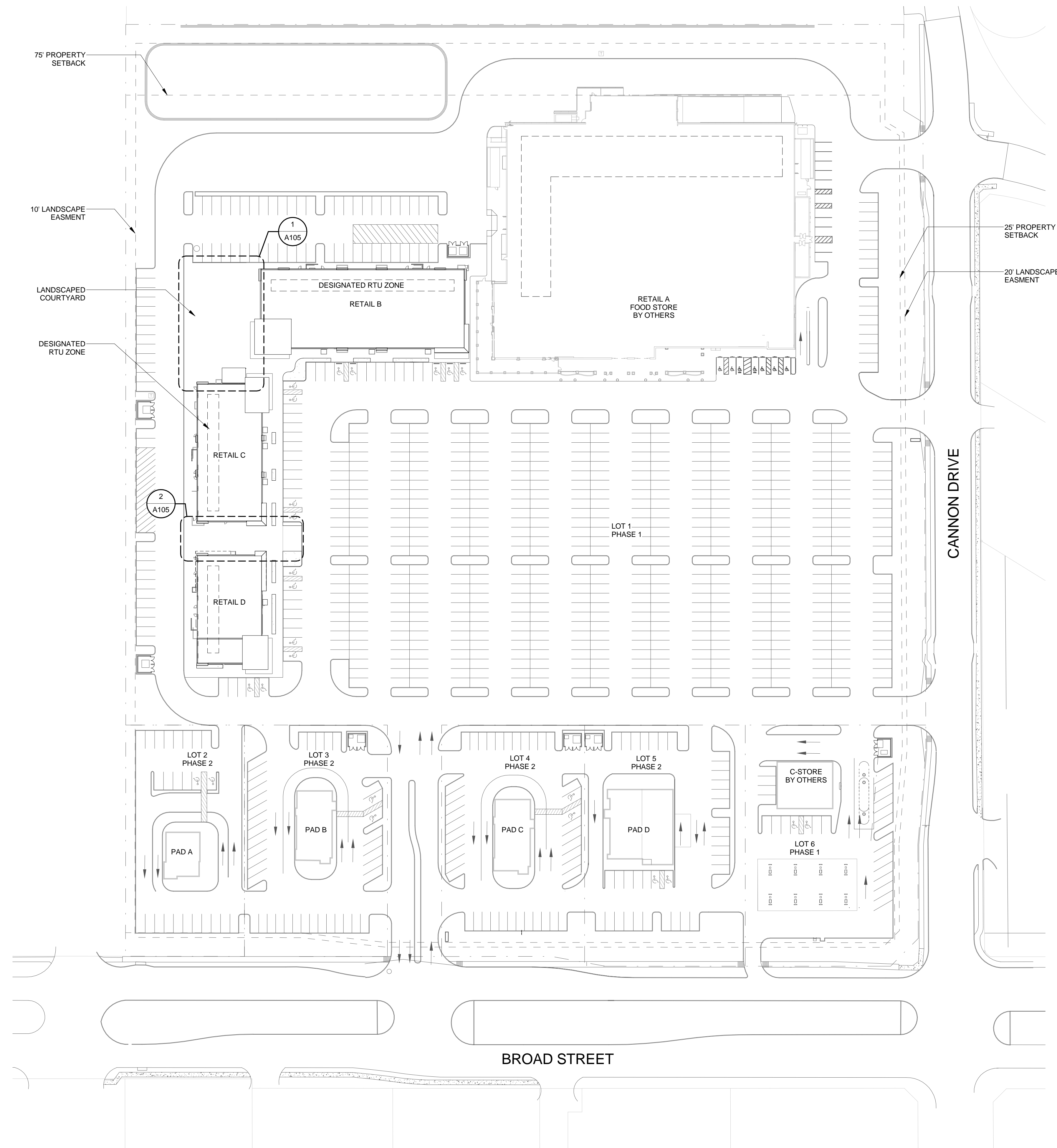


**NOTE:** DESIGN TO BE IN COMPLIANCE WITH BROAD STREET MARKETPLACE PLANNED DEVELOPMENT STANDARDS AND REGULATIONS AS APPROVED BY THE CITY OF MANSFIELD.



**GENERAL NOTES**

- A. ALL NEW UTILITIES SHALL BE PLACED UNDERGROUND.
- B. BUILDINGS SHALL BE COMPRISED OF 60% MINIMUM MASONRY. VISIBLE ELEVATIONS SHALL BE CONSTRUCTED OF SIMILAR MATERIALS AND DETAILING.
- C. ALL PROPOSED BUILDING AND SITE LIGHTING SHALL BE FULL-CUT OFF FIXTURES AND SHIELDED AWAY FROM ADJACENT RESIDENTIAL ZONING.
- D. ALL ROOF MOUNTED EQUIPMENT MUST BE FULLY SCREENED FROM VIEW FROM ADJACENT PROPERTIES AND STREETS. PARAPET WALLS SHALL HAVE A HEIGHT AT LEAST 1'-0" GREATER THAN TALLEST MECHANICAL UNIT.
- E. EXPOSED CONDUIT, LADDERS, UTILITY BOXES, STACK PIPES, AND DRAIN SPOUTS SHALL BE PAINTED TO MATCH BUILDING ELEMENTS.

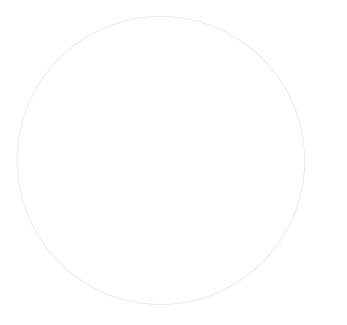


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**BROAD STREET MARKETPLACE**

ZC#16-023  
LEON CAPITAL GROUP

NOT FOR CONSTRUCTION - PRELIMINARY DESIGN

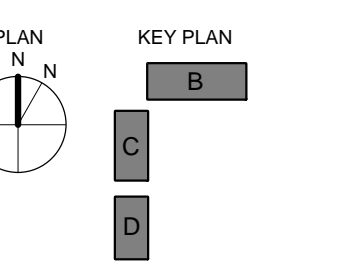


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DETAILED SITE PLAN APPLICATION - NOT FOR CONSTRUCTION

01.30.2017  
DRAWN BY | ONYKIANNE  
CHECKED BY | TAIT  
REVISIONS

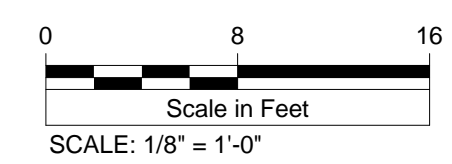
**EXHIBIT B**



SITE PLAN - FOR REFERENCE ONLY

**A100**

**1 OVERALL SITE PLAN**  
A100 1" = 60'-0"



## EXHIBIT "C"

### BROAD STREET MARKETPLACE PLANNED DEVELOPMENT

#### DEVELOPMENT STANDARDS AND REGULATIONS

These Development Standards and Regulations (the "Development Standards") shall apply to all development in the Broad Street Marketplace Planned Development (the "Broad Street PD"), as further legally described in Exhibit "A", and are to be utilized in conjunction with the Development Plan for the Planned Development.

1. Permitted Uses. Uses permitted in the Broad Street PD shall only include:

Beauty/Grooming: Beauty shop or Barber Shop; Personnel Supply Services; Pet Grooming.

Financial: Drive-In Banking Facilities; Banking Offices or Facilities Excluding Drive-In Services.

Food Sales/Grocery/Convenience/Pharmacy: Retail and Grocery Store w/ gas pumps; Convenience store; Food or Beverage Sales Store; Bakery or Confectionery Shop, Retail; Drug Store or Pharmacy; Catering Service.

Office Including Medical/Dental: Office, Physician, Dentist or Other Health Practitioners; Office, Professional or Administration.

Retail General: Book Store; Retail Camera and Photography Supply; New Clothing or Department Store; Retail Florist; Furniture; Home Furnishings or Appliance Store; Gift Store; Hobby, Toy or Game Shop; Jewelry Store; Luggage or Leather Goods Store; Retail Pet Shop; Sewing, Stationery Store; Sporting Goods or Bicycle Shop; Agents for Garment Pressing or; Laundries or Dry Cleaning; Mailing and or Reproduction; Repair Shop or Shoe Shine Parlor; Studio for Photographer, Tailor or Dressmaking Shop; Art Gallery or Museum.

Restaurants: Eating Places without Drive-Through Services; Eating Places with Drive-Through Service limited to 2; Fine dining and casual sit down restaurants. Accessory windows serving pick-up/call-ahead orders ONLY will not count as Eating Places with Drive-Through Service.

2. Uses Not Permitted.

- a) No Sales of alcoholic beverages for off premise consumption permitted, other than the grocery or convenience store.
- b) No sports bars that serve alcoholic beverages will be permitted.
- c) No restaurants or bars that feature provocatively dressed staff will be permitted such as Hooters, Twin Peaks or similar uses.
- d) No bars of any kind, other than those that serve as an accessory use to a restaurant.
- e) No hotels, motels, extended stay residences, or any other residential units.
- f) No movie theaters.

3. Area Height and Setback Regulations. Area, Height and Setback regulations shall be those required for development in the C-2 Community Business District as set forth in Article 3. Section 4500 of the City of Mansfield Zoning Ordinance, with the exception that the maximum height will be limited to 35 feet, for any portion of a structure located within 300 feet of a residential lot within the Lakes of Creekwood Addition.
4. Community Design Standards. Community unity design standards shall be those required for development in the C-2 Community Business District as set forth in Article 3. Section 4600 of the City of Mansfield Zoning Ordinance.
5. Off-Street Parking and Loading Standards. Off-street parking and loading standards shall be those required for development in the C-2 Community Business District as set forth in Article 7. Section 7200 of the City of Mansfield Zoning Ordinance
6. Landscaping and Screening Standards. Landscaping and screening standards shall be those required for development in the C-2 Community Business District as set forth in Article 7. Section 7300 of the City of Mansfield Zoning Ordinance.
7. Sign Standards. Sign standards shall be those required for development in the C-2 Community Business District as set forth in Article 7. Section 7100 of the City of Mansfield Zoning Ordinance, except for the two shopping center signs shown in the Sign Plan. The sign plan is provided as Exhibit S-1.
8. Development Plan. Approval of the zoning for the Broad Street PD shall not require simultaneous approval of the Development Plan for the Broad Street PD; provided, however, no plat shall be approved or building permit issued for development in the Broad Street Marketplace PD until the Development Plan has been submitted to the City for approval by the City Council. The purpose of Development Plan review for the Broad Street Marketplace PD is to achieve the individualized site development review that would normally be accomplished under planned development district zoning at the time the initial zoning decision was made. In reviewing the Development Plan submitted pursuant to this provision, the City Council will be reviewing the site development proposal for the following issues:
  - a. Internal traffic circulation;
  - b. Impact on external traffic circulation;
  - c. Site signage;
  - d. Building facades and articulation;
  - e. Compatibility of the site design with adjacent properties;
  - f. Internal landscaping;
  - g. Internal and external lighting impacts;
  - h. Compliance with master community or neighborhood comprehensive planning documents;
  - i. Adequacy of off-street parking, loading and delivery design;
  - j. Storm water impacts and management; and
  - k. Such other design factors as the City Council may determine to be appropriate based upon the location and character of the site.

Approval of the Development Plan by the City Council shall be by simple majority vote at the meeting without a public hearing. The Development Plan Application shall comply with the requirements of Article 5. Section 5100 F. of the City of Mansfield Zoning Ordinance. The City Council may approve the Development plan, approve it with modifications and development conditions deemed appropriate by the City Council, or deny the plan for any issue that is unresolved by the site development proposal as determined by the City Council. A denial of Development Plan shall not be considered as a denial of the use of the property

9. Lighting. A photometric plan shall be submitted as part of the Development Plan.
10. Buildings B & C. There will be a passive green space provided between buildings B & C.
11. Buildings C & D. Outdoor dining will be provided between buildings C & D.
12. Tenant Change for Buildings C & D: For the two end cap retail spaces between buildings C & D that provide outdoor dining, a change in tenants will require City Council approval if said tenant requires the sale of alcohol as part of their occupancy.
13. Variance Requests.

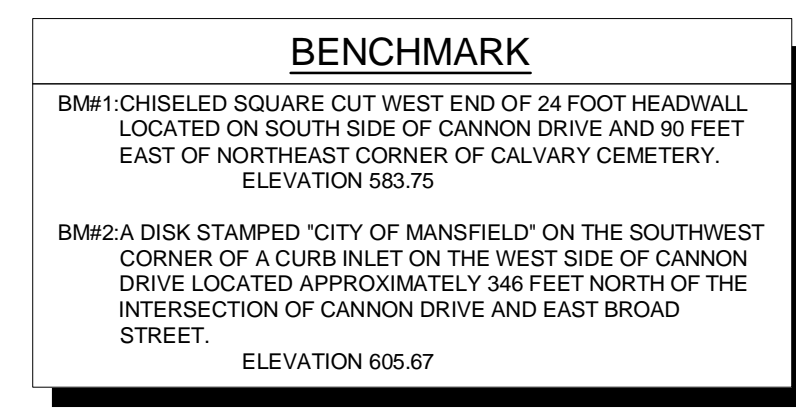
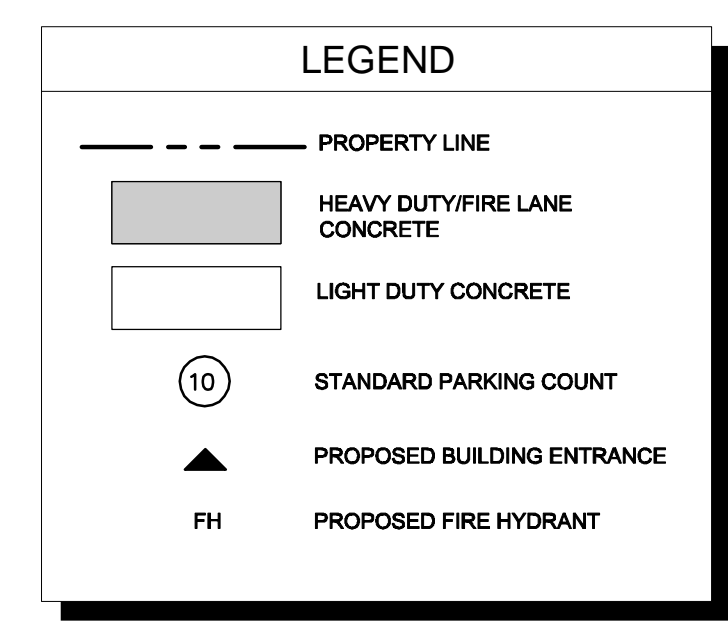
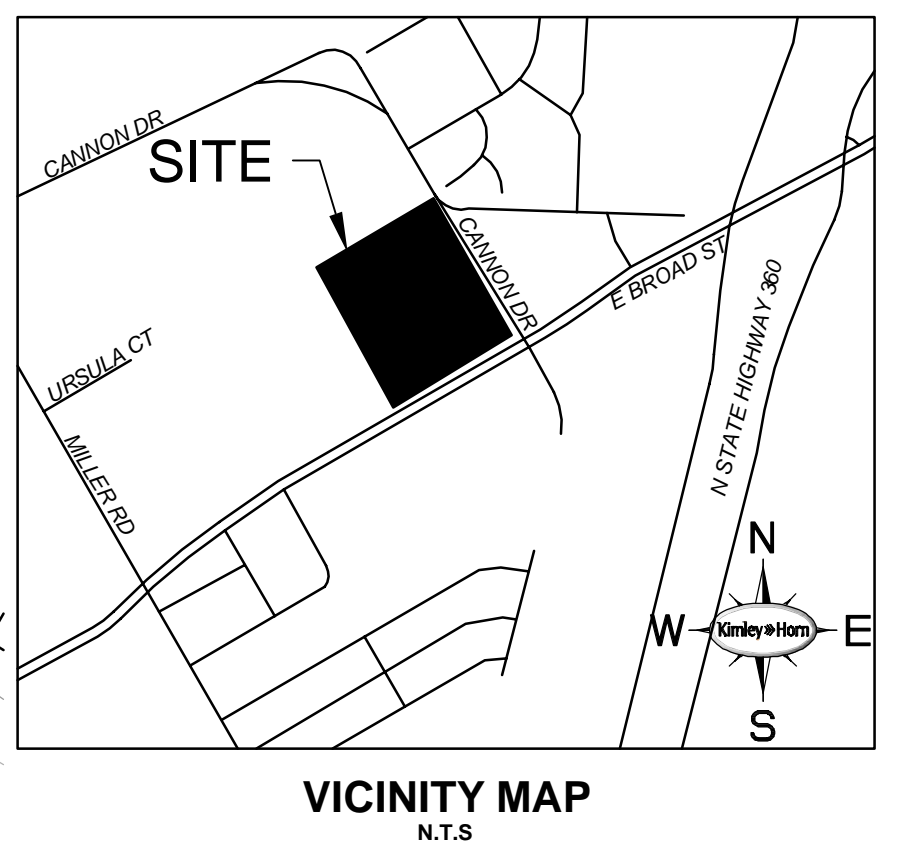
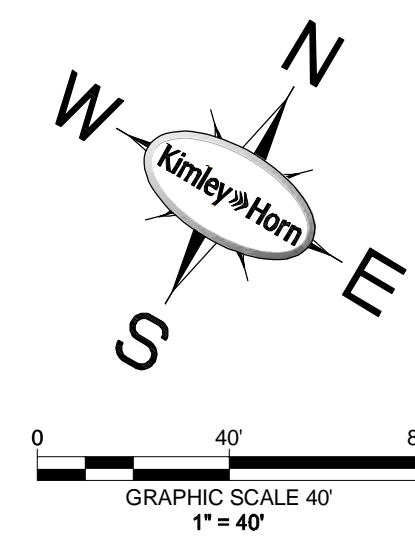
- a. A variance to Section 7800, Special Conditions (21)(d) of the Zoning Ordinance to allow the sale of alcoholic beverages within (300) feet of a public school.

Examples of restaurants which would be acceptable to occupy the end-cap retail spaces featuring outdoor dining which would require alcohol sales as part of their occupancy are: Zoe's Kitchen, Modern Market, Mi Cocina, Taco Diner, Uncle Julio's, Cane Rosso, Coal Vines, Ana Mia's, Cantina Laredo, Blue Goose Cantina, Hopdoddy, Snuffer's, Pei Wei, or concepts of similar quality.

- b. A variance to allow for an exemption for the masonry wall requirements to the north side of the property. In lieu of the masonry wall requirement, a heavily landscaped screening will be installed and maintained for the full-length of the property along the northern boundary-
  - c. A variance to allow for a reduction of the parking ratio for drive through restaurants from 1 space per 75 SF of floor area to 1 space per 100 SF of floor area for the single tenant parcels located on East Broad Street.
  - d. A variance to allow for a reduction of the 20' landscape buffer between parcels for drive through restaurants to a 10' landscape buffer between parcels.
14. All subsequent lots not provided with the initial PD will require a Detailed Site Plan approval through City Council and compliance with the applicable requirements of this PD. Buildings A, B, C, D & C- Store do not have to come back for detailed site plan approval.



KIMLEY-HORN AND ASSOCIATES, INC. 5750 GENESIS COURT, SUITE 200, FRISCO, TEXAS 75034  
 PHONE: 972-335-3580 FAX: 972-335-3779 WWW.KIMLEY-HORN.COM  
 TEXAS REGISTERED ENGINEERING FIRM F-928



**DEVELOPMENT PLAN  
 BROAD STREET MARKETPLACE**  
 ±19.33 Acres of Land Located in the  
 WILLIAM A. HOWARD SURVEY  
 Abstract No. 690  
 City of Mansfield, Tarrant County, Texas  
 City Project No.  
 Submitted January 30, 2017  
 PD ZC. #16-023

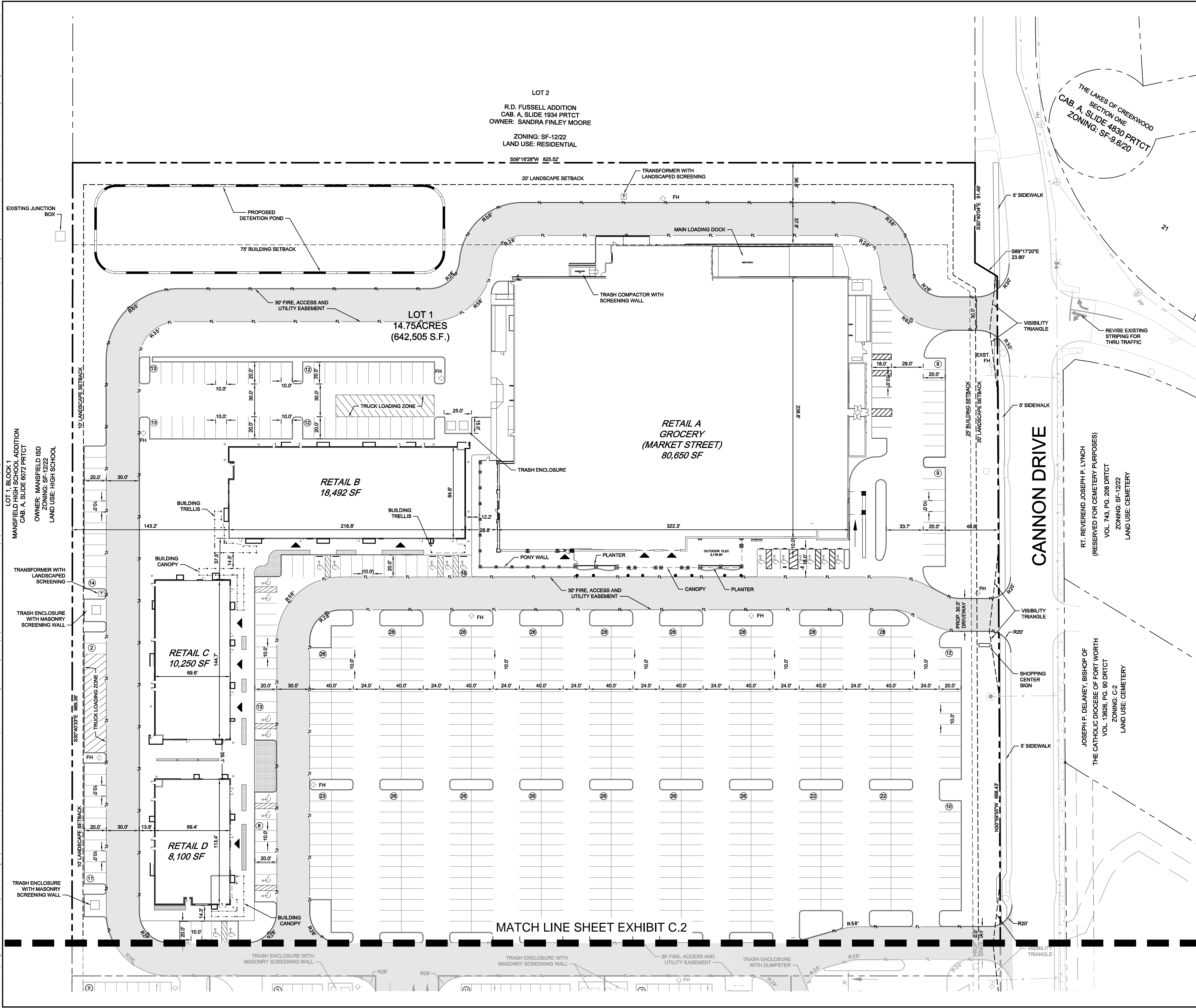
**Owner/Applicant:** Leon Capital Group  
 2301 Cedar Springs Rd.  
 Dallas, TX 75201  
 Contact: Will Follmer  
 Phone: (214) 865-8090

**Architect:** CTA Architects  
 3601 S. Congress Ave.  
 Bldg C, Ste 100  
 Austin, TX 78704  
 Phone: (512) 804-1163

**Engineer:** Kimley-Horn and Associates, Inc.  
 5750 Genesis Ct., Ste. #200  
 Frisco, Texas 75034  
 Contact: David Kochalka, P.E.  
 Phone: (972) 335-3580

**Landscape Architect:** Kimley-Horn and Associates, Inc.  
 5750 Genesis Ct., Ste. #200  
 Frisco, Texas 75034  
 Contact: Leah Campbell, PLA  
 Phone: (972) 731-3807

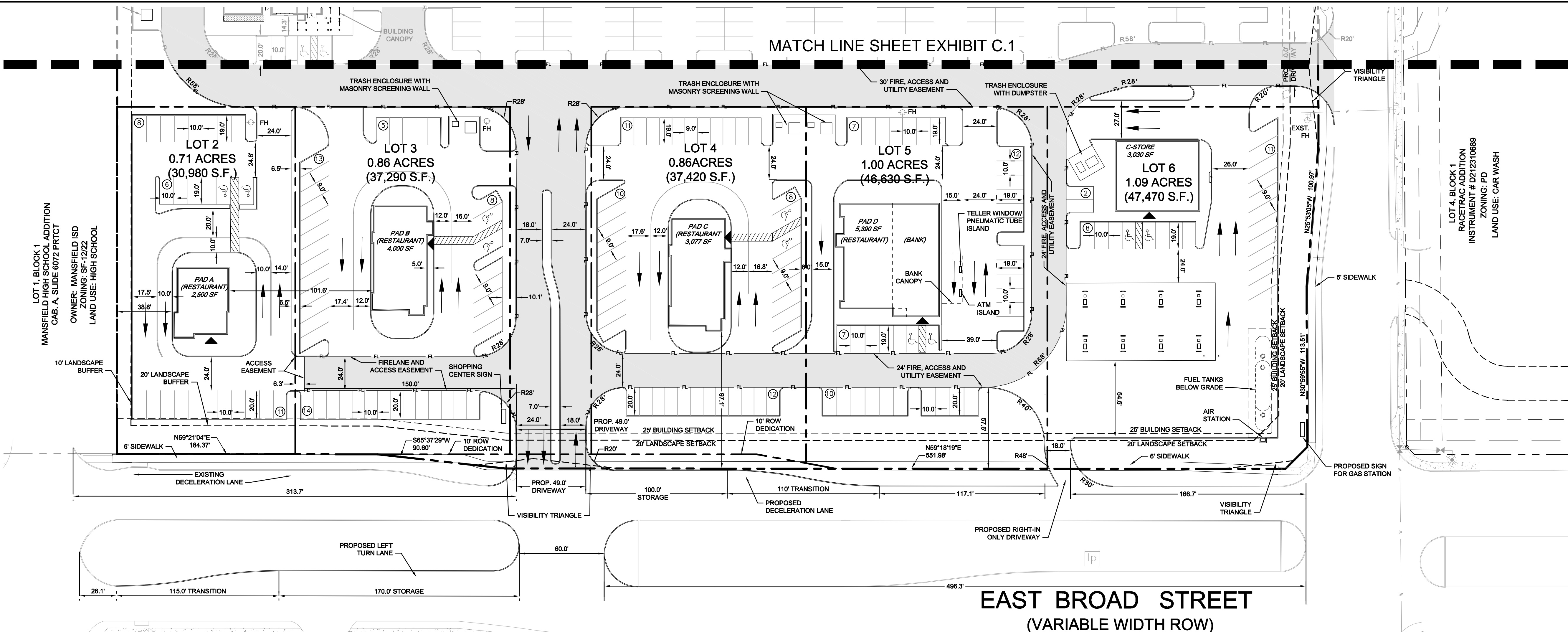
KIMLEY-HORN		DATE	
© 2014 KIMLEY-HORN 5750 GENESIS COURT, SUITE 200, FRISCO, TX 75034 PHONE: 972-335-3580 FAX: 972-335-3779 WWW.KIMLEY-HORN.COM		NO.	
TEXAS REGISTERED ENGINEERING FIRM F-928		REVISIONS	
		BY	
		DATE	
<b>BROAD STREET MARKETPLACE</b>			
LEON CAPITAL GROUP NWC OF E. BROAD ST. AND CANNON DR. MANSFIELD, TEXAS			
<b>DEVELOPMENT PLAN</b>			
SHEET NUMBER <b>EXHIBIT C.1</b>			



MATCH LINE SHEET EXHIBIT C.2



KIMLEY-HORN & ASSOCIATES, INC. PROJECT NO. 1502017422Pw  
 DATE: 01/30/2017  
 DRAWN BY: NMH  
 CHECKED BY: DKK  
 SCALE: AS SHOWN  
 DATE: 01/30/2017  
 PROJECT: BROAD STREET MARKETPLACE  
 NWC OF E. BROAD ST. AND CANNON DR. MANSFIELD, TEXAS  
 DEVELOPMENT PLAN AND NOTES SHEET NUMBER EXHIBIT C.2  
 This document, together with the concepts and designs presented herein, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.



**NOTES**

- THE PROPOSED DEVELOPMENT WILL BE IN COMPLETE ACCORDANCE WITH THE PROVISIONS OF THE APPROVED PLANNED DEVELOPMENT DISTRICT AND ALL DEVELOPMENT PLANS RECORDED HEREUNDER SHALL BE BINDING UPON THE APPLICANT THEREOF, HIS SUCCESSORS AND ASSIGNS, AND SHALL LIMIT AND CONTROL ALL BUILDING PERMITS.
- THE PRIVATE ACCESS EASEMENT IS FOR THE USE OF LOT 2 AND LOT 3. NO IMPROVEMENTS SHALL BE MADE THAT IMPREDE INGRESS AND EGRESS ALONG THIS EASEMENT.
- THE PRIVATE ACCESS EASEMENT SHALL BE MAINTAINED BY PROPERTY OWNERS.

**SITE DATA TABLE**

ZONING/PROPOSED USE	PD/COMMERCIAL
TOTAL ACREAGE	19.33
BUILDING AREA (GROSS SQUARE FOOTAGE)	133,562
BUILDING HEIGHT	MAX HEIGHT: 50'
FLOOR AREA RATIO	0.16
TOTAL PARKING REQUIRED	
RETAIL	333
RESTAURANT (DRIVE-THRU)	137
RESTAURANT (DINE-IN)	184
GAS STATION/C-STORE	15
BANK	9
TOTAL PARKING REQUIRED	678
TOTAL PARKING PROVIDED	808
TOTAL HANDICAP REQUIRED	17
TOTAL HANDICAP PROVIDED	30
BUILDING SETBACKS - EXTERIOR OVERALL PROPERTY BOUNDARY	
TO RESIDENTIAL	75'
TO NON-RESIDENTIAL	N/A
TO ABUTTING ROW	25'
LANDSCAPE BUFFER - EXTERIOR OVERALL PROPERTY BOUNDARY	
RESIDENTIAL	20'
NON-RESIDENTIAL	10'
PUBLIC STREET	20'

**\*CALCULATION EQUATIONS PROVIDED:**  
 RETAIL:  
 \*ASSUME 1/2 OF RETAIL IS DINE-IN RESTAURANT\*  
 1 PER 250 SF AREA FOR FIRST 3,000 SF; THEREAFTER 1 SPACE FOR EACH ADDITIONAL 300 SF RESTAURANT (DINE-IN)  
 \*ASSUME 1/2 OF RETAIL IS DINE-IN RESTAURANT\*  
 1 PER 100 SF OF FLOOR AREA RESTAURANT (DRIVE-IN WINDOWS) = 1 PER 100SF OF FLOOR AREA  
 GAS STATION/C-STORE  
 1 PER 200 SF OF FLOOR AREA  
 BANK  
 1 PER 300 SF OF FLOOR AREA

**BENCHMARK**  
 BM#1: CHISELED SQUARE CUT WEST END OF 24 FOOT HEADWALL LOCATED ON SOUTH SIDE OF CANNON DRIVE AND 90 FEET EAST OF NORTHEAST CORNER OF CALVARY CEMETERY. ELEVATION 583.75  
 BM#2: A DISK STAMPED "CITY OF MANSFIELD" ON THE SOUTHWEST CORNER OF A CURB INLET ON THE WEST SIDE OF CANNON DRIVE LOCATED APPROXIMATELY 346 FEET NORTH OF THE INTERSECTION OF CANNON DRIVE AND EAST BROAD STREET. ELEVATION 605.67

**DEVELOPMENT PLAN**  
**BROAD STREET MARKETPLACE**  
 ±19.33 Acres of Land Located in the WILLIAM A. HOWARD SURVEY Abstract No. 690  
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 PD ZC. #16-023

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LOT 2R, BLOCK 1 NEW INTERMEDIATE SCHOOL SOUTH ADDITION CAB. A, SLIDE 9243 PRTCT ZONING: PD LAND USE: FIRE STATION	LOT 1, BLOCK 1, HEIRS OF WILLIAM HOWARD ADDITION CAB. A, SLIDE 10205, PRTCT OWNER: MOLLY HOMER ZONING: PD LAND USE: SONIC	LOT 1, BLOCK 1, THE VILLAGE OFF BROADWAY INST. # D214244953, PRTCT OWNER: CHICKEN OF THE POND, LLC ZONING: PD LAND USE: VACANT	LOT 2, BLOCK 1, THE VILLAGE OFF BROADWAY INST. # D215095439 PRTCT OWNER: NATIONAL RETAIL PROPERTIES, LP ZONING: PD LAND USE: VACANT	MANSFIELD 2016, LLC INST. # D216032110, DRCTCT ZONING: PD LAND USE: VACANT	CANN-MANSFIELD, LTD. INST. #D206373693 DRCTCT ZONING: PD LAND USE: VACANT	WILLIAM A. HOWARD SURVEY ABSTRACT NO. 690	JACOB BACK SURVEY - ABST	LOT 1, BLOCK 1, BROAD STREET COMMONS OWNER: CHICK-FIL-A, INC. INST. NO. D212004172, DRCTCT ZONING: PD
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DEVIATIONS	COMMERCIAL PD REQUIRED	PROVIDED
Establishments that sell alcoholic beverages	No sale of alcoholic beverages shall be permitted by any establishment which is located within three hundred (300) feet of a public school	50' direct line measured from the property line of the public school to front door of the place of business.
Eating Places with Drive-Through Service	A landscape buffer with a minimum width of twenty (20) feet shall be provided along the side lot lines of the property.	Buffer width varies. Reference Landscape Plan.
Required parking for drive-thru restaurants	Required parking is 1 parking stall per 75 sf of building.	Parking is provided at 1 parking stall per 100 sf.
Building Architectural Finish	All non-residential buildings shall be architecturally finished on all four (4) sides with the same materials, detailing (e.g. tiles, awnings, moldings, cornices, etc.) and features (e.g. windows, openings, columns, towers, arches, etc.)	Request to eliminate or reduce requirement for same materials, detailing, and features at rear or side elevations that are screened or not highly visible.
Building Construction Materials	Buildings should be constructed of 70% masonry, stone, or split face CMU and 30% masonry like materials or any material not prohibited. Please provide calculation on the masonry construction to demonstrate compliance with 70% masonry construction requirement.	Request to reduce masonry construction materials of exterior surfaces of all structures, including screen walls, wing walls, columns and supports to at least sixty (60) percent. Request includes masonry construction materials of at least seventy (70) percent on front and side elevations. Request is to reduce masonry construction materials at rear facades only.
Building Articulation	Buildings with facades greater than one hundred (100) feet in length, shall incorporate wall plane projections or recesses that are at least four (4') feet deep and at least four (4') feet in length. No uninterrupted length of facade may exceed 50' in length.	Request to reduce wall plane projections or recesses to at least twelve (12") inches deep.
Building Articulation	Buildings with flat roof planes greater than one hundred (100) feet in length shall incorporate variations in the height of the roof plane that differ by at least two (2') in height. No uninterrupted length of any flat roof plane may exceed fifty (50') in length.	Request to reduce roof plan projections to at least twelve (12") inches in height.

Phase	Lot No.	Acreage	Use
1	Lot 1	14.43 acres	Retail/Grocery
	Lot 6	1.09 acres	Convenience Store/Gas Station
2	Lot 2	0.71 acres	Restaurant
	Lot 3	0.86	Restaurant
	Lot 4	0.86	Restaurant
	Lot 5	1	Restaurant/Bank

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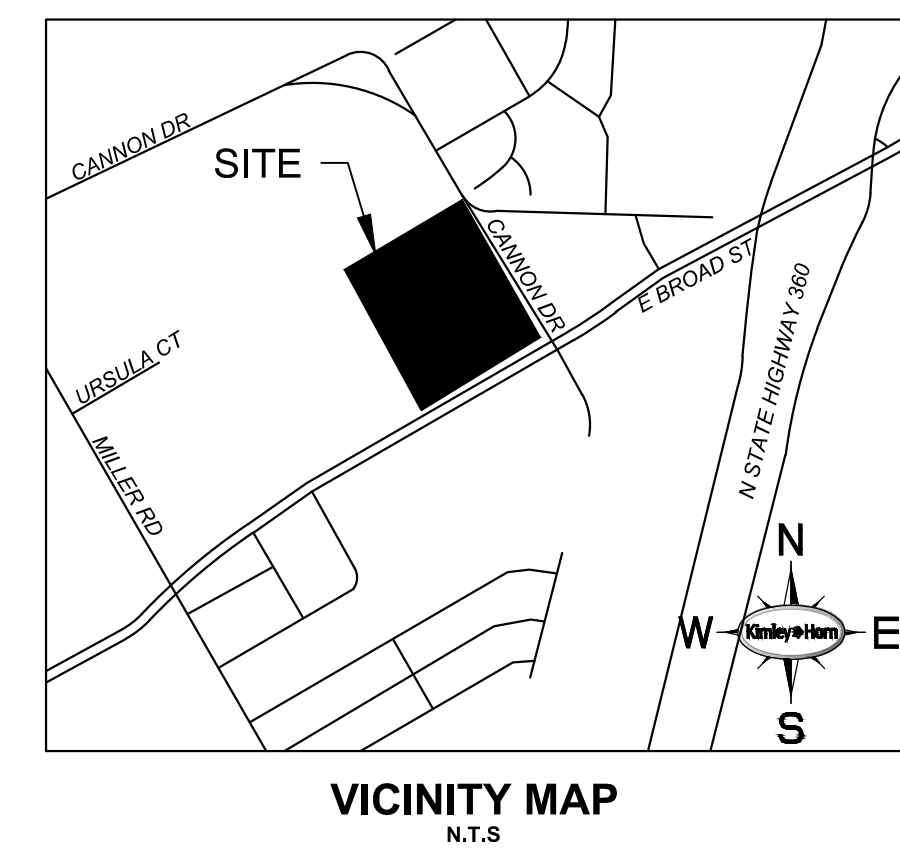
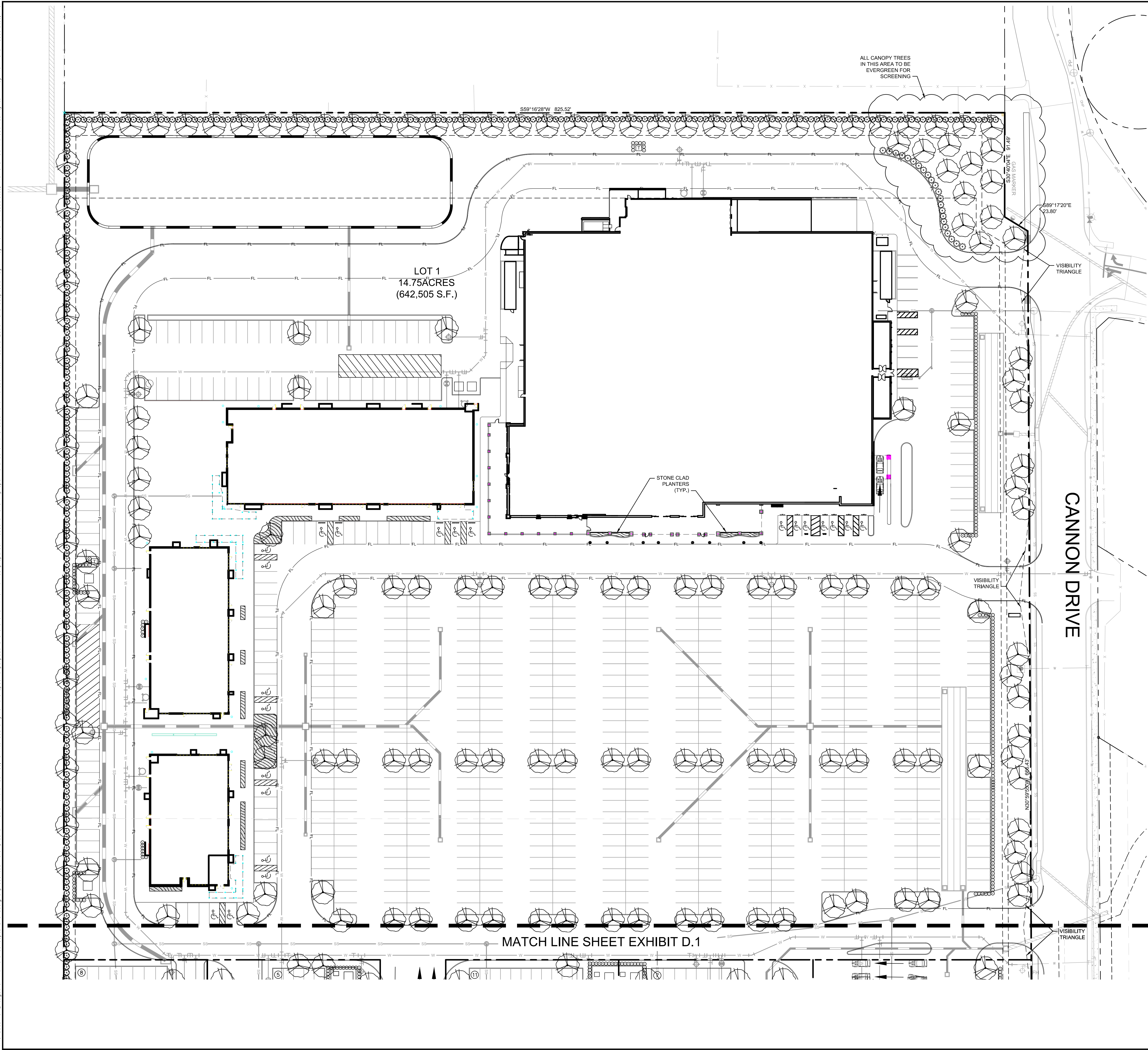
BROAD STREET MARKETPLACE  
 LEON CAPITAL GROUP  
 NWC OF E. BROAD ST. AND CANNON DR.  
 MANSFIELD, TEXAS

DEVELOPMENT PLAN AND NOTES  
 SHEET NUMBER EXHIBIT C.2

NO.	REVISIONS	DATE



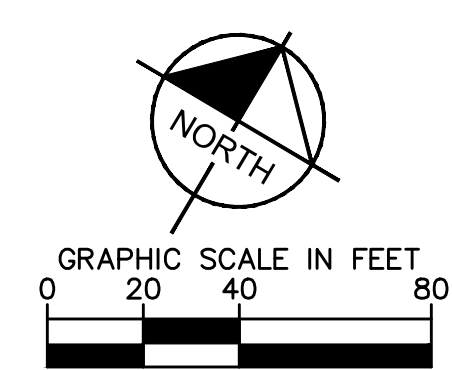
KIMLEY-HORN AND ASSOCIATES, INC. PROJECT NO. 15-0001-001  
 DATE: 01/30/2017  
 DRAWN BY: KLP  
 CHECKED BY: LMC  
 PROJECT: BROAD STREET MARKETPLACE  
 LOCATION: NWC OF E. BROAD ST. AND CANNON DR. MANSFIELD, TEXAS  
 SHEET: LANDSCAPE PLAN EXHIBIT D.1



- PLANTING NOTES**
- ALL PLANT MATERIAL SHALL BE INSTALLED ACCORDING TO SOUND NURSERY PRACTICES AND SHALL MEET ALL STANDARDS AS STATED IN THE LATEST EDITION OF "AMERICAN STANDARD FOR NURSERY STOCK" BY THE AMERICAN ASSOCIATION OF NURSERYMEN.
  - NO SUBSTITUTIONS IN PLANT MATERIALS SHALL BE MADE WITHOUT WRITTEN AUTHORIZATION FROM OWNER OR LANDSCAPE ARCHITECT. IN THE EVENT OF DISCREPANCIES BETWEEN THE DRAWING AND THE PLANT LIST, THE DRAWING SHALL PREVAIL.
  - LOCATE ALL UTILITIES PRIOR TO ANY DIGGING OPERATIONS. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DAMAGES TO EXISTING UTILITIES INCURRED BY HIS WORK.
  - REFERENCE IRRIGATION PLAN FOR BED IRRIGATION INFORMATION.
  - STAKING AND GLUING ALTERNATIVES: METHODS INDICATED IN DRAWING DETAILS ARE PREFERRED. CONTRACTOR MAY SUGGEST ALTERNATE METHODS, ASSUMING FULL RESPONSIBILITY FOR THEIR IMPLEMENTATION. CONTRACTOR SHALL REPLACE, PLANT, OR UPRIGHT ANY TREES BLOWN OVER OR DAMAGED DUE TO INADEQUATE STAKING AT NO ADDITIONAL COST TO THE OWNER.
  - PLANTS MASSED IN BEDS SHALL BE ARRANGED USING TRIANGULAR SPACING.
  - PROVIDE A STEEL EDGE OR CONCRETE MOW STRIP BETWEEN ALL PLANTING BEDS AND LAWN AREAS. REFERENCE SITE PLAN.
  - ALL PLANTING BEDS TO BE TOP DRESSED WITH A MINIMUM OF 3" SHREDDED HARDWOOD MULCH.
  - PROVIDE GRASS SEEDING OR LAY BERMUDA SOD FOR PROPOSED LAWN AREAS TO ALL EDGES OF PAVEMENT AND/OR LIMITS OF DISTURBANCE OUTSIDE R.O.W. OR PROPOSED LANDSCAPE EASEMENT.
  - THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL LANDSCAPING UNTIL FINAL ACCEPTANCE. ALL REQUIRED LANDSCAPING SHALL BE MAINTAINED IN A NEAT AND ORDERLY MANNER AT ALL TIMES. THE WORK SHALL INCLUDE, BUT NOT TO BE LIMITED TO, MOWING, EDGING, PRUNING, FERTILIZING, WATERING, WEEDING, AND OTHER SUCH ACTIVITIES COMMON TO THE MAINTENANCE OF LANDSCAPING. ALL PLANT MATERIALS SHALL BE MAINTAINED IN A HEALTHY AND GROWING CONDITION AS IS APPROPRIATE FOR THE SEASON OF THE YEAR. PLANT MATERIAL THAT DIES SHALL BE REPLACED WITH THE PLANT MATERIAL OF SIMILAR SIZE AND VARIETY.
  - CONTRACTOR SHALL WARRANT PLANT MATERIAL TO REMAIN ALIVE AND HEALTHY FOR A PERIOD OF ONE YEAR AFTER FINAL ACCEPTANCE. WARRANTY SHALL NOT INCLUDE DAMAGE FOR LOSS OF PLANT MATERIAL DUE TO NATURAL CAUSES, ACTS OF VANDALISM OR NEGLIGENCE ON THE PART OF THE OWNER.
  - ALL DISTURBED AREAS WITHIN LIMITS OF CONSTRUCTION NOT CALLED TO BE SODDED, SHALL BE REESTABLISHED WITH BERMUDA SOD.
  - ALL LANDSCAPE BED AREAS TO BE PREPARED USING "READY TO PLANT BEDDING MIX" BY SOIL BUILDING SOLUTIONS (OR APPROVED EQUAL). INSTALL TO DEPTHS, PER PLANTING DETAILS (12" DEPTH MIN.) FINISHED GRADES OF PLANTING BEDS TO BE 2" BELOW FINISHED GRADE OF ADJACENT PAVING OR AS SHOWN ON GRADING PLAN.
  - ALL SOD AREAS TO RECEIVE 4" DEPTH (MIN) TOPSOIL PRIOR TO INSTALLATION. ALL PLANTING AREAS TO RECEIVE 24" DEPTH (MIN) OF TOPSOIL. TOPSOIL SHALL BE NATURAL, FRIBLIE, FERTILE, pH RANGE OF 6.0-6.5, AND FREE OF TRASH, DEBRIS, STONES, WEEDS, AND TWIGS/BRANCHES.

**PLANT SCHEDULE**

TREES	CODE	QTY	BOTANICAL NAME	SPECIFICATIONS	REMARKS
	TR1	250	Canopy Tree	3.5" cal.	Full, Stright, Single Leader. Mixture of Evergreen & Deciduous trees. See plans for Evergreen screening placement.
	TR2	22	Screening Tree	10' ht x 6' spr	Full to ground, Evergreen
	TR3	336	Screening Tree	6' ht x 4' spr	Full to ground, Evergreen
SHRUBS	CODE	QTY	BOTANICAL NAME	SPECIFICATIONS	REMARKS
	SH1	753	Screening Shrub	24" ht, 18" spr, 36" oc	36" at maturity
SHRUB AREAS	CODE	QTY	BOTANICAL NAME	SPECIFICATIONS	REMARKS
	FLA	TBD	Foundation Landscape Area	Install	Shrubs and groundcover



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 Contact: David Kochalka, P.E.  
 Phone: (972) 335-3580

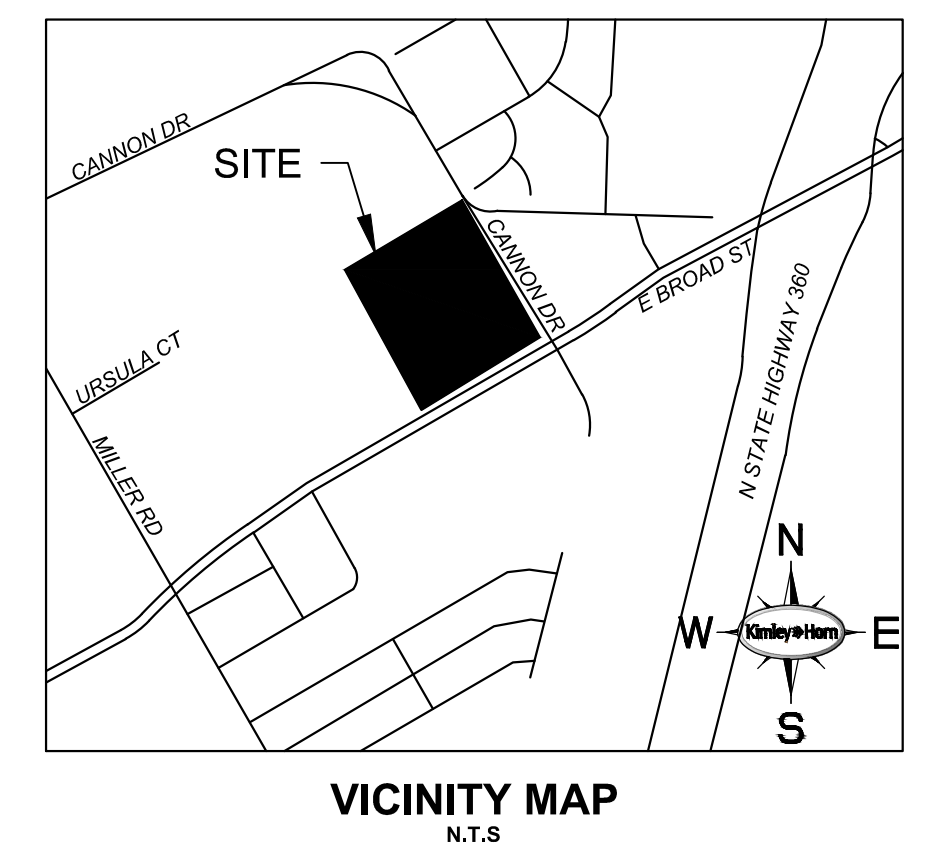
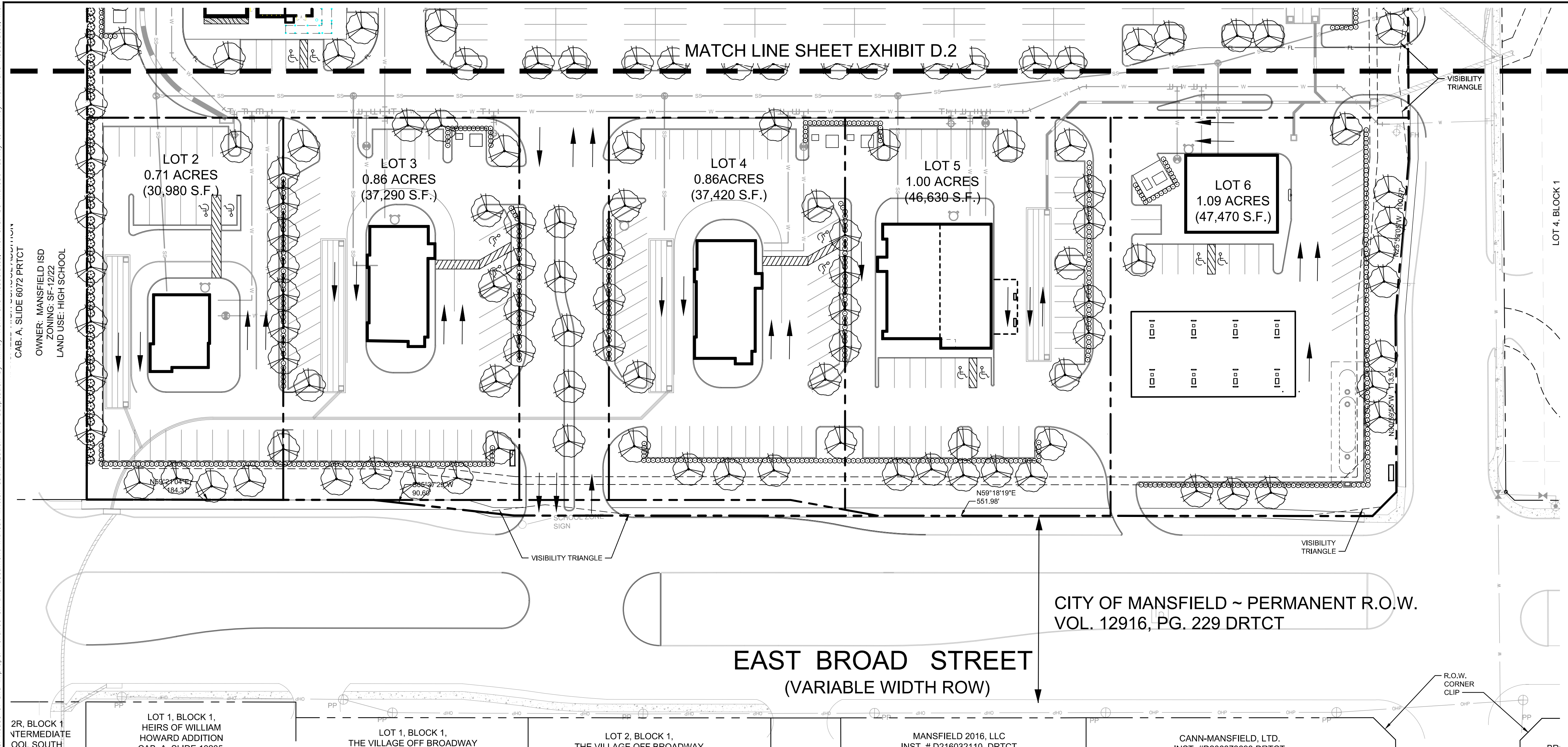
**Landscape Architect:**  
 Kimley-Horn and Associates, Inc.  
 5750 Genesis Ct., Ste. #200  
 Frisco, Texas 75034  
 Contact: Leah Campbell, PLA  
 Phone: (972) 731-3807

© 2014 KIMLEY-HORN  
 5750 GENESIS COURT, SUITE 200, FRISCO, TX 75034  
 PHONE: 972-335-3580 FAX: 972-335-3779  
 WWW.KIMLEY-HORN.COM  
 TEXAS REGISTERED ENGINEERING FIRM F-928

<b>BROAD STREET MARKETPLACE</b> LEON CAPITAL GROUP NWC OF E. BROAD ST. AND CANNON DR. MANSFIELD, TEXAS	<b>LANDSCAPE PLAN</b> SHEET NUMBER <b>EXHIBIT D.1</b>
KHA PROJECT: 67766812 DATE: 01/30/2017 SCALE: AS SHOWN DESIGNED BY: KLP DRAWN BY: KLP CHECKED BY: LMC	REVISIONS No. _____ DATE _____



MATCH LINE SHEET EXHIBIT D.2



**PLANT SCHEDULE**

TREES	CODE	QTY	BOTANICAL NAME	SPECIFICATIONS	REMARKS
TR1	250	Canopy Tree	3.5" cal.	Full, Straight, Single Leader. Mixture of Evergreen & Deciduous trees. See plans for Evergreen screening placement.	
TR2	22	Screening Tree	10' ht x 6" spr	Full to ground, Evergreen	
TR3	336	Screening Tree	6' ht x 4" spr	Full to ground, Evergreen	
SHRUBS	CODE	QTY	BOTANICAL NAME	SPECIFICATIONS	REMARKS
SH1	774	Screening Shrub	24" ht, 18" spr, 36" oc	36" at maturity	
SHRUB AREAS	CODE	QTY	BOTANICAL NAME	SPECIFICATIONS	REMARKS
FLA	TBD	Foundation Landscape Area	Install	Shrubs and groundcover	

CITY OF MANSFIELD ~ PERMANENT R.O.W.  
VOL. 12916, PG. 229 DRTCT

**EAST BROAD STREET**  
(VARIABLE WIDTH ROW)

**SITE DATA TABLE**

ZONING/PROPOSED USE	PD/COMMERCIAL
TOTAL ACERAGE	19.33
BUILDING AREA (GROSS SQUARE FOOTAGE)	133,562
BUILDING HEIGHT	MAX HEIGHT: 50'
FLOOR AREA RATIO	0.16
<b>TOTAL PARKING REQUIRED</b>	
RETAIL	333
RESTAURANT (DRIVE-THRU)	137
RESTAURANT (DINE-IN)	184
GAS STATION/C-STORE	15
BANK	9
<b>TOTAL PARKING REQUIRED</b>	<b>678</b>
<b>TOTAL PARKING PROVIDED</b>	<b>808</b>
TOTAL HANDICAP REQUIRED	17
TOTAL HANDICAP PROVIDED	30
BUILDING SETBACKS - EXTERIOR OVERALL PROPERTY BOUNDARY	
TO RESIDENTIAL	75'
TO NON-RESIDENTIAL	N/A
TO ABUTTING ROW	25'
LANDSCAPE BUFFER - EXTERIOR OVERALL PROPERTY BOUNDARY	
RESIDENTIAL	20'
NON-RESIDENTIAL	10'
PUBLIC STREET	20'

**SUMMARY CHART - BUFFERYARDS/SETBACKS**

LOCATION OF BUFFER YARD OR SETBACK	REQUIRED/PROVIDED	LENGTH	BUFFERYARD OR SET BACK WIDTH/TYPE	CANOPY TREES	ORNAMENTAL TREES	SHRUBS	SCREEN WALL/DEVICE HEIGHT & MATERIAL
NORTH	REQUIRED	826 LF	SW8 & BY20 (826 / 25 = 34)	34	N/A	N/A	6' LIVING SCREEN WALL
	PROVIDED	826 LF	BY20	34	N/A	N/A	6' LIVING SCREEN WALL
WEST	REQUIRED	989 LF	BY10 (989 / 40 = 25)	25	N/A	N/A	6' LIVING SCREEN WALL
	PROVIDED	989 LF	BY10	25	N/A	N/A	6' LIVING SCREEN WALL
EAST	REQUIRED	996 LF	STREET LANDSCAPE SETBACK (996 / 40 = 25)	25	N/A	N/A	N/A
	PROVIDED	996 LF	STREET LANDSCAPE SETBACK	25	N/A	N/A	N/A
SOUTH	REQUIRED	826 LF	STREET LANDSCAPE SETBACK (826 / 40 = 19)	21	N/A	N/A	N/A
	PROVIDED	826 LF	STREET LANDSCAPE SETBACK	21	N/A	N/A	N/A

**NOTES:**  
 1. LANDSCAPING MAINTENANCE: THE PROPERTY OWNER, TENANT OR AGENT, SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL REQUIRED LANDSCAPING IN A HEALTHY, NEAT, ORDERLY AND LIVE-GROWING CONDITION A ALL TIMES. THIS SHALL INCLUDE MOWING, EDGING, PRUNING, FERTILIZING, IRRIGATION, WEEDING, AND OTHER SUCH ACTIVITIES COMMON TO MAINTENANCE OF LANDSCAPING. LANDSCAPED AREAS SHALL BE KEPT FREE OF TRASH, LITTER, WEEDS, AND OTHER MATERIALS NOT A PART OF THE LANDSCAPING. PLANT MATERIALS THAT DIE SHALL BE REPLACED WITH PLANT MATERIALS OF SIMILAR VARIETY AND SIZE.  
 2. NO TREES, SHRUBS, WALLS, FENCES, OR ANYTHING OVER 2' IN HEIGHT IS ALLOWED WITHIN THE VISIBILITY TRIANGLES.

**SUMMARY CHART - INTERIOR PARKING LOT LANDSCAPING**

# OF REQUIRED PARKING SPACES	REQUIRED TREES	PROVIDED TREES
678	81	
# OF PROVIDED PARKING SPACES (808 / 10 = 81)		145*

\*TOTAL TREES PROVIDED INCLUDED THE FOLLOWING:  
 - PARKING SPACE TREES (1 TREE PER EVERY 10 SPACES)  
 - REQUIRED DRIVE ISLE TREES (1 TREE PER 40 LF)  
 - PARKING ISLAND TREES (SINGLE AND DOUBLE ISLANDS)  
 - RESTAURANT DRIVE THROUGH TREES (1 TREE PER 25 LF)

**SUMMARY CHART - PARKING LOT PERIMETER LANDSCAPING**

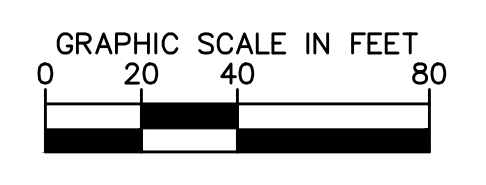
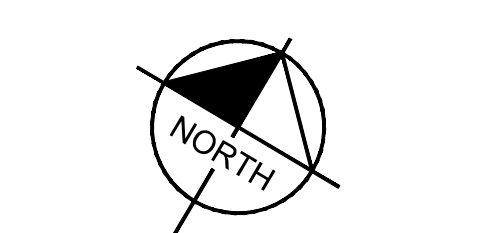
REQUIRED	SCREENING OF ALL VEHICULAR USE AREAS FROM PUBLIC STREETS. SCREENING SHALL BE A MIN. HT OF 3' AT MATURITY
PROVIDED	SCREENING OF ALL VEHICULAR USE AREAS FROM PUBLIC STREETS. SCREENING SHALL BE A MIN. HT OF 3' AT MATURITY

**SUMMARY CHART - FOUNDATION LANDSCAPING**

REQUIRED	MIN. 4' WIDE LANDSCAPE AREA WITHIN 10' OF BUILDING FACADE WITH CUSTOMER ENTRANCE OR FACING A PUBLIC STREET
PROVIDED	MIN. 4' WIDE LANDSCAPE AREA WITHIN 10' OF BUILDING FACADE WITH CUSTOMER ENTRANCE OR FACING A PUBLIC STREET

**LANDSCAPING DEVIATIONS**

	REQUIRED	PROVIDED
WEST BUFFER	10' BUFFER 6' MASONRY SCREEN WALL	10' BUFFER 6' LIVING SCREEN WALL
NORTH BUFFER	20' BUFFER 8' SCREENING WALL	20' BUFFER 6' LIVING SCREEN WALL
DRIVE THROUGH BUFFER	20' BUFFER TREES 1 PER 25 LF HEDGE ROW	BUFFER WIDTH VARIES TREES 1 PER 25 LF HEDGE ROW



**DEVELOPMENT PLAN**  
**BROAD STREET MARKETPLACE**  
 ±19.33 Acres of Land Located in the  
 WILLIAM A. HOWARD SURVEY  
 Abstract No. 690  
 City of Mansfield, Tarrant County, Texas  
 City Project No.  
 Submitted January 30, 2017  
 PD ZC. #16-023

**Owner/Applicant:**  
 Leon Capital Group  
 2301 Cedar Springs Rd.  
 Dallas, TX 75201  
 Contact: Will Tulliver  
 Phone: (214) 865-8090

**Architect:**  
 CTA Architects  
 3601 S. Congress Ave.  
 Bldg C, Ste 100  
 Austin, TX 78704  
 Phone: (512) 804-1163

**Engineer:**  
 Kimley-Horn and Associates, Inc.  
 5750 Genesis Ct., Ste. #200  
 Frisco, Texas 75034  
 Contact: David Kochalka, P.E.  
 Phone: (972) 335-3580

**Landscape Architect:**  
 Kimley-Horn and Associates, Inc.  
 5750 Genesis Ct., Ste. #200  
 Frisco, Texas 75034  
 Contact: Leah Campbell, PLA  
 Phone: (972) 731-3807

No.	REVISIONS	DATE	BY

**Kimley-Horn**  
 © 2014 KIMLEY-HORN  
 5750 GENESIS COURT, SUITE 200, FRISCO, TX 75034  
 PHONE: 972-335-3580 FAX: 972-335-3779  
 WWW.KIMLEY-HORN.COM  
 TEXAS REGISTERED ENGINEERING FIRM F-928

FOR REVIEW ONLY  
 Not for construction or permit purposes.  
**Kimley-Horn**  
 P.L.A. KENZIE L. PORTER  
 L.A. No. 3128 Date: 01/31/2017

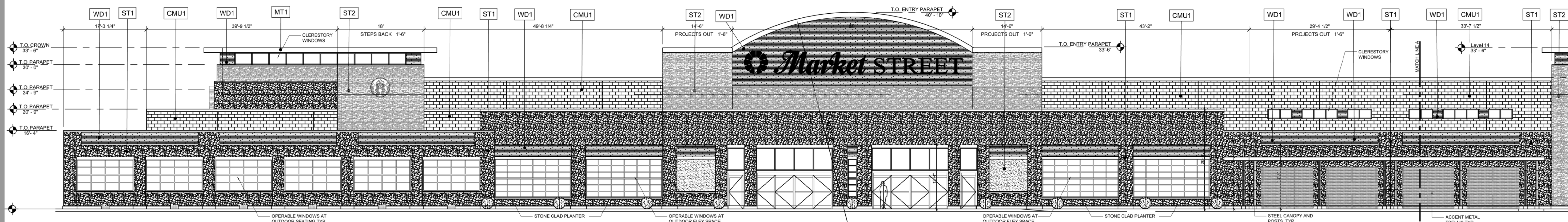
KHA PROJECT	DATE	SCALE	DESIGNED BY	DRAWN BY	CHECKED BY
67766812	01/30/2017	AS SHOWN	KLP	KLP	LMC

**BROAD STREET MARKETPLACE**  
 LEON CAPITAL GROUP  
 NWC OF E. BROAD ST. AND CANNON DR.  
 MANSFIELD, TEXAS

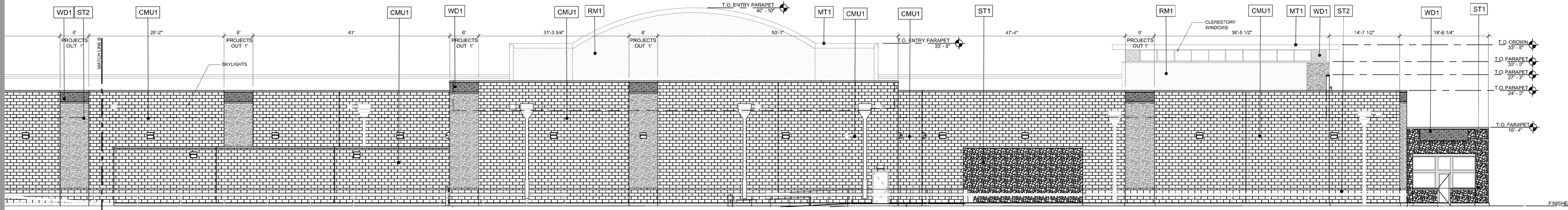
**LANDSCAPE PLAN**  
 SHEET NUMBER  
**EXHIBIT D.2**

KIMLEY-HORN AND ASSOCIATES, INC. PROJECT NO. 67766812  
 DATE: 01/30/2017  
 DRAWN BY: KLP  
 CHECKED BY: LMC  
 This document, together with the concepts and designs presented herein, is an instrument of service, as an instrument of service, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.

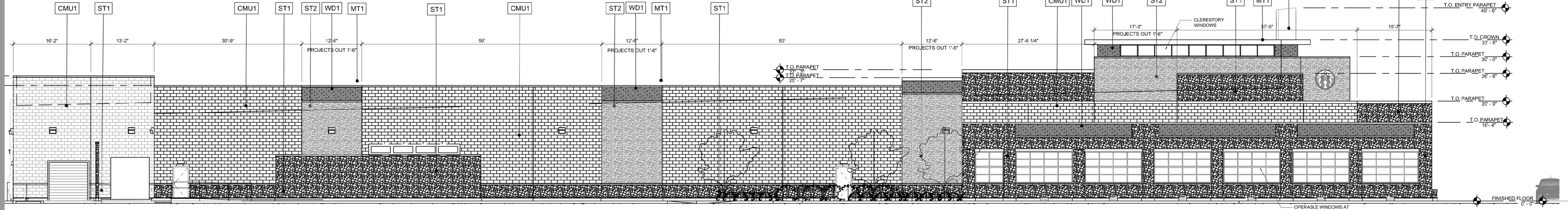




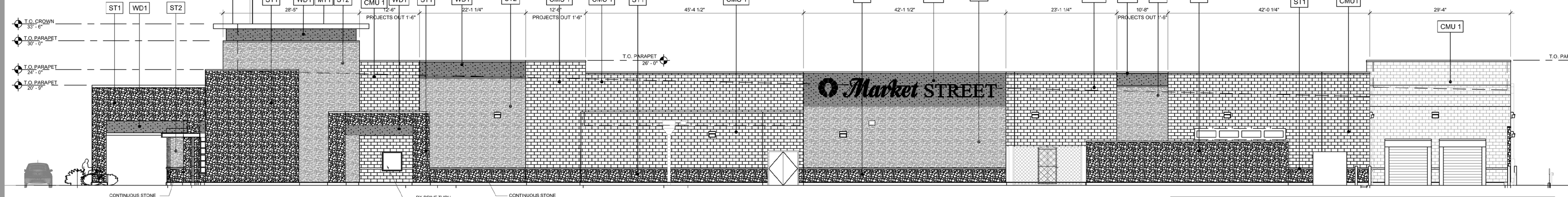
**1 FOOD STORE - FRONT ELEVATION**  
 5/32" = 1'-0"



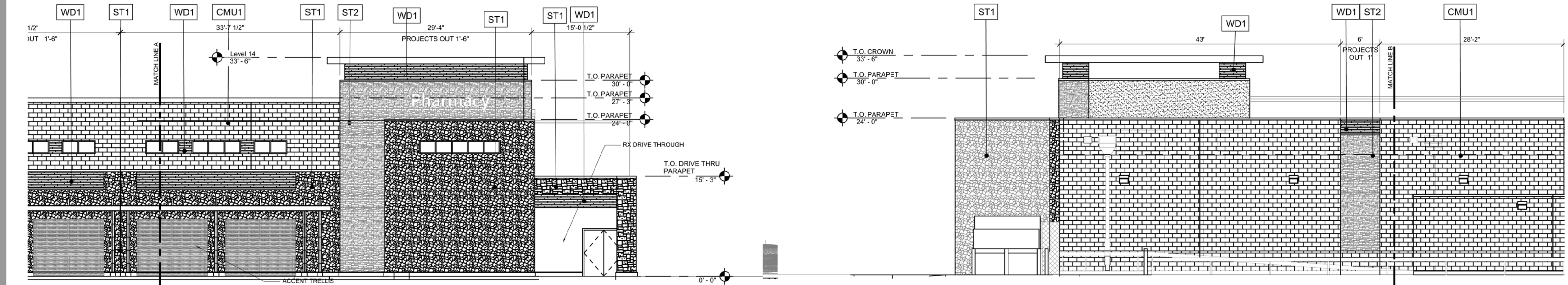
**2 FOOD STORE - REAR ELEVATION**  
 5/32" = 1'-0"



**3 FOOD STORE - SIDE PATIO ELEVATION**  
 5/32" = 1'-0"



**4 FOOD STORE - RX DRIVE THROUGH ELEVATION**  
 5/32" = 1'-0"



**5 FOOD STORE - ELEVATION CONTINUATION RX DRIVE THROUGH**  
 5/32" = 1'-0"

**6 FOOD STORE - REAR ELEVATION CONTINUATION**  
 5/32" = 1'-0"

MATERIAL COVERAGE CALCULATIONS FOR FOOD STORE

		FRONT/ENTRY		REAR		SIDE/RX DRIVE-THRU		SIDE/OUTDOOR SEATING	
		SQ FT	%	SQ FT	%	SQ FT	%	SQ FT	%
COMPOSITE WOOD (CEMENTITIOUS PRODUCT)	WD 1	1205	12	102	1	544	8	314	4
GLASS	GL 1	1572	15	192	2	30	0	633	8
ROOFING MEMBRANE	RM 1			1108	12				
STONE 1	ST 1	4613	44	757	8	1604	22	1785	24
SPLIT FACE BLOCK	CMU 1	1464	14	6231	67	3041	42	3123	42
STONE 2	ST 2	1099	11	557	6	1569	22	1198	16
METAL TRIM	MT 1	467	4	410	4	387	5	460	6
<b>TOTAL</b>		<b>10420</b>	<b>100</b>	<b>9357</b>	<b>100</b>	<b>7175</b>	<b>100</b>	<b>7513</b>	<b>100</b>
<b>TOTAL MASONRY:</b>		26,458sf / 33,035sf = 82.6%		<b>TOTAL MTL:</b>		1724sf / 33,035sf = 5.2%			

Issue Dates:  
 DETAILED SITE PLAN APP 11-21-16

**Heights Venture**  
 ARCHITECTURE + DESIGN  
 HOUSTON: 1111 North Loop West, Suite 800 | HOUSTON, TEXAS 77008  
 DALLAS: 5717 Legacy Drive, Suite 240 | PLANO, TEXAS 75024  
 713.669.1103 V | 972.490.7292 V

Robert R. Holton, AIA  
 TX Registration #14938  
 Not for Regulatory Approval,  
 Permit, or Construction.

**BROAD STREET MARKETPLACE**  
 ZC #16-023

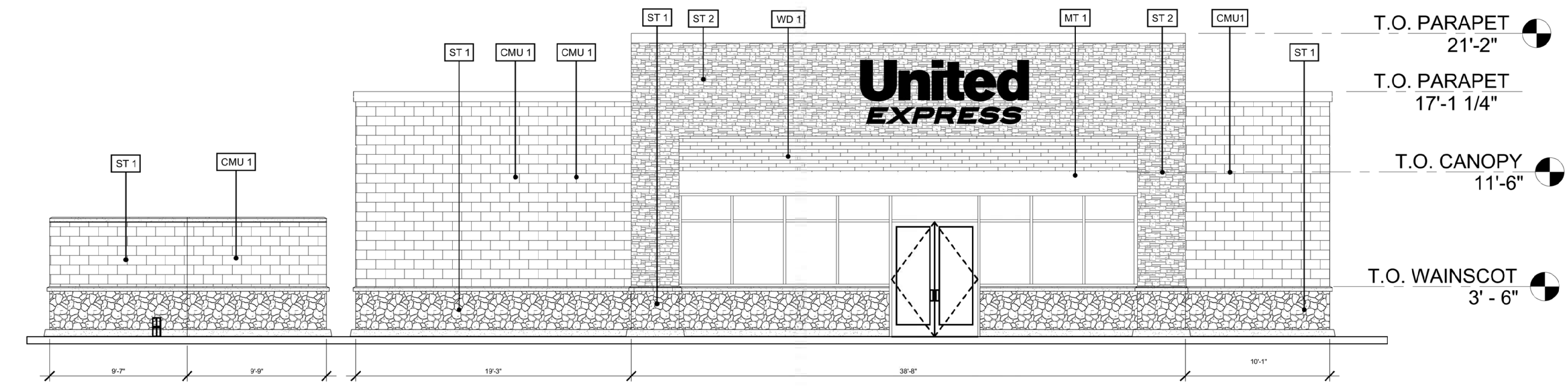
MANSFIELD

Project Number:  
 16126-001  
 Date Plotted:  
 DECEMBER 07, 2016  
 Drawn By: FL | Checked By: FL  
 File Name:  
 11.21.16 MARKET STREET

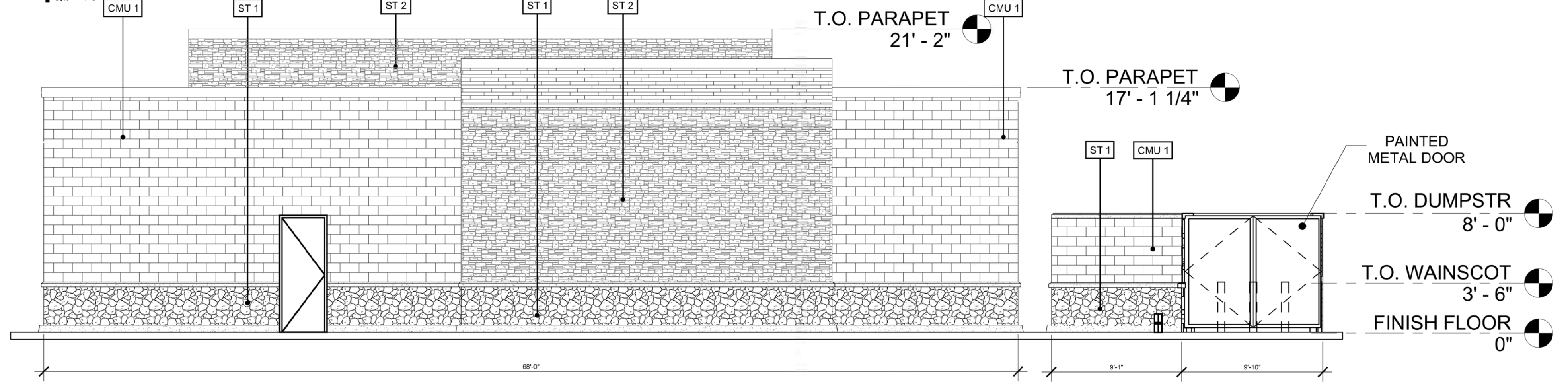
**A201**  
 EXTERIOR ELEVATIONS

© COPYRIGHT 2016 HEIGHTS VENTURE

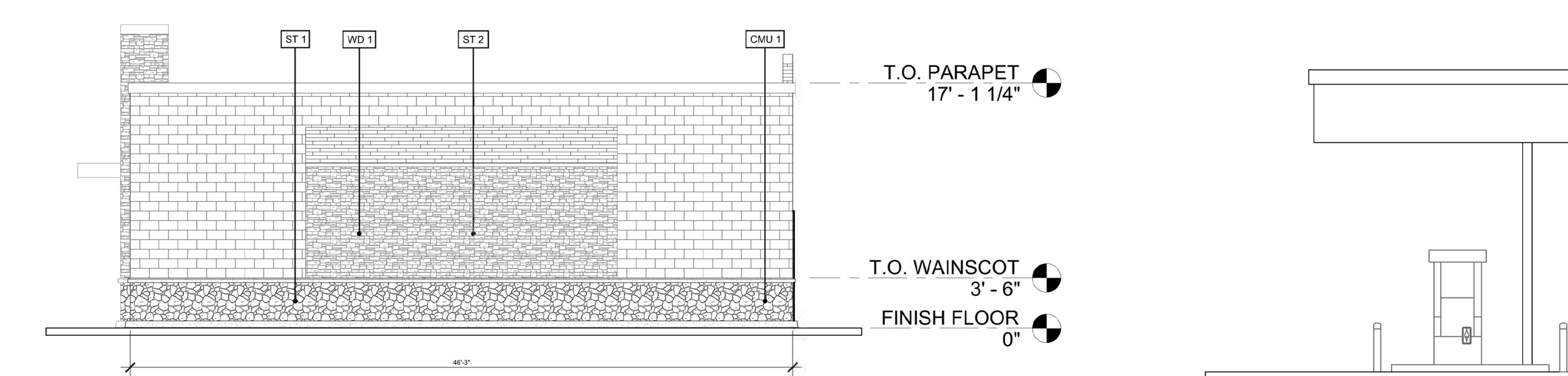




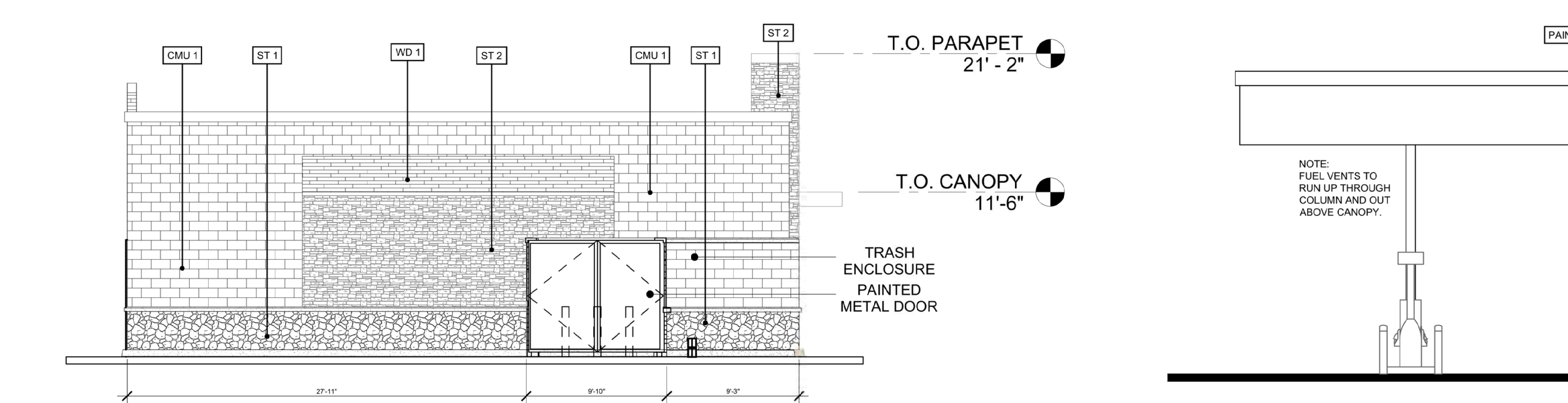
1 FUEL STATION - FRONT/WEST ELEVATION  
3/16" = 1'-0"



2 FUEL STATION - REAR/EAST ELEVATION  
3/16" = 1'-0"

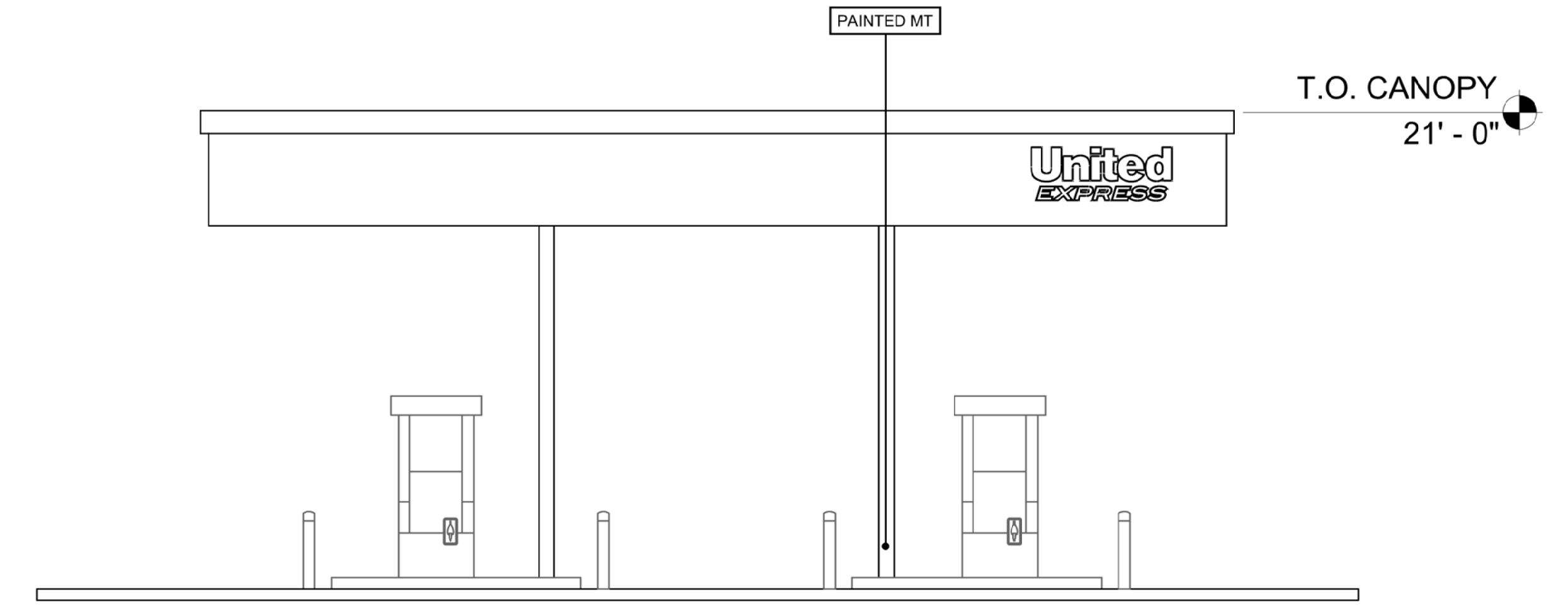


3 FUEL STATION - RIGHT/SOUTH ELEVATION  
3/16" = 1'-0"

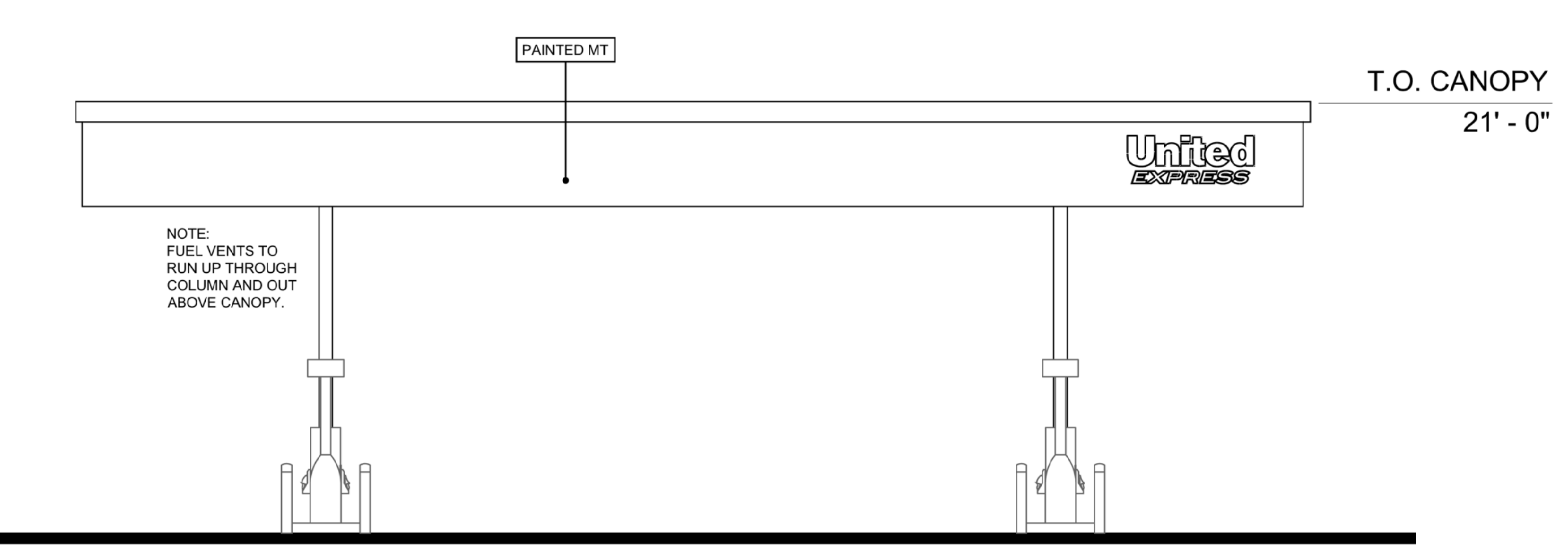


4 FUEL STATION - LEFT/NORTH ELEVATION  
3/16" = 1'-0"

MATERIAL COVERAGE CALCULATIONS									
		FUEL STATION							
		FRONT/WEST		REAR/EAST		LEFT/NORTH		RIGHT/SOUTH	
		SQ FT	%	SQ FT	%	SQ FT	%	SQ FT	%
METAL	MT 1	94	7.3	102	7.8	33	4.3	33	4.3
SPLIT FACE BLOCK	CMU1	378	29	527	40	368	47.9	368	47.9
NATURAL STONE	ST 1	185	15	194	15.0	139	18.0	139	18.0
NATURAL STONE	ST 2	319	25	411	32	169	22.0	169	22.0
COMPOSITE WOOD	WD 1	80	6	71	5	60	7.8	60	7.8
GLASS		230	18.0000	0	0.0	0	-0.1	0	0.0
TOTAL		1286	100	1305	100	769	100	769	100
TOTAL MASONRY: 3,647sf / 3,976sf = 91.7%									
TOTAL EIFS: 329sf / 3,976sf = 8.3%									



8 FUEL CANOPY - SIDE  
3/16" = 1'-0"



9 FUEL CANOPY - AISLE  
3/16" = 1'-0"

Issue Dates:  
DETAILED SITE PLAN APP. 11.21.16

**Heights Venture**  
ARCHITECTURE • DESIGN  
HOUSTON: 1111 North Loop West, Suite 800 | Houston, Texas 77008 | 713 869 1103 V  
DALLAS: 5717 Legacy Drive, Suite 243 | Plano, Texas 75024 | 972 490 7292 V

Robert R. Holton, AIA  
TX Registration #14358  
Not for Regulatory Approval,  
Permit, or Construction.

**BROAD STREET  
MARKETPLACE**  
ZC #16-023

MANSFIELD  
Project Number: 16126-001  
Date Plotted: NOVEMBER 21, 2016  
Drawn By: FL | Checked By: FL  
File Name: 11.21.16 MARKET STREET

**A210-B**  
EXTERIOR ELEVATIONS

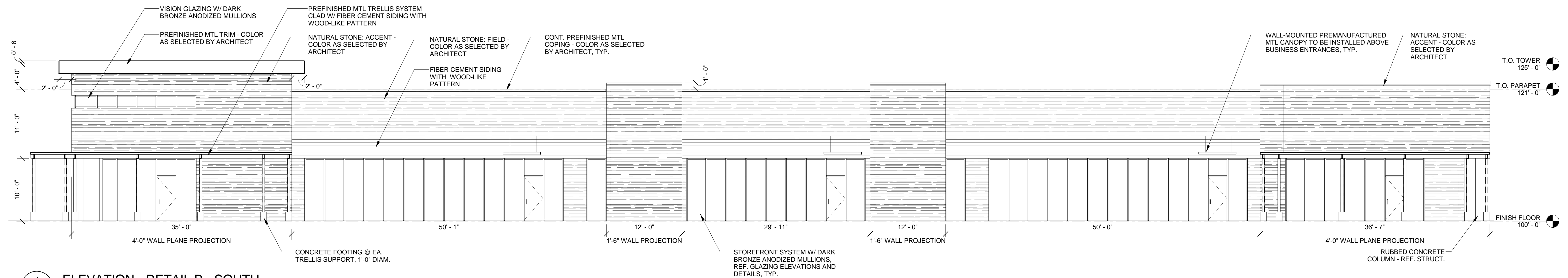


MATERIAL CALCULATIONS				
BUILDING	MASONRY SF	%	MASONRY-LIKE / OTHER SF	%
BUILDING B	7,146 SF	65%	3,823 SF	35%
BUILDING C	4,533 SF	60%	3,021 SF	40%
BUILDING D	4,227 SF	66%	2,259 SF	34%
<b>TOTAL</b>	<b>15,906 SF</b>	<b>63.7%</b>	<b>9,103 SF</b>	<b>36.3%</b>

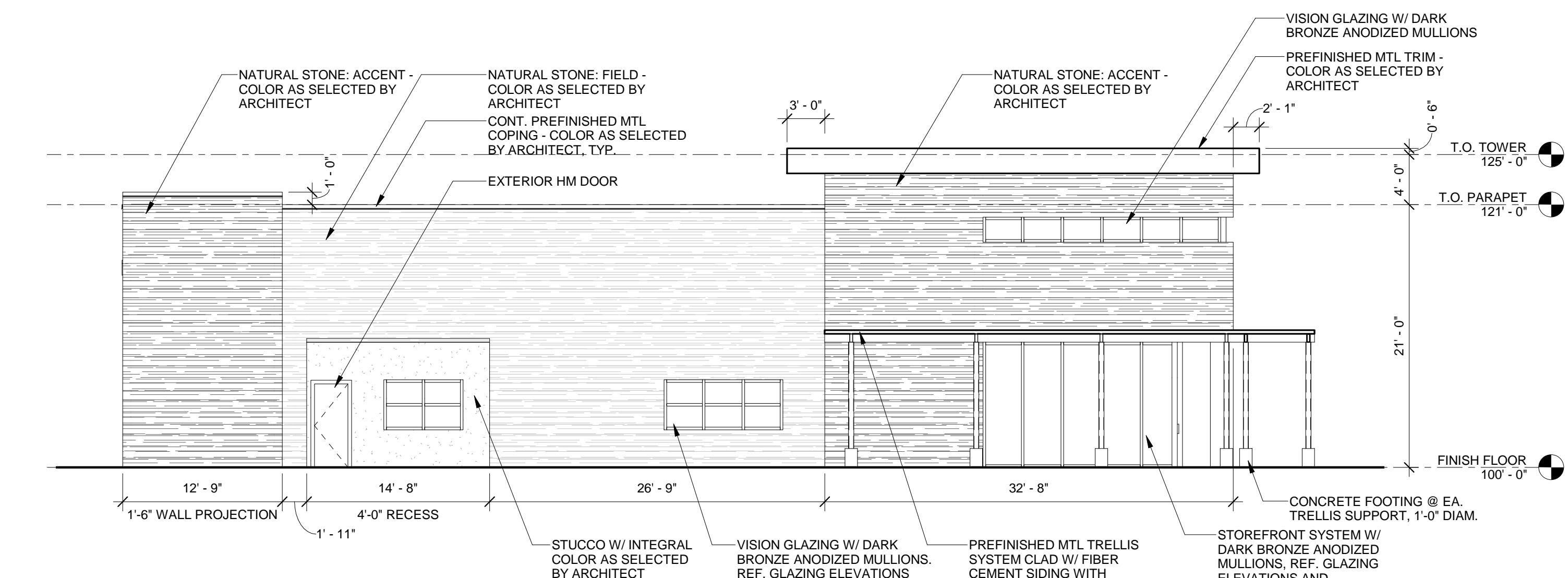
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**GENERAL NOTES**

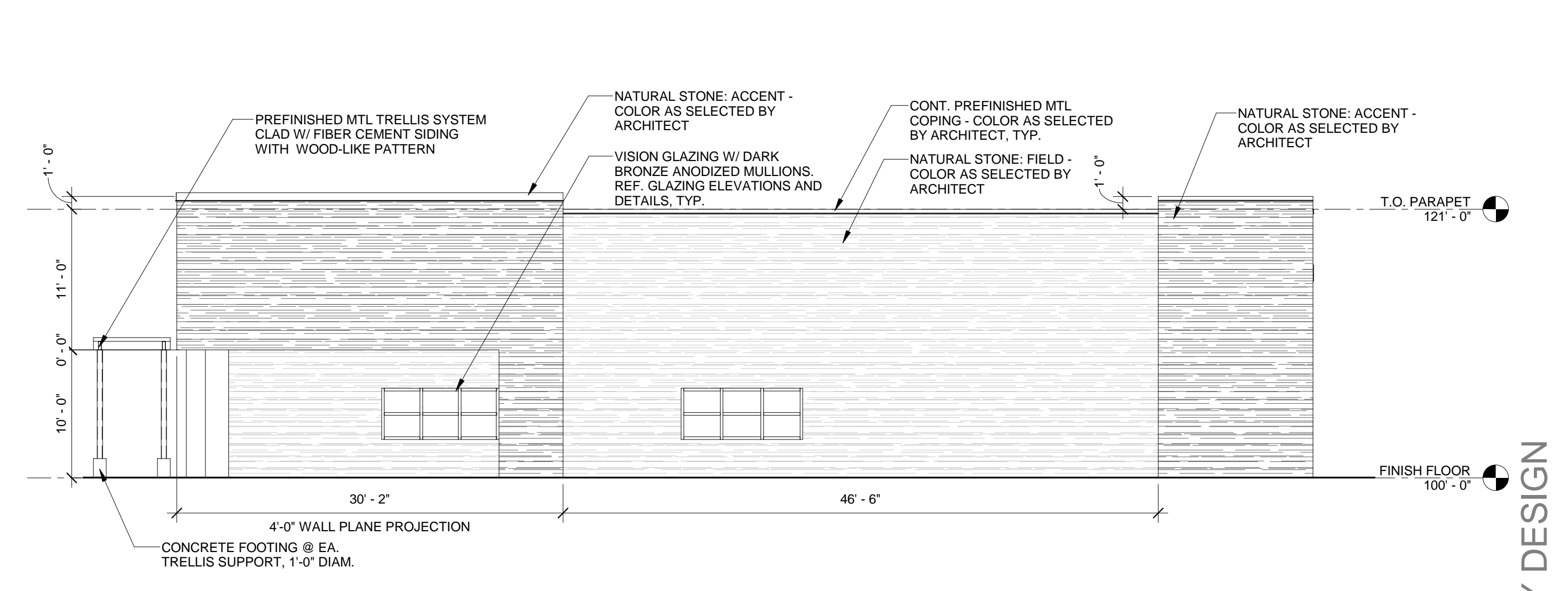
- A. ALL NEW UTILITIES SHALL BE PLACED UNDERGROUND.
- B. BUILDINGS SHALL BE COMPRISED OF 60% MINIMUM MASONRY. ALL FOUR ELEVATIONS SHALL BE CONSTRUCTED OF SIMILAR MATERIALS AND DETAILING.
- C. ALL PROPOSED BUILDING AND SITE LIGHTING SHALL BE FULL-CUT OFF FIXTURES AND SHIELDED AWAY FROM ADJACENT RESIDENTIAL ZONING.
- D. ALL ROOF MOUNTED EQUIPMENT MUST BE FULLY SCREENED FROM VIEW FROM ADJACENT PROPERTIES AND STREETS. PARAPET WALLS SHALL HAVE A HEIGHT AT LEAST 1'-0" GREATER THAN TALLEST MECHANICAL UNIT.
- E. EXPOSED CONDUIT, LADDERS, UTILITY BOXES, STACK PIPES, AND DRAIN SPOUTS SHALL BE PAINTED TO MATCH BUILDING ELEMENTS.



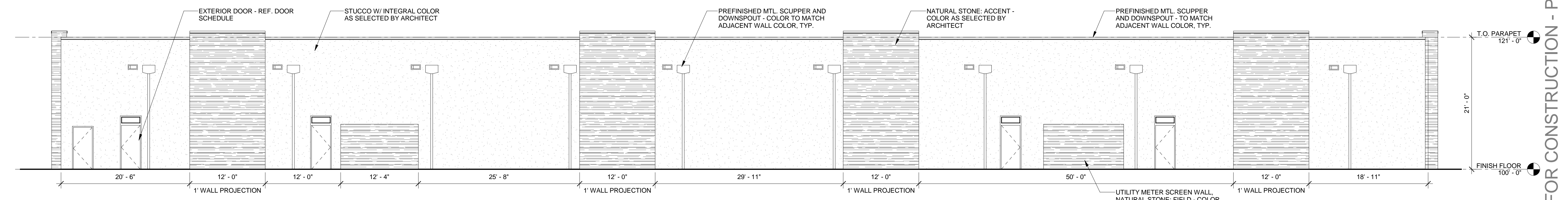
4 ELEVATION - RETAIL B - SOUTH  
1/8" = 1'-0"



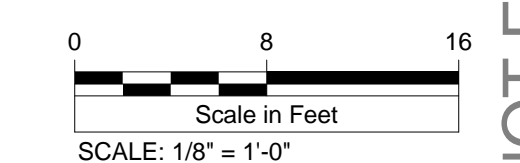
3 ELEVATION - RETAIL B - WEST  
1/8" = 1'-0"



2 ELEVATION - RETAIL B - EAST  
1/8" = 1'-0"



1 ELEVATION - RETAIL B - NORTH  
1/8" = 1'-0"



NOT FOR CONSTRUCTION - PRELIMINARY DESIGN

ZC#16-023  
LEON CAPITAL GROUP  
BROAD STREET MARKETPLACE

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DETAILED SITE PLAN APPLICATION - NOT FOR CONSTRUCTION

01.30.2017  
DRAWN BY | ONYKANNE  
CHECKED BY | TAIT  
REVISIONS

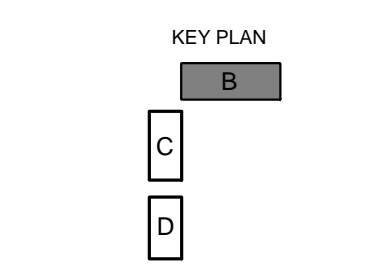


EXHIBIT E.2 - EXTERIOR ELEVATIONS - RETAIL B

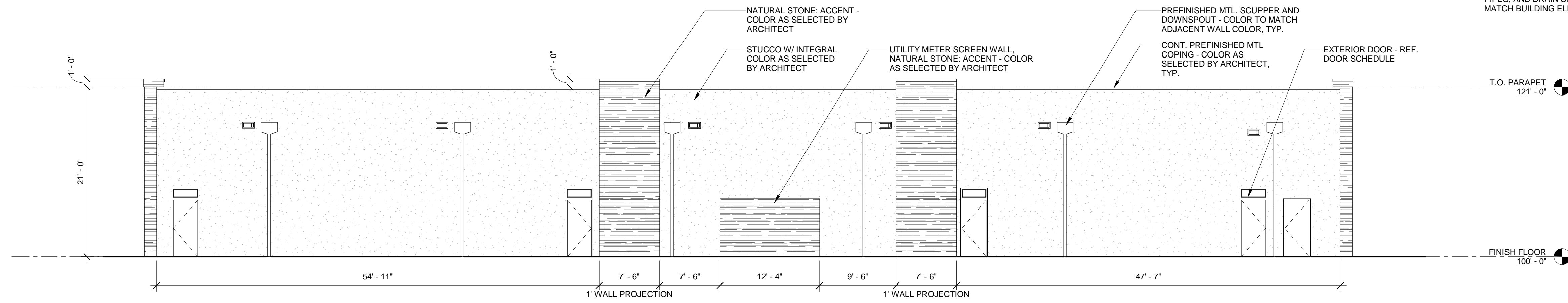
A202

MATERIAL CALCULATIONS				
BUILDING	MASONRY SF	%	MASONRY-LIKE / OTHER SF	%
BUILDING B	7,146 SF	65%	3,823 SF	35%
BUILDING C	4,533 SF	60%	3,021 SF	40%
BUILDING D	4,227 SF	66%	2,259 SF	34%
<b>TOTAL</b>	<b>15,906 SF</b>	<b>63.7%</b>	<b>9,103 SF</b>	<b>36.3%</b>

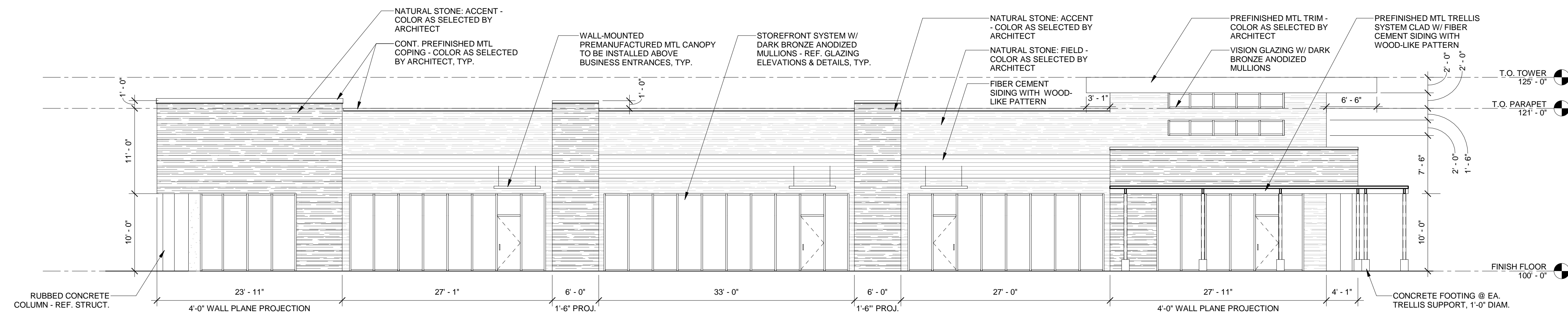
NOTE: MATERIALS ARE DEFINED ABOVE AS SPECIFIED FOR THE C-2 COMMUNITY BUSINESS DISTRICT, SECTION 2200M OF THE CITY OF MANSFIELD ZONING ORDINANCE.

### GENERAL NOTES

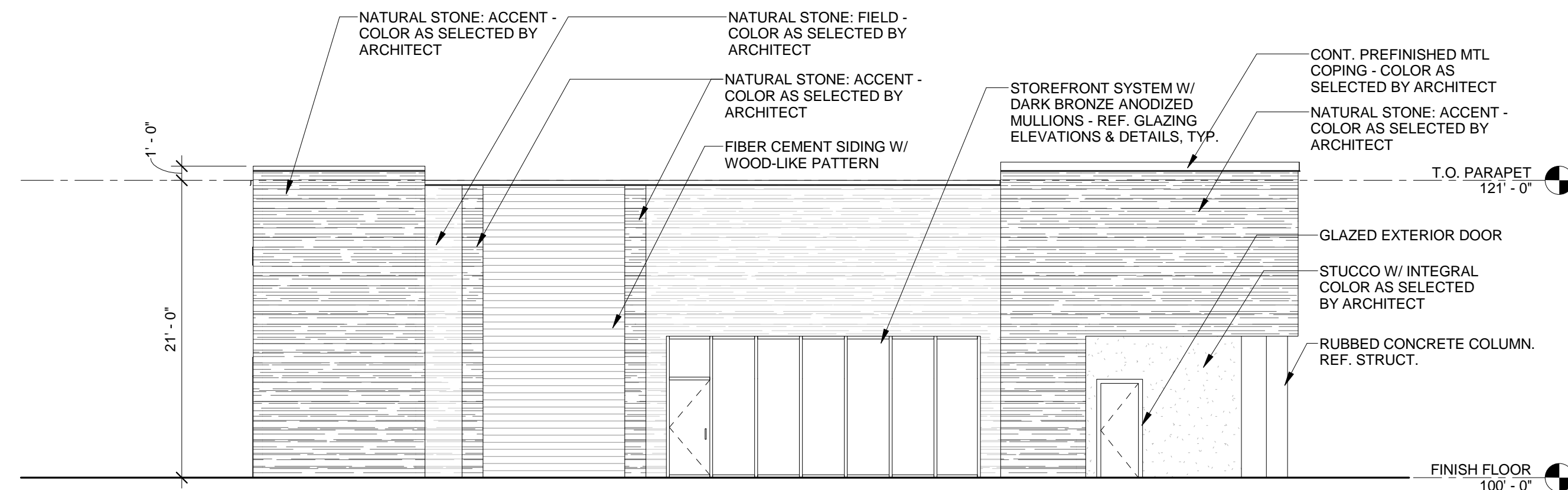
- ALL NEW UTILITIES SHALL BE PLACED UNDERGROUND.
- BUILDINGS SHALL BE COMPRISED OF 70% MINIMUM MASONRY. ALL FOUR ELEVATIONS SHALL BE CONSTRUCTED OF SIMILAR MATERIALS AND DETAILING.
- ALL PROPOSED BUILDING AND SITE LIGHTING SHALL BE FULL-CUT OFF FIXTURES AND SHIELDED AWAY FROM ADJACENT RESIDENTIAL ZONING.
- ALL ROOF MOUNTED EQUIPMENT MUST BE FULLY SCREENED FROM VIEW FROM ADJACENT PROPERTIES AND STREETS. PARAPET WALLS SHALL HAVE A HEIGHT AT LEAST 1'-0" GREATER THAN TALLEST MECHANICAL UNIT.
- EXPOSED CONDUIT, LADDERS, UTILITY BOXES, STACK PIPES, AND DRAIN SPOUTS SHALL BE PAINTED TO MATCH BUILDING ELEMENTS.



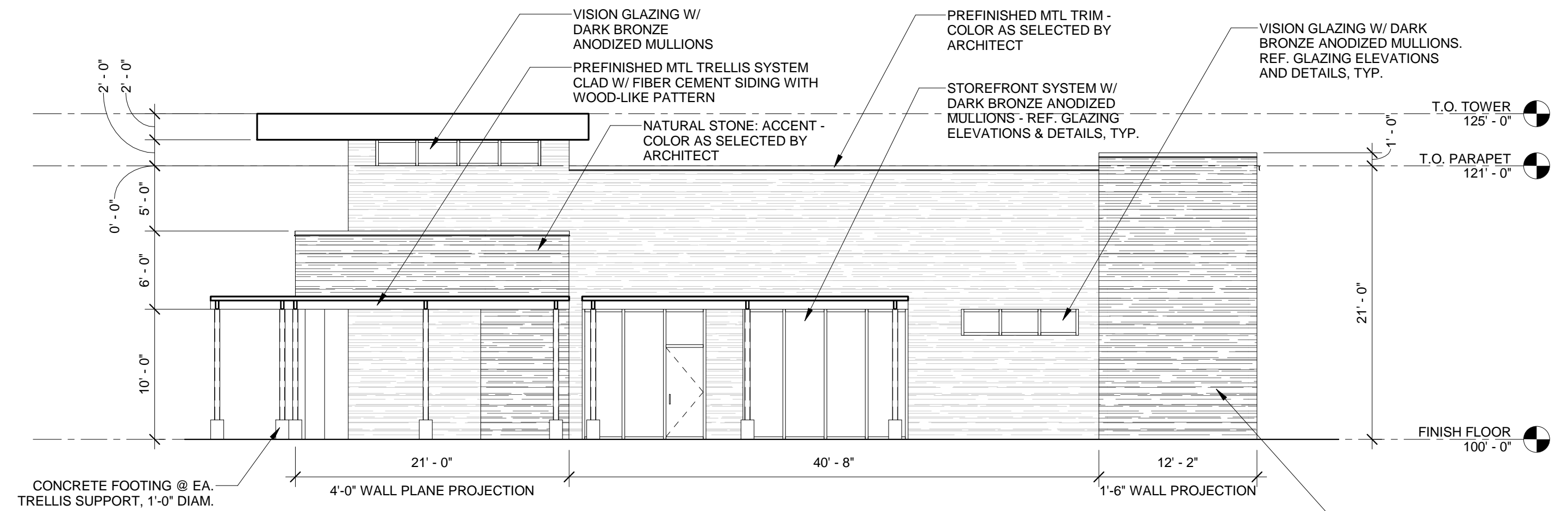
4 ELEVATION - RETAIL C - WEST  
A203 1/8" = 1'-0"



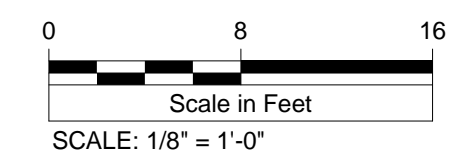
3 ELEVATION - RETAIL C - EAST  
A203 1/8" = 1'-0"



2 ELEVATION - RETAIL C - SOUTH  
A203 1/8" = 1'-0"



1 ELEVATION - RETAIL C - NORTH  
A203 1/8" = 1'-0"



ZC#16-023  
 LEON CAPITAL GROUP  
**BROAD STREET MARKETPLACE**

NOT FOR CONSTRUCTION - PRELIMINARY DESIGN

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DETAILED SITE PLAN APPLICATION - NOT FOR CONSTRUCTION

01.30.2017  
DRAWN BY | ONYKANNE  
CHECKED BY | TAIT  
REVISIONS

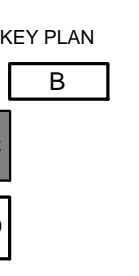


EXHIBIT E.3 - EXTERIOR ELEVATIONS - RETAIL C

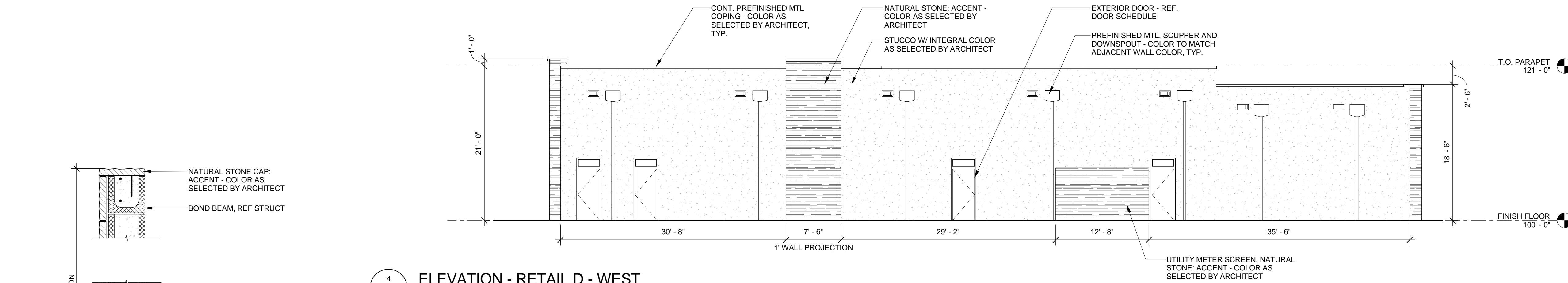
**A203**

MATERIAL CALCULATIONS				
BUILDING	MASONRY SF	%	MASONRY-LIKE / OTHER SF	%
BUILDING B	7,146 SF	65%	3,823 SF	35%
BUILDING C	4,533 SF	60%	3,021 SF	40%
BUILDING D	4,227 SF	66%	2,259 SF	34%
<b>TOTAL</b>	<b>15,906 SF</b>	<b>63.7%</b>	<b>9,103 SF</b>	<b>36.3%</b>

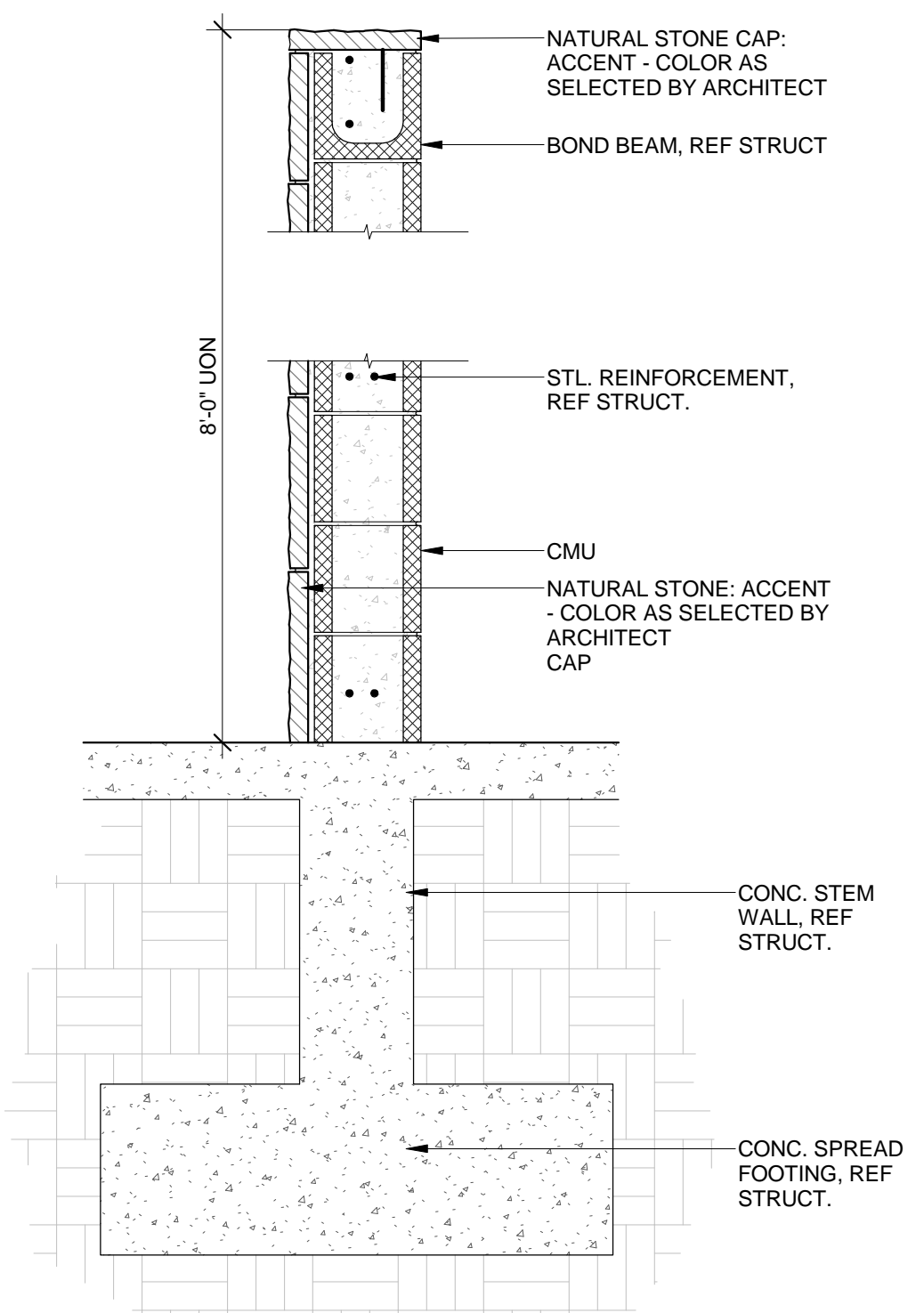
NOTE: MATERIALS ARE DEFINED ABOVE AS SPECIFIED FOR THE C-2 COMMUNITY BUSINESS DISTRICT, SECTION 2200M OF THE CITY OF MANSFIELD ZONING ORDINANCE.

### GENERAL NOTES

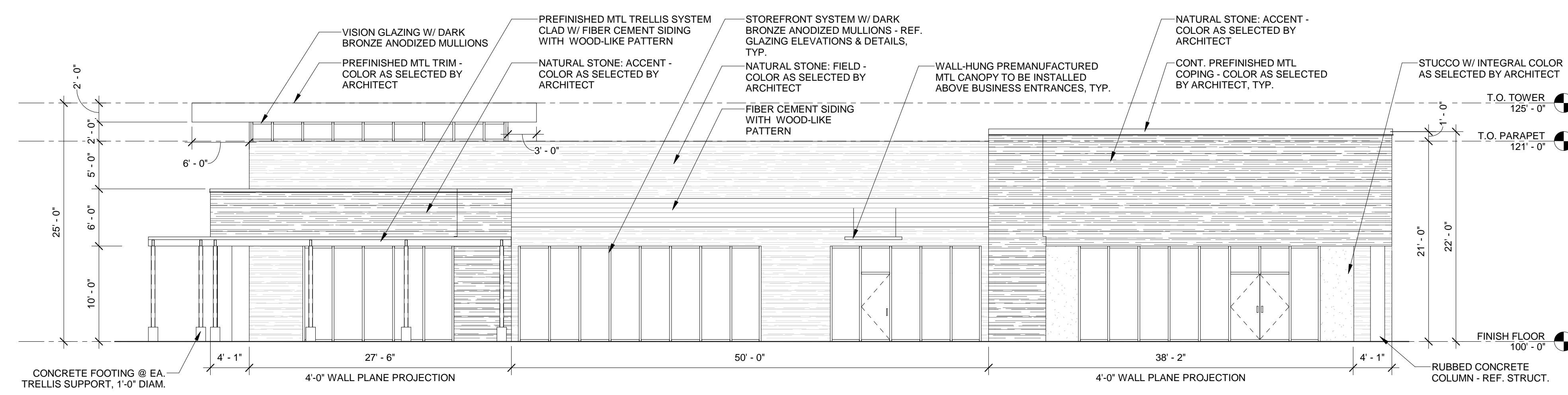
- A. ALL NEW UTILITIES SHALL BE PLACED UNDERGROUND.
- B. BUILDINGS SHALL BE COMPRISED OF 70% MINIMUM MASONRY. ALL FOUR ELEVATIONS SHALL BE CONSTRUCTED OF SIMILAR MATERIALS AND DETAILING.
- C. ALL PROPOSED BUILDING AND SITE LIGHTING SHALL BE FULL-CUT OFF FIXTURES AND SHIELDED AWAY FROM ADJACENT RESIDENTIAL ZONING.
- D. ALL ROOF MOUNTED EQUIPMENT MUST BE FULLY SCREENED FROM VIEW FROM ADJACENT PROPERTIES AND STREETS. PARAPET WALLS SHALL HAVE A HEIGHT AT LEAST 1'-0" GREATER THAN TALLEST MECHANICAL UNIT.
- E. EXPOSED CONDUIT, LADDERS, UTILITY BOXES, STACK PIPES, AND DRAIN SPOUTS SHALL BE PAINTED TO MATCH BUILDING ELEMENTS.



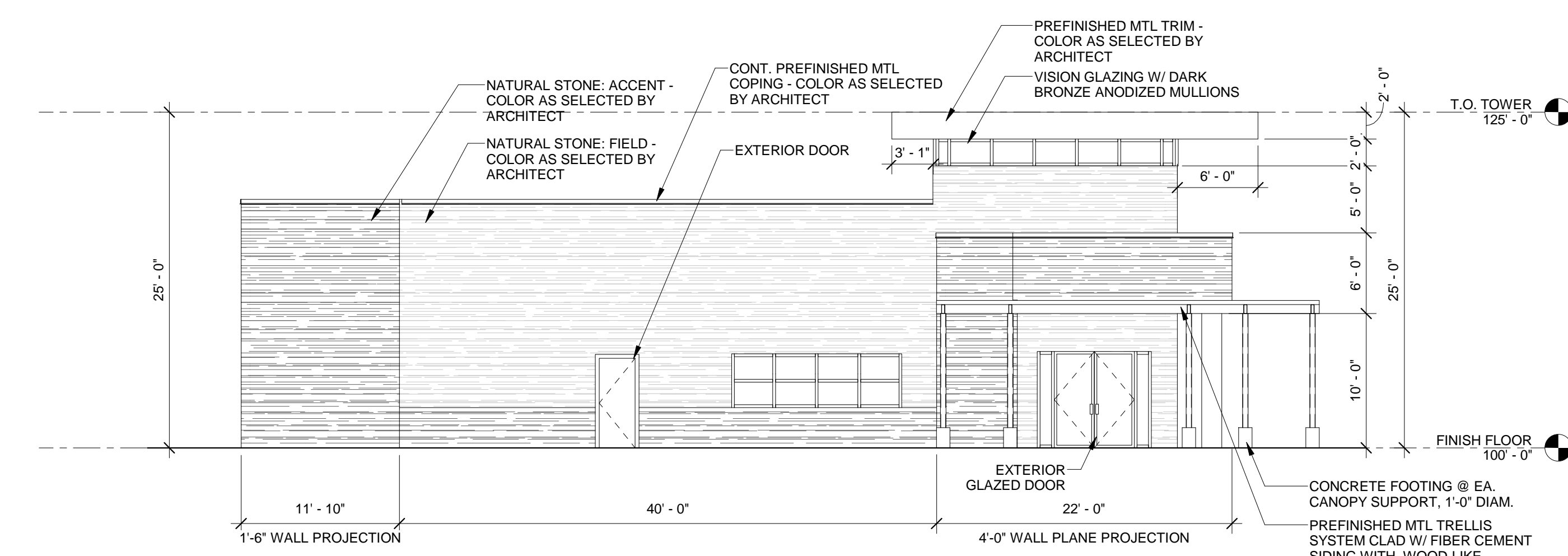
4 ELEVATION - RETAIL D - WEST  
1/8" = 1'-0"



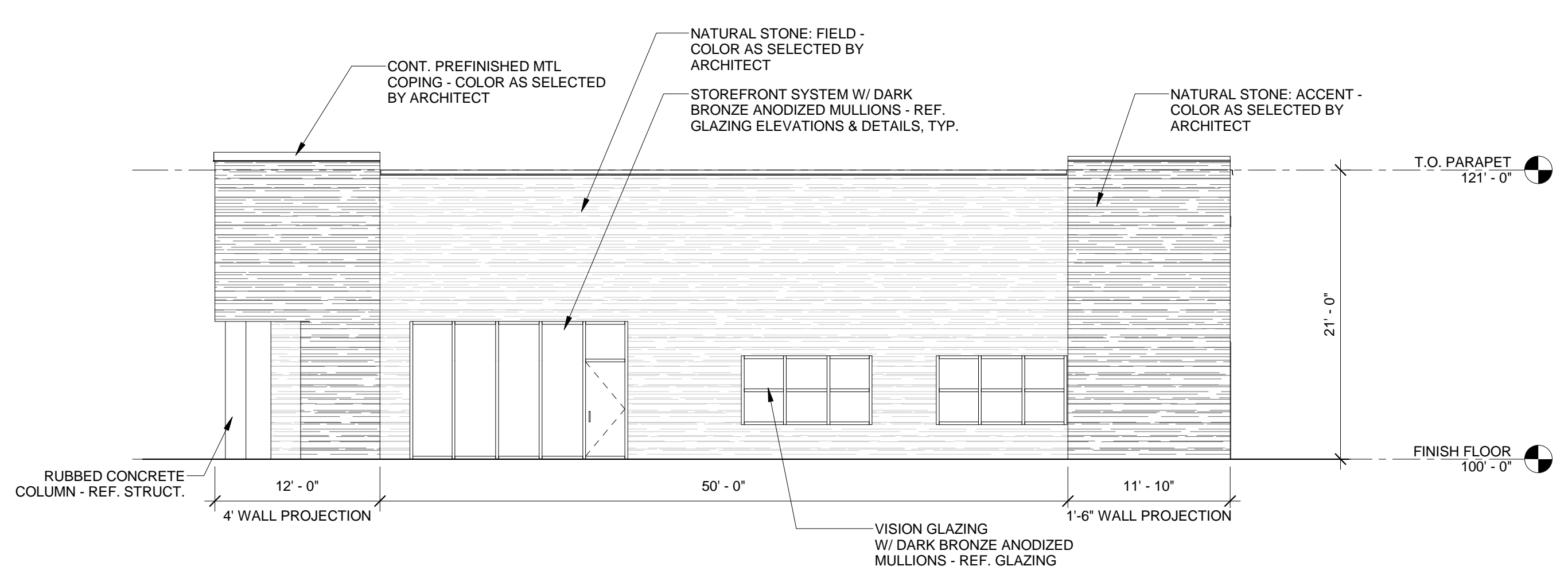
5 SECTION - SCREEN WALL  
1" = 1'-0"



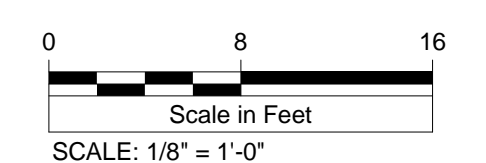
3 ELEVATION - RETAIL D - EAST  
1/8" = 1'-0"



2 ELEVATION - RETAIL D - SOUTH  
1/8" = 1'-0"



1 ELEVATION - RETAIL D - NORTH  
1/8" = 1'-0"



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ZC#16-023  
LEON CAPITAL GROUP  
**BROAD STREET MARKETPLACE**

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REVISIONS

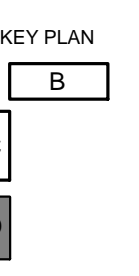
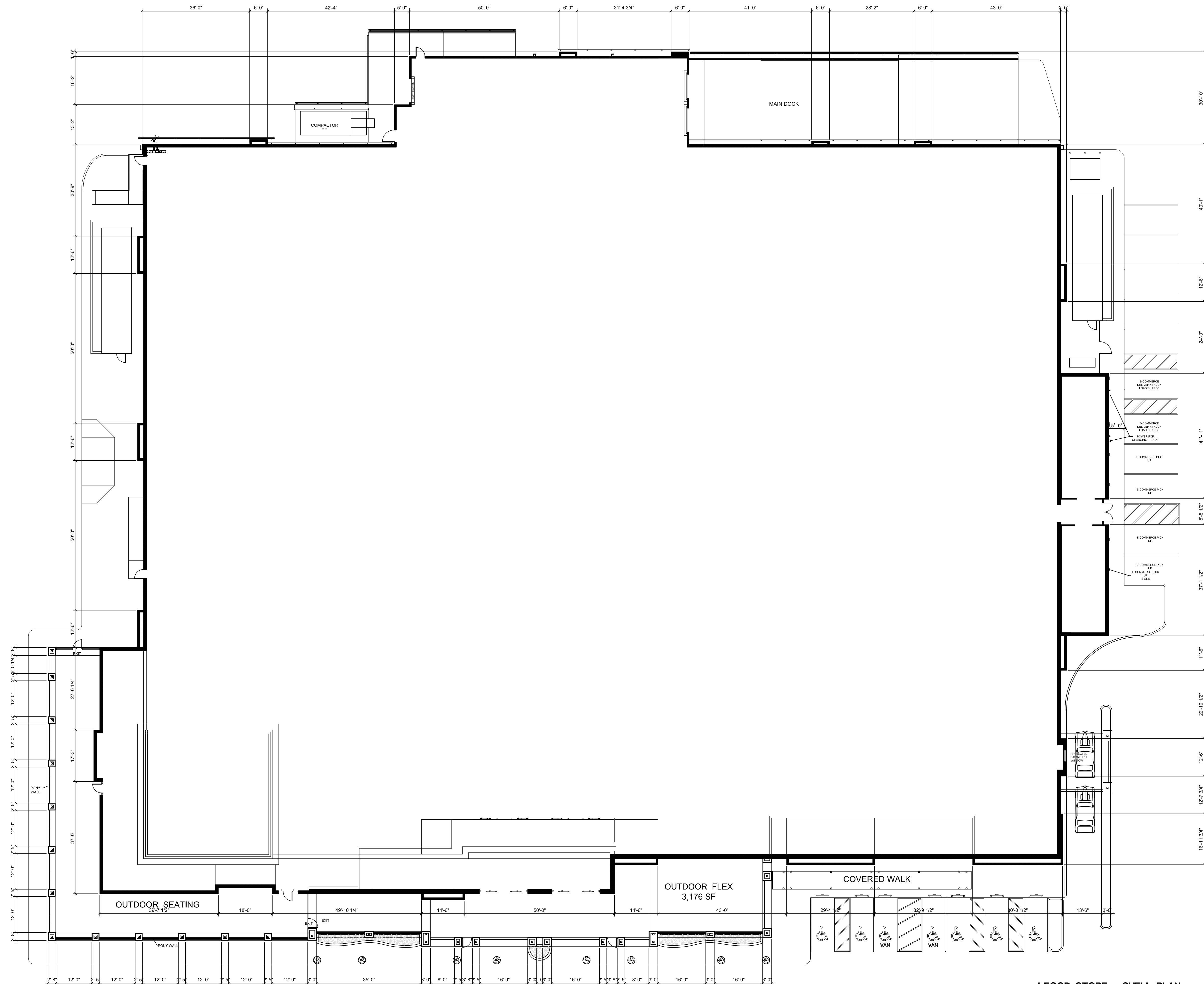


EXHIBIT E.4 - EXTERIOR ELEVATIONS - RETAIL D

**A204**



**1 FOOD STORE - SHELL PLAN**  
 1/16" = 1'-0"  
 21 February 2017

Issue Dates:  
 DETAILED SITE PLAN APP 11-21-16

**Heights Venture**  
 ARCHITECTURE DESIGN  
 HOUSTON DALLAS  
 1111 North Loop West, Suite 600 5717 Legacy Drive, Suite 240  
 Houston, Texas 77008 Plano, Texas 75024  
 713 869 1103 V 972 490 7292 V

Robert R. Holton, AIA  
 TX Registration #14938

Not for Regulatory Approval,  
 Permit, or Construction.

**BROAD STREET  
 MARKETPLACE  
 ZC #16-023**

MANSFIELD

Project Number:  
 16126-001

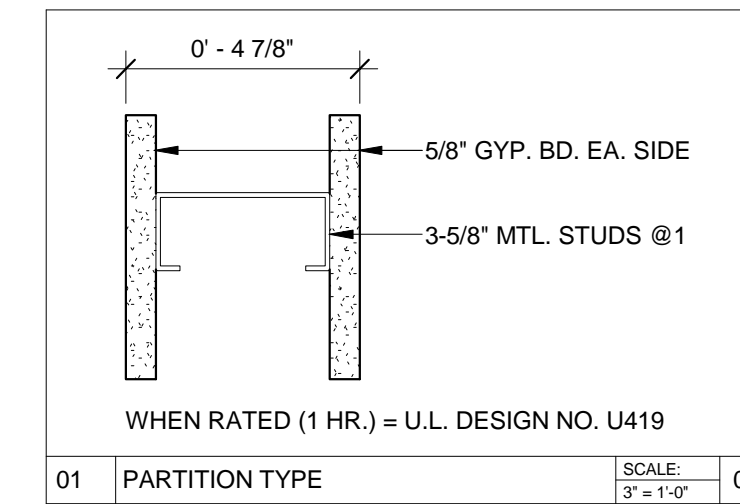
Date Plotted:  
 DECEMBER 07, 2016

Drawn By: FL Checked By: FL

File Name:  
 11.21.16 MARKET STREET

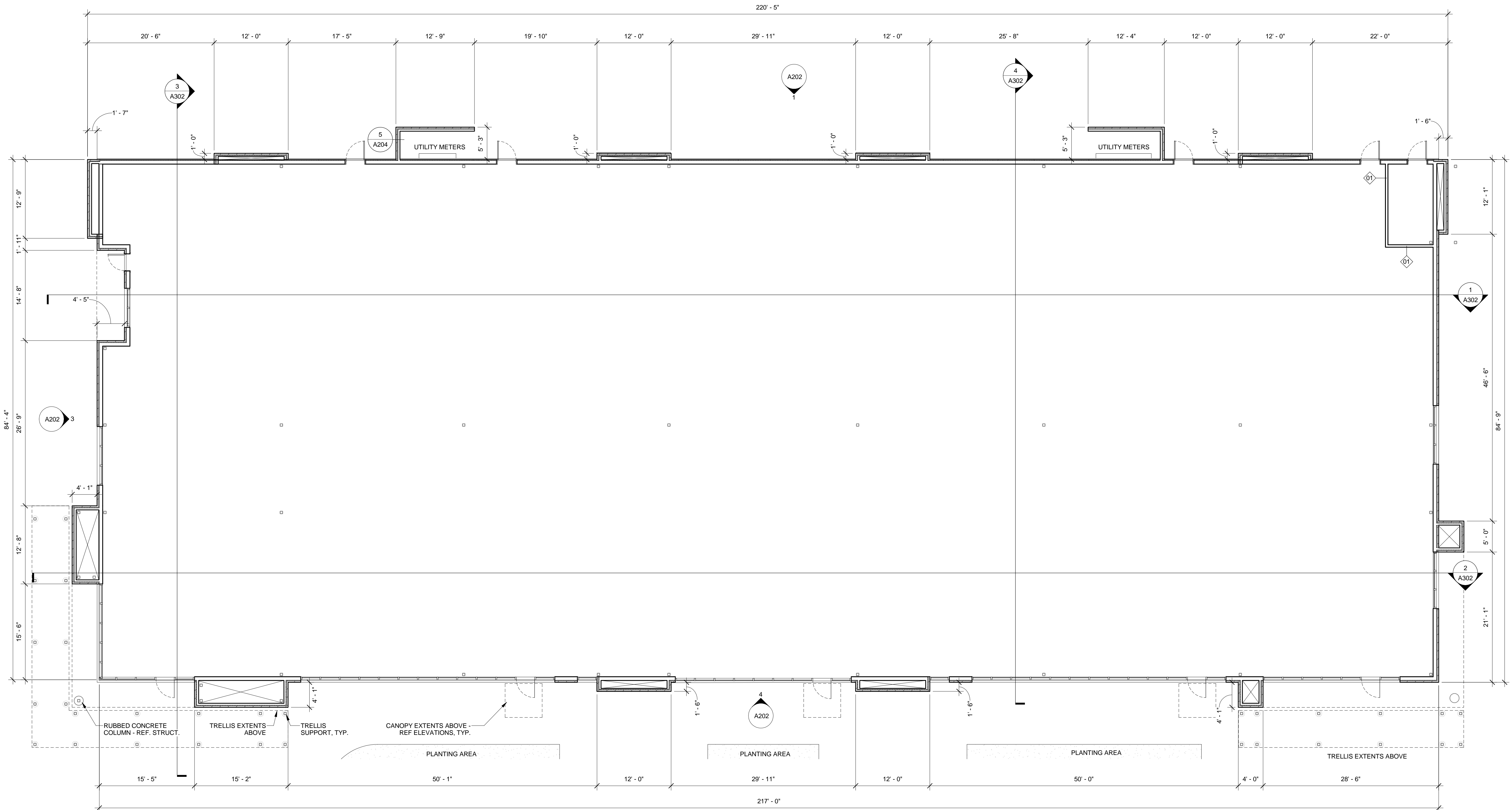
**A101**  
 EXHIBIT G.1



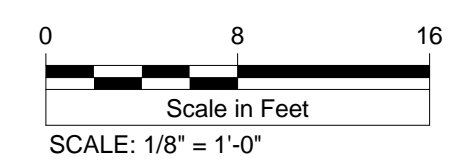


**PLAN LEGEND**

- WALL TYPE (SEE SHEET A102)
- WALL TYPE NOTE
- ROOM NUMBER
- WINDOW TYPE (SEE SHEET A602)
- PLAN NOTE
- SIM - DETAIL OR SECTION NUMBER
- A101 - SHEET WHERE DRAWN
- 101.1 - DOOR NUMBER (SEE SHEET A601)



1 FIRST FLOOR PLAN - RETAIL B  
A102 1/8" = 1'-0"



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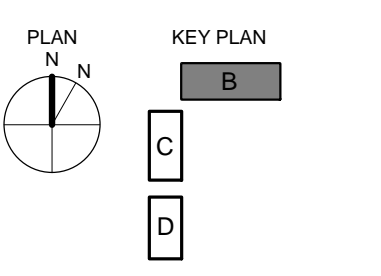
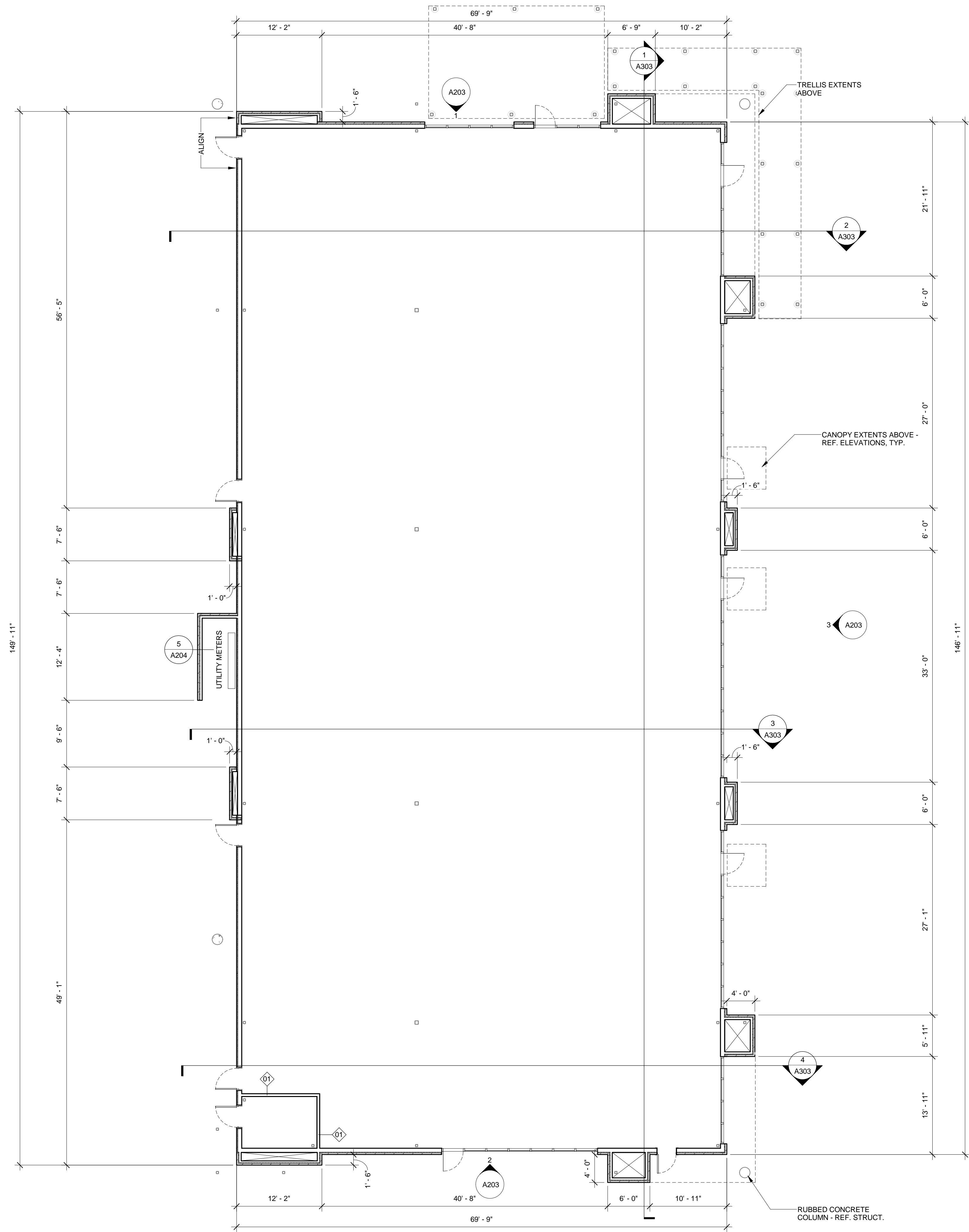


EXHIBIT G.2 - FLOOR  
PLAN - RETAIL B

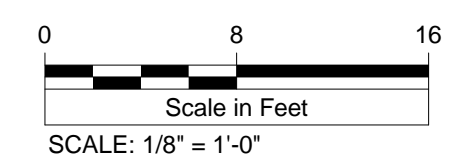
**A102**



PLAN LEGEND

- WALL TYPE (SEE SHEET A102)
- WALL TYPE NOTE
- ROOM NUMBER
- WINDOW TYPE (SEE SHEET A602)
- PLAN NOTE
- SIM  
DETAIL OR SECTION NUMBER
- SHEET WHERE DRAWN
- DOOR NUMBER (SEE SHEET A601)

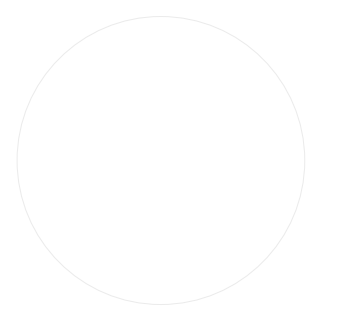
1 FIRST FLOOR PLAN - RETAIL C  
A103 1/8" = 1'-0"



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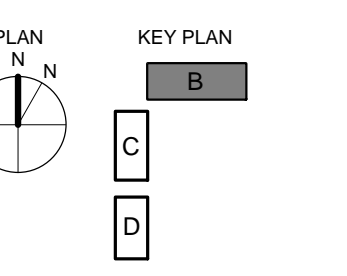


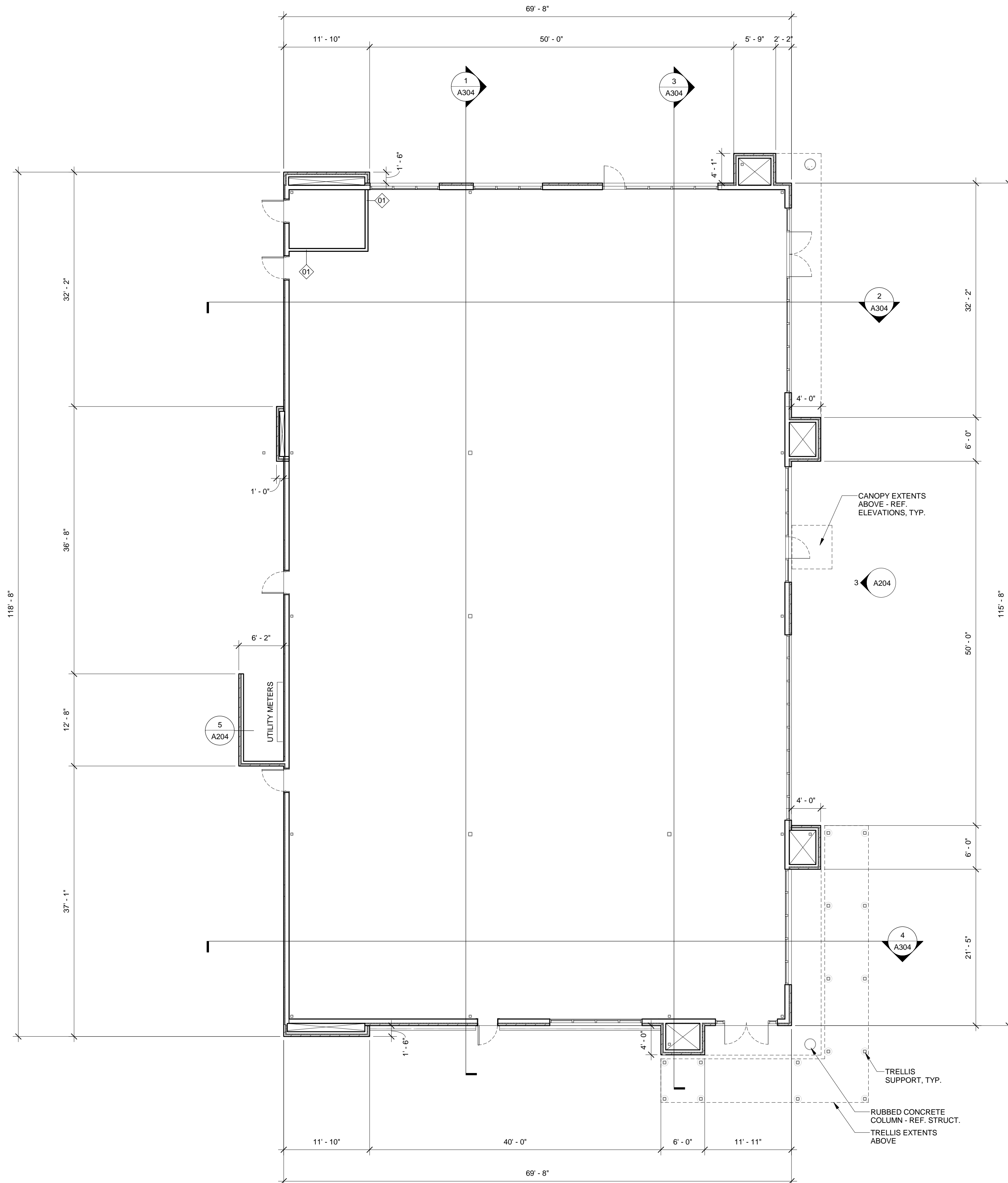
EXHIBIT G.3 - FLOOR  
PLAN - RETAIL C

**A103**

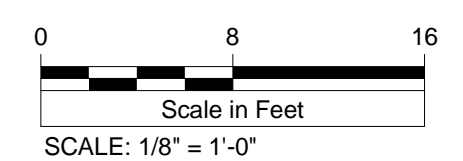


**PLAN LEGEND**

- WALL TYPE (SEE SHEET A102)
- WALL TYPE NOTE
- ROOM NUMBER
- WINDOW TYPE (SEE SHEET A602)
- PLAN NOTE
- SIM
- DETAIL OR SECTION NUMBER
- SHEET WHERE DRAWN
- DOOR NUMBER (SEE SHEET A601)



**1**  
A104  
**FIRST FLOOR PLAN - RETAIL D**  
1/8" = 1'-0"



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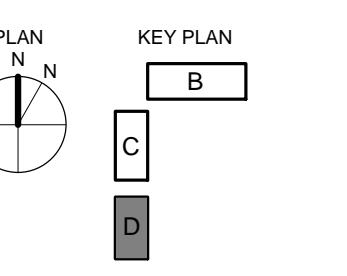
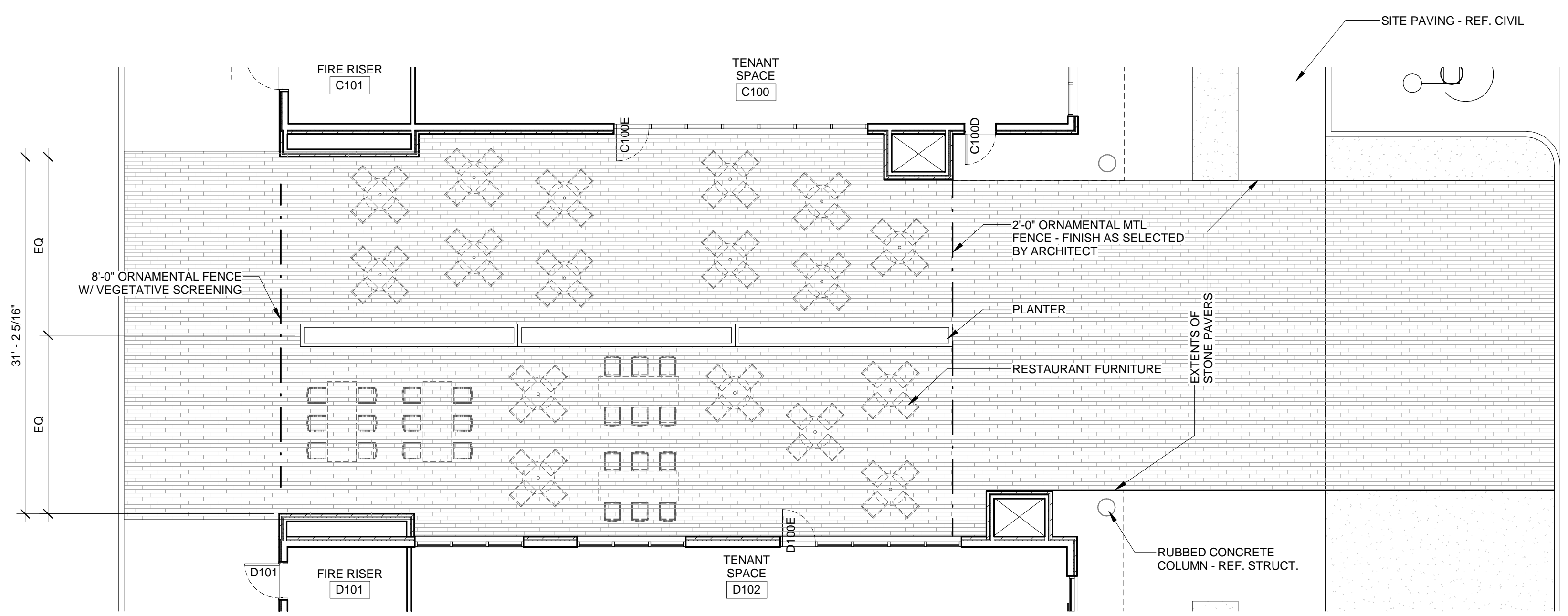


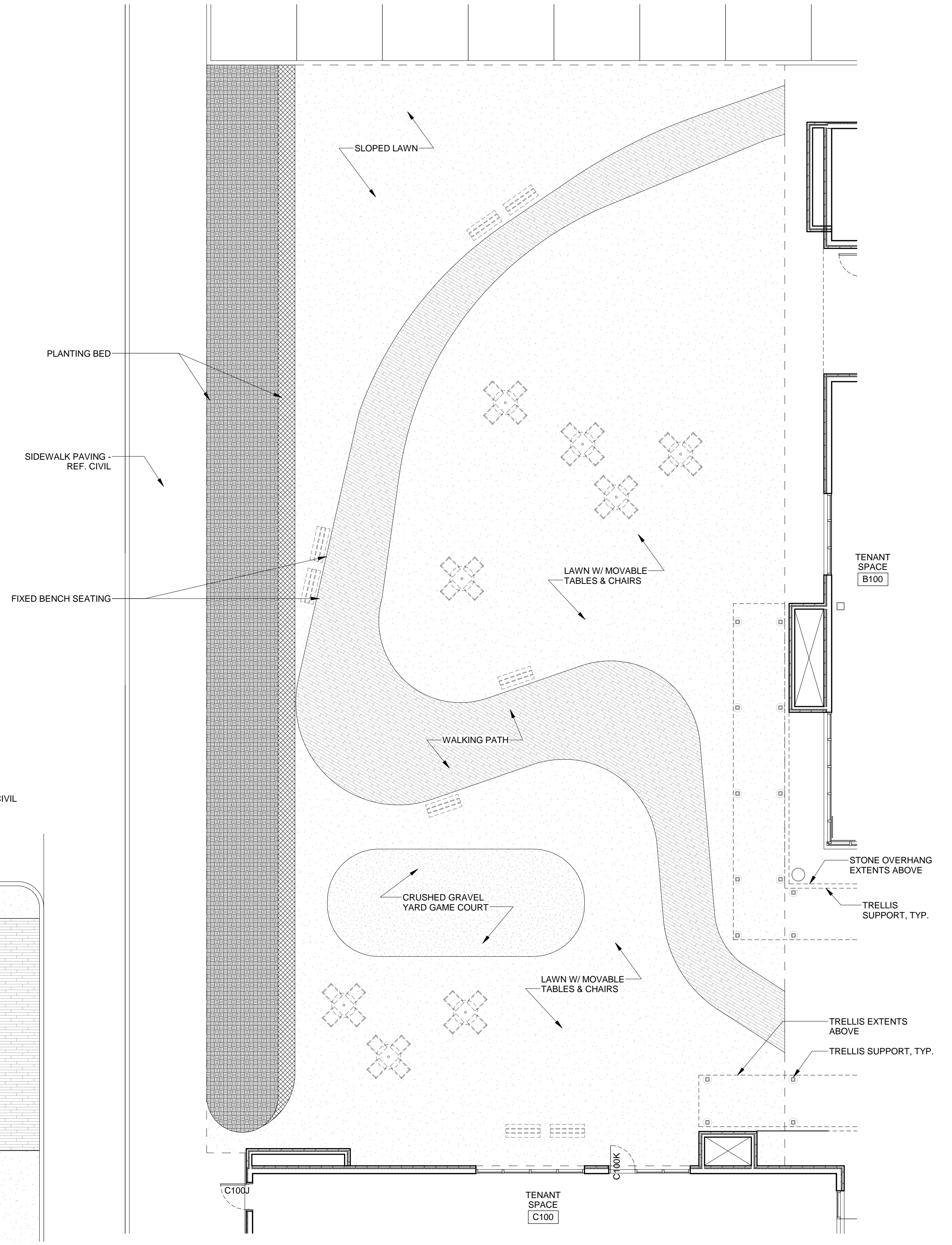
EXHIBIT G.4 - FLOOR  
PLAN - RETAIL D

**A104**

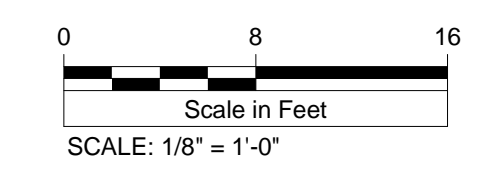
NOT FOR CONSTRUCTION - PRELIMINARY DESIGN



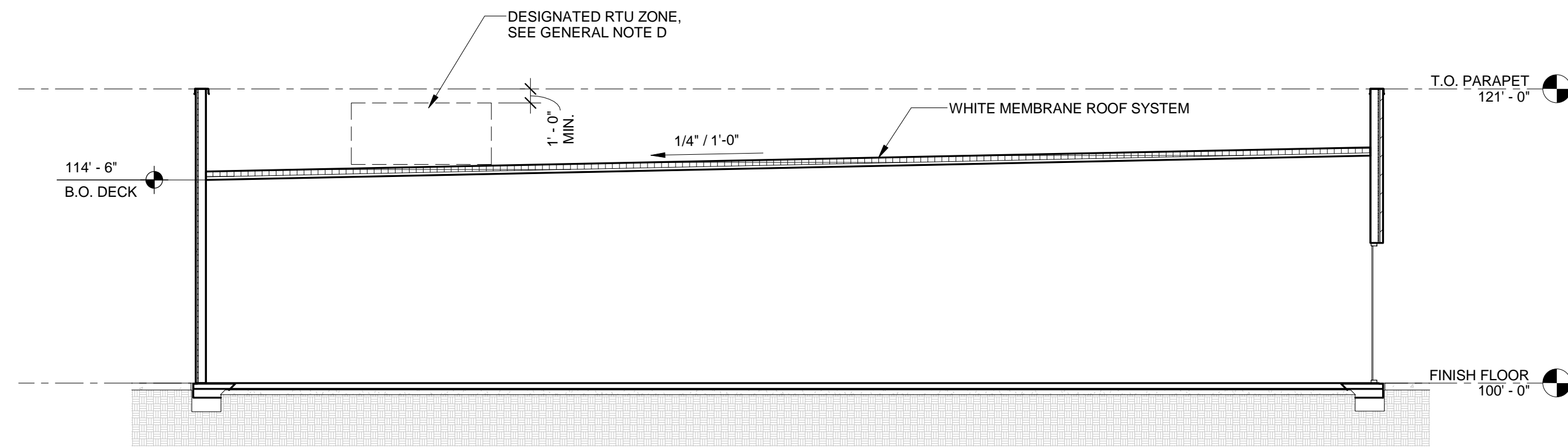
**2 EXTERIOR PATIO PLAN 2A105**  
1/8" = 1'-0"



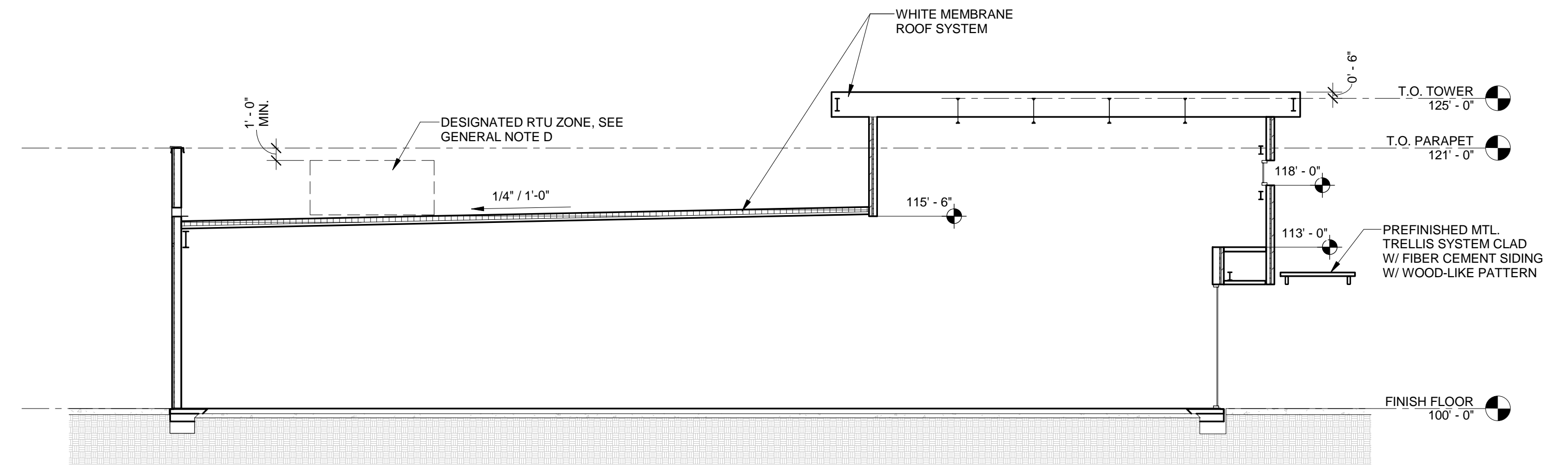
**1 ENLARGED SITE PLAN - COURTYARD**  
1/8" = 1'-0"



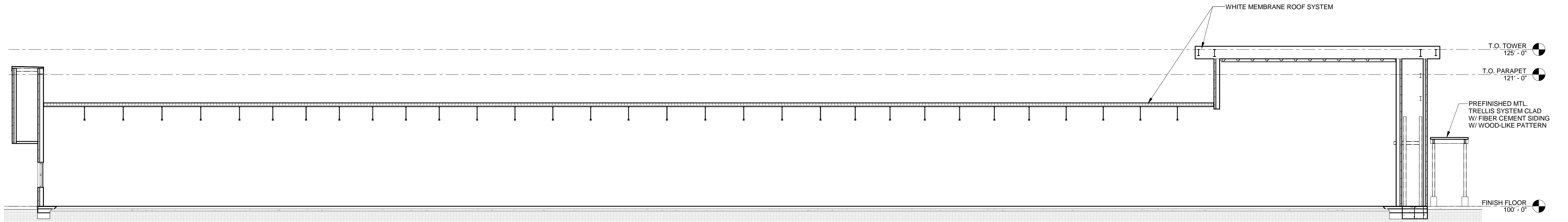
21 February 2017



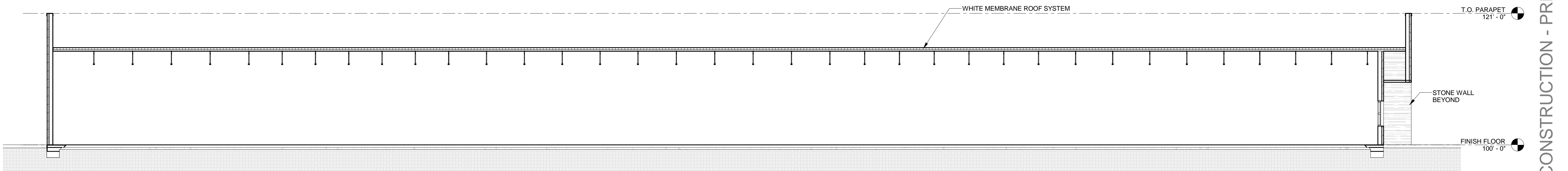
4 BUILDING SECTION  
A302 1/8" = 1'-0"



3 BUILDING SECTION  
A302 1/8" = 1'-0"



2 BUILDING SECTION  
A302 1/8" = 1'-0"



1 BUILDING SECTION  
A302 1/8" = 1'-0"

ZC#16-023  
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**BROAD STREET MARKETPLACE**

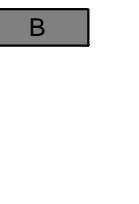
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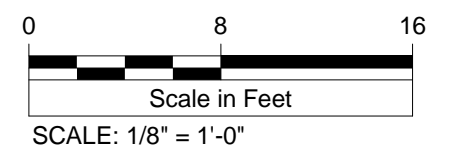
01.30.2017  
DRAWN BY | ONYEKANNE  
CHECKED BY | TAIT  
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KEY PLAN

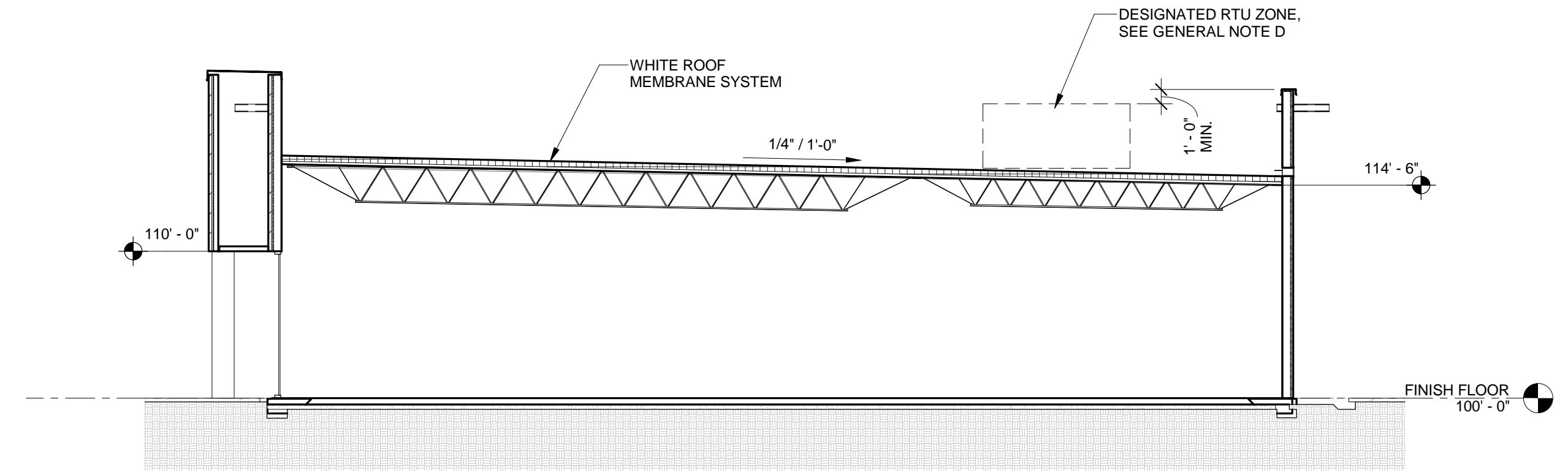


BUILDING SECTIONS -  
RETAIL B

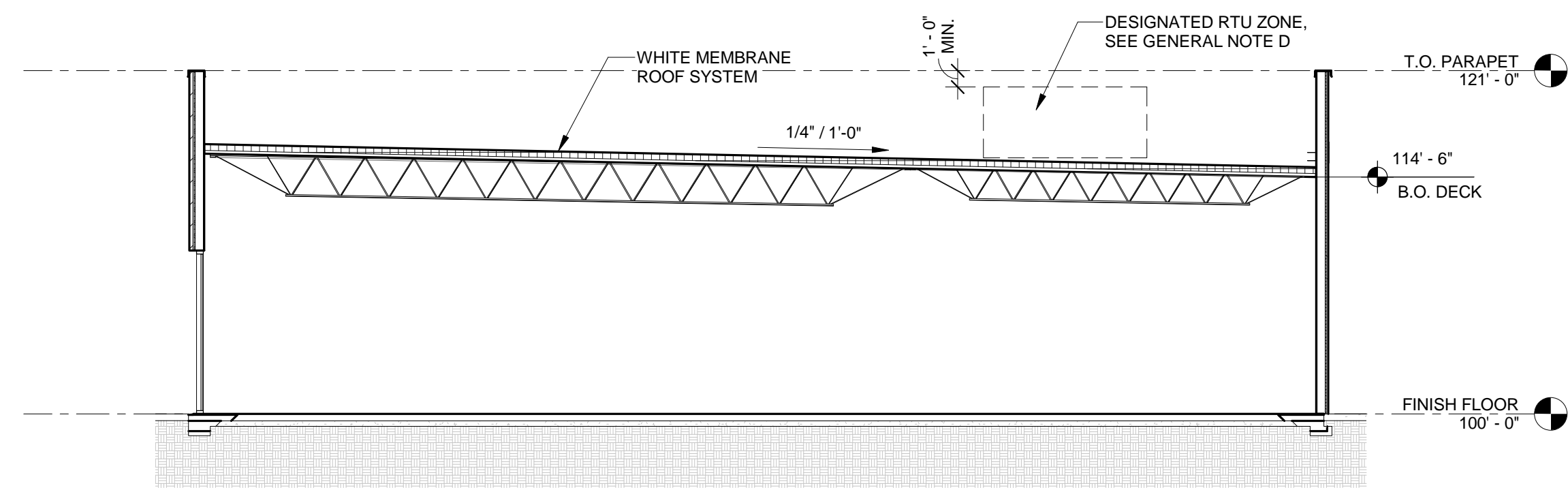
**A302**



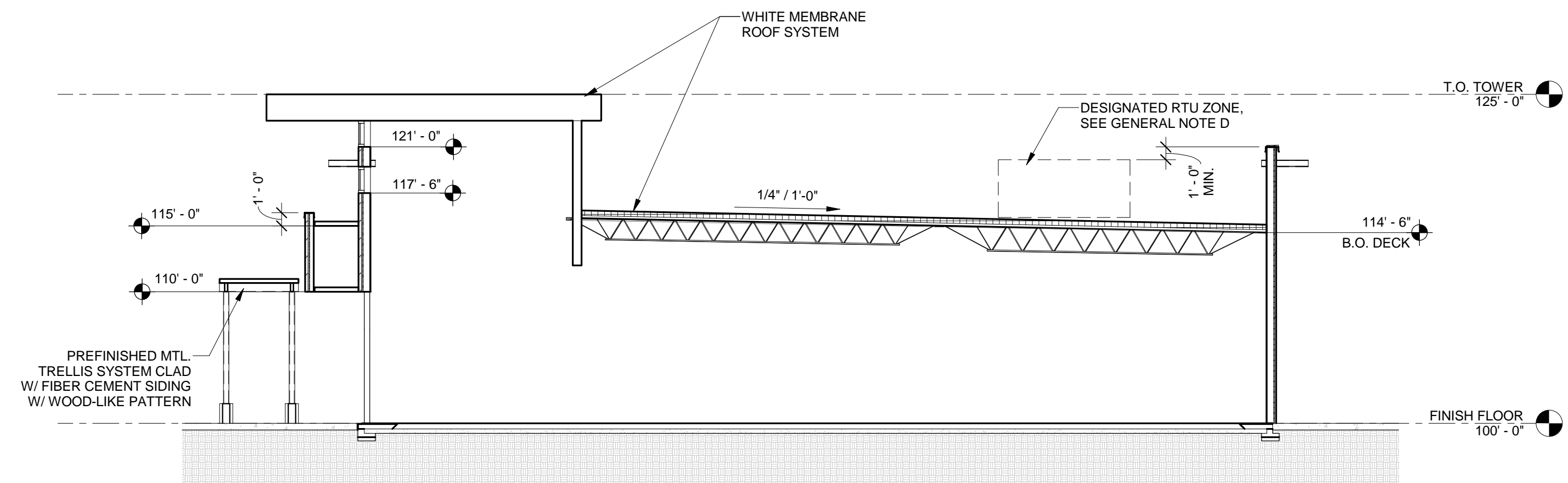




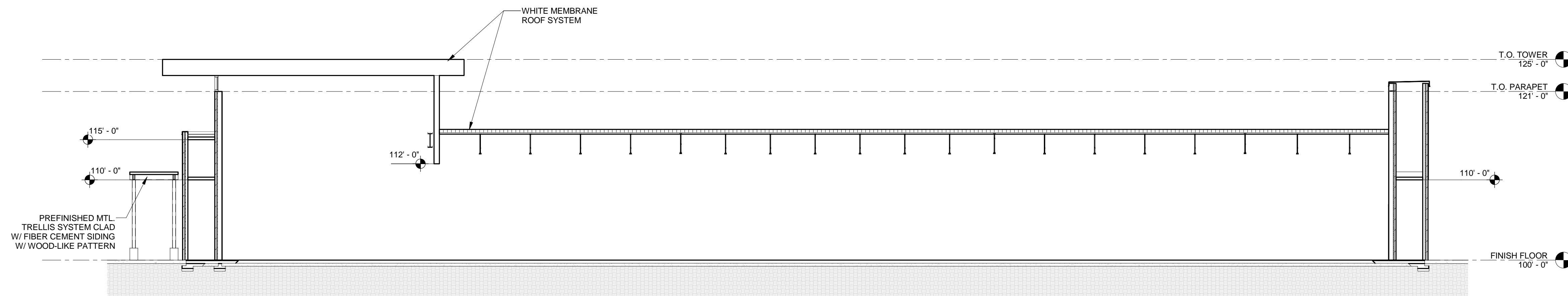
4 BUILDING C - 4  
A303 1/8" = 1'-0"



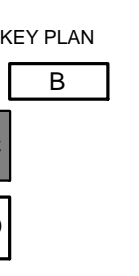
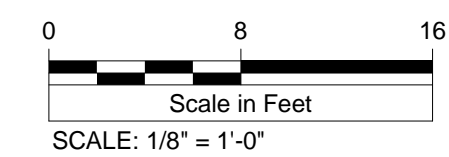
3 BUILDING SECTION  
A303 1/8" = 1'-0"

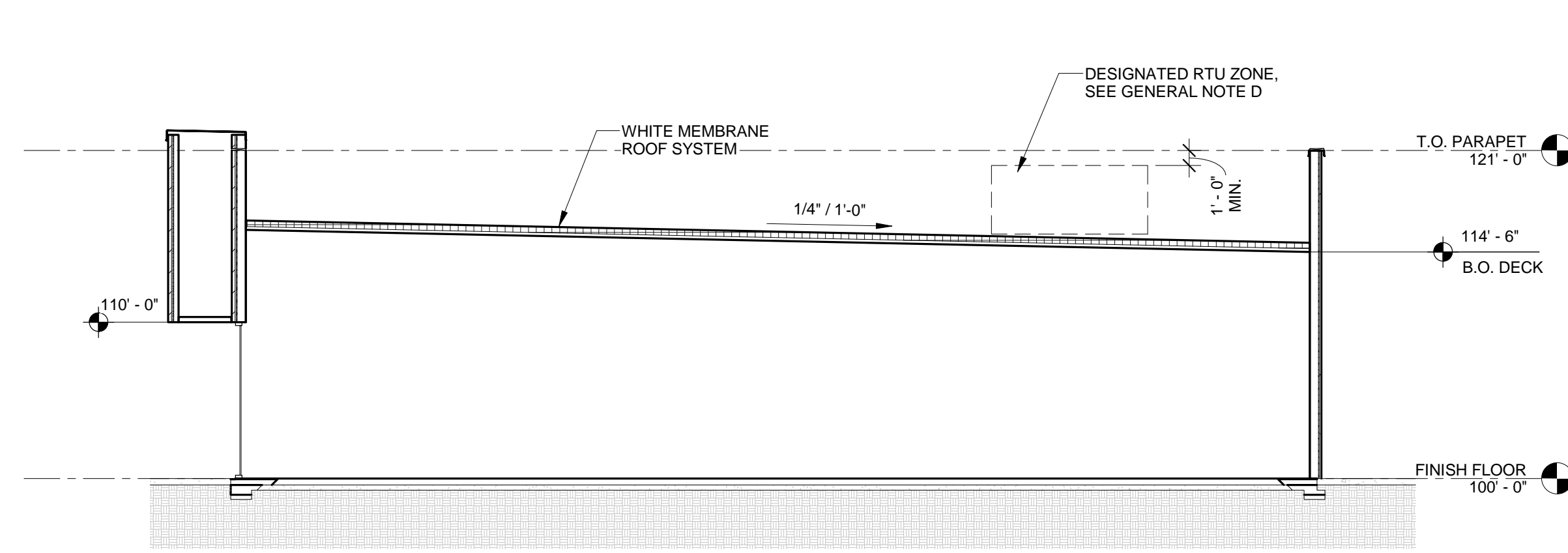


2 BUILDING SECTION  
A303 1/8" = 1'-0"

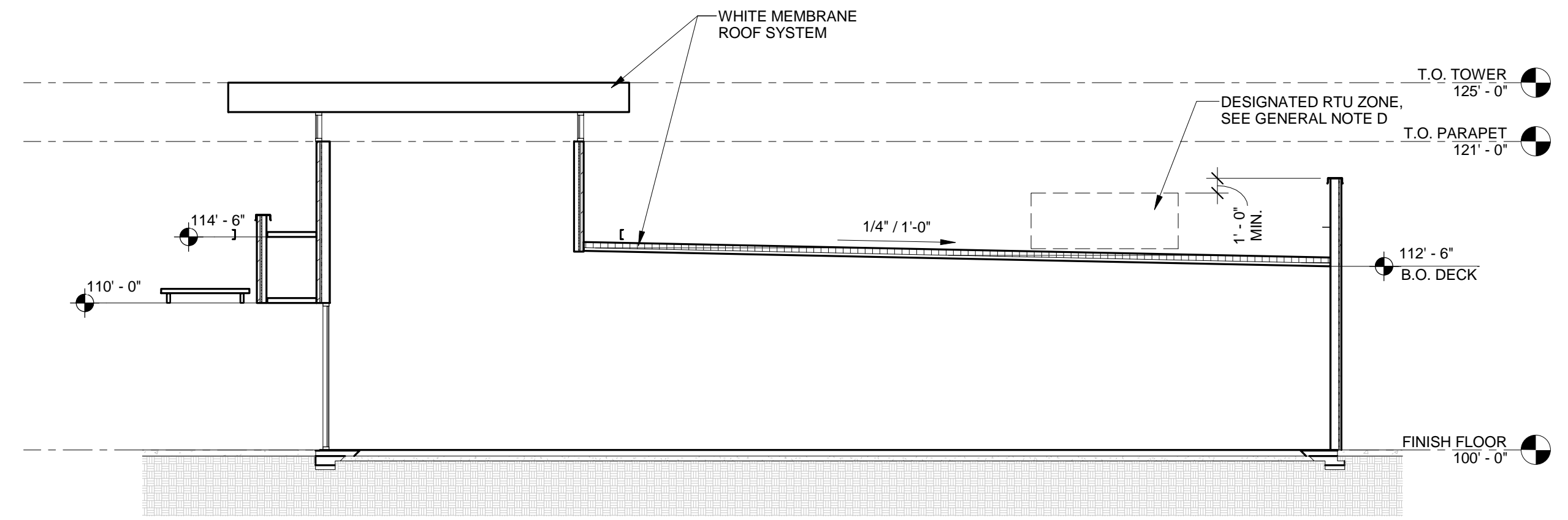


1 BUILDING SECTION  
A303 1/8" = 1'-0"

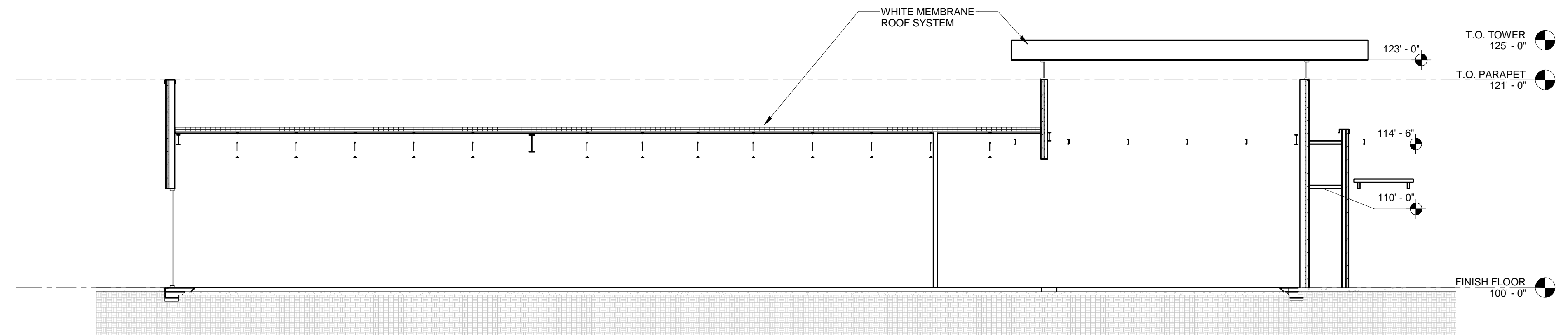




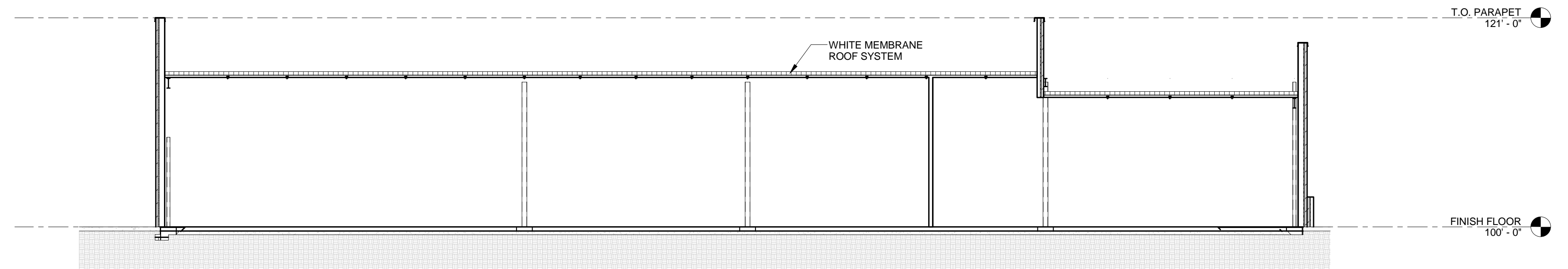
2 BUILDING SECTION  
A304 1/8" = 1'-0"



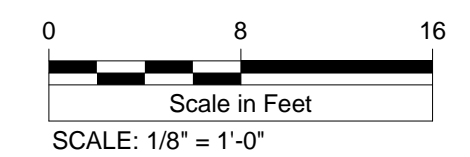
4 BUILDING SECTION  
A304 1/8" = 1'-0"



3 BUILDING SECTION  
A304 1/8" = 1'-0"



1 BUILDING SECTION  
A304 1/8" = 1'-0"



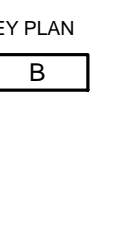
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ZC#16-023  
LEON CAPITAL GROUP  
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BUILDING SECTIONS -  
RETAIL D

**A304**

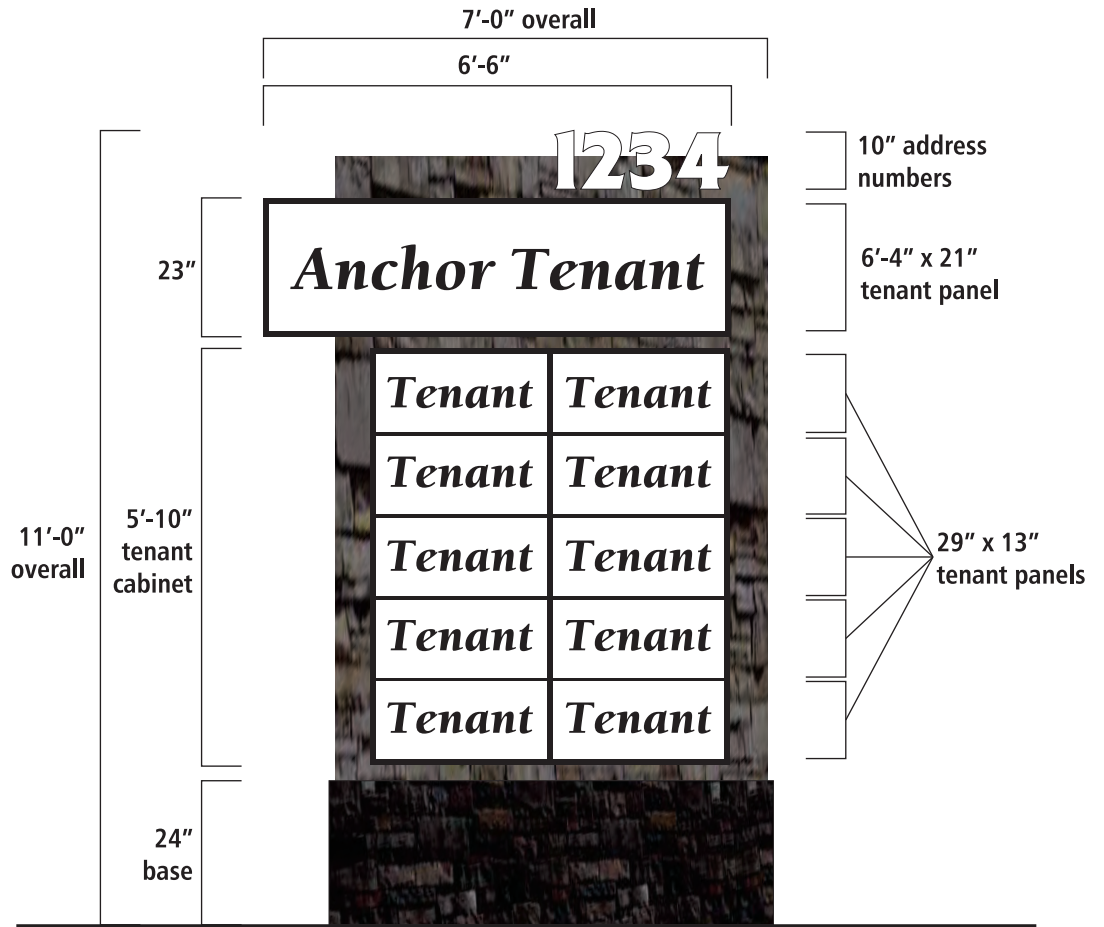
**Broad Street Market Place Planned Development - ZC#16-023 - Unified Sign Plan Site Entrance Signs:**

There are two entrances proposed. One will be located on Broad Street and one will be located on Cannon Drive as depicted in the site plan in Attachment C. The proposed entrance signs will be multi-tenant monument signs. The multi-tenant monument signs that will not exceed 75 square feet or 11 feet high by 7 feet wide.

The multi-tenant monument signs will include the following  
 Lot 1 - buildings / tenants:

- Retail A (Grocery Store): 80,775 SF
- Retail B: 18,492 SF
- Retail C: 10,250 SF
- Retail D: 8,100 SF

- Materials to match building.
- 11'-0" maximum height
- 7'-0" maximum width
- 50 square feet maximum "advertised" area. (Variance has been applied for to increase to 75 square feet)
- 24" high required base.



SCALE 3/8" = 1'



# Individual Lot (2, 3, 4, 5 & 6) Tenant Signs:

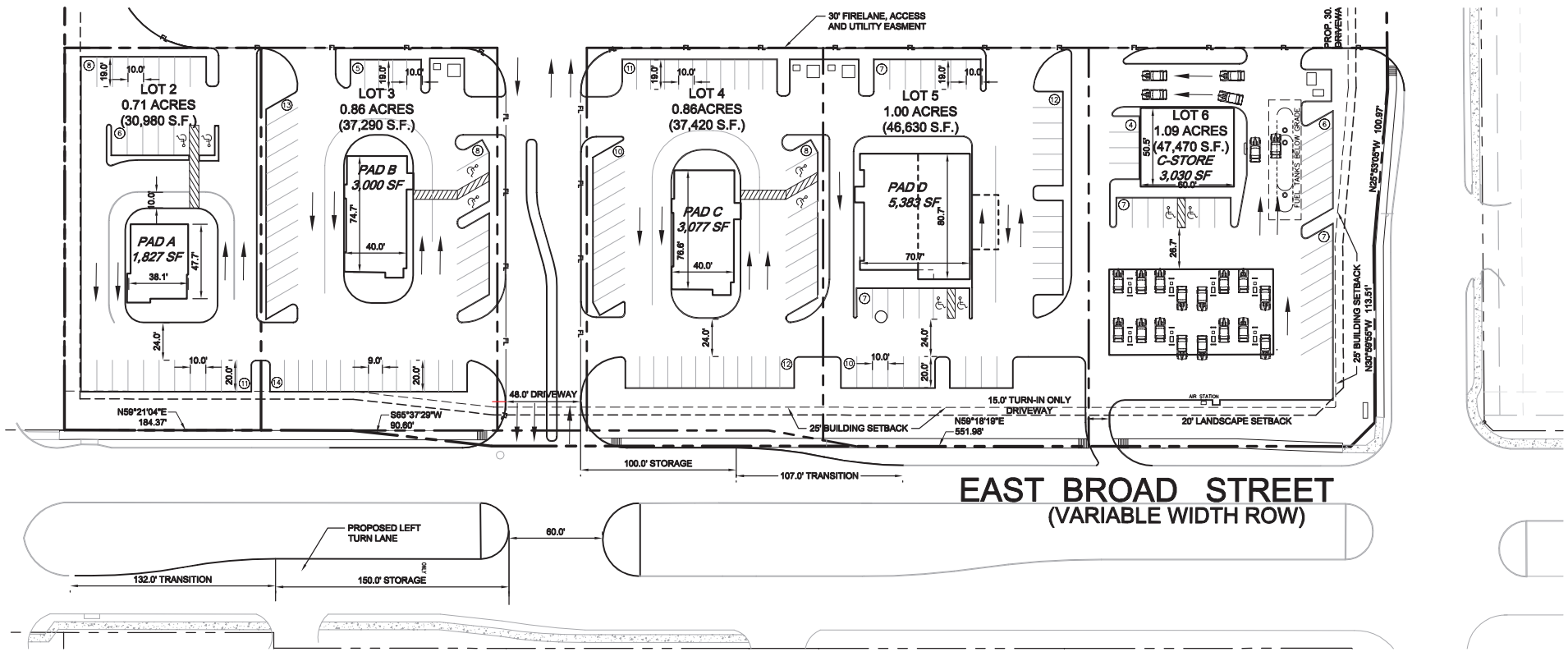
## Monument sign

- Materials to match building.
- 10'-0" maximum height and/or width.
- 50 square feet maximum "advertised" area.
- 24" high required base.



## Wall Sign / Channel Letters

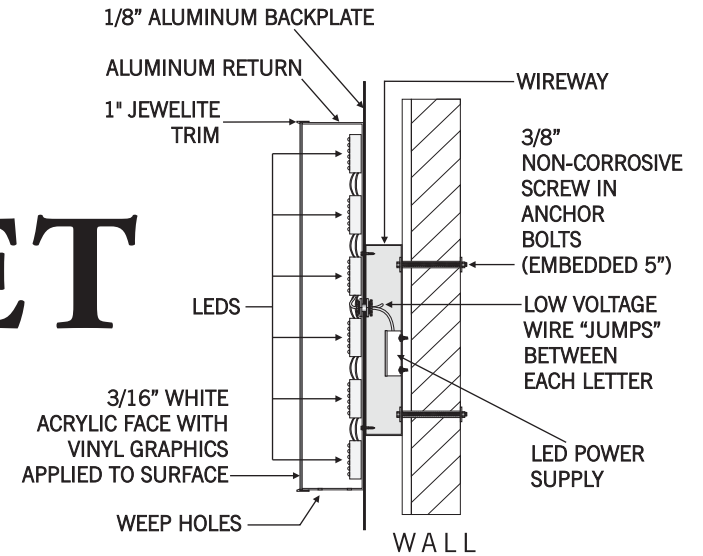
- Each individual pad tenant is allowed 75% of their linear space per elevation for wall signs.



**LOT 1 - RETAIL A:**

Sample Channel Letters:

# MARKET STREET

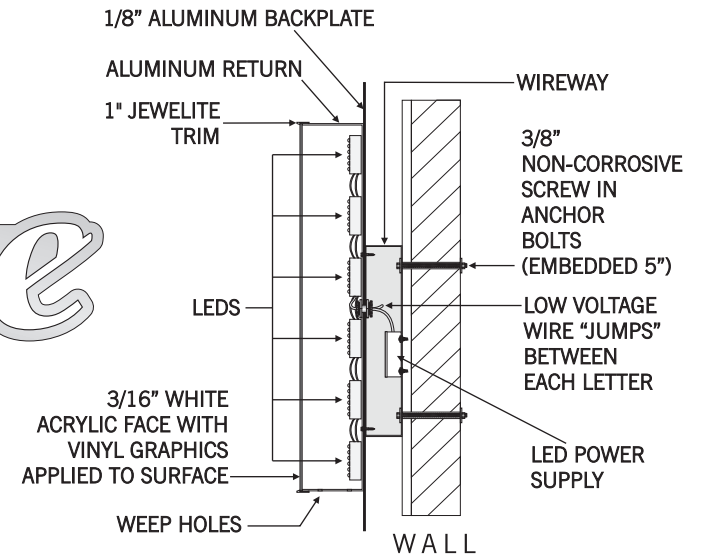


- Tenant is a corner space therefore eligible for signs on (2) two walls.
- Each individual tenant is allowed 75% of their space linear frontage for wall sign.

## LOT 1 - RETAIL B:

Sample Channel Letters:

# Tenant Space



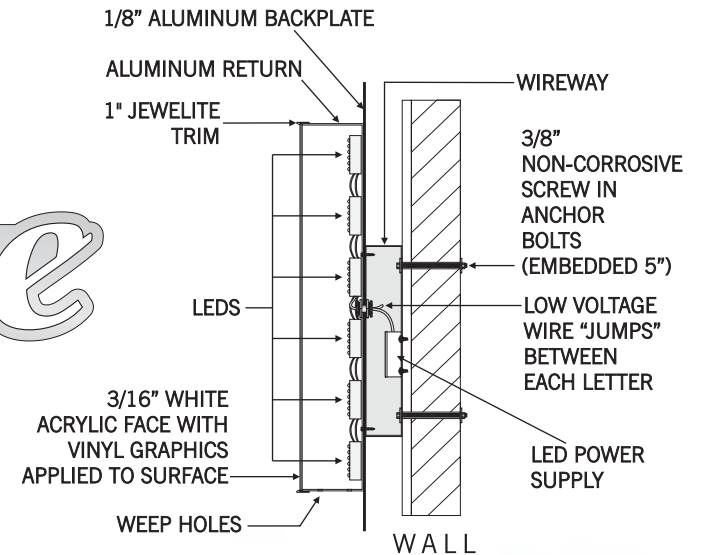
- Each individual tenant is allowed 75% of their space linear frontage for wall sign. Corner tenants are eligible for signs on (2) two walls.



## LOT 1 - RETAIL C:

Sample Channel Letters:

# Tenant Space

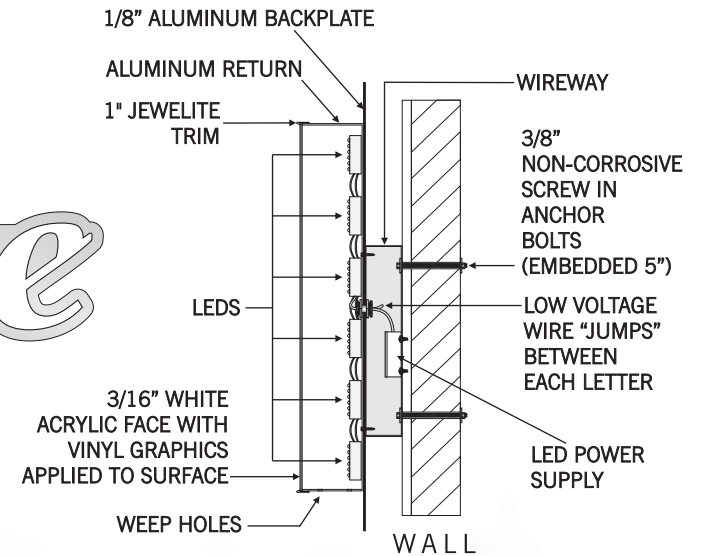


- Each individual tenant is allowed 75% of their space linear frontage for wall sign. Corner tenants are eligible for signs on (2) two walls.

**LOT 1 - RETAIL D:**

Sample Channel Letters:

*Tenant Space*



- Each individual tenant is allowed 75% of their space linear frontage for wall sign. Corner tenants are eligible for signs on (2) two walls.





BROAD STREET MARKETPLACE | RENDERING FROM BROAD STREET & CANNON DRIVE | EXHIBIT F.1

02.27.2017





BROAD STREET MARKETPLACE | RENDERING FROM BROAD STREET | EXHIBIT F.2

02.27.2017





BROAD STREET MARKETPLACE | RENDERING OF PROPERTY EDGE FROM BROAD STREET | EXHIBIT F.3

02.27.2017

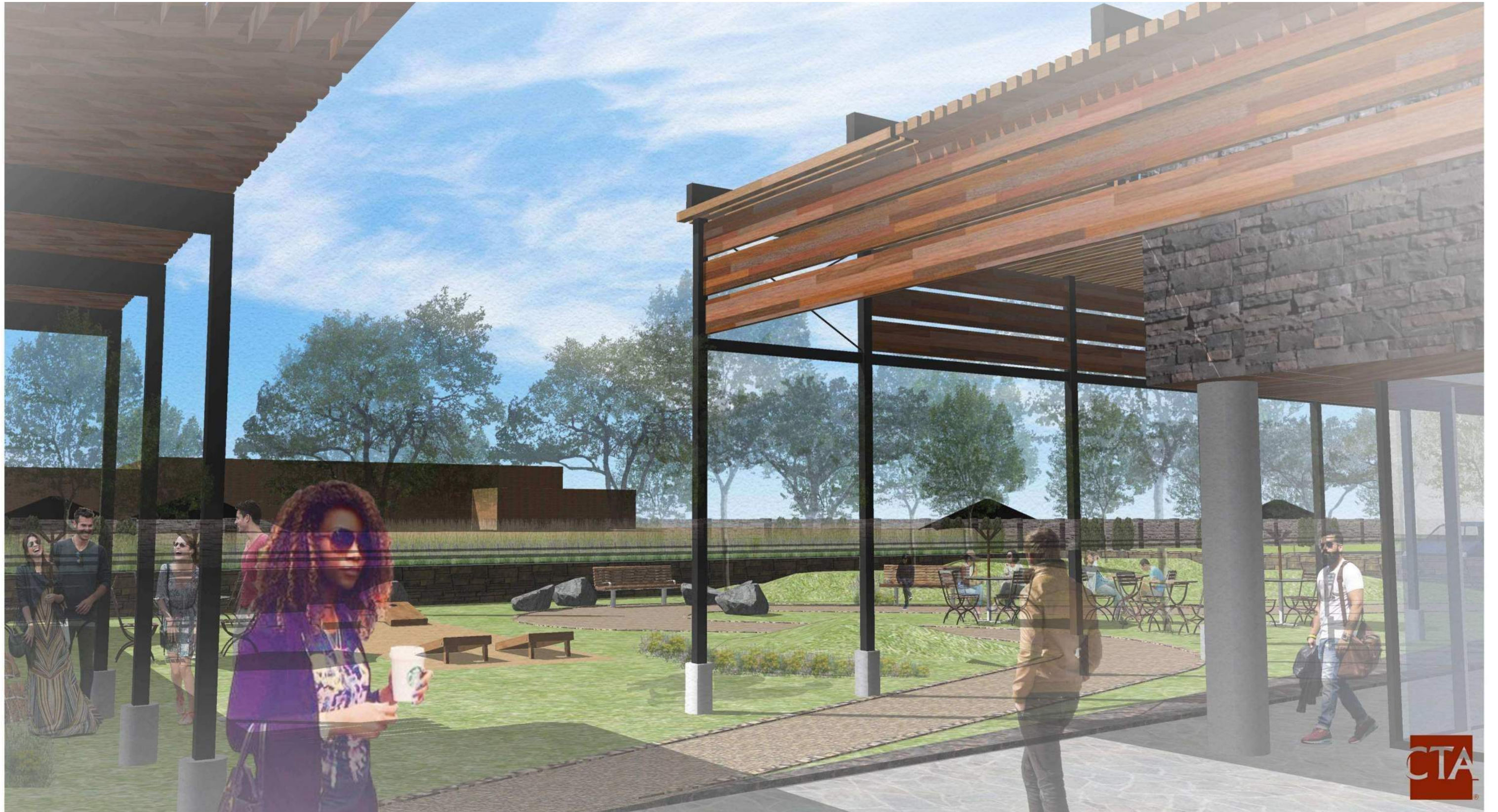












BROAD STREET MARKETPLACE | RENDERING OF COURTYARD BETWEEN BUILDINGS B & C | EXHIBIT F.6

02.27.2017





BROAD STREET MARKETPLACE | RENDERING OF BUILDING A | EXHIBIT F.7

02.27.2017





BROAD STREET MARKETPLACE | RENDERING FROM CANNON DRIVE | EXHIBIT F.8

02.27.2017





BROAD STREET MARKETPLACE | RENDERING FROM CANNON DRIVE | EXHIBIT F.9

02.27.2017



