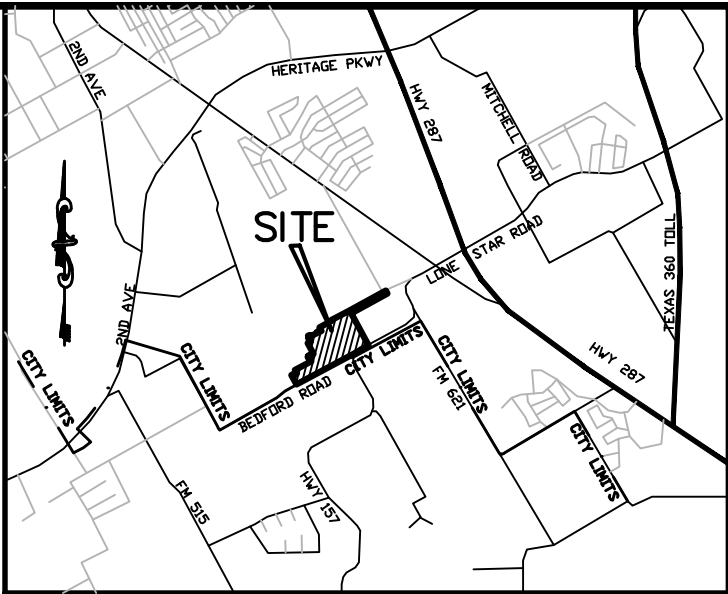
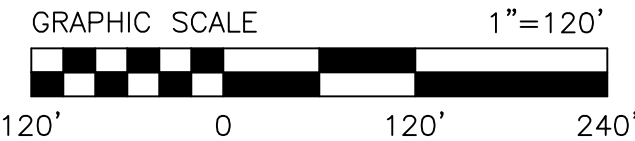


LEGEND

IRF IRON ROD FOUND
IRS IRON ROD SET
POB POINT OF BEGINNING
ROW RIGHT-OF-WAY
DE DRAINAGE EASEMENT
UE UTILITY EASEMENT
UE&SW UTILITY AND SIDEWALK EASEMENT
WME WATER EASEMENT
BL WALL MAINTENANCE EASEMENT
CO RD COUNTY ROAD
FM FARM-TO-MARKET HIGHWAY
DOC. NO. DOCUMENT
O.P.R.J.C.T. NUMBER
D.R.J.C.T. OFFICIAL PUBLIC RECORDS JOHNSON COUNTY, TEXAS
VOL. DEED RECORDS JOHNSON COUNTY, TEXAS
PG. VOLUME
PAGE
HOA STREET NAME CHANGE INDICATOR
SVE HOMEOWNERS ASSOCIATION OPEN SPACE LOT
SIGHT VISIBILITY EASEMENT



LOCATION MAP
NOT TO SCALE

REMAINDER OF
CALLED 185.64 ACRES
FIRST TEXAS HOMES, INC.
DOC. NO. 2019-571
D.R.J.C.T.
(FUTURE DEVELOPMENT)

CLARENCE RAY PHILLIPS
& DOROTHY FAYE PHILLIPS
VOL. 2268, PG. 960
(CALLED: 60.973 ACRES)

CLARENCE RAY PHILLIPS
& DOROTHY FAYE PHILLIPS
VOL. 2268, PG. 960
(CALLED: 60.973 ACRES)

LOT 1, BLOCK 1
EATON ESTATES
CAMPGROUND
VOL. 6, PG 107
P.R.J.C.T.

HOA
OPEN SPACE
BLOCK 2, LOT 47X
(122,832 SF ~ 2.820 AC)

SHEBLI EL-ETOUM,
AND WIFE,
TORRY EL-ETOUM
DOC. NO. 2009-36196

MANSFIELD DEVELOPMENT, LLC
DOC. NO. 2018-23354
(CALLED: TRACT 1, 10.00 ACRES)

MANSFIELD
DEVELOPMENT, LLC
DOC. NO. 2018-23354
(CALLED: TRACT 2,
9.935 ACRES)

NOTE:

1. NOTICE: Selling a portion of this addition by metes and bounds is a violation of City ordinance and State law, and is subject to fines and/or withholding of utilities and building permits.
2. Basis of Bearings and Coordinates shown hereon are grid values derived from the Texas North Central Zone (4202). NAD83 Texas Coordinate System by GPS observations in reference to the City of Mansfield's official GPS monuments: TNP Mansfield "F", MON-BC9, MM 9-07, and MM 17-07. Distances shown hereon are surface distances.
3. A mandatory owners association will be responsible for the maintenance of the private amenities; open spaces and common areas, including but not limited to screening walls and fences and the parkway between a screening wall or fence and the street; subdivision landscaping; medians; amenity centers; and enhanced entry features including screening walls, landscaping, monuments, signage and any non-standard pavement.
4. No trees, bushes, walls, fences or anything over 2' in height is allowed within the visibility easements.
5. 1/2" iron rod with cap stamped "JBI" set at all property corners, unless noted otherwise.

PLAT FILED _____, 20__
INSTRUMENT # _____
DRAWER _____, SLIDE _____
BECKY IVEY, JOHNSON COUNTY, TEXAS
BY _____, DEPUTY CLERK

FINAL PLAT
BIRDSONG ADDITION, PHASE 1

54.930 ACRES OUT OF
THE B.B.B. & C.R.R. SURVEY, ABSTRACT NO. 83
AND THE PHILLIP GEORGE SURVEY, ABSTRACT NO. 299
CITY OF MANSFIELD,
JOHNSON COUNTY, TEXAS

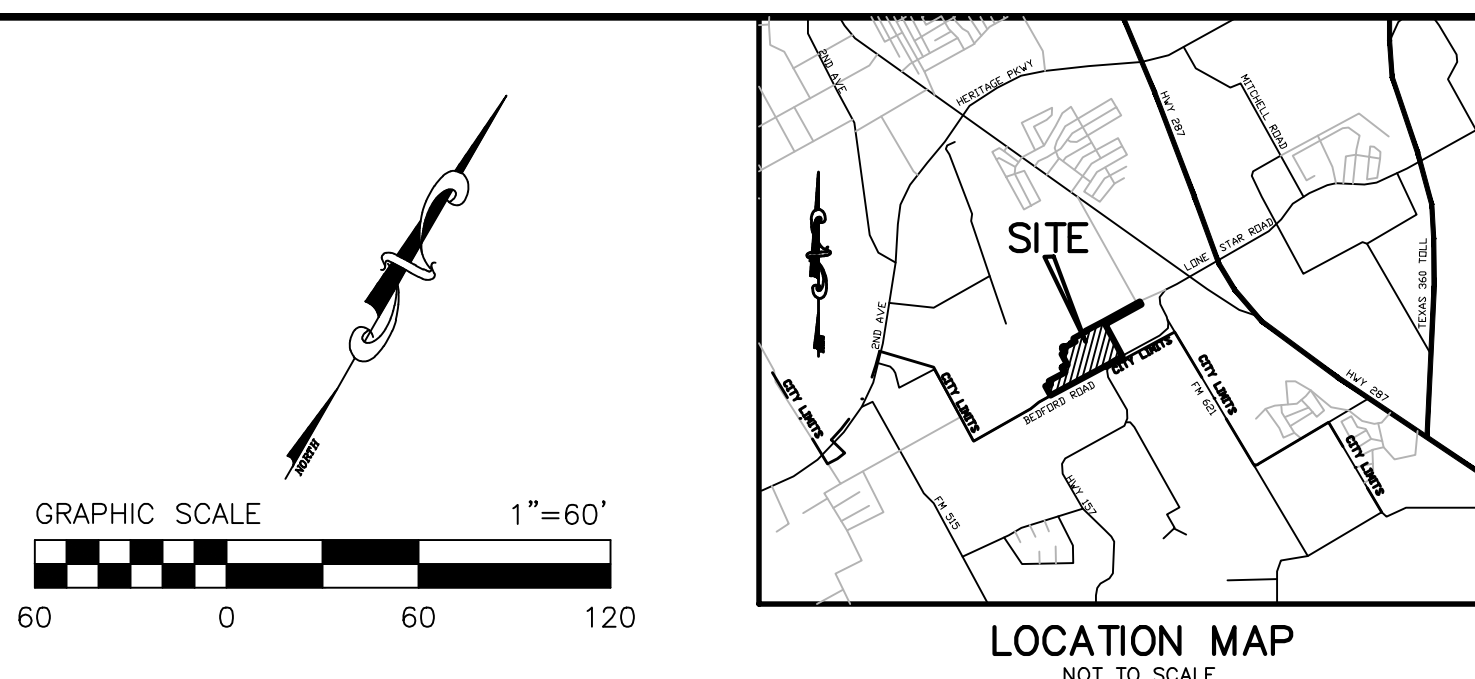
117 RESIDENTIAL LOTS,
11 OPEN SPACE LOTS & 1 COMMERCIAL LOT

FIRST TEXAS HOMES, INC. OWNER/DEVELOPER
500 Crescent Court, Suite 350 Phone: (214)633-3338
Dallas, Texas 75201 Email: khardesty@firsttexashomes.com
Contact: Keith Hardesty, Division President

JBI PARTNERS, INC. SURVEYOR/ENGINEER
2121 Midway Road, Suite 300 Phone: (972) 248-7676
Carrollton, Texas 75006 Email: ddewey@jbipartners.com
Contact: Daniel Dewey, PE
TBPE No. F-438 TBPLS No. 10076000

Revised: September 01, 2020 Sheet 1 of 5

"KEY MAP"



- ## LEGEND
- | | |
|---|---|
| IRF | IRON ROD FOUND |
| IRS | IRON ROD SET |
| POB | POINT OF BEGINNING |
| ROW | RIGHT-OF-WAY |
| DE | DRAINAGE EASEMENT |
| UE | UTILITY EASEMENT |
| UE&SW | UTILITY AND SIDEWALK EASEMENT |
| WME | WATER EASEMENT |
| BL | WALL MAINTENANCE EASEMENT |
| CO RD | BUILDING LINE |
| FM | COUNTY ROAD |
| DOC. | FARM-TO-MARKET HIGHWAY |
| NO. | DOCUMENT |
| O.P.R.J.C.T. | NUMBER |
| D.R.J.C.T. | OFFICIAL PUBLIC RECORDS JOHNSON COUNTY, TEXAS |
| VOL. | DEED RECORDS JOHNSON COUNTY, TEXAS |
| P.G. | VOLUME |
|  | PAGE |
| HOA | STREET NAME CHANGE INDICATOR |
| SVE | HOMEOWNERS ASSOCIATION OPEN SPACE LOT |
| | SIGHT VISIBILITY EASEMENT |

NOTE:

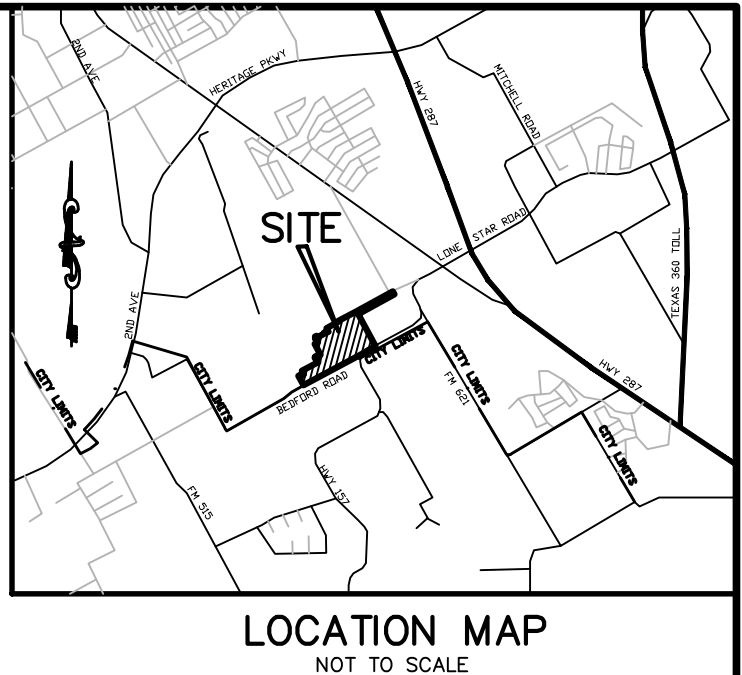
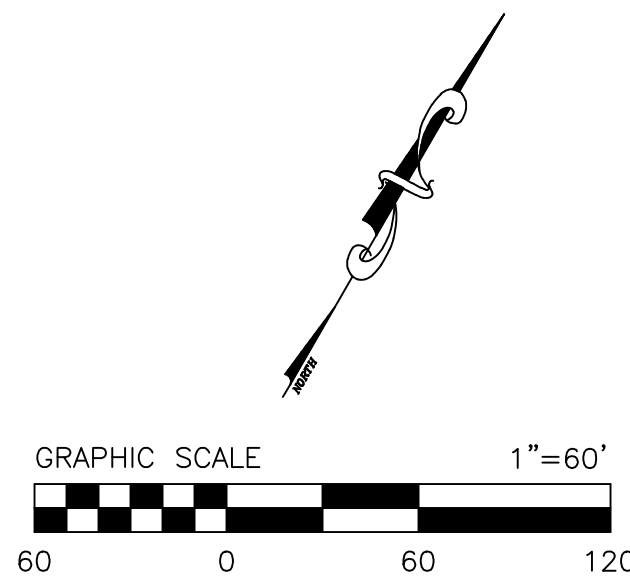
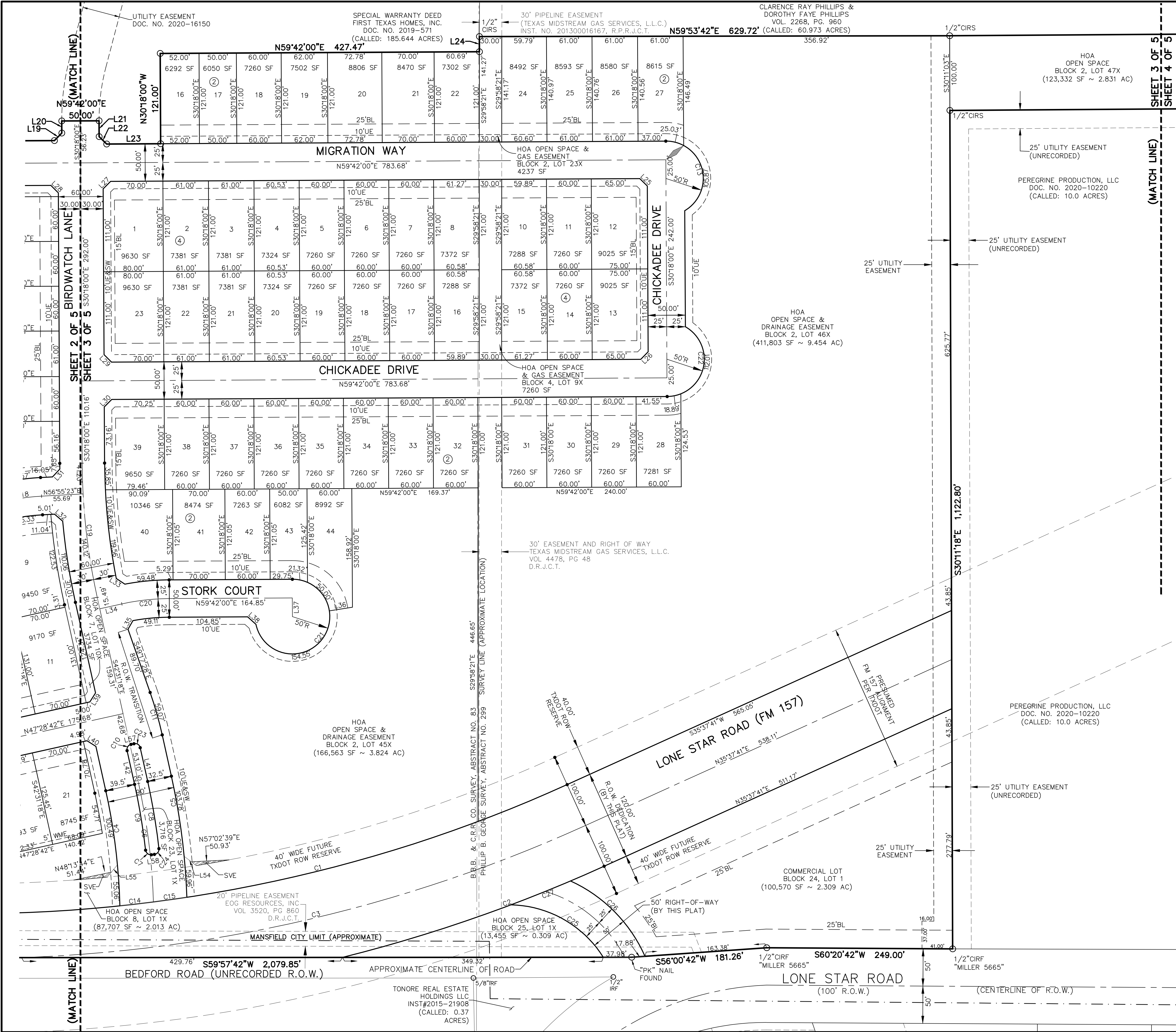
1. NOTICE: Selling a portion of this addition by metes and bounds is a violation of City ordinance and State law, and is subject to fines and/or withholding of utilities and building permits.
2. Basis of Bearings and Coordinates shown hereon are grid values derived from the Texas North Central Zone (4202), NAD83 Texas Coordinate System by GPS observations in reference to the City of Mansfield's official GPS monuments: TNP Mansfield "F", MON-BC9, MM 9-07, and MM 17-07. Distances shown hereon are surface distances.
3. A mandatory owners association will be responsible for the maintenance of the private amenities; open spaces and common areas, including but not limited to screening walls and fences and the parkway between a screening wall or fence and the street; subdivision landscaping; medians; amenity centers; and enhanced entry features including screening walls, landscaping, monuments, signage and any non-standard pavement.
4. No trees, bushes, walls, fences or anything over 2' in height is allowed within the visibility easements.
5. 1/2" iron rod with cap stamped "JBI" set at all property corners, unless noted otherwise.

PLAT FILED _____, 20____
INSTRUMENT # _____
DRAWER _____, SLIDE _____
BECKY IVEY, JOHNSON COUNTY, TEXAS
BY _____, DEPUTY CLERK

FINAL PLAT
BIRDSONG ADDITION, PHASE 1
54.930 ACRES OUT OF
THE B.B.B. & C.R.R. SURVEY, ABSTRACT NO. 83
AND THE PHILLIP GEORGE SURVEY, ABSTRACT NO. 299
CITY OF MANSFIELD,
JOHNSON COUNTY, TEXAS

117 RESIDENTIAL LOTS,
11 OPEN SPACE LOTS & 1 COMMERCIAL LOT

FIRST TEXAS HOMES, INC.		OWNER/DEVELOPER
500 Crescent Court, Suite 350 Dallas, Texas 75201		Phone: (214) 633-3338
Contact: Keith Hardesty, Division President		Email: khardesty@firsttexashomes.com
JB PARTNERS, INC.		SURVEYOR/ENGINEER
2121 Midway Road, Suite 300 Carrollton, Texas 75006		Phone: (972) 248-7676
Contact: Daniel Dewey, PE		Email: ddewey@jbipartners.com
TBPE No. F-438 TBPLS No. 10076000		
Revised: September 01, 2020		Sheet 2 of 5



LEGEND

- | | |
|--------------|---|
| IRF | IRON ROD FOUND |
| IRS | IRON ROD SET |
| POB | POINT OF BEGINNING |
| ROW | RIGHT-OF-WAY |
| DE | DRAINAGE EASEMENT |
| UE | UTILITY EASEMENT |
| UE&SW | UTILITY AND SIDEWALK EASEMENT |
| WME | WATER EASEMENT |
| BL | WALL MAINTENANCE EASEMENT |
| CO RD | BUILDING LINE |
| FM | COUNTY ROAD |
| DOC. | FARM-TO-MARKET HIGHWAY |
| NO. | DOCUMENT |
| O.P.R.J.C.T. | OFFICIAL PUBLIC RECORDS JOHNSON COUNTY, TEXAS |
| D.R.J.C.T. | DEED RECORDS JOHNSON COUNTY, TEXAS |
| VOL. | VOLUME |
| PG. | PAGE |
| ◆ | STREET NAME CHANGE INDICATOR |
| HOA | HOMEOWNERS ASSOCIATION OPEN SPACE LOT |
| SVE | SIGHT VISIBILITY EASEMENT |

PLAT FILED _____, 20__
INSTRUMENT # _____
DRAWER _____, SLIDE _____
BECKY IVEY, JOHNSON COUNTY, TEXAS
BY _____, DEPUTY CLERK

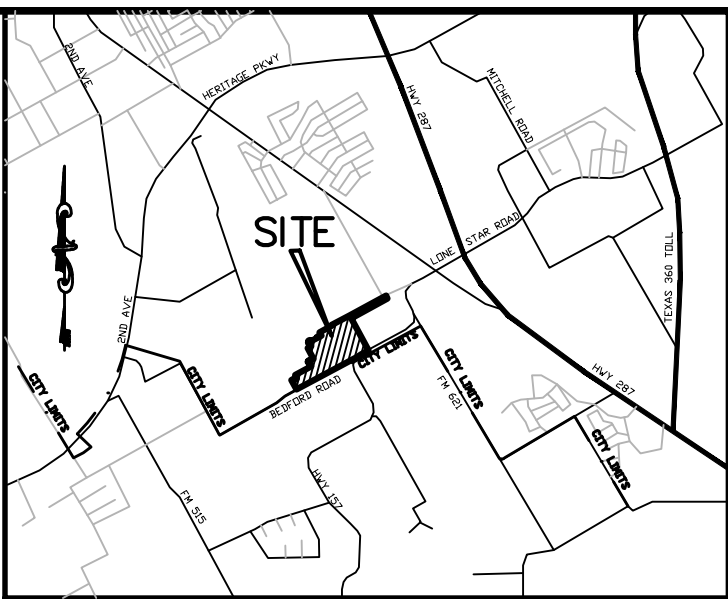
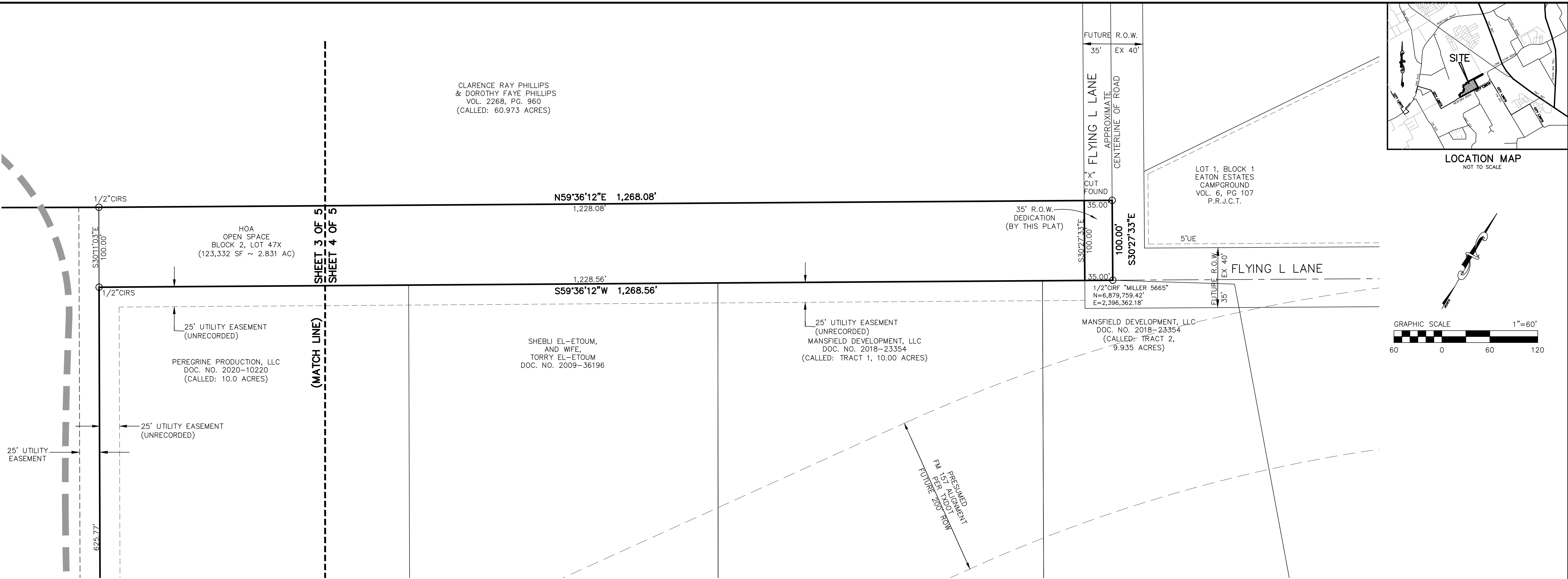
FINAL PLAT

BIRDSONG ADDITION, PHASE 1

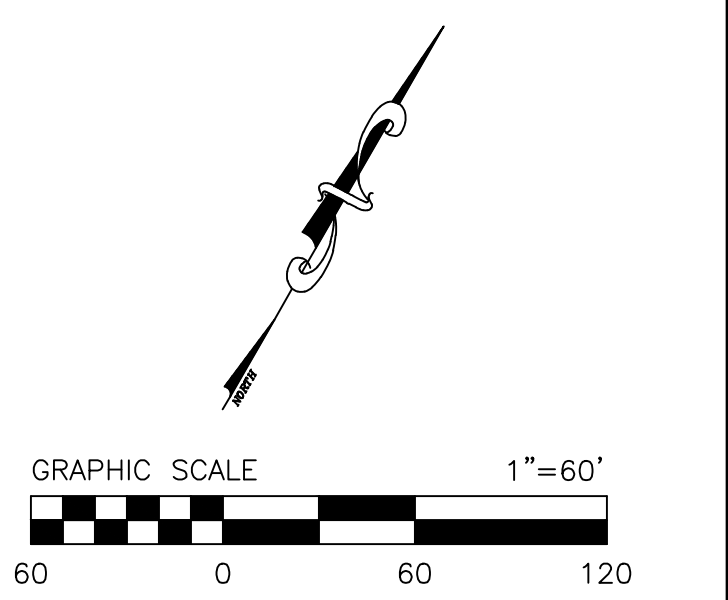
54.930 ACRES OUT OF
THE B.B.B. & C.R.R. SURVEY, ABSTRACT NO. 83
AND THE PHILLIP GEORGE SURVEY, ABSTRACT NO. 299
CITY OF MANSFIELD,
JOHNSON COUNTY, TEXAS

117 RESIDENTIAL LOTS,
11 OPEN SPACE LOTS & 1 COMMERCIAL LOT

FIRST TEXAS HOMES, INC.	OWNER/DEVELOPER
500 Crescent Court, Suite 350 Dallas, Texas 75201 Contact: Keith Hardesty, Division President	Phone: (214)633-3338 Email: khardesty@firsttexashomes.com
JB PARTNERS, INC.	SURVEYOR/ENGINEER
2121 Midway Road, Suite 300 Carrollton, Texas 75006 Contact: Daniel Dewey, PE TBPE No. F-438 TBPLS No. 10076000	Phone: (972) 248-7676 Email: ddewey@jbpartners.com



LOCATION MAP
NOT TO SCALE



LINE TABLE		
NO.	BEARING	LENGTH
L1	S30°02'18"E	27.60'
L2	S75°02'18"E	14.14'
L3	N59°57'42"E	81.09'
L4	N75°10'09"W	14.17'
L5	S59°57'42"W	15.00'
L6	N59°57'42"E	15.00'
L7	N14°49'51"E	14.11'
L8	N30°18'00"W	15.00'
L9	S30°18'00"E	15.00'
L10	S75°10'09"E	14.17'
L11	N30°18'00"W	65.00'
L12	N75°18'00"W	14.14'
L13	S59°42'00"W	20.00'
L14	N59°42'00"E	20.00'
L15	N14°42'00"E	14.14'
L16	N30°18'00"W	40.59'
L17	S30°18'00"E	40.59'
L18	S75°18'00"E	14.14'
L19	N14°42'00"E	14.14'
L20	N30°18'00"W	16.23'
L21	S30°18'00"E	21.23'
L22	S75°18'00"E	14.14'
L23	N59°42'00"E	72.30'
L24	N29°58'21"W	20.27'
L25	S75°18'00"E	14.14'
L26	S14°42'00"W	14.14'
L27	N14°42'00"E	14.14'
L28	S75°18'00"E	14.14'
L29	N75°18'00"W	14.14'
L30	N14°42'00"E	14.14'

LINE TABLE		
NO.	BEARING	LENGTH
L31	S12°53'59"W	14.38'
L32	N79°03'13"W	14.38'
L33	N86°35'17"W	14.12'
L34	S47°28'42"W	30.21'
L35	N00°25'57"W	13.16'
L36	N51°07'34"E	31.35'
L37	S30°18'00"E	25.00'
L38	N78°10'10"W	14.83'
L39	N02°28'42"E	14.14'
L40	S87°31'18"E	14.14'
L41	N42°31'18"W	46.27'
L42	S42°31'18"E	46.27'
L43	N15°00'33"E	21.20'
L44	S75°10'09"E	14.17'
L45	N14°49'51"E	14.11'
L46	N56°50'55"E	111.23'
L47	S48°04'51"W	53.87'
L48	S14°49'51"W	14.11'
L49	S05°11'48"W	13.87'
L50	N40°54'45"W	36.02'
L51	N86°43'02"W	13.94'
L52	N14°42'00"E	14.14'
L53	N14°57'42"E	14.14'
L54	S82°01'58"E	20.48'
L55	N09°40'50"E	21.39'
L56	S74°59'27"E	21.23'
L57	N47°29'40"E	4.00'
L58	N52°23'22"E	4.03'

CURVE TABLE					
NO.	LENGTH	DELTA	RADIUS	TANGENT	CHORD BEARING
C1	827.14'	024°25'43"	1940.00'	419.95'	N47°50'32"E
C2	371.60'	010°20'08"	2060.00'	186.31'	N40°47'45"E
C3	780.86'	022°22'12"	2000.00'	395.47'	N46°48'47"E
C4	100.49'	007°09'10"	805.00'	50.31'	N38°56'44"W
C5	103.78'	006°38'37"	895.00'	51.95'	N39°12'00"W
C6	160.17'	010°47'48"	850.00'	80.32'	N37°07'24"W
C7	11.13'	091°04'27"	7.00'	7.13'	S81°59'31"E
C8	91.26'	006°04'03"	861.76'	45.67'	N39°29'37"W
C9	89.42'	006°04'01"	844.50'	44.75'	N39°29'18"W
C10	10.98'	089°24'50"	7.04'	6.97'	S02°29'11"W
C11	59.07'	006°46'10"	500.00'	29.57'	N45°54'23"W
C12	217.88'	012°29'00"	1000.00'	109.37'	N53°43'12"E
C13	130.90'	150°00'00"	50.00'	186.60'	N45°18'00"W
C14	45.18'	001°20'03"	1940.00'	22.59'	N53°22'07"E
C15	45.26'	001°20'12"	1940.00'	22.63'	N52°01'59"E
C16	174.30'	012°29'00"	800.00'	87.50'	N53°43'12"E
C17	55.57'	010°36'45"	300.00'	27.86'	S35°36'22"E
C18	49.45'	009°26'41"	300.00'	24.78'	S52°12'02"W
C19	181.31'	012°13'18"	850.00'	91.00'	S36°24'39"E
C20	63.99'	012°13'18"	300.00'	32.12'	S53°35'21"W
C21	225.86'	258°49'06"	50.00'	60.85'	N08°48'45"E
C22	130.90'	150°00'00"	50.00'	186.60'	N15°18'00"W
C23	10.99'	089°59'01"	7.00'	7.00'	N87°30'49"W
C24	10.84'	089°09'25"	6.97'	6.86'	N07°55'49"E
C25	148.09'	056°33'54"	150.00'	80.71'	S89°35'06"W
C26	144.93'	041°31'05"	200.00'	75.81'	N74°39'58"W
C27	85.92'	002°23'23"	2060.00'	42.97'	N38°11'20"E

PLAT FILED _____, 20____
INSTRUMENT # _____
DRAWER _____, SLIDE _____
BECKY IVEY, JOHNSON COUNTY, TEXAS
BY _____, DEPUTY CLERK

FINAL PLAT
BIRDSONG ADDITION, PHASE 1
54.930 ACRES OUT OF
THE B.B.B. & C.R.R. SURVEY, ABSTRACT NO. 83
AND THE PHILLIP GEORGE SURVEY, ABSTRACT NO. 299
CITY OF MANSFIELD,
JOHNSON COUNTY, TEXAS
117 RESIDENTIAL LOTS,
11 OPEN SPACE LOTS & 1 COMMERCIAL LOT

FIRST TEXAS HOMES, INC. OWNER/DEVELOPER
500 Crescent Court, Suite 350 Dallas, Texas 75201 Phone: (214)633-3338
Contact: Keith Hardesty, Division President Email: khardesty@firsttexashomes.com
JBI PARTNERS, INC. SURVEYOR/ENGINEER
2121 Midway Road, Suite 300 Carrollton, Texas 75006 Phone: (972) 248-7676
Contact: Daniel Dewey, PE Email: ddewey@jbipartners.com
TBPE No. F-438 TBPLS No. 10076000
Revised: September 01, 2020 SD#19-060 Sheet 4 of 5

OWNER'S CERTIFICATE §

STATE OF TEXAS §

COUNTY OF JOHNSON §

WHEREAS, First Texas Homes, Inc., acting by and through the undersigned, its duly authorized agent, is the owner of a parcel of land located in the City of Mansfield, Johnson County, Texas, being part of the B.B.B. & C.R.R. Survey, Abstract No. 83, and the Phillip George Survey, Abstract No. 299, and being part of that called 185,644 acre tract of land described in a Special Warranty Deed to First Texas Homes, Inc. as recorded in Document Number 2019–571, Deed Records Johnson County, Texas, and being further described as follows:

BEGINNING at a one–half inch iron rod with cap stamped "MILLER 5665" found at the south corner of said 185.644 acre tract, said point also being in the approximate centerline of Bedford Road (an unrecorded right–of–way), said point also being the east corner of a called 55.61 acre tract of land described in deed to William Troy Sells, and wife, Brenda J. Sells Revocable Living Trust recorded in County Clerk's Document Number 2014–25753, Deed Records Johnson County, Texas;

THENCE North 30 degrees 19 minutes 46 seconds West, 327.60 feet along the southwest line of said 185.644 acre tract and along the northeast line of said 55.61 acre tract, to a one–half inch iron rod with yellow cap stamped "JBI" set for corner;

THENCE departing the northeast line of said 55.61 acre tract, over and across said 185.644 acre tract as follows:

North 59 degrees 57 minutes 42 seconds East, 81.43 feet to a one–half inch iron rod with yellow cap stamped "JBI" set for corner;

South 30 degrees 02 minutes 18 seconds East, 27.60 feet to a one–half inch iron rod with yellow cap stamped "JBI" set for corner;

South 75 degrees 02 minutes 18 seconds East, 14.14 feet to a one–half inch iron rod with yellow cap stamped "JBI" set for corner;

North 59 degrees 57 minutes 42 seconds East, 81.09 feet to a one–half inch iron rod with yellow cap stamped "JBI" set for corner;

North 30 degrees 02 minutes 18 seconds West, 121.00 feet to a one–half inch iron rod with yellow cap stamped "JBI" set for corner;

North 59 degrees 57 minutes 42 seconds East, 560.75 feet to a one–half inch iron rod with yellow cap stamped "JBI" set for corner;

North 30 degrees 18 minutes 00 seconds West, 111.00 feet to a one–half inch iron rod with yellow cap stamped "JBI" set for corner;

North 75 degrees 10 minutes 09 seconds West, 14.17 feet to a one–half inch iron rod with yellow cap stamped "JBI" set for corner;

South 59 degrees 57 minutes 42 seconds West, 15.00 feet to a one–half inch iron rod with yellow cap stamped "JBI" set for corner;

North 30 degrees 18 minutes 00 seconds West, 50.00 feet to a one–half inch iron rod with yellow cap stamped "JBI" set for corner;

North 59 degrees 57 minutes 42 seconds East, 15.00 feet to a one–half inch iron rod with yellow cap stamped "JBI" set for corner;

North 14 degrees 49 minutes 51 seconds East, 14.11 feet to a one–half inch iron rod with yellow cap stamped "JBI" set for corner;

North 30 degrees 18 minutes 00 seconds West, 15.00 feet to a one–half inch iron rod with yellow cap stamped "JBI" set for corner;

North 59 degrees 57 minutes 42 seconds East, 50.00 feet to a one–half inch iron rod with yellow cap stamped "JBI" set for corner;

South 30 degrees 18 minutes 00 seconds East, 15.00 feet to a one–half inch iron rod with yellow cap stamped "JBI" set for corner;

South 75 degrees 10 minutes 09 seconds East, 14.17 feet to a one–half inch iron rod with yellow cap stamped "JBI" set for corner;

North 59 degrees 57 minutes 42 seconds East, 111.00 feet to a one–half inch iron rod with yellow cap stamped "JBI" set for corner;

North 30 degrees 18 minutes 00 seconds West, 375.16 feet to a one–half inch iron rod with yellow cap stamped "JBI" set for corner;

North 59 degrees 42 minutes 00 seconds East, 121.00 feet to a one–half inch iron rod with yellow cap stamped "JBI" set for corner;

North 30 degrees 18 minutes 00 seconds West, 65.00 feet to a one–half inch iron rod with yellow cap stamped "JBI" set for corner;

North 75 degrees 18 minutes 00 seconds West, 14.14 feet to a one–half inch iron rod with yellow cap stamped "JBI" set for corner;

South 59 degrees 42 minutes 00 seconds West, 20.00 feet to a one–half inch iron rod with yellow cap stamped "JBI" set for corner;

North 30 degrees 18 minutes 00 seconds West, 60.00 feet to a one–half inch iron rod with yellow cap stamped "JBI" set for corner;

North 59 degrees 42 minutes 00 seconds East, 20.00 feet to a one–half inch iron rod with yellow cap stamped "JBI" set for corner;

North 14 degrees 42 minutes 00 seconds East, 14.14 feet to a one–half inch iron rod with yellow cap stamped "JBI" set for corner;

North 30 degrees 18 minutes 00 seconds West, 40.59 feet to a one–half inch iron rod with yellow cap stamped "JBI" set for corner;

North 59 degrees 42 minutes 00 seconds East, 50.00 feet to a one–half inch iron rod with yellow cap stamped "JBI" set for corner;

South 30 degrees 18 minutes 00 seconds East, 40.59 feet to a one–half inch iron rod with yellow cap stamped "JBI" set for corner;

South 75 degrees 18 minutes 00 seconds East, 14.14 feet to a one–half inch iron rod with yellow cap stamped "JBI" set for corner;

OWNER'S CERTIFICATE (CONT'D)

North 59 degrees 42 minutes 00 seconds East, 227.00 feet to a one–half inch iron rod with yellow cap stamped "JBI" set for corner;

North 14 degrees 42 minutes 00 seconds East, 14.14 feet to a one–half inch iron rod with yellow cap stamped "JBI" set for corner;

North 30 degrees 18 minutes 00 seconds West, 16.23 feet to a one–half inch iron rod with yellow cap stamped "JBI" set for corner;

North 59 degrees 42 minutes 00 seconds East, 50.00 feet to a one–half inch iron rod with yellow cap stamped "JBI" set for corner;

South 30 degrees 18 minutes 00 seconds East, 21.23 feet to a one–half inch iron rod with yellow cap stamped "JBI" set for corner;

South 75 degrees 18 minutes 00 seconds East, 14.14 feet to a one–half inch iron rod with yellow cap stamped "JBI" set for corner;

North 59 degrees 42 minutes 00 seconds East, 72.30 feet to a one–half inch iron rod with yellow cap stamped "JBI" set for corner;

North 30 degrees 18 minutes 00 seconds West, 121.00 feet to a one–half inch iron rod with yellow cap stamped "JBI" set for corner;

North 59 degrees 42 minutes 00 seconds East, 427.47 feet to a one–half inch iron rod with yellow cap stamped "JBI" set for corner;

North 29 degrees 58 minutes 21 seconds West, 20.27 feet to a one–half inch iron rod with yellow cap stamped "JBI" set for corner, being an inside "ell" corner of said in the northwesterly line of said 185.644 acre tract, being the southerly corner of a called 60.973 acre tract of land described in deed to Clarence Ray Phillips and Dorothy Faye Phillips as recorded in Volume 2268, Page 960, Deed Records, Johnson County, Texas;

THENCE along the northwesterly line of said 185.644 acre tract and the southeasterly line of said 60.973 acre tract as follows:

North 59 degrees 53 minutes 42 seconds East, 629.72 feet to a one–half inch iron rod with yellow cap stamped "JBI" set for corner;

North 59 degrees 36 minutes 12 seconds East, 1,268.08 feet to an "X" cut in concrete found for corner, said point being in the approximate centerline of Flying L Lane;

THENCE South 30 degrees 27 minutes 33 seconds East, 100.00 feet along the approximate centerline of Flying L Lane to a one–half inch iron rod with cap stamped "MILLER 5665" found for corner, being in the northwesterly line of a 9.935 acre tract of land (Tract 2) described in deed to Mansfield Development, LLC as recorded in Document No. 2018–23354, Official Public Records, Johnson County, Texas;

THENCE South 59 degrees 36 minutes 12 seconds West, 1,268.56 feet, along the northwesterly line of said 9.935 acre tract, the northwesterly line of a called 10.00 acre tract of land (Tract 1) described in deed to Mansfield Development, LLC as recorded in Document No. 2018–23354, Official Public Records, Johnson County, Texas, and the northwesterly line of a 10.0 acre tract of land described in deed to Peregrine Production, LLC recorded in County Clerk's Document Number 2020–10220, Deed Records Johnson County, Texas, to a one–half inch iron rod with cap stamped "MILLER 5665" found for corner, said point also being the west corner of that called 10.0 acre tract and an inside "ell" corner of said 185.644 acre tract;

THENCE South 30 degrees 11 minutes 18 seconds East, 1,122.80, along the southwest line of said 10.0 acre tract and a northeasterly line of said 185.644 acre tract to a one–half inch iron rod with cap stamped "MILLER 5665" found at the most southerly east corner of said 185.644 acre tract, said point being the south corner of said 10.0 acre tract, said point also being in the northwest right–of–way line of Lone Star Road (F.M. Hwy. 157, a variable width right–of–way);

THENCE along the southeast line of said 185.644 acre tract the northwest right–of–way line of Lone Star Road as follows:

South 60 degrees 20 minutes 42 seconds West, 249.00 feet to a one–half inch iron rod with cap stamped "MILLER 5665" found for corner;

South 56 degrees 00 minutes 42 seconds West, 181.26 feet to a "PK" nail found for corner in the approximate centerline of Bedford Road (an unrecorded right–of–way);

THENCE along said approximate centerline, South 59 degrees 57 minutes 42 seconds West, 2,079.85 feet to the POINT OF BEGINNING and containing 2,392,757 square feet or 54.930 acres of land.

BASIS OF BEARING:
The basis of bearing is based on the coordinate system (North Central Zone 4202 State Plane Coordinates, NAD83).

NOW THEREFORE KNOW ALL MEN BY THESE PRESENTS:

That, FIRST TEXAS HOMES, INC. is the owner of the above described parcel, acting by and through the undersigned, its duly authorized agent, does hereby adopt the herein above describe property as BIRDSONG ADDITION, PHASE 1, an addition to the City of Mansfield, Johnson County, Texas and does dedicate to the public use the streets and esements shown thereon.

WITNESS, my hand at Dallas, Texas, this the ____ day of _____, 2020.

an Authorized Agent for First Texas Homes, Inc.,
Keith Hardesty, Division President

STATE OF TEXAS §

COUNTY OF DALLAS §

BEFORE ME, the undersigned authority in and for the State of Texas, on this day personally appeared Keith Hardesty, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and consideration therein expressed and in the capacity therein stated.

WITNESS MY HAND at Dallas, Texas, this ____ day of _____, 2020.

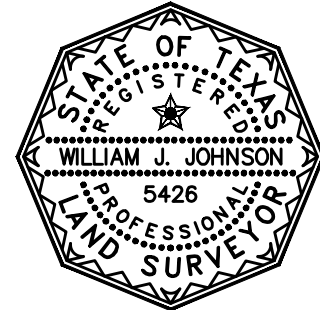
Notary Public in and for the State of Texas

SURVEYOR'S CERTIFICATE

This is to certify that I, WILLIAM J. JOHNSON, a Registered Professional Land Surveyor of the State of Texas, having platted the above subdivision from an actual survey on the ground, and that all lot corners, and angle points, and points of curve shall be properly marked on the ground, and that this plat correctly represents that survey made by me or under my direction and supervision.

Dated this 1ST day of SEPTEMBER, 2020.

WILLIAM J. JOHNSON, R.P.L.S. No. 5426



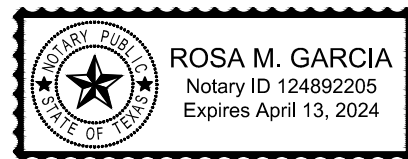
STATE OF TEXAS §

COUNTY OF DALLAS §

BEFORE ME, the undersigned, a Notary Public in and for The State of Texas, on this day personally appeared WILLIAM J. JOHNSON, known to me to be the person and officer whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purposes and considerations therein expressed and in the capacity therein stated.

GIVEN UNDER MY HAND AND SEAL OF OFFICE this 1ST day of SEPTEMBER, 2020.

Notary Public, State of Texas



Conditions of Acceptance of
Drainage and Floodway Easements

This plat is proposed by the Owners of properties described herein (hereinafter referred to as "property owners") and is approved by the City of Mansfield subject to the following conditions which shall be binding upon the property owners, his heirs, grantees, successors and assigns. No obstruction to the flow of stormwater run-off shall be permitted by filling or by construction of any type of dam, building, bridge, fence, or any other structure within the drainage easement shown herein on this plat, unless approved by the City of Mansfield. provided, however, it is understood that in the event it becomes necessary for the city of mansfield to erect drainage facilities in order to improve the storm drainage that may be occasioned by the streets and alleys in or adjacent to the subdivision, then in such event, the City of Mansfield shall have the right to enter said drainage easement at any point or points to erect, construct and maintain any facility deemed necessary for drainage purposes.

The property owners will be responsible for maintaining said drainage easement. The property owners shall keep said drainage easement clean and free of debris, silt, high weeds, and any substance which would result in unsanitary or undesirable conditions. the City of Mansfield shall have the right of ingress and egress for the purpose of inspecting and supervising maintenance work done by the property owners. If at any time the property owners fail to satisfy any of their aforementioned responsibilities or obligations, the City of Mansfield, upon ten (10) days prior notice to the owners, may enter said drainage easement at any point or points to perform maintenance or clean-up, and bill the property owners the cost incurred, or place a lien on said properties if the bill is not paid within thirty (30) days of its mailing. Said drainage easement, as in the case of all drainage easements, is subject to stormwater overflow and erosion to an extent which cannot be specifically defined. The City of Mansfield shall not be held liable for any damages resulting from the occurrence of these natural phenomena or the failure of any facilities within said drainage easement. Further, the City of Mansfield will not be responsible for erosion control or any damage to private properties or persons resulting from the flow of water within said drainage easement and properties.

APPROVED BY THE CITY OF MANSFIELD	
APPROVED _____ 2020	P & Z COMMISSION CHAIRMAN _____
ATTEST: _____ 2020	PLANNING & ZONING SECRETARY _____

PLAT FILED _____, 20____
INSTRUMENT # _____
DRAWER _____, SLIDE _____
BECKY IVEY, JOHNSON COUNTY, TEXAS
BY _____, DEPUTY CLERK

FINAL PLAT
BIRDSONG ADDITION, PHASE 1
54.930 ACRES OUT OF
THE B.B.B. & C.R.R. SURVEY, ABSTRACT NO. 83
AND THE PHILLIP GEORGE SURVEY, ABSTRACT NO. 299
CITY OF MANSFIELD,
JOHNSON COUNTY, TEXAS

117 RESIDENTIAL LOTS,
11 OPEN SPACE LOTS & 1 COMMERCIAL LOT

FIRST TEXAS HOMES, INC. OWNER/DEVELOPER

500 Crescent Court, Suite 350 Phone:(214)633–3338
Dallas, Texas 75201 Email: khardesty@firsttexashomes.com
Contact: Keith Hardesty, Division President

JBI PARTNERS, INC. SURVEYOR/ENGINEER

2121 Midway Road, Suite 300 Phone:(972) 248–7676
Carrollton, Texas 75006 Email: ddewey@jbipartners.com
Contact: Daniel Dewey, PE
TBPE No. F–438 TBPLS No. 10076000

Revised: September 01, 2020 SD#19-060 Sheet 5 of 5