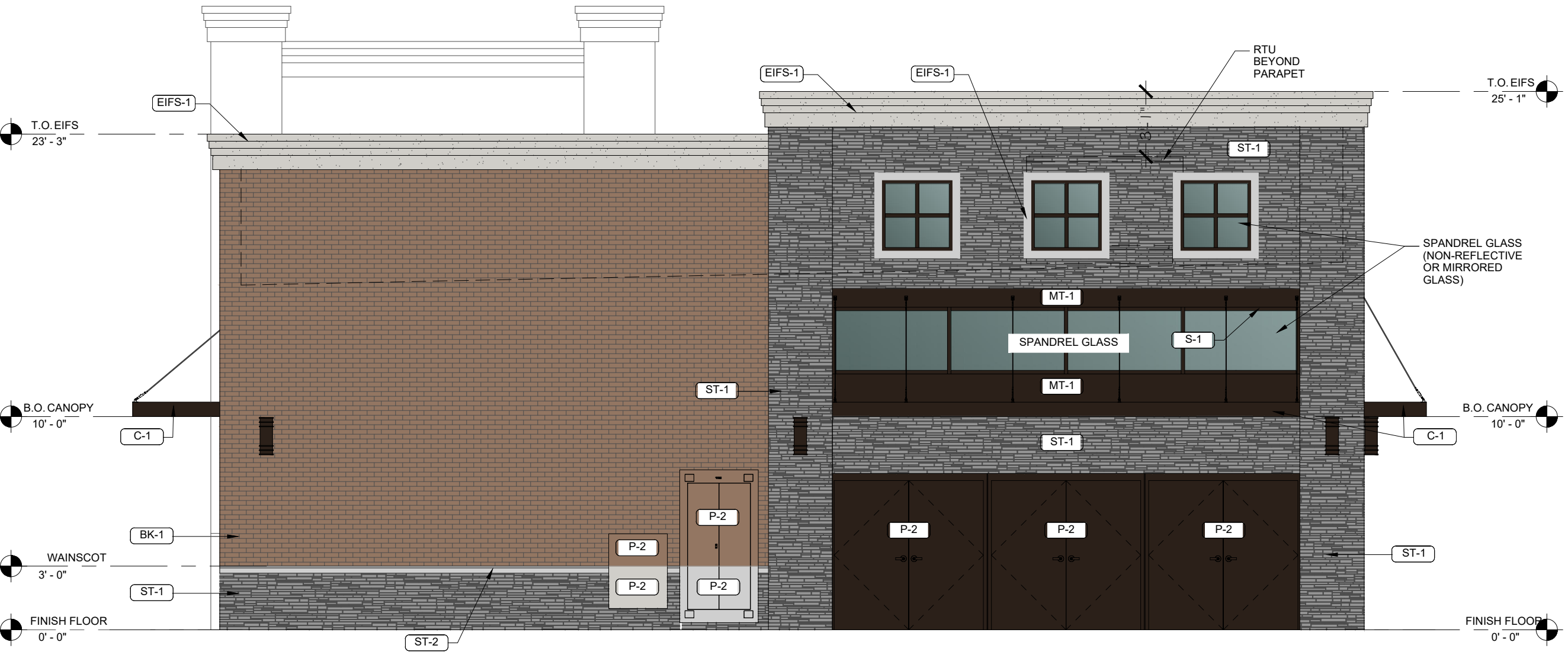
2 ELEVATION - RIGHT SIDE
3/16" = 1'-0"

Right Elevation Materials	SF	Percent
BK-1 (BRICK)	601 sf	56%
ST-1/ST-2 (STONE)	348 sf	32%
MT-1	30 sf	3%
EFS-1	101 sf	9%
Total	1,080 sf	100%
Total Masonry %		88%



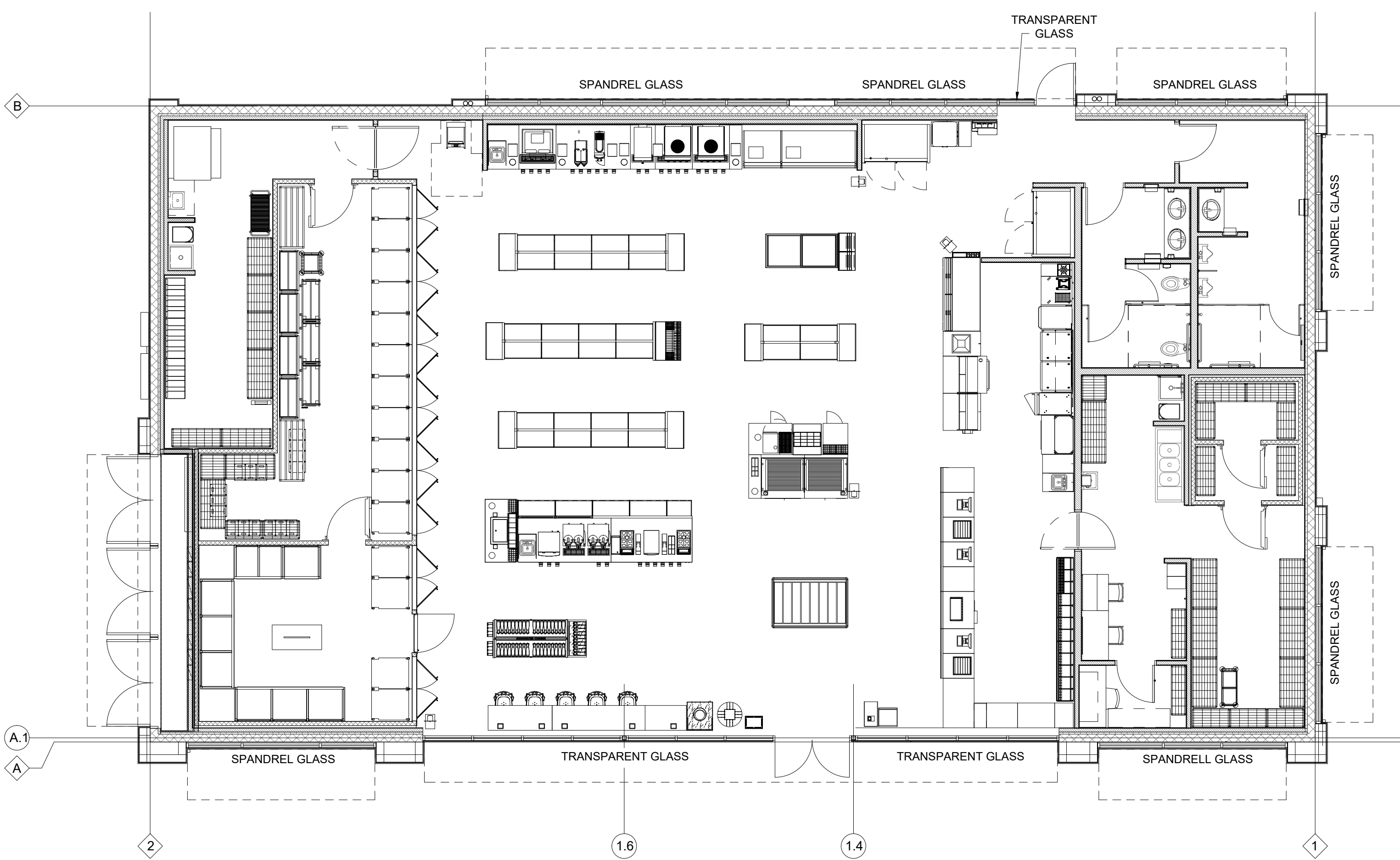
3 ELEVATION - BACK SIDE
3/16" = 1'-0"

Back Elevation Materials	SF	Percent
BK-1 (BRICK)	1321 sf	63%
ST-1/ST-2 (STONE)	628 sf	30%
EFS-1	162 sf	7%
Total	2,111 sf	100%
Total Masonry %		93%

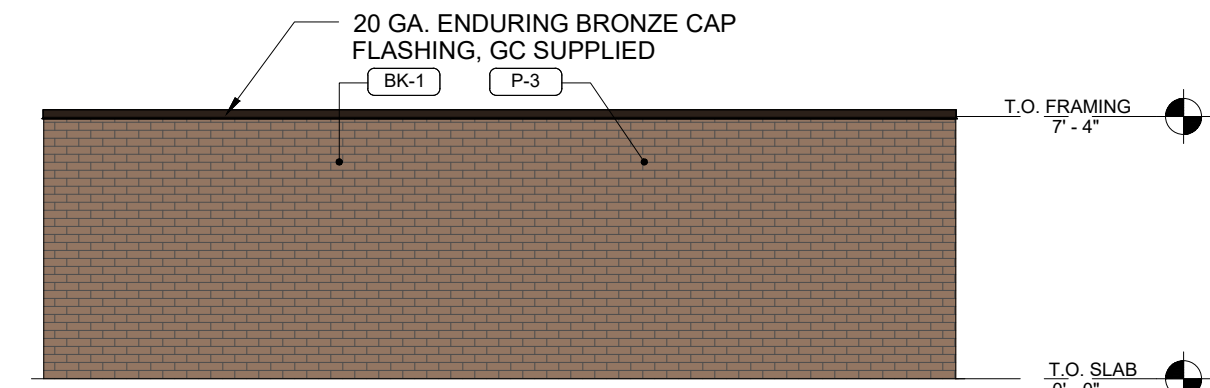


4 ELEVATION - LEFT SIDE
3/16" = 1'-0"

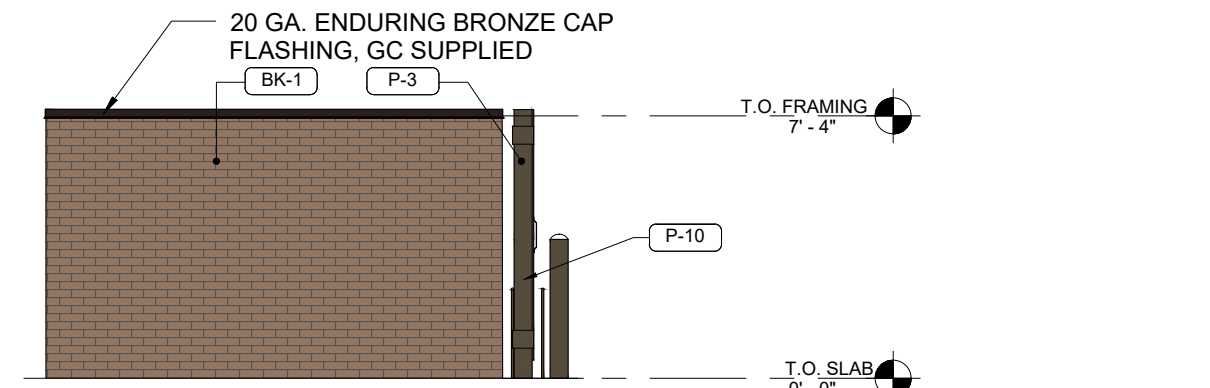
Left Elevation Materials	SF	Percent
BK-1 (BRICK)	476 sf	44%
ST-1/ST-2 (STONE)	465 sf	43%
MT-1	48 sf	5%
EFS-1	91 sf	8%
Total	1,080 sf	100%
Total Masonry %		87%



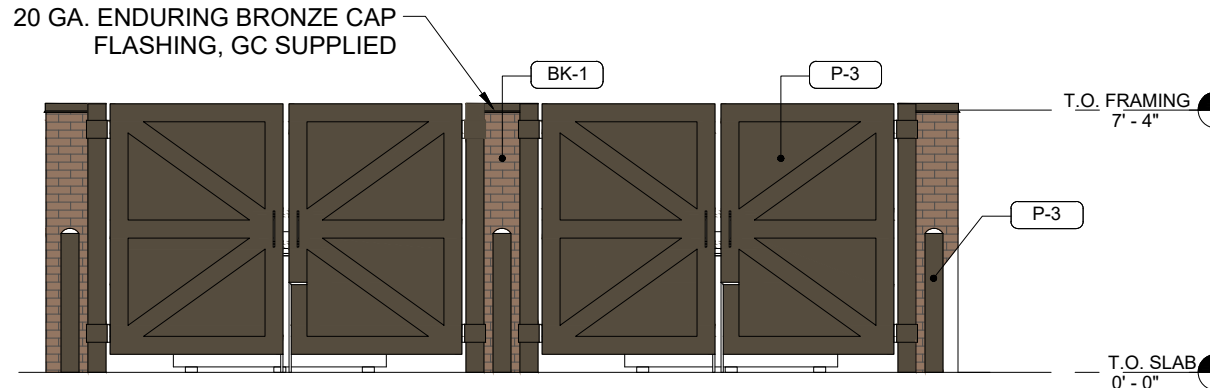
STORE LAYOUT/GLAZING PLAN
N.T.S.



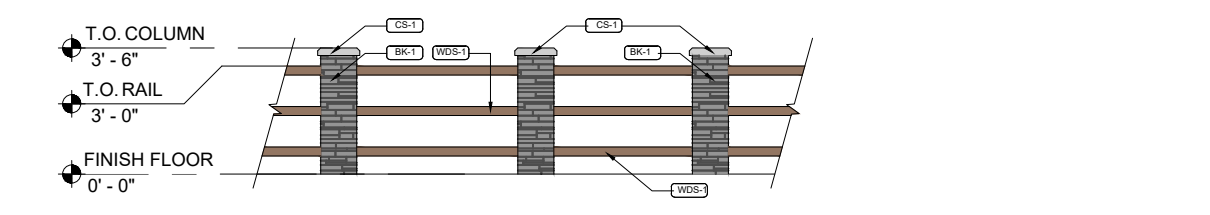
6 BACK DUMPSTER ENCL. ELEVATION
3/16" = 1'-0"



5 SIDE DUMPSTER ENCL. ELEVATION
3/16" = 1'-0"



7 FRONT DUMPSTER ENCL. ELEVATION
3/16" = 1'-0"



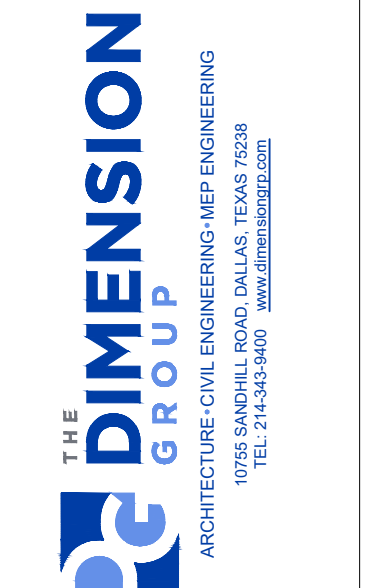
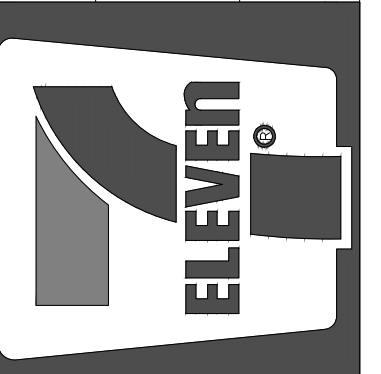
8 PATIO FENCE ELEVATION
3/16" = 1'-0"

MATERIAL PALETTE

BK-1 THIN BRICK ACME BRICK - HERITAGE TEXTURE - COLOR: HIGHLAND GRAY	ST-1 STONE VENEER CORONADO STONE PROLEDGE - HURON	ST-2 STONE SILL CORONADO STONE 900 SERIES TRIM - GRAY	EFS-1 COLOR: PAINTED SHERWIN WILLIAMS SW 7648 BIG CHILL
S-1 KAWNEER, "DARK BRONZE" ALUMINUM STOREFRONT FRAME 1" INSULATED CLEAR GLAZING BY OLDCASTLE OR EQUAL	C-1 PRE-FINISHED CANOPY - BRONZE BAKED ENAMEL	CS-1 CAST STONE - GRAY	WDS-1 3" WOOD RAILS - CEDAR
MT-1 METAL TRANSOM, COPING SHERWIN WILLIAMS - URBANE BRONZE SW 7048	P-1 PAINT SHERWIN WILLIAMS - SW 7648 BIG CHILL	P-2 PAINT SHERWIN WILLIAMS - BALANCED BEIGE SW 7037	P-3 PAINT SHERWIN WILLIAMS - URBANE BRONZE SW 7048

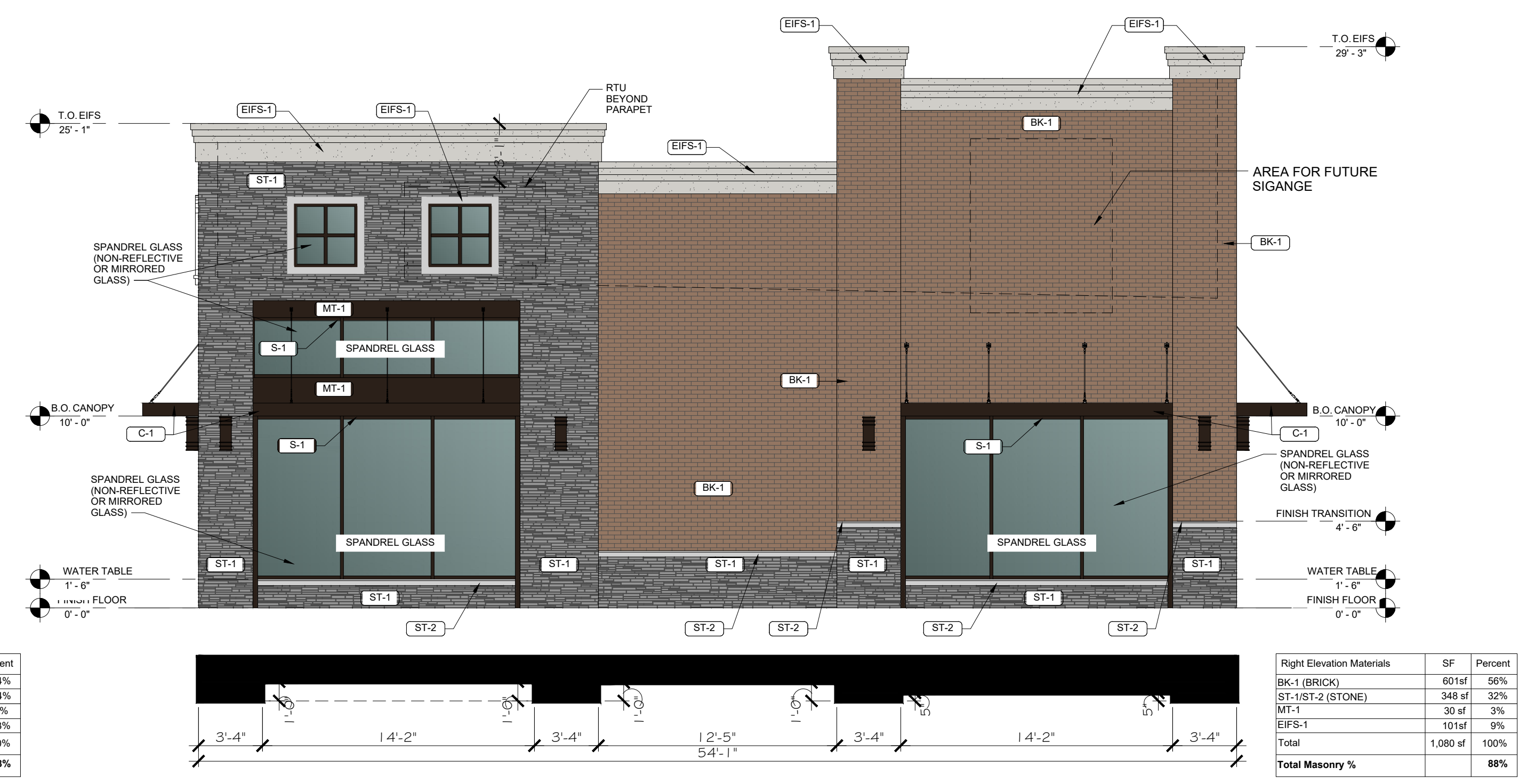
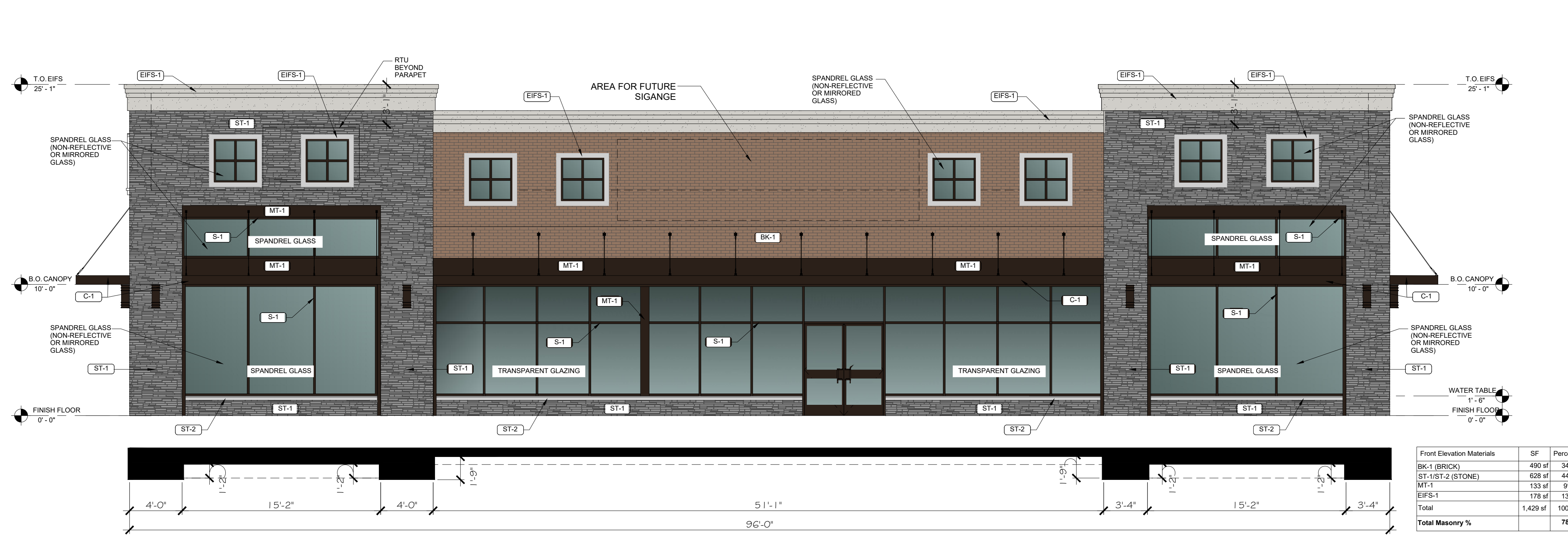
Rev. #	Date	Description

7-ELEVEN, INC.
3200 HACKBERRY ROAD, IRVING, TX 75063
7-ELEVEN #1055625
WEST DEBBIE JANE & NORTH MAIN STREET
MANSFIELD, TX 76063
EXHIBIT C
PRELIMINARY ELEVATIONS



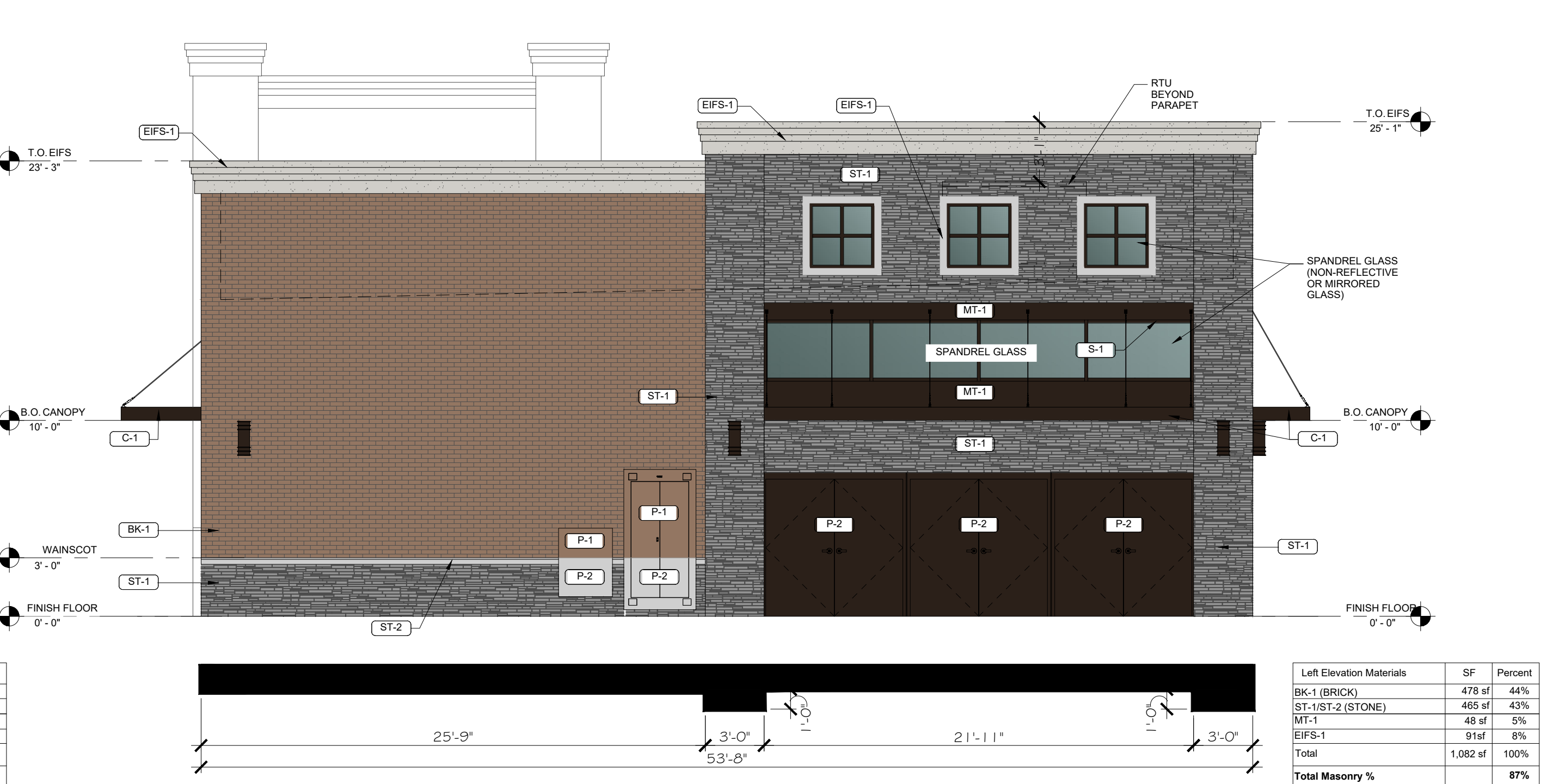
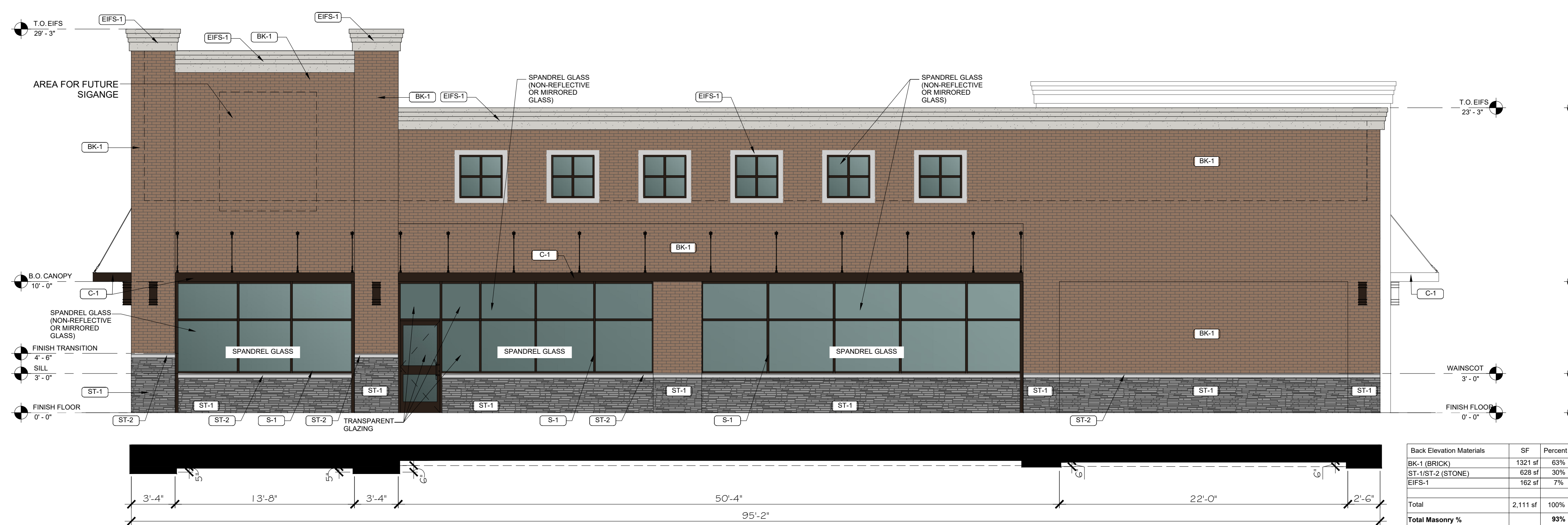
Job#: 230-513
Scale: AS NOTED
Date: 11/21/23
Drawn By:
Checked By:

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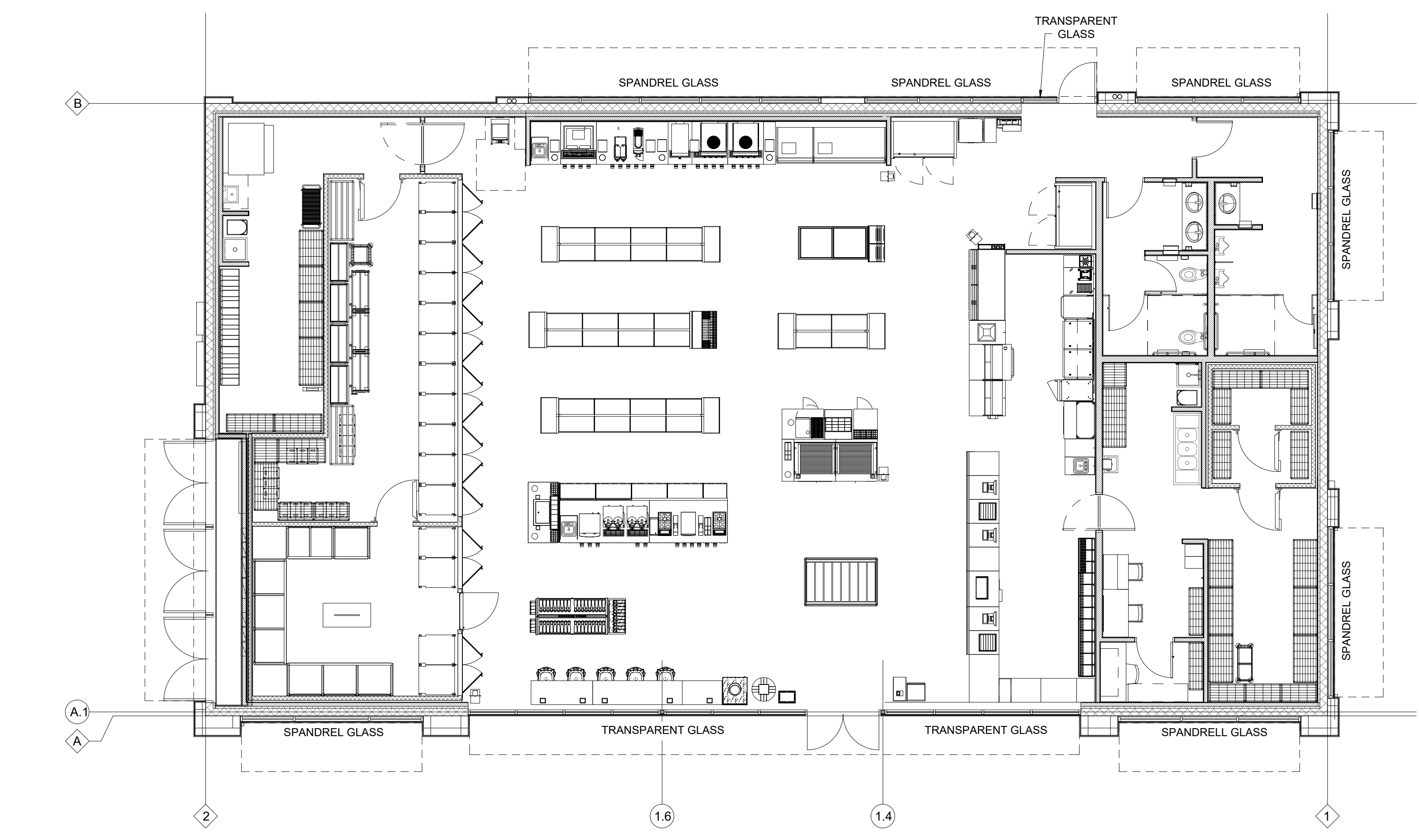
1 ELEVATION - FRONT
3/16" = 1'-0"

2 ELEVATION - RIGHT SIDE
3/16" = 1'-0"

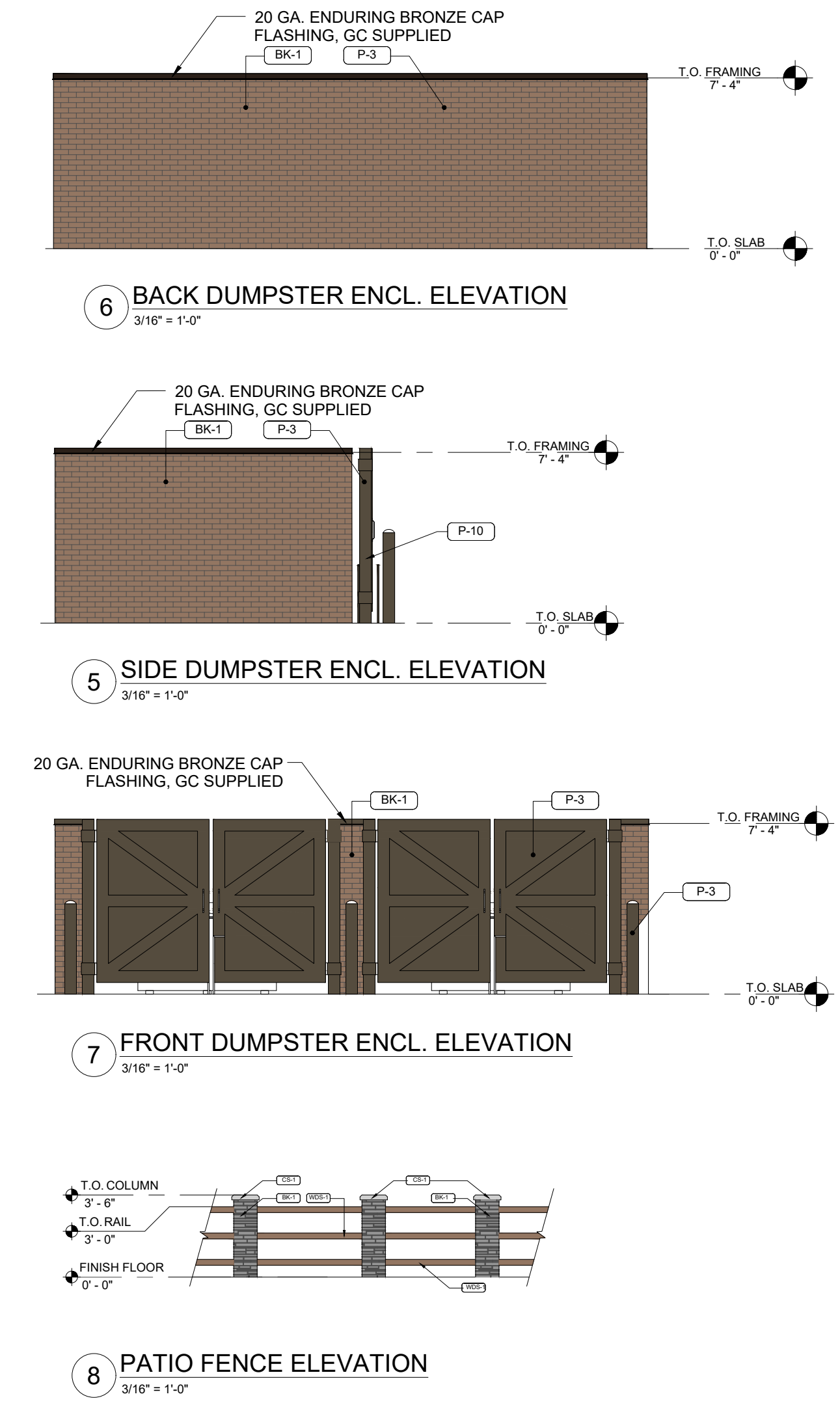


3 ELEVATION - BACK SIDE
3/16" = 1'-0"

4 ELEVATION - LEFT SIDE
3/16" = 1'-0"



STORE LAYOUT/GLAZING PLAN
N.T.S.



MATERIAL PALETTE

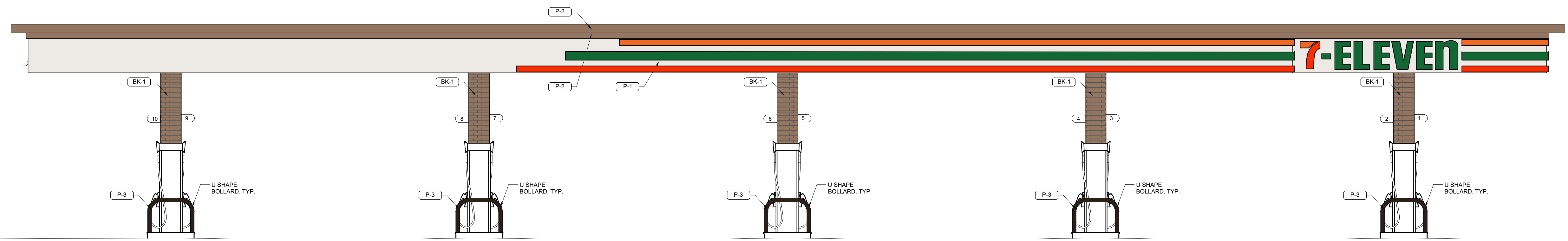
7-ELEVEN, INC.
3200 HACKBERRY ROAD, IRVING, TX 75063
7-ELEVEN #1055625
WEST DEBBIE JANE & NORTH MAIN STREET
MANSFIELD, TX 76063
EXHIBIT C
PRELIMINARY ELEVATIONS

PROTO. CST 9350

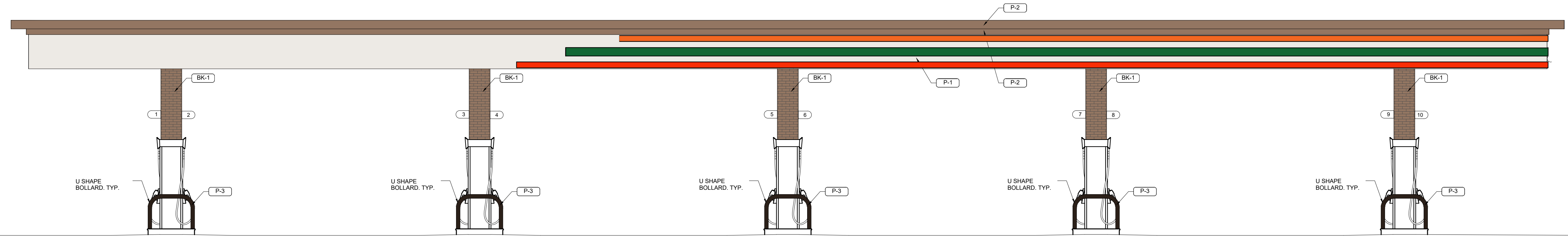
Job#: 230-513
Scale: AS NOTED
Date: 11/21/23
Drawn By:
Checked By:

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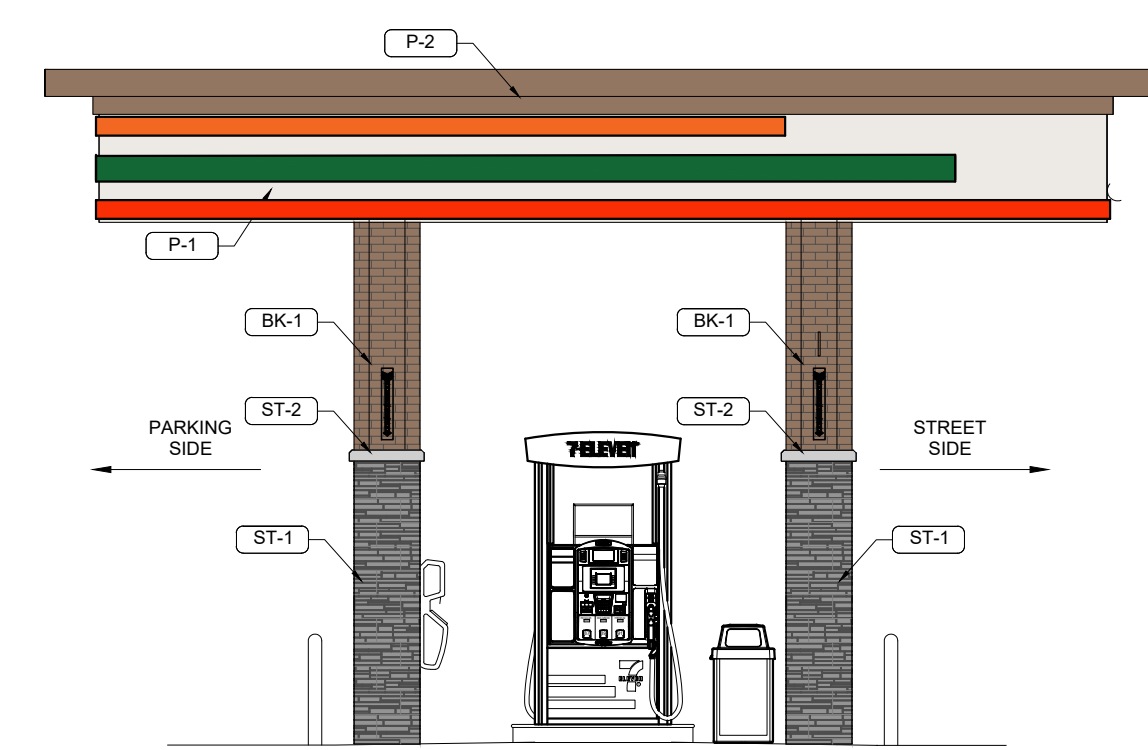
11/21/23
SHEET: EXHIBIT C
C.2
SUP# 23-004



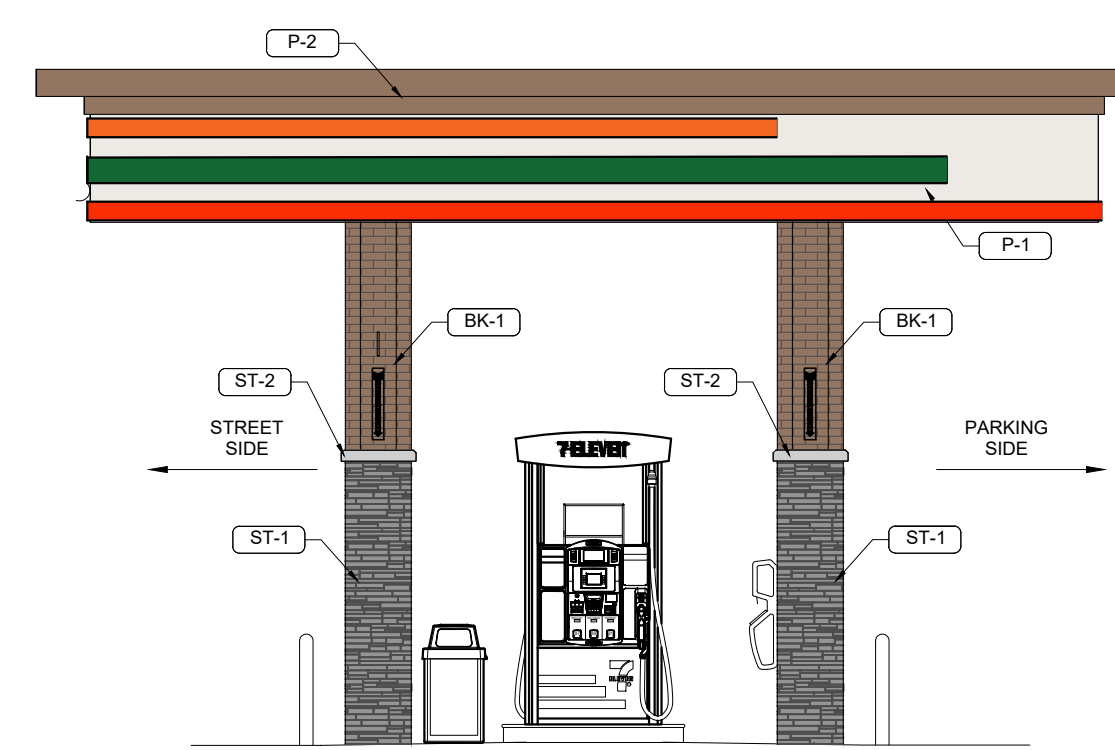
1 CANOPY REAR ELEVATION
SCALE 3/16" = 1'-0"



2 CANOPY FRONT ELEVATION
SCALE 3/16" = 1'-0"

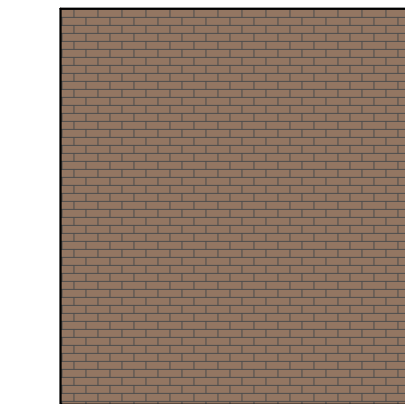


3 CANOPY SIDE ELEVATION
SCALE 3/16" = 1'-0"

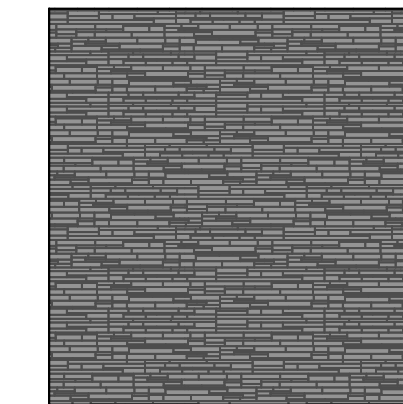


4 CANOPY SIDE ELEVATION
SCALE 3/16" = 1'-0"

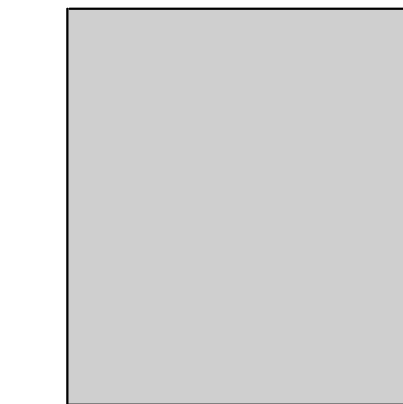
MATERIAL PALETTE



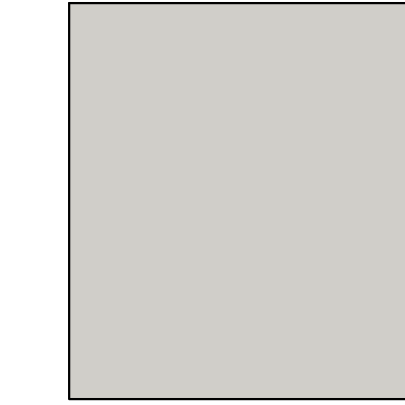
BK-1
THIN BRICK
ACME BRICK - HERITAGE
TEXTURE - COLOR: HIGHLAND
GRAY



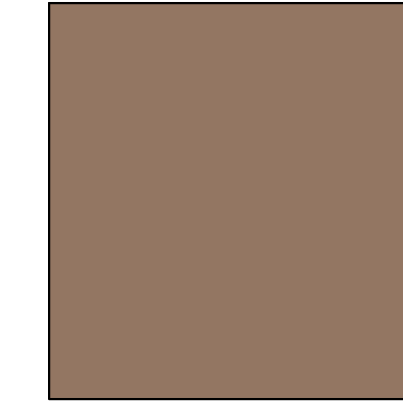
ST-1
STONE VENEER
CORONADO STONE
PRO-LEDGE - HURON



ST-2
STONE SILL
CORONADO STONE
900 SERIES TRIM - GRAY



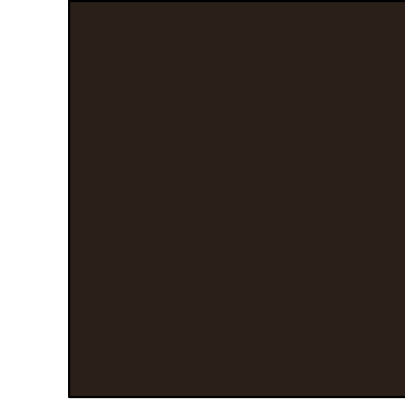
P-1
PAINT
SHERWIN WILLIAMS -
SW 7648
BIG CHILL



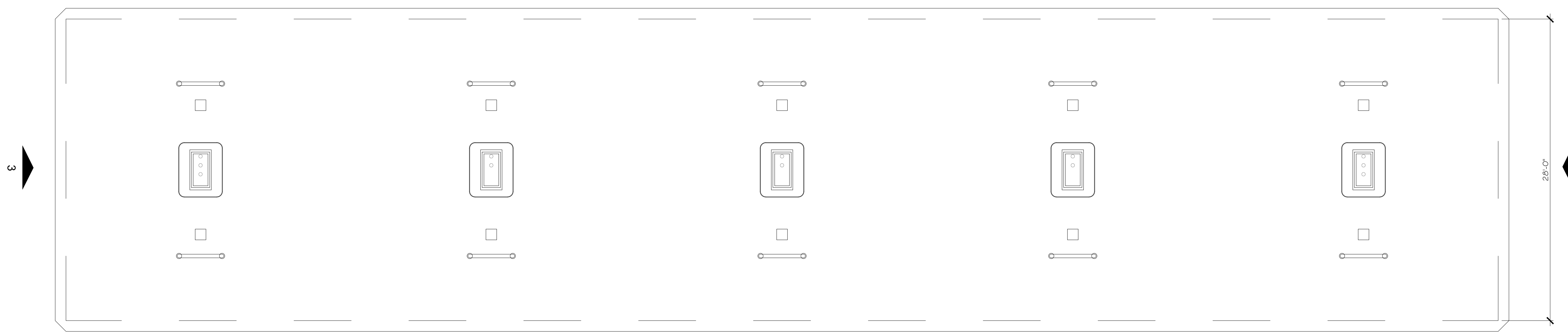
P-2
PAINT
SHERWIN WILLIAMS -
BALANCED BEIGE
SW 7037



P-3
PAINT
SHERWIN WILLIAMS - URBANE
BRONZE
SW 7048



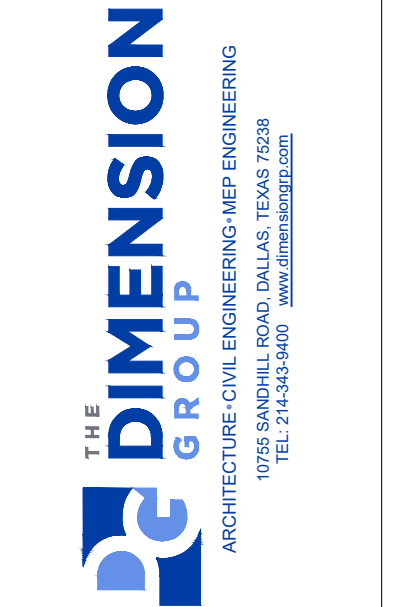
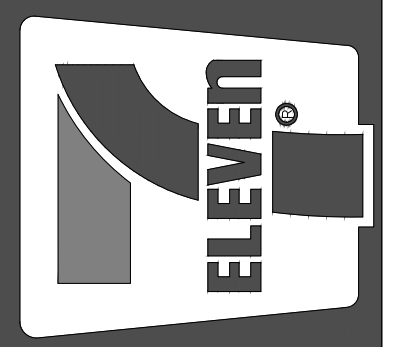
MT-1
METAL TRANSOM COPING
SHERWIN WILLIAMS - URBANE
BRONZE
SW 7048



1 CANOPY DIMENSION PLAN
SCALE 3/16" = 1'-0"

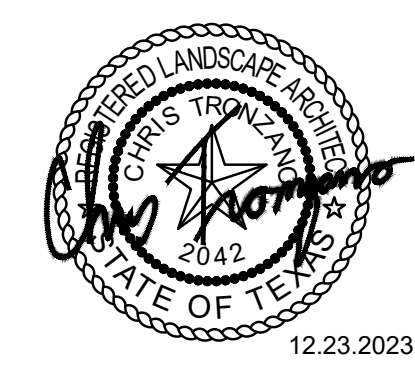
Rev. #	Date	Description

PROTO. CST 9350
7-ELEVEN, INC.
3200 HACKBERRY ROAD, IRVING, TX 75063
7-ELEVEN #1055625
WEST DEBBIE LANE & NORTH MAIN STREET
MANSFIELD, TX 76063
EXHIBIT C
PRELIMINARY ELEVATIONS



Job#: 230-513
Scale: AS NOTED
Date: 11/21/23
Drawn By:
Checked By:

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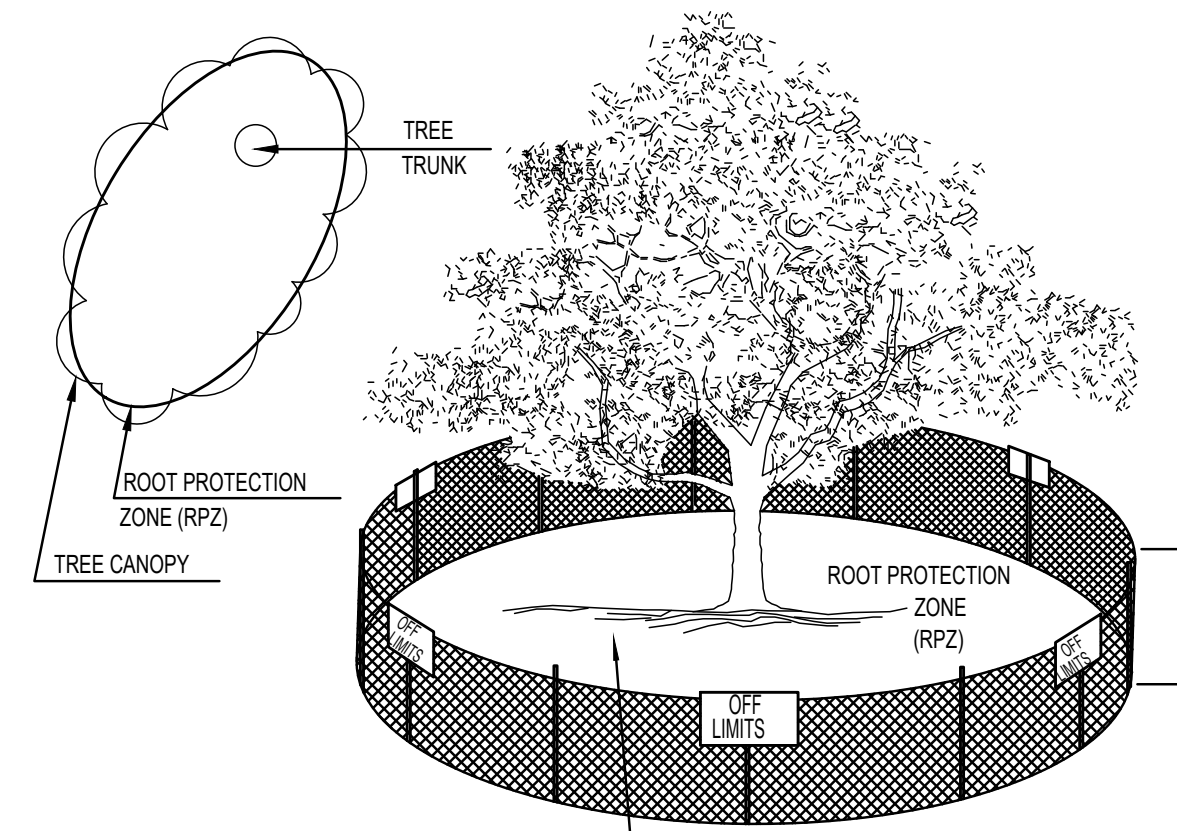


EXISTING TREE NOTES

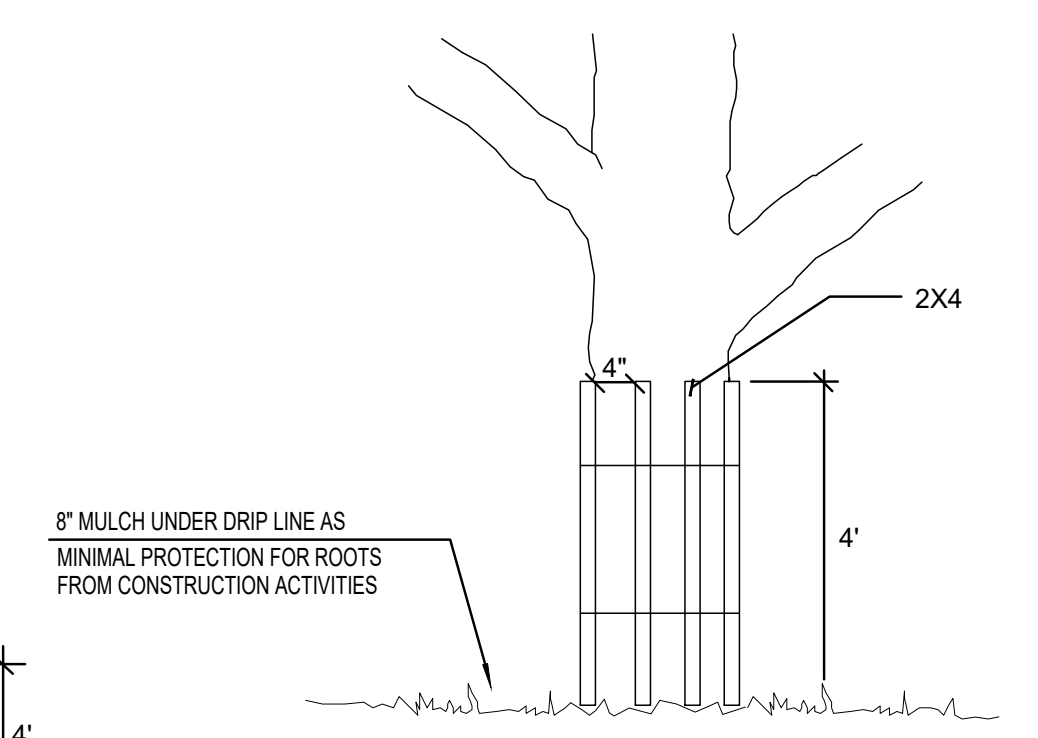
- Existing trees to remain shall be protected during construction from tree structure damage and compaction of soil under and around drip line (canopy) of tree.
- If any root structure is damaged during adjacent excavation/construction, notify the Architect immediately. It is recommended that a licensed Arborist be secured for the treatment of any possible tree wounds.
- No disturbance of the soil greater than 4" shall be located closer to the tree trunk than 1/2 the distance of the drip line to the tree trunk. A minimum of 75% of the drip line and root zone shall be preserved at natural grade.
- Any fine grading done within the critical root zones of the protected trees must be done with light machinery such as a bobcat or light tractor. No earth moving equipment with tracks is allowed within the critical root zone of the trees.
- Material Storage: No materials intended for use in construction or waste materials accumulated due to excavation or demolition shall be placed within the limits of the drip line of any tree.
- Equipment Cleaning/Liquid Disposal: No equipment may be cleaned, toxic solutions, or other liquid chemicals shall be deposited within the limits of the drip line of a tree. This would include but not be limited to paint, oil, solvents, asphalt, concrete, mortar, primers, etc.
- Tree Attachments: No signs, wires or other attachments, other than those of a protective nature shall be attached to any tree.
- Vehicular Traffic: No vehicular and construction equipment traffic or parking is allowed within the limits of the drip line of trees.
- Boring of Utilities: May be permitted under protected trees in certain circumstances. The minimum length of the bore shall be the width of the tree's canopy and shall be a minimum depth of forty-eight (48") inches.
- Trenching: Any irrigation trenching which must be done within the critical root zone of a tree shall be dug by hand and enter the area in a radial manner.
- Tree Flagging: All trees to be removed from the site shall be flagged by the Contractor with bright red vinyl tape (3" width) wrapped around the main trunk at a height of four (4) feet above grade. Flagging shall be approved by Landscape Architect prior to any tree removal. Contractor shall contact Landscape Architect with 72 hour notice to schedule on-site meeting.
- Protective Fencing: All trees to remain, as noted on drawings, shall have protective fencing located at the tree's dripline. The protective fencing may be comprised of snow fencing, orange vinyl construction fencing, chain link fence or other similar fencing with a four (4) foot approximate height. The protective fencing will be located as indicated on the Tree Protection Detail(s).
- Bark Protection: In situations where a tree remains in the immediate area of intended construction, the tree shall be protected by enclosing the entire circumference of the tree's trunk with lumber encircled with wire or other means that does not damage the tree. Refer to Tree Protection Detail(s).
- Construction Pruning: In a case where a low hanging limb is broken during the course of construction, the Contractor shall notify the Landscape Architect immediately. In no instance shall the Contractor prune any portion of the damaged tree without the prior approval by the Landscape Architect.

EXISTING TREE PRUNING NOTES

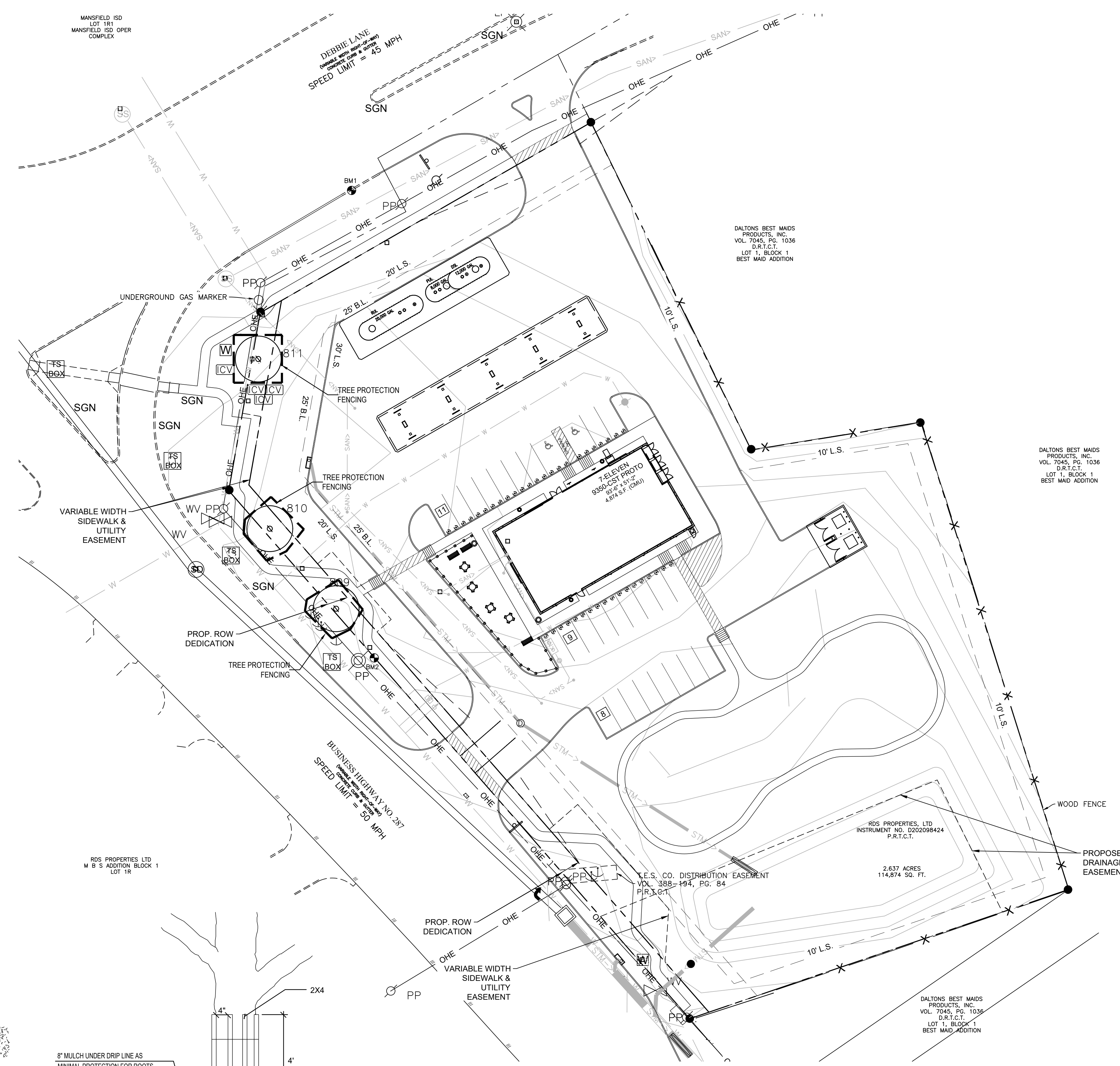
- Contractor shall provide a Class 'B' pruning on all existing trees.
- This shall include at a minimum: removal of dead, dying, diseased weak branches, along main trunk structure and within branching area.
- Contractor shall include deep root feeding and invigoration of existing trees. This shall be organic based nutrients based for root growth and leaf growth stimulation.
- Contractor shall be required to chip all removed branches, leaves, etc.



01 TREE PROTECTION FENCE A
 NOT TO SCALE



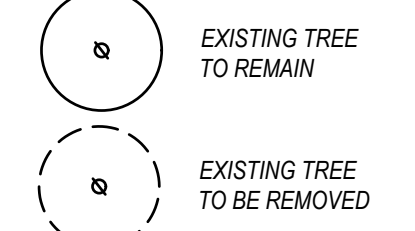
02 TREE PROTECTION FENCE B
 NOT TO SCALE



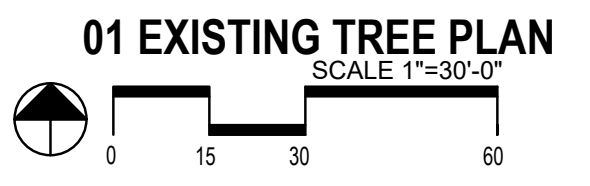
TREE SURVEY FIELD DATA

NO.	DIA. INCHES	SPECIES (COMMON NAME)	REMARKS	NOTES
809	12	LIVE OAK	TO REMAIN	TREE IS LOCATED IN THE PUBLIC R.O.W.
810	12	LIVE OAK	TO REMAIN	TREE IS LOCATED IN THE PUBLIC R.O.W.
811	12	LIVE OAK	TO REMAIN	TREE IS LOCATED IN THE PUBLIC R.O.W.

EXISTING TREE LEGEND



TREE PROTECTION FENCING
 TO REMAIN DURING CONSTRUCTION
 REFER TO 01/1.100



7/ELEVEN
 DEBBIE LANE & HWY 287
 CITY OF MANSFIELD, TEXAS

ISSUE:
 FOR APPROVAL 09.29.2023
 CITY COMMENTS 10.17.2023
 CITY COMMENTS 11.01.2023
 CITY COMMENTS 11.20.2023

DATE:
 12.23.2023

SHEET NAME:
 EXISTING TREE PLAN

SHEET NUMBER:
 EXHIBIT- D.1

LANDSCAPE REQUIREMENTS

Street Landscape Setback
Requirements: (1) tree 4" cal. per 40 l.f.

Debbie Lane - 203 l.f.
Required (5) trees, 3" cal. Provided (5) trees, 3" cal.

HWY 287 - 468 l.f.
Required (12) trees, 4" cal. Provided (12) trees, 4" cal.

Perimeter Landscape Buffer
Requirements: BY 10'- 10' wide buffer yard with (1) tree 3" cal. per 25 l.f.

West - 544.59 l.f.
Required (22) trees, 4" cal. Provided (22) trees, 4" cal.

South - 212.50 l.f.
Required (9) trees, 4" cal. Provided (9) trees, 4" cal.

Site Landscape
Requirements: A minimum four foot wide landscape area shall be required adjacent to or within ten feet of all building facades with building entrances and building facades facing a public street.

A 20 foot wide landscape setback shall be provided along the entire boundary of the lot that abuts a public street, exclusive of driveways and access ways at points of ingress and egress to and from the lot.

Parking Lot Internal Landscaping (32 spaces)
Requirements: (1) landscape island per 10 spaces, islands to include (1) tree, 4" cal. ROW shrub screening to be 36" at time of maturity

Required (3) trees, 4" cal. Provided (3) trees, 4" cal.
ROW Shrub Screening

Passive Landscape Space:
All new developments shall dedicate a minimum of 10% of the total building floor area to passive space. passive space shall be entered directly from a through fare, a walkway, or other passive pedestrian path or a civic or open space.

Provided elements: perimeter evergreen hedge, decomposed granite patio, outdoor dining, and furniture games.

SITE FURNISHINGS

Tables shall be:
DuMor table 448 (2) 448-44 table, 4 seat
(1) 448-43 (table, 3 seat and ADA space) w/ game board option,
(1) 448-44 (table, 4 seat) w/ game board option,
color shall be black

4 tables total

Benches shall be:

DuMor table bench 144-60
6' backless cast bench, steel seat,
color shall be black

3 tables total

Trash Receptacle shall be:

DuMor trash receptacle 107- 32 gallon
with DM cover- color shall be black

Total of 2 trash receptacle

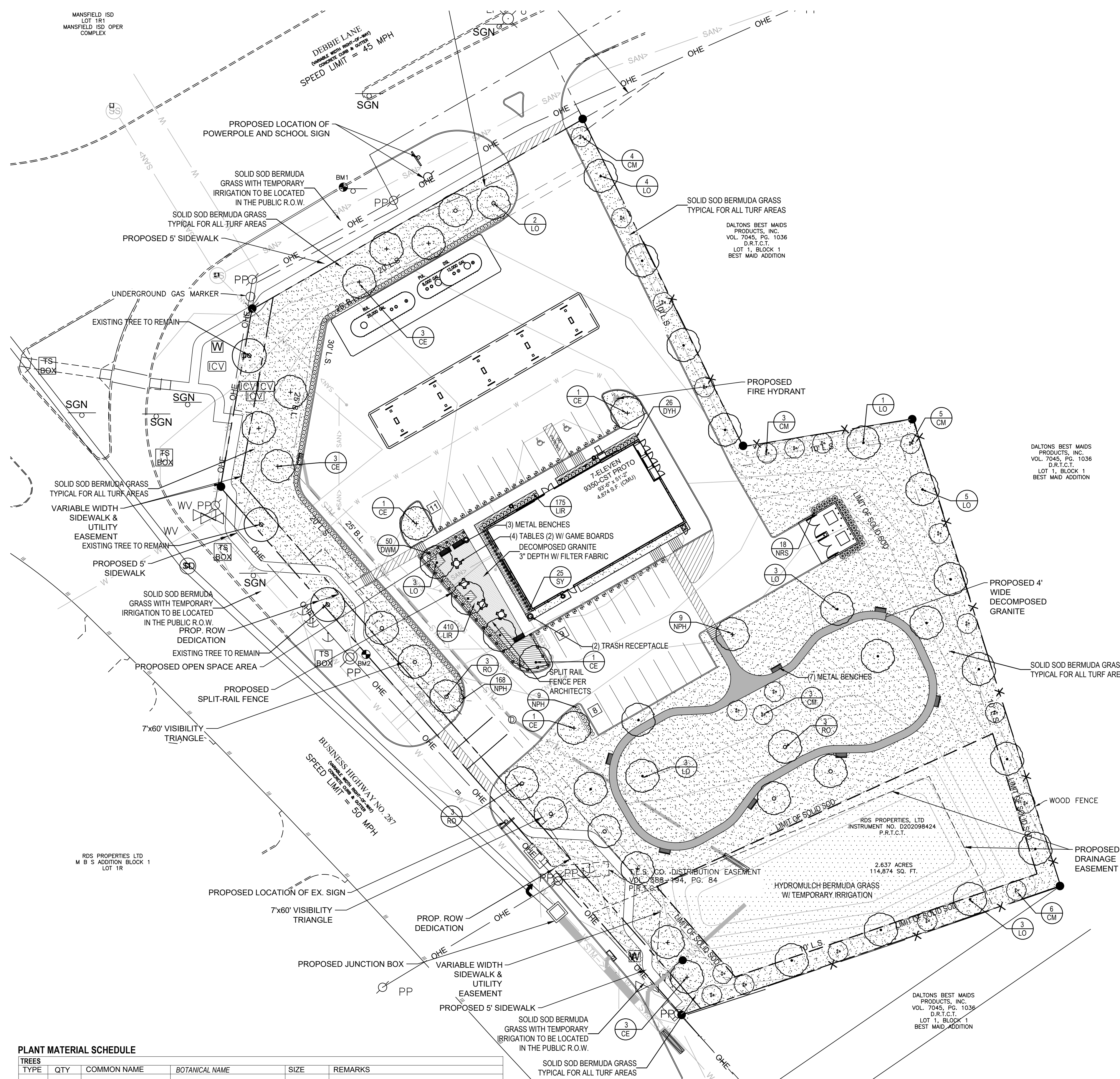
Available from:
Paul E Allen Company
info@paulallen.com
1-888-877-4887
www.paulallen.com



METAL TABLE WITH GAME BOARD OPTION



METAL BENCH



PLANT MATERIAL SCHEDULE

TREES					
TYPE	QTY	COMMON NAME	BOTANICAL NAME	SIZE	REMARKS
CE	13	Cedar Elm	<i>Ulmus crassifolia</i>	3" cal.	B&B, 12" ht., 6' spread, 6' clear straight trunk
CM	13	Crepe Myrtle 'Dallas Red'	<i>Lagerstroemia indica 'Dallas Red'</i>	3" cal.	container, (3) 1" canes, 8' ht., 4' spread, tree form
LO	24	Live Oak	<i>Quercus virginiana</i>	3" cal.	container, 12" ht., 6' spread, 6' clear straight trunk
RO	9	Red Oak	<i>Quercus shumardii</i>	3" cal.	container, 12" ht., 6' spread, 6' clear straight trunk

SHRUBS					
TYPE	QTY	COMMON NAME	BOTANICAL NAME	SIZE	REMARKS
DWM	50	Dwarf Wax Myrtle	<i>Myrica pusilla</i>	5 gal.	container, 24" ht., 20" spread
NRS	18	Nellie R. Stevens Holly	<i>Ilex x Nellie R. Stevens</i>	7 gal.	container, 36" ht., 30" spread
NPH	186	Needlepoint Holly	<i>Ilex x cornuta 'Needlepoint'</i>	5 gal.	container, 24" ht., 20" spread
SY	25	Soft Leaf Yucca	<i>Yucca recurvifolia</i>	5 gal.	container, 24" ht., 20" spread
DYH	26	Dwarf Yaupon Holly	<i>Ilex vomitoria 'Nana'</i>	3 gal.	container grown, 20" spread

GROUNDCOVERS					
TYPE	QTY	COMMON NAME	BOTANICAL NAME	SIZE	REMARKS
LIR	585	Liriope '419' Bermudagrass	<i>Liriope muscari 'Cynodon dactylon '419'</i>	4" pots	full container, well rooted Solid Sod refer to notes

NOTE: Plant list is an aid to bidders only. Contractor shall verify all quantities on plan. All heights and spreads are minimums. All plant material shall meet or exceed remarks as indicated. All trees to have straight trunks and be matching within varieties.

GENERAL LAWN NOTES

- FINE GRADE AREAS TO ACHIEVE FINAL CONTOURS INDICATED ON CIVIL PLANS.
- ADJUST CONTOURS TO ACHIEVE POSITIVE DRAINAGE AWAY FROM BUILDINGS. PROVIDE UNIFORM ROUNDING AT TOP AND BOTTOM OF SLOPES AND OTHER BREAKS IN GRADE. CORRECT IRREGULARITIES AND AREAS WHERE WATER MAY STAND.
- ALL LAWN AREAS TO RECEIVE SOLID SOD SHALL BE LEFT IN A MAXIMUM OF 1" BELOW FINAL FINISH GRADE. CONTRACTOR TO COORDINATE OPERATIONS WITH ON-SITE CONSTRUCTION MANAGER.
- IMPORTED TOPSOIL SHALL BE NATURAL, FRIABLE SOIL FROM THE REGION, KNOWN AS BOTTOM AND SOIL, FREE FROM LUMPS, CLAY, TOXIC SUBSTANCES, ROOTS, DEBRIS, VEGETATION, STONES, CONTAINING NO SALT AND BLACK TO BROWN IN COLOR.
- ALL LAWN AREAS TO BE FINE GRADED, IRRIGATION TRENCHES COMPLETELY SETTLED, AND FINISH GRADE APPROVED BY THE OWNER'S CONSTRUCTION MANAGER OR ARCHITECT PRIOR TO INSTALLATION.
- ALL ROCKS 3/4" DIAMETER AND LARGER, DIRT CLODS, STICKS, CONCRETE SPOILS, ETC. SHALL BE REMOVED PRIOR TO PLACING TOPSOIL AND ANY LAWN INSTALLATION.
- CONTRACTOR SHALL PROVIDE (1) ONE INCH OF IMPORTED TOPSOIL ON ALL AREAS TO RECEIVE LAWN.

SOLID SOD NOTES

- FINE GRADE AREAS TO ACHIEVE FINAL CONTOURS INDICATED. LEAVE AREAS TO RECEIVE TOPSOIL 3" BELOW FINAL DESIRED GRADE IN PLANTING AREAS AND 1" BELOW FINAL GRADE IN TURF AREAS.
- ADJUST CONTOURS TO ACHIEVE POSITIVE DRAINAGE AWAY FROM BUILDINGS. PROVIDE UNIFORM ROUNDING AT TOP AND BOTTOM OF SLOPES AND OTHER BREAKS IN GRADE. CORRECT IRREGULARITIES AND AREAS WHERE WATER MAY STAND.
- ALL LAWN AREAS TO RECEIVE SOLID SOD SHALL BE LEFT IN A MAXIMUM OF 1" BELOW FINAL FINISH GRADE. CONTRACTOR TO COORDINATE OPERATIONS WITH ON-SITE CONSTRUCTION MANAGER.
- CONTRACTOR TO COORDINATE WITH ON-SITE CONSTRUCTION MANAGER FOR AVAILABILITY OF EXISTING TOPSOIL.
- PLANT SOD BY HAND TO COVER INDICATED AREA COMPLETELY. INSURE EDGES OF SOD ARE TOUCHING. TOP DRESS JOINTS BY HAND WITH TOPSOIL TO FILL VOIDS.
- ROLL GRASS AREAS TO ACHIEVE A SMOOTH, EVEN SURFACE, FREE FROM UNNATURAL UNDULATIONS.
- WATER SOD THOROUGHLY AS SOD OPERATION PROGRESSES.
- CONTRACTOR SHALL MAINTAIN ALL LAWN AREAS UNTIL FINAL ACCEPTANCE. THIS SHALL INCLUDE, BUT NOT LIMITED TO: MOWING, WATERING, WEEDING, CULTIVATING, CLEANING AND REPLACING DEAD OR BARE AREAS TO KEEP PLANTS IN A VIGOROUS, HEALTHY CONDITION.
- CONTRACTOR SHALL GUARANTEE ESTABLISHMENT OF AN ACCEPTABLE TURF AREA AND SHALL PROVIDE REPLACEMENT FROM LOCAL SUPPLY IF NECESSARY.
- IF INSTALLATION OCCURS BETWEEN SEPTEMBER 1 AND MARCH 1, ALL SOD AREAS TO BE OVER-SEEDED WITH WINTER RYEGRASS, AT A RATE OF (4) POUNDS PER ONE THOUSAND (1000) SQUARE FEET.

LANDSCAPE NOTES

- CONTRACTOR SHALL VERIFY ALL EXISTING AND PROPOSED SITE ELEMENTS AND NOTIFY ARCHITECT OF ANY DISCREPANCIES. SURVEY DATA OF EXISTING CONDITIONS WAS SUPPLIED BY OTHERS.
- CONTRACTOR SHALL LOCATE ALL EXISTING UNDERGROUND UTILITIES AND NOTIFY ARCHITECT OF ANY CONFLICTS. CONTRACTOR SHALL EXERCISE CAUTION WHEN WORKING IN THE VICINITY OF UNDERGROUND UTILITIES.
- CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL REQUIRED LANDSCAPE AND IRRIGATION PERMITS.
- CONTRACTOR TO PROVIDE A MINIMUM 2% SLOPE AWAY FROM ALL STRUCTURES.
- ALL PLANTING BEDS AND LAWN AREAS TO BE SEPARATED BY STEEL EDGING. NO STEEL TO BE INSTALLED ADJACENT TO SIDEWALKS OR CURBS.
- ALL LANDSCAPE AREAS TO BE 100% IRRIGATED WITH AN UNDERGROUND AUTOMATIC IRRIGATION SYSTEM AND SHALL INCLUDE RAIN AND FREEZE SENSORS.
- ALL LAWN AREAS TO BE SOLID SOD BERMUDAGRASS, UNLESS OTHERWISE NOTED ON THE DRAWINGS.

CITY OF MANSFIELD LANDSCAPE NOTES

All landscaping shall be maintained in a healthy and live-growing condition at all times.

Landscaping Maintenance: The property owner, tenant or agent, shall be responsible for the maintenance of all required landscaping in a healthy, neat, orderly and live-growing condition at all times. This shall include mowing, edging, pruning, fertilizing, irrigation, weeding, and other such activities common to the maintenance of landscaping. Landscaped areas shall be kept free of trash, litter, weeds and other such materials not a part of the landscaping. Plant materials that die shall be replaced with plant materials of similar variety and size.

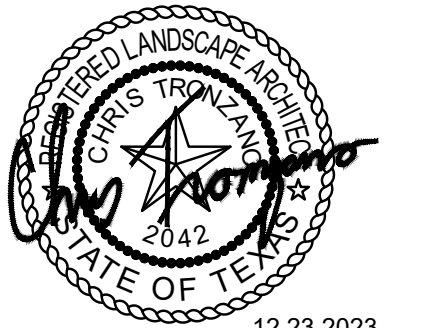
Grass or ground cover planted in the street landscape setback shall extend to the street pavement or curb.

01 LANDSCAPE PLAN

SCALE 1"=30'-0"



LANDSCAPE ARCHITECT
STUDIO GREEN SPOT, INC.
CHRIS TRONZANO
(469) 369-4448
CHRIS@STUDIOGREENSPOT.COM



12.23.2023

7/ ELEVEN
DEBBIE LANE & HWY 287
CITY OF MANSFIELD, TEXAS

ISSUE:
FOR APPROVAL 09.29.2023
CITY COMMENTS 10.17.2023
CITY COMMENTS 11.01.2023
CITY COMMENTS 11.20.2023
CITY COMMENTS 12.23.2023

DATE:
12.23.2023

SHEET NAME:
LANDSCAPE PLAN

SHEET NUMBER:

EXHIBIT- D.2

SUP#23-004

Site Plan
Proposed



- N01** 8' Keystone Logo w/LED Stripes
- N02** 10' Halo Lit Stacked Channel Letters
- N03** 30" Channel Letter
- N04** Monument Sign
- N05** Monument Sign
- N06** Illuminated Stripes
- N07** Vinyl Stripes
- N08** WELCOME Vinyl

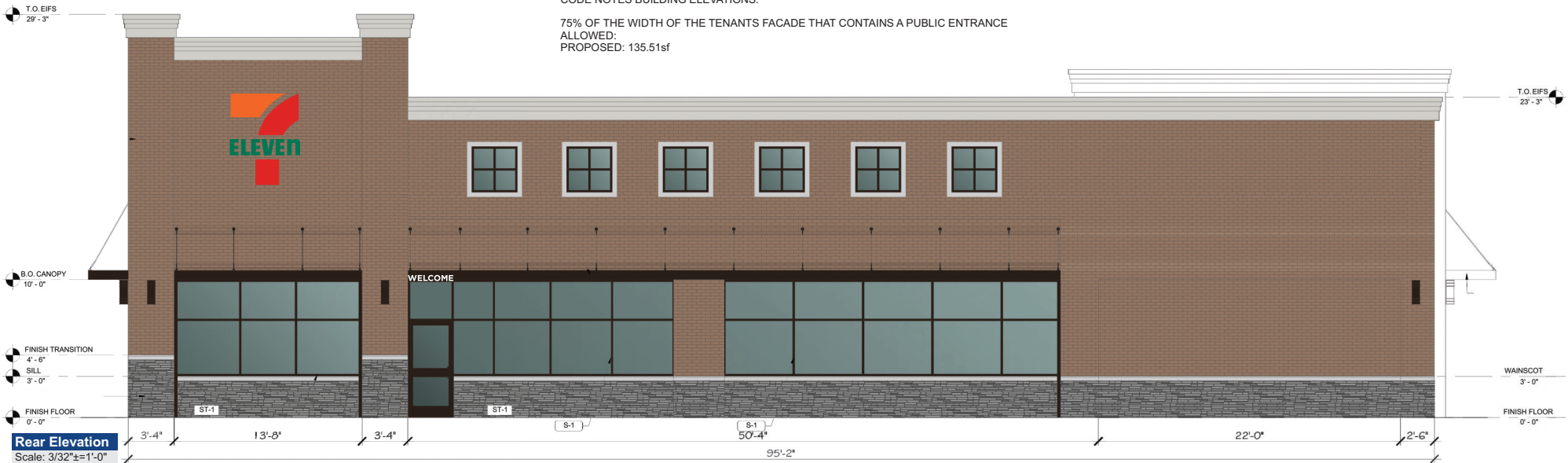
Elevations



Front Elevation
Scale: 3/32"±=1'-0"

CODE NOTES BUILDING ELEVATIONS:

75% OF THE WIDTH OF THE TENANTS FACADE THAT CONTAINS A PUBLIC ENTRANCE
ALLOWED:
PROPOSED: 135.51sf



Rear Elevation
Scale: 3/32"±=1'-0"

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www.allenindustries.com

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Client:
Seven Eleven
#1055625
Address:
N MAIN ST & W DEBBIE LANE
MANSFIELD, TX

Date: 06/29/23	Estimate #: E9248	Job #: -	Page #: 3 of 14
File Name: 7-11-E9248_Mansfield, TX_109			
Sales: House	Design: M.Jones	PM: JB	

#	Date	Description
7	10/19/23	Pylon & Car Wash Updated per Req.
8	11/01/23	Updated Site Plan per Req.
9	11/03/23	Several Updates per Req.
10	-	-
11	-	-
12	-	-

Initial	Client Review Status
MJ	Allen Industries, Inc. requires that an approved drawing be obtained from the client prior to any production release or production release revision.
MJ	
-	Client Signature: _____
-	Approval Date: _____



Right Elevation
Scale: 3/32"±=1'-0"



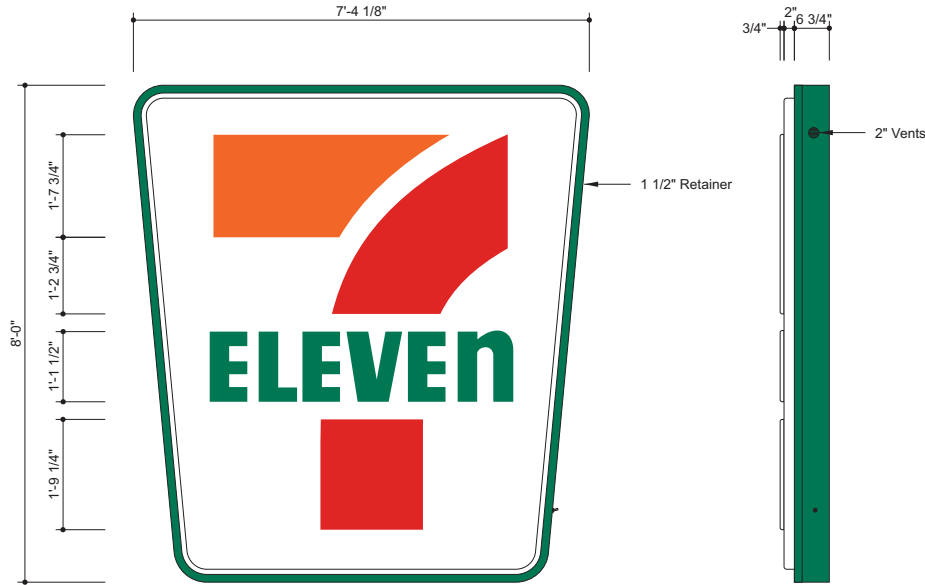
Left Elevation
Scale: 3/32"±=1'-0"

8'-0" Keystone Wall Sign

LED Illuminated

DESIGN INTENT ONLY
Engineering Required to
Determine Actual Production
& Installation Requirements

FIELD SURVEY REQUIRED
Prior to Release to Production



Night View
No Scale

Front Elevation
Scale: 1/2"=1'-0"

58.7 Sq Ft

Side Elevation
Scale: 1/2"=1'-0"

Hardware Mounting Chart

Note:
Threaded Rod will be Provided Standard for All. Other Hardware Is to be Provided by the Installer As Req.

Signs and Raceways	Masonry	Wood	Metal
3/8" Zinc Plated Steel Threaded Rod Thru Wall	•	•	•
3/8" Lags with Shields	•		
3/8" Lag Bolts		•	
3/8" Toggle Bolts			•
Letters			
1/4" Zinc Plated Steel Threaded Rod Thru Wall	•	•	•
1/4" x 2-1/4" Tapcons	•		
Flathead Stainless Screws			•

Material Specifications

.177" 7328 White Polycarbonate

Vinyl Specifications

- 3M 3630-33 Translucent Red
- 3M 3630-44 Translucent Orange
- 3M 3630-26 Translucent Green

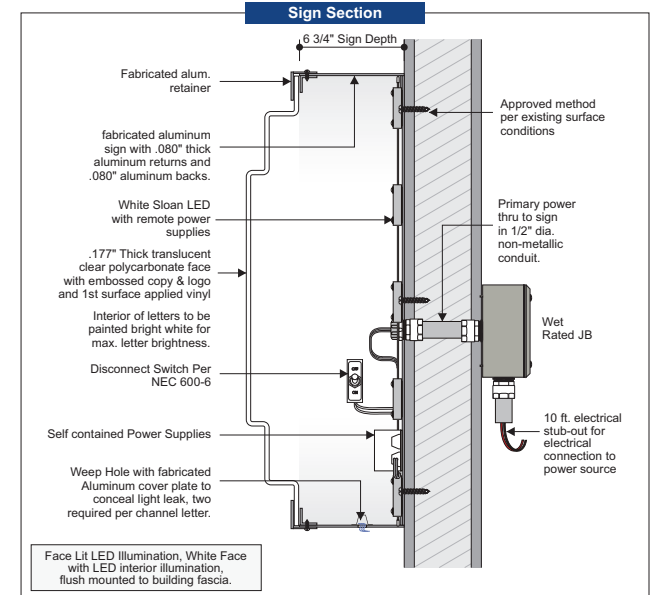
Paint Specifications

Akzo-Nobel to match PMS 341 C

All paint finishes to be Satin unless otherwise specified

General Specifications:

- Face:** White polycarbonate, 2" deep pan-formed with 3/4" embossed logo & copy. 1st surface applied vinyl graphics.
- Returns:** .080" Aluminum, painted Green.
- Backs:** .080" thk. Aluminum.
- illum:** LEDs as required by manufacturer, self contained power supplies
- Install:** Installed using min. 3/8" all thread fasteners (or approved equivalent) and wood blocking as required
- Electrical:** (1) 20 AMP Circuit, 120 Volts
Licensed Electrical Contractor to determine final number of circuits required by code where sign is installed.
- Quantity:** (1) ONE



Electric Sign Complies with UL48

THIS SIGN IS INTENDED TO BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF ARTICLE 600 OF THE NATIONAL ELECTRICAL CODE AND/OR OTHER APPLICABLE LOCAL CODES. THIS INCLUDES PROPER GROUNDING AND BONDING OF THE SIGN.



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Client: Seven Eleven #1055625
Address: N MAIN ST & W DEBBIE LANE MANSFIELD, TX

Date: 06/29/23
Estimate #: E9248
Job #: -
Page #: 5 of 14
File Name: 7-11-E9248_Mansfield, TX_109
Sales: House
Design: M.Jones
PM: JB

#	Date	Description
7	10/19/23	Pylon & Car Wash Updated per Req.
8	11/01/23	Updated Site Plan per Req.
9	11/03/23	Several Updates per Req.
10	-	-
11	-	-
12	-	-

Client Review Status
Allen Industries, Inc. requires that an approved drawing be obtained from the client prior to any production release or production release revision.

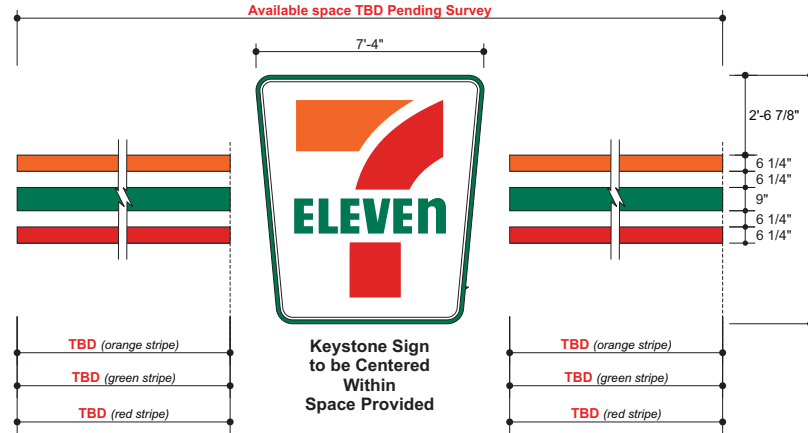
Client Signature: _____
Approval Date: _____

6 1/4" & 9" Illuminated Stripes - Building

LED Illuminated

FIELD SURVEY REQUIRED
Prior to Release to Production

DESIGN INTENT ONLY
Engineering Required to Determine Actual Production & Installation Requirements



Notes:
Illuminated Stripes will be fabricated and shipped in 10'-0" long sections.
Sections can be made shorter than 10'-0" in order to fit the appropriate overall length.
Sections must be no shorter than 1'-0".
Adjust length accordingly to match the appropriate overall length.
Testing may be required to determine best lighting, especially for the green stripe.




Material Specifications

.177" White Polycarbonate




Front Elevation

Scale: 1/4"=1'-0"

Vinyl Specifications

-  3M 3630-33 Translucent Red
-  3M 3630-44 Translucent Orange
-  3M 3630-26 Translucent Green

Paint Specifications

-  Akzo-Nobel to match PMS 485 C
-  Akzo-Nobel to match PMS 165 C
-  Akzo-Nobel to match PMS 341 C

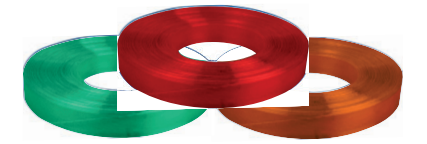
All paint finishes to be Satin unless otherwise specified

General Specifications:

- Faces:** White polycarbonate flat faces with 1st surface vinyl graphics.
- Cabinet:** .080" thk. brake-formed aluminum cabinet with aluminum end caps, painted to match Orange, Green, and Red
- Illum:** LEDs as required by manufacturer, remote power supplies
- Install:** Installed using approved method
- Electrical:** (1) 20 AMP Circuit, 120 Volts
Licensed Electrical Contractor to determine final number of circuits required by code where sign is installed.
- Quantity:** (1) ONE

Stripe Face Details:

Stripe faces are required to be seamless.
Faces will be shipped in rolls with vinyl already applied.
Stripe cabinets will be installed first and rolls of polycarbonate will be fed through the F-Retainer.



Allen Industries
E212503

Electric Sign
Complies with
UL48

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GROUNDING ELECTRICAL CONNECTIONS

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Client:
Seven Eleven
#1055625

Address:
N MAIN ST & W DEBBIE LANE
MANSFIELD, TX

Date: 06/29/23
Estimate #: E9248
Job #: -
Page #: 6 of 14

File Name:
7-11-E9248_Mansfield, TX_109

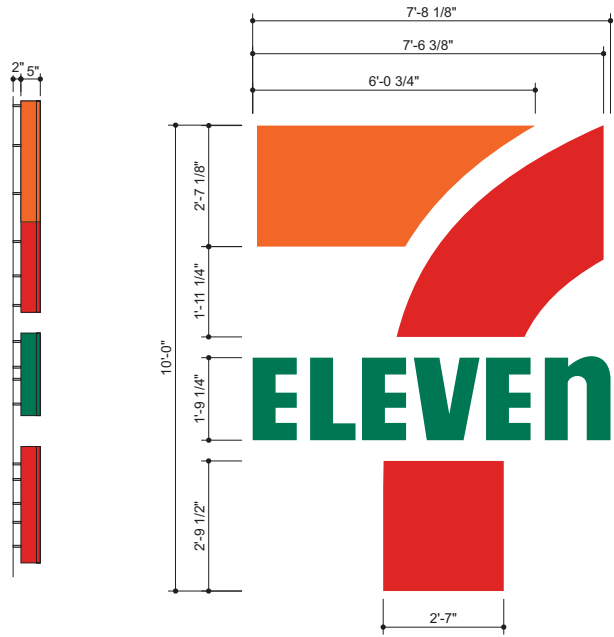
Sales: House
Design: M.Jones
PM: JB

#	Date	Description
7	10/19/23	Pylon & Car Wash Updated per Req.
8	11/01/23	Updated Site Plan per Req.
9	11/03/23	Several Updates per Req.
10	-	-
11	-	-
12	-	-

Client Review Status
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Initial
MJ
MJ
MJ

Client Signature: _____
Approval Date: _____



Side Elevation
Scale: 3/8"=1'-0"

Front Elevation
Scale: 3/8"=1'-0"
QTY: 2

76.81 Sq Ft

Material Specifications

.177" 7328 White Polycarbonate

Vinyl Specifications

- 3M 3630-33 Translucent Red
- 3M 3630-44 Translucent Orange
- 3M 3630-26 Translucent Green

Paint Specifications

- Akzo-Nobel to match PMS 485 C
- Akzo-Nobel to match PMS 165 C
- Akzo-Nobel to match PMS 341 C

All paint finishes to be Satin unless otherwise specified

General Specifications:

- Face:** 7328 White polycarbonate with 1st surface applied vinyl.
- Returns:** **Eleven:** 5" deep .040" Aluminum with 1" jewelite Trimcap, painted Green.
7: 5" deep .063" Aluminum with 1" jewelite Trimcap, painted Orange, & Red.
- Backs:** .177" thk. clear sanded polycarbonate.
- Illum:** LEDs as required by manufacturer, remote power supplies
- Install:** Channel Logo to be installed using min. 3/8" all thread fasteners (or approved equivalent) and wood blocking as required, 2" stand off spacers from wall surface - painted to match building.
- Electrical:** (1) 20 AMP Circuit, 120 Volts
Licensed Electrical Contractor to determine final number of circuits required by code where sign is installed.
- Quantity:** (1) ONE

2020

10'-0" Channel Logo

LED Illuminated

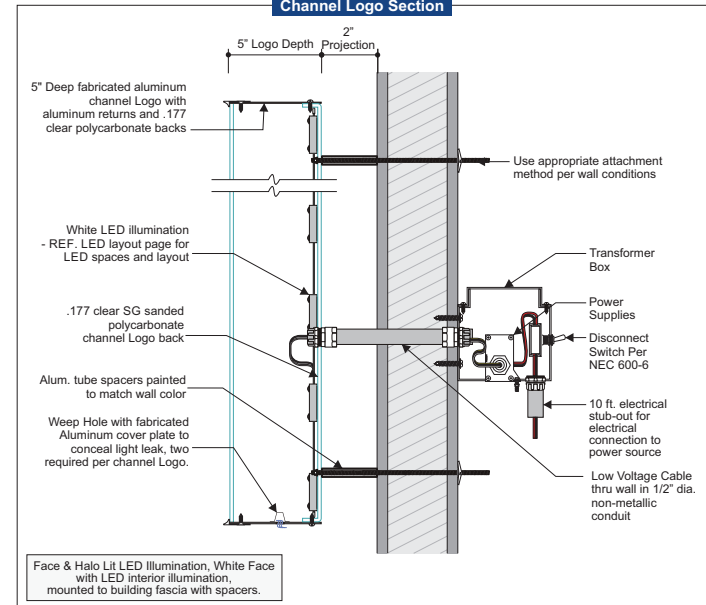


Night View
No Scale

FIELD SURVEY REQUIRED
Prior to Release to Production

DESIGN INTENT ONLY
Engineering Required to Determine Actual Production & Installation Requirements

Channel Logo Section



Allen Industries
FILE NUMBER E212503

UL48
E212503

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Client: Seven Eleven #1055625
Address: N MAIN ST & W DEBBIE LANE MANSFIELD, TX

Date: 06/29/23
Estimate #: E9248
Job #: -
Page #: 7 of 14
File Name: 7-11-E9248_Mansfield, TX_109
Sales: House
Design: M.Jones
PM: JB

#	Date	Description
7	10/19/23	Pylon & Car Wash Updated per Req.
8	11/01/23	Updated Site Plan per Req.
9	11/03/23	Several Updates per Req.
10	-	-
11	-	-
12	-	-

Initial
MJ
MJ
-
-
-

Client Review Status
Allen Industries, Inc. requires that an approved drawing be obtained from the client prior to any production release or production release revision.
Client Signature: _____
Approval Date: _____

E.5



Front Elevation
Scale: 3/4"=1'-0"

General Specifications:

Letters: Plotter cut Opaque White vinyl applied to canopy (centered above doors).
Quantity: (1) ONE

Vinyl Specifications

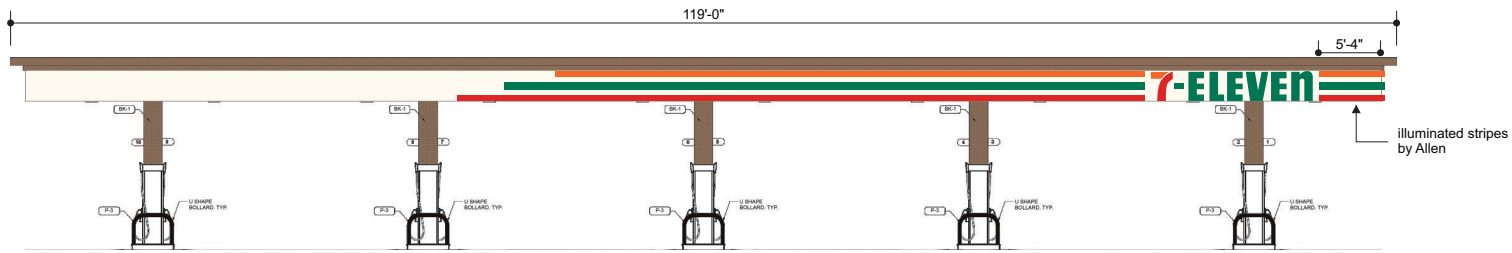
3M 7725-10
Opaque White

30" Channel Letters - Gas Canopy

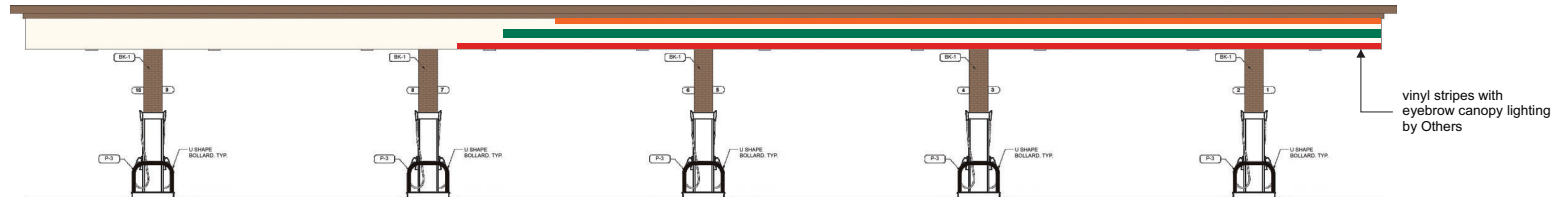
Right Justified Layout

FIELD SURVEY REQUIRED
Prior to Release to Production

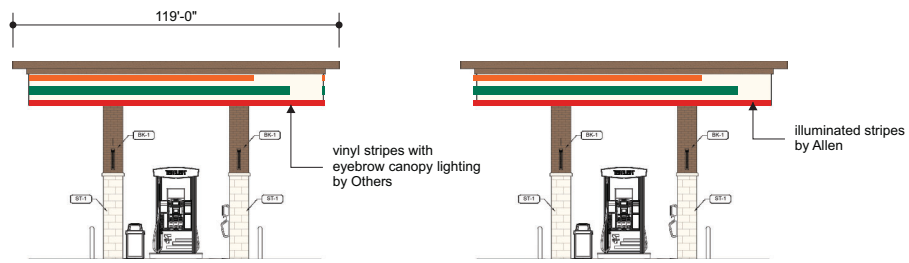
DESIGN INTENT ONLY
Engineering Required to
Determine Actual Production
& Installation Requirements



Front Elevation
Scale: 3/32"=1'-0"



Rear Elevation
Scale: 3/32"=1'-0"



Left Elevation
Scale: 3/32"=1'-0"

Right Elevation
Scale: 3/32"=1'-0"

CANOPY ELEVATION:
CODE NOTES: 75% OF THE CANOPY WIDTH PER STREET FRONT ELEVATION
ALLOWED:
PROPOSED: 22.50sf



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Client:
Seven Eleven
#1055625
Address:
N MAIN ST & W DEBBIE LANE
MANSFIELD, TX

Date: 06/29/23
Estimate #: E9248
Job #: -
Page #: 9 of 14
File Name: 7-11-E9248_Mansfield, TX_109
Sales: House
Design: M.Jones
PM: JB

#	Date	Description
7	10/19/23	Pylon & Car Wash Updated per Req.
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11	-	-
12	-	-

Initial	Client Review Status
MJ	Allen Industries, Inc. requires that an approved drawing be obtained from the client prior to any production release or production release revision.
MJ	
-	Client Signature: _____ Approval Date: _____

2020 30" Channel Letters - Gas Canopy
LED Illuminated

FIELD SURVEY REQUIRED
Prior to Release to Production

DESIGN INTENT ONLY
Engineering Required to
Determine Actual Production
& Installation Requirements



Side Elevation
Scale: 1/2"=1'-0"

Front Elevation
Scale: 1/2"=1'-0"




22.5 Sq Ft

Side Elevation
Scale: 1/2"=1'-0"


General Specifications:

Face: Trim-less white acrylic with 1st surface applied vinyl.
Returns: 3" deep .040" Aluminum, painted Green, Orange, & Red.
Backs: 3mm White ACM
Illum: LEDs as required by manufacturer, remote power supplies
Install: Installed using min. 3/8" all thread fasteners (or approved equivalent) and wood blocking as required
Electrical: (1) 20 AMP Circuit, 120 Volts
Licensed Electrical Contractor to determine final number of circuits required by code where sign is installed.
Quantity: (1) ONE




Vinyl Specifications

-  3M 3630-33 Translucent Red
-  3M 3630-44 Translucent Orange
-  3M 3630-26 Translucent Green

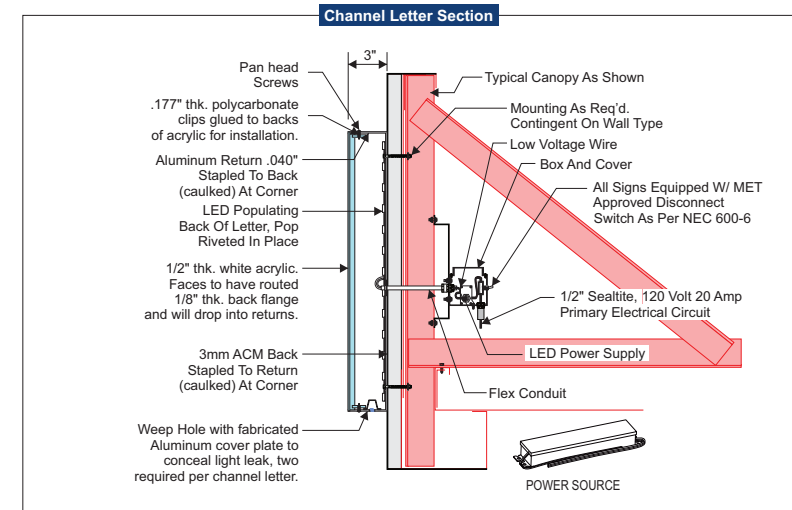
Material Specifications

-  .187" White Acrylic

Paint Specifications

-  Akzo-Nobel to match PMS 485 C
-  Akzo-Nobel to match PMS 165 C
-  Akzo-Nobel to match PMS 341 C

All paint finishes to be Satin unless otherwise specified



Electric Sign
Complies with
UL48

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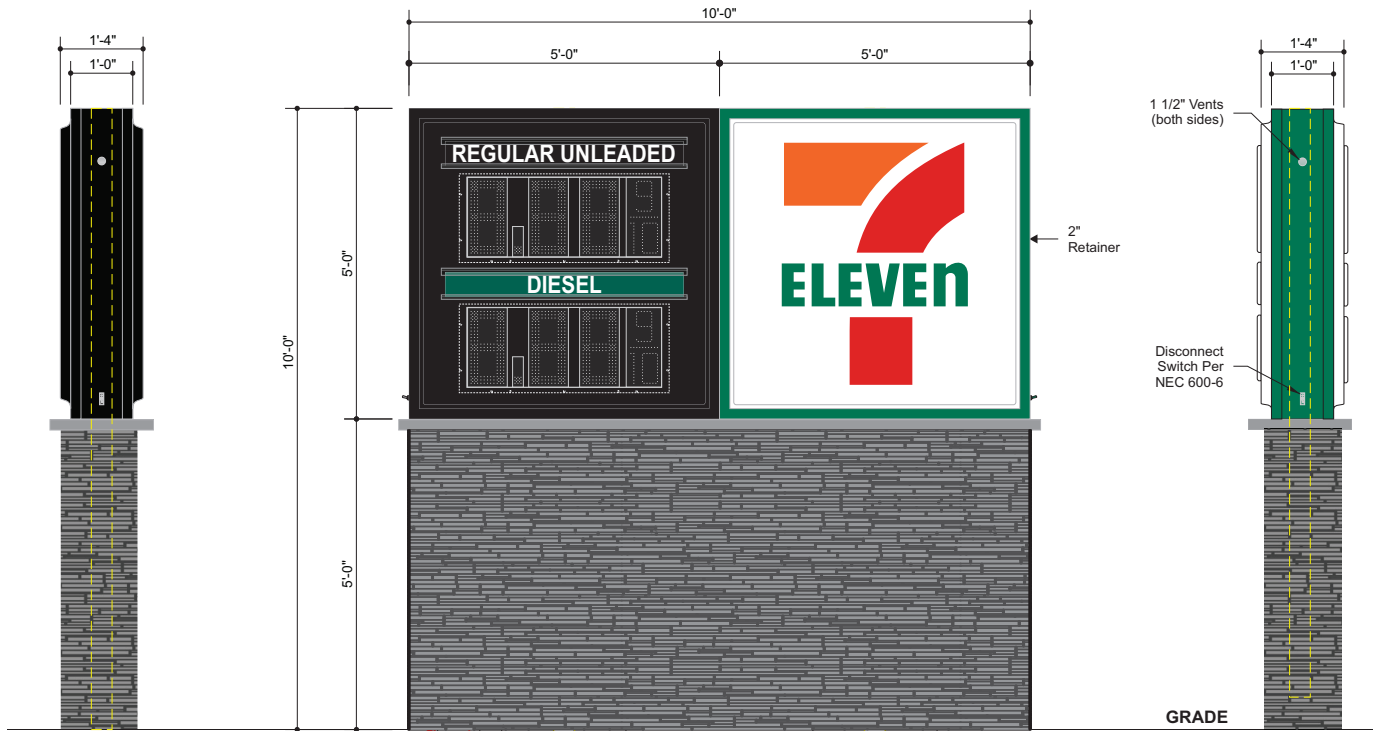
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Client:
Seven Eleven
#1055625
Address:
N MAIN ST & W DEBBIE LANE
MANSFIELD, TX

Date:	Estimate #:	Job #:	Page #:
06/29/23	E9248	-	10 of 14
File Name:			
7-11-E9248_Mansfield, TX_109			
Sales:	Design:	PM:	
House	M.Jones	JB	

#	Date	Description
7	10/19/23	Pylon & Car Wash Updated per Req.
8	11/01/23	Updated Site Plan per Req.
9	11/03/23	Several Updates per Req.
10	-	-
11	-	-
12	-	-

Initial	Client Review Status
MJ	Allen Industries, Inc. requires that an approved drawing be obtained from the client prior to any production release or production release revision.
MJ	
-	Client Signature: _____
-	Approval Date: _____



7'-0" Keystone D/F Monument

LED Illuminated



Opposite View
Scale: 1/4"=1'-0"

CODE NOTES:
50 SQ FT, 10 OAH MAX. MUST HAVE AT LEAST 2' BASE THAT IS AS WIDE AS THE SIGN W/ BASE THAT IS CONSTRUCTED OF MATERIALS THAT MATCH THE BUILDING (BASE SUPPLIED BY ALLEN, MATERIALS SUPPLIED BY GC)

SETBACK: 10' FROM ROW, 15' FROM SIDE AND PROPERTY LINES

Word Plates

3 3/4" x 34" CLEAR ACRYLIC W/ 2 1/2" COPY WEEDED FROM BLACK VINYL TM FACE.

REGULAR UNLEADED

3 3/4" x 34" CLEAR ACRYLIC W/ 2 1/2" COPY WEEDED FROM 3M 3630-26 GREEN VINYL

DIESEL

Scale: 3/4"=1'-0"

Side View
Scale: 1/2"=1'-0"

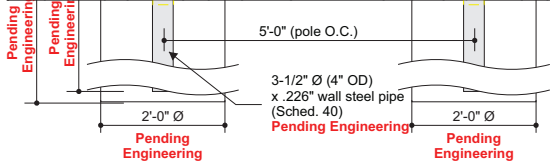
Front View
Scale: 1/2"=1'-0"

50.0 Sq Ft
Side View
Scale: 1/2"=1'-0"

- Vinyl Specifications**
- 3M 3630-33 Translucent Red
 - 3M 3630-44 Translucent Orange
 - 3M 3630-26 Translucent Green
 - 3M 7725-12 Opaque Black

- Paint Specifications**
- Akzo-Nobel to match PMS 485 C
 - Akzo-Nobel to match PMS 165 C
 - Akzo-Nobel to match PMS 341 C
 - Tricorn Black SW 6258

All paint finishes to be Satin unless otherwise specified



INSTALLER NOTE:
Installers are required to reset the digital prices to 0.00 prior to leaving site.

NOTE:
Stone Monument Base To Be Supplied & Installed By GC

General Specifications:

Cabinets: New D/F fabricated aluminum cabinets, painted Green & Black. Welded 2" x 2" x 3/16" thk. alum. angle frame.

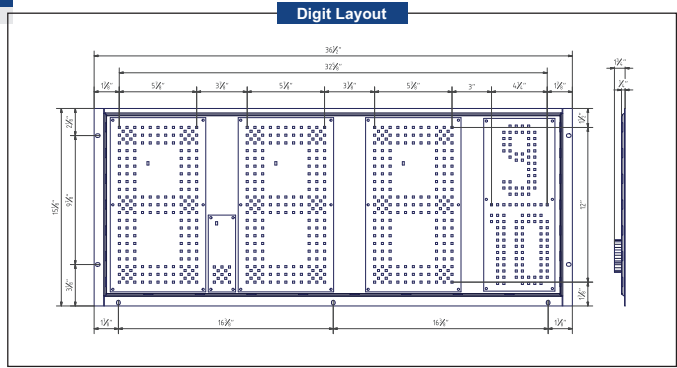
Faces: 7-Eleven: White pan-formed polycarbonate with embossed copy. 1st surface applied vinyl graphics.
Price: Clear pan-formed polycarbonate with 2nd surface painted Black and back sprayed White. LED prices will be installed behind face, with section of poly. face remaining clear. Brand plates will be mounted to 1st surface.

Illum: LEDs as required by manufacturer, self contained power supplies.

Install: Installed to new steel supports.

Electrical: (1) 20 AMP Circuit, 120 Volts
Licensed Electrical Contractor to determine final number of circuits required by code where sign is installed.

Quantity: (1) ONE



Allen Industries MET E212503 Electric Sign Complies with UL48

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Address: N MAIN ST & W DEBBIE LANE MANSFIELD, TX

Date: 06/29/23	Estimate #: E9248	Job #: -	Page #: 11 of 14
File Name: 7-11-E9248_Mansfield, TX_109			
Sales: House	Design: M.Jones	PM: JB	

#	Date	Description	Initial
7	10/19/23	Pylon & Car Wash Updated per Req.	MJ
8	11/01/23	Updated Site Plan per Req.	MJ
9	11/03/23	Several Updates per Req.	
10	-	-	-
11	-	-	-
12	-	-	-

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