

Legal Description:

TRACT I:

LOT 4R1, BLOCK 1, OF WAL-MART ADDITION, AN ADDITION TO THE CITY OF MANSFIELD, TARRANT COUNTY, TEXAS, ACCORDING TO THE MAP OR PLAT THEREOF RECORDED IN CABINET B, SLIDE 2023, PLAT RECORDS, TARRANT COUNTY, TEXAS.

TRACT II: EASEMENT ESTATE

EASEMENT ESTATE CREATED IN THE RECIPROCAL INGRESS AND EGRESS AND UTILITY ACCESS EASEMENT BETWEEN WAL-MART STORES, INC., MURPHY OIL USA, INC., AND HAYCO REALTY, LTD., BY INSTRUMENT DATED 1/26/2000, FILED 1/31/2000, RECORDED IN VOLUME 14197, PAGE 81, REAL PROPERTY RECORDS, TARRANT COUNTY, TEXAS.

J:\MURPHY\PROJECTS\MANSFIELD, TX #753\CURRENT DRAWINGS\JM-M024007-MANSFIELD, TX.DWG 12/3/2024 11:01 AM CHRIS STRICKLAND

CAUTION NOTICE TO CONTRACTOR
THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS ARE BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 7 DAYS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES HORIZONTALLY AND VERTICALLY WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.

- TBM #1
"X" CUT ON TOP OF A CONCRETE TRANSFORMER PAD NEAR ITS SOUTHWEST CORNER. SAID PAD IS LOCATED NORTH OF THE SUBJECT PROPERTY AND APPROXIMATELY 122 FEET EAST AND 45 FEET NORTH OF A SANITARY SEWER MANHOLE COVER NEAR THE NORTHWEST CORNER OF THE SUBJECT PROPERTY.
NORTHING=6896052.1190' EASTING=2389879.0700' ELEVATION=603.46'
- TBM #2
"X" CUT ON TOP OF A CONCRETE BACK OF CURB LOCATED EAST OF THE SUBJECT PROPERTY AND APPROXIMATELY 7 FEET WEST AND 7 FEET NORTH OF A LIGHT POLE.
NORTHING=7131184.4730 EASTING=2434317.0290 ELEVATION=594.38'

FLOODNOTE
ACCORDING TO THE F.I.R.M. NO. 48439C0460K, THE SUBJECT PROPERTY LIES IN ZONE X PER MAP REVISION DATED SEPT. 25, 2009.

CONTRACTOR IS TO ENSURE THAT THE CONSTRUCTION FENCE ENCOMPASSES THE ENTIRE WORK AREA. (RE: DETAIL 2F)

CONTRACTOR TO ENSURE THE LIGHT POLES AND SIGNS ARE AT LEAST 2' FROM THE BACK OF THE CURB TO PREVENT THE VEHICLES STRIKING THE LIGHT POLE OR SIGN.

BUILDING SETBACKS:

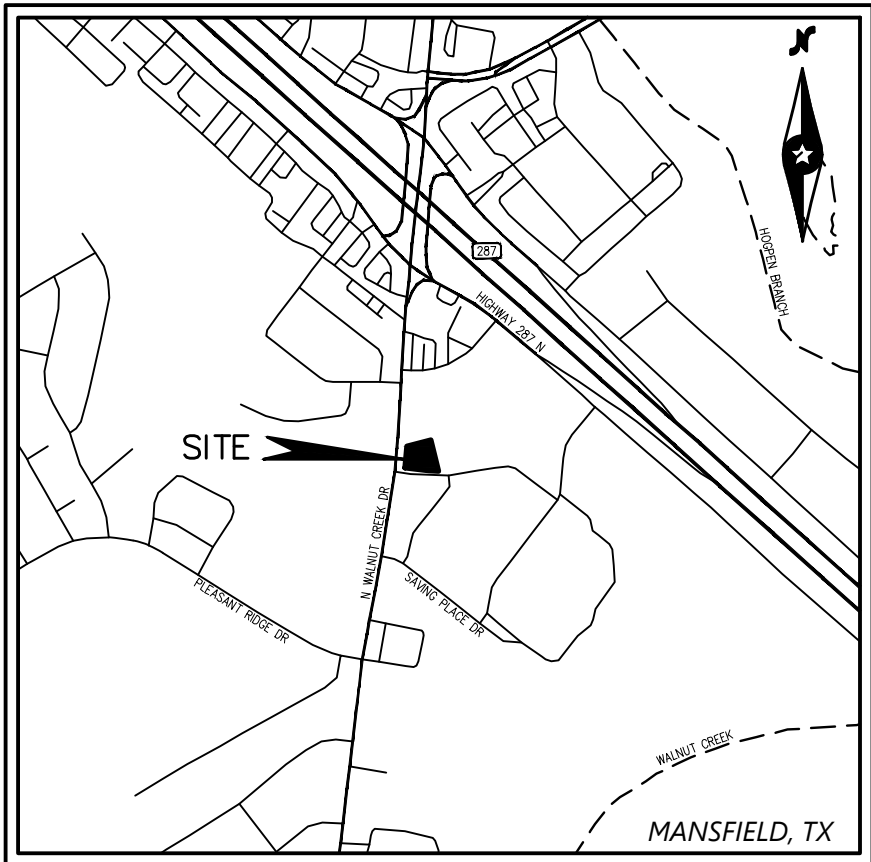
SEE SITE PLAN

ZONING: C-2 (COMMERCIAL RETAIL)

CONTRACTOR SHALL BE RESPONSIBLE FOR AND HIRE A TEXAS REGISTERED LAND SURVEYOR TO ESTABLISH PROPERTY CORNERS, BUILDING CORNERS, CANOPY, ETC. AS REQUIRED FOR CONSTRUCTION LAYOUT.

VICINITY MAP

(NOT TO SCALE)



CITY OF MANSFIELD NOTES:

- ALL SIGNAGE WILL COMPLY WITH THE REGULATIONS FOR C-2 ZONED PROPERTY AS SPECIFIED IN CHAPTER 155.090 OF THE CODE OF ORDINANCES.
- THE TRASH ENCLOSURE AND ALL EQUIPMENT WILL BE SCREENED IN ACCORDANCE WITH THE REGULATIONS SPECIFIED IN CHAPTER 155.093 OF THE CODE OF ORDINANCES.
- ALL ROOFTOP EQUIPMENT WILL BE SCREENED BY BUILDING PARAPETS AT LEAST ONE FOOT TALLER THAN THE TALLEST PIECE OF EQUIPMENT.
- THERE WILL BE NO OUTSIDE STORAGE OF MATERIALS OR MERCHANDISE ON THE PROPERTY EXCEPT IN ENCLOSURES AS SPECIFIED ON THIS PLAN.
- THERE WILL BE NO OUTSIDE STORAGE OF VEHICLES ON THE PROPERTY.
- ALL LIGHTING WILL BE DESIGNED TO BE SHIELDED DOWNWARD AND NOT TRESPASS ONTO OTHER PROPERTIES OF CAUSE GLARE.

SITE NOTES

- 3A PUBLIC ENTRANCE
3B STOOKROOM ENTRANCE
3C MAINTENANCE ACCESS
8B OVERHEAD CANOPY (TYP. PER CANOPY PLANS)
12A 4" TRAFFIC YELLOW LANE STRIPE (SEE LENGTH INDICATED AT SYMBOL)
12D 4" WIDE PAINTED STRIPES, 2" O.C. @ 45° (SEE SIZE INDICATED AT SYMBOL)
16A MURPHY FREE STANDING SIGN
21E UNDERGROUND STORAGE TANKS (1-25,000 GAL. & 1-26,000 GAL.)
21K MURPHY EXPRESS ID SIGN PER APPROVED RENDERING
21L PRICE SIGN PER APPROVED ELEVATION
51B LIMITS OF SAWCUT AND PAVEMENT REMOVAL
70C 4' CONTOURED BENCH BY VICTOR STANLEY, MODEL #CR-10. (OR APPROVED EQUAL) (IN-GROUND MOUNT)

SITE DETAILS

- 1A INTEGRAL CONCRETE CURB
2E DUMPSTER ENCLOSURE
3D CONCRETE SIDEWALK
3K CONCRETE SIDEWALK AROUND BUILDING
5B TRAFFIC SIGN IN BOLLARD
5F STEEL BOLLARD W/COVER (SINGLE)
9U ACCESSIBLE PARKING SYMBOL (SEE PAINT COLOR INDICATED AT SYMBOL)
9V ACCESSIBLE / VAN ACCESSIBLE PARKING SIGN MOUNTED IN BOLLARD
9X "NO PARKING" PAINTED ON PAVEMENT
10A TRAFFIC FLOW ARROW (TYP.)
10B STOP BAR (TYP.)
10C FIRE LANE MARKING
12G "STOP" SIGN
13A SITE LIGHT POLE (SEE PHOTOMETRIC PLANS FOR POLE BASE DETAIL, FIXTURE TYPE, LOCATION AND MOUNTING DETAILS)
17R CURB CUT WITH STEEL PLATE
18G CONSTRUCTION CAMERA (COORDINATE WITH MOUSA PM FOR LOCATION)
21G AIR VACUUM UNIT WITH 4"x7" CONCRETE SLAB
21H ATM PAD (SEE FUEL DEVELOPMENT PLAN SHT. FE-1 FOR CONDUITS)
21P 7"x10" CONCRETE SLAB FOR PROPANE TANKS
21T MAILBOX CONTRACTOR SHALL COORDINATE LOCATION WITH MURPHY AND POSTMASTER PRIOR TO INSTALLATION
21U 5"x7" ICE UNIT (SEE NUMBER INDICATED AT SYMBOL)

- THE MURPHY STATION WILL NOT DROP THE WAL-MART GREEN SPACE BELOW CITY REQUIREMENTS.
- ALL PERMANENT TURF AREAS MUST BE SODDED.
- GO TO ENSURE THAT TRAFFIC THROUGH MAIN WAL-MART DRIVES IS NOT INTERRUPTED AT ANY TIME DUE TO CONSTRUCTION ACTIVITIES. ENSURE A MINIMUM TEMPORARY LANE WIDTH OF 10' (EACH DIRECTION) IS AVAILABLE AT ALL TIMES, FREE OF OBSTRUCTIONS TO VEHICLES. AT NO TIME SHALL THE CONSTRUCTION FENCE EXTEND INTO THE DRIVE MORE THAN 2' FROM THE FACE OF THE CURB OR DRIVE.
- IF DEMOLITION OR CONSTRUCTION ON SITE WILL INTERFERE WITH THE WAL-MART TRAFFIC FLOW OR ADJACENT PROPERTY OWNER'S TRAFFIC FLOW, THE CONTRACTOR SHALL COORDINATE WITH THE WAL-MART CONSTRUCTION/STORE MANAGER AND/OR ADJACENT PROPERTY OWNER, TO MINIMIZE THE IMPACT ON TRAFFIC FLOW. TEMPORARY RE-ROUTING OF TRAFFIC IS TO BE ACCOMPLISHED BY USING DOT APPROVED TRAFFIC BARRICADES, BARRELS, AND/OR CONES. TEMPORARY SIGNAGE AND FLAGMEN MAY BE ALSO NECESSARY.
- ALL WAL-MART PROPERTY DAMAGED DUE TO CONSTRUCTION ACTIVITIES MUST BE REPLACED/RESTORED TO MATCH THE EXISTING TYPE AND QUALITY OF WORK AND MATERIALS, AND IS SUBJECT TO WAL-MART APPROVAL.
- UTILITY WORK DONE ON WAL-MART PARCEL, WHETHER BY THE GC, CITY OR THE UTILITY COMPANIES, SHALL BE REPAIRED BACK TO EXISTING CONDITIONS.
- EROSION CONTROL MEASURES IMPLEMENTED INSIDE THE WAL-MART DRIVE ISLES AND PARKING LOT SHALL INCLUDE ONLY SILT BAGS (OR WAL-MART PRE-APPROVED EQUAL) TO ENSURE TRAFFIC CIRCULATION IS NOT IMPEDED. GRAVEL INLET PROTECTION DEVICES SHALL NOT BE ALLOWED INSIDE THE WAL-MART DRIVE ISLES OR PARKING LOT.

PARKING INFORMATION:

DESCRIPTION	BUILDING AREA (S.F.)	REQUIRED RATIO	SPACES			
			REGULAR	UNDER CANOPY	ACCESSIBLE	TOTAL
FUELING STATION	1,400	1/200 S.F.	6		1	7
		PROVIDED:				
		1/93 S.F.	2	12	1	15
NO. OF FUEL ISLANDS: 6 NO. OF VEHICLE FUELING POINTS: 12						

PRE-CONSTRUCTION

IMPERVIOUS SITE RATIO (ISR)

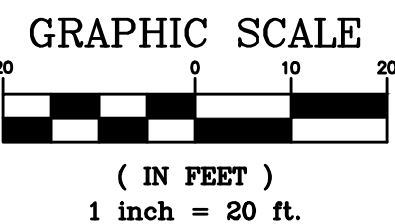
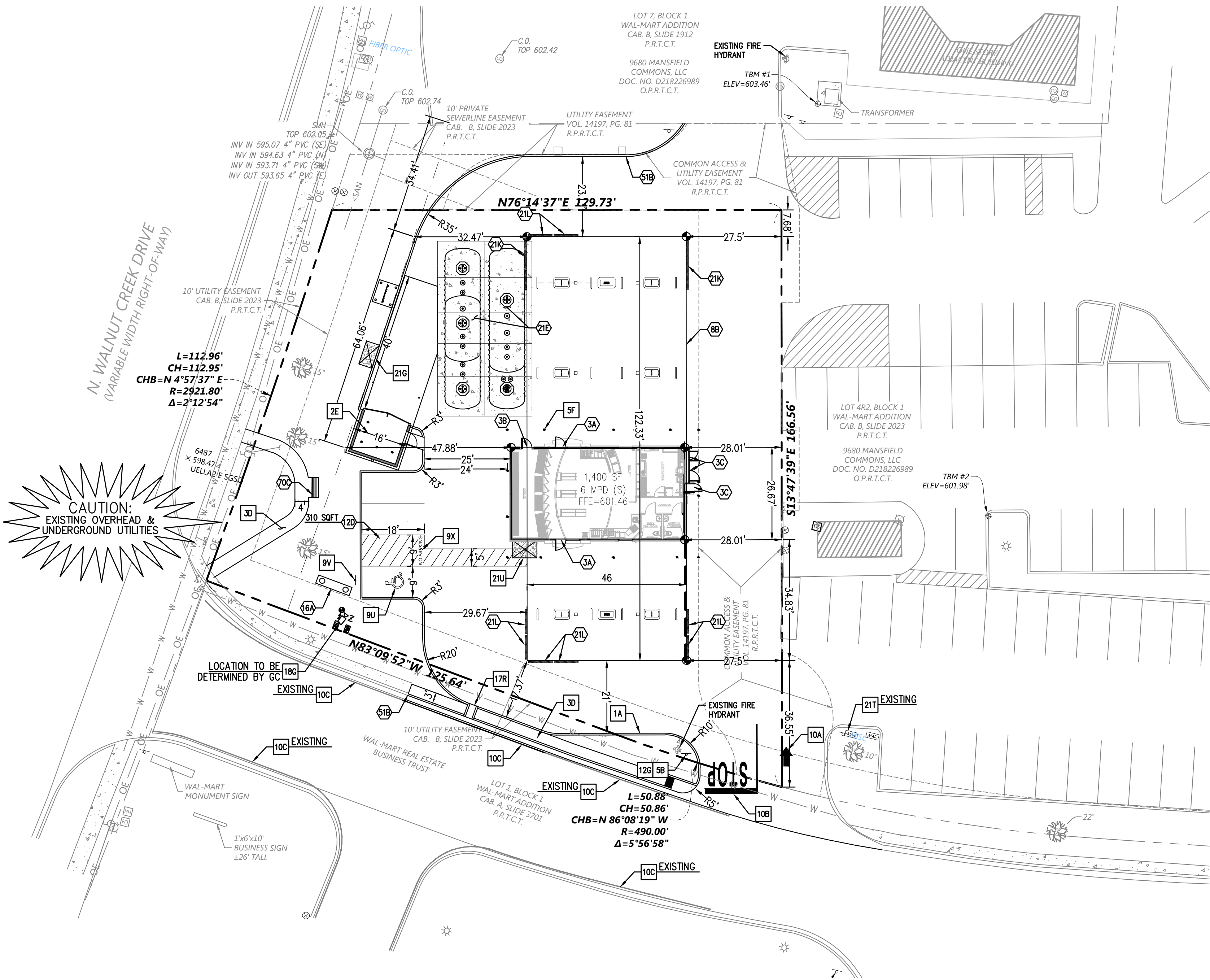
AREA	SQUARE FEET	%
IMPERVIOUS (ROOF AND PAVING)	15,330	73
GREENSPACE	5,586	26
GROSS SITE	20,916	100

POST-CONSTRUCTION

IMPERVIOUS SITE RATIO (ISR)

AREA	SQUARE FEET	%
IMPERVIOUS (ROOF AND PAVING)	17,049	81
GREENSPACE	3,897	19
GROSS SITE	20,916	100

CAUTION:
EXISTING OVERHEAD &
UNDERGROUND UTILITIES



EXISTING

MEASURED BEARING & DISTANCE
ACTUAL PLAT BEARING & DISTANCE
DEED RECORDS, TARRANT COUNTY, TEXAS
PLAT RECORDS, TARRANT COUNTY, TEXAS
OFFICIAL PUBLIC RECORDS, TARRANT COUNTY, TEXAS
TEMPORARY SITE BENCHMARK
"X" CUT IN CONCRETE
RIGHT-OF-WAY
IRON ROD FOUND

FOUND MONUMENT
SANITARY SEWER MANHOLE
WATER STRUCTURE
FIRE HYDRANT
WATER VALVE

PROPERTY LINE
EASEMENT LINE
MAJOR CONTOUR
MINOR CONTOUR
CURB LINE
WATER LINE
SANITARY SEWER LINE
OVERHEAD POWER LINE
STORM DRAIN LINE
CONCRETE SURFACE
ASPHALT SURFACE

PROPOSED

BOUNDARY LINE
CONCRETE CURB AND GUTTER
BUILDING CONTROL POINT
CONSTRUCTION FENCE

GENERAL SITE NOTES

- ALL DIMENSIONS SHOWN ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
- ALL CURB RETURN RADI SHALL BE 3' AS SHOWN TYPICAL ON THIS PLAN, UNLESS OTHERWISE NOTED.
- UNLESS OTHERWISE SHOWN, CALLED OUT OR SPECIFIED HERON: ALL CURB AND GUTTER ADJACENT TO EXISTING PAVING SHALL BE INSTALLED PER DETAIL.
PAVEMENT SHALL BE INSTALLED IN ACCORDANCE WITH THE PAVING PLAN OVER THE ENTIRE PARKING LOT AREA AND ALL APPROACH DRIVES.
SEE ASSOCIATED PLANS FOR CANOPY, COLUMN, DISPENSER ISLAND DETAILS AND LAYOUT.
- CONTRACTOR SHALL BEGIN CONSTRUCTION OF ANY LIGHT POLE BASES FOR RELOCATED LIGHT FIXTURES AND RELOCATION OF ELECTRICAL SYSTEM AS SOON AS DEMOLITION BEGINS. CONTRACTOR SHALL BE AWARE THAT INTERRUPTION OF POWER TO ANY LIGHT POLES OR SIGNS SHALL NOT EXCEED 24 HOURS.
- IF DEMOLITION OR CONSTRUCTION ON SITE WILL INTERFERE WITH THE WAL-MART TRAFFIC FLOW OR ADJACENT PROPERTY OWNER'S TRAFFIC FLOW, THE CONTRACTOR SHALL COORDINATE WITH THE WAL-MART CONSTRUCTION/STORE MANAGER AND/OR ADJACENT PROPERTY OWNER, TO MINIMIZE THE IMPACT ON TRAFFIC FLOW. TEMPORARY RE-ROUTING OF TRAFFIC IS TO BE ACCOMPLISHED BY USING DOT APPROVED TRAFFIC BARRICADES, BARRELS, AND/OR CONES. TEMPORARY SIGNAGE AND FLAGMEN MAY BE ALSO NECESSARY.
- ALL WAL-MART PROPERTY DAMAGED DUE TO CONSTRUCTION ACTIVITIES MUST BE REPLACED/RESTORED TO MATCH THE EXISTING TYPE AND QUALITY OF WORK AND MATERIALS, AND IS SUBJECT TO WAL-MART APPROVAL.
- CONTRACTOR TO PROTECT EXISTING LANDSCAPE/IRRIGATION MATERIAL.
- ALL SLOPES AND AREAS DISTURBED BY CONSTRUCTION SHALL BE GRADED SMOOTH AND FOUR INCHES OF TOPSOIL APPLIED. IF ADEQUATE TOPSOIL IS NOT AVAILABLE ON SITE, THE CONTRACTOR SHALL PROVIDE TOPSOIL, APPROVED BY THE OWNER, AS NEEDED. THE AREA SHALL THEN BE SEEDED/SODDED, FERTILIZED, MULCHED, WATERED AND MAINTAINED UNTIL HARDY GRASS GROWTH IS ESTABLISHED IN ALL AREAS. ANY AREAS DISTURBED FOR ANY REASON PRIOR TO FINAL ACCEPTANCE OF THE PROJECT SHALL BE CORRECTED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
- THE MURPHY STATION WILL NOT DROP THE WAL-MART GREEN SPACE BELOW CITY REQUIREMENTS.
- CONTRACTOR IS TO VERIFY LOCATION OF WAL-MART IRRIGATION SYSTEM, VALVE BOXES, CONTROL BOXES, BACKFLOW PREVENTION DEVICE AND OTHER ITEMS WHICH ARE PART OF THE SYSTEM. IF DAMAGES OCCUR THEY MUST BE REPAIRED AT CONTRACTOR'S COST.
- THE LOCATION OF THE CONSTRUCTION FENCE ON THE DRAWING IS FOR GRAPHICAL REPRESENTATION ONLY. THE CONTRACTOR IS TO ENSURE THAT THE CONSTRUCTION FENCE ENCOMPASSES THE ENTIRE WORK AREA.
- CONTRACTOR SHALL PURCHASE AND INSTALL A MAILBOX, AND SHALL COORDINATE LOCATION OF MAILBOX WITH MURPHY CONSTRUCTION MANAGER AND/OR ON-SITE REPRESENTATIVE AND LOCAL POSTMASTER.
- ALL PROPOSED PAVEMENT STRIPING OR MARKINGS SHALL FOLLOW THE SPECIFICATIONS FOR PAINT INCLUDED IN DETAIL 10A.

Exhibit B

MURPHY OIL USA, INC.

MURPHY 200 PEACH STREET
P.O. BOX 7000
USA

SUP#24-003

1101 Central Expressway
South,
Suite 215
Allen, TX 75013
Ph. 214.491.1830
John Measels, PE
CIVIL ENGINEER



SITE PLAN
WALMART SUPERCENTER #284
960 N. WALNUT CREEK DRIVE
MANSFIELD, TX 76063

SHEET NO.

C-4

1 ELEVATION - FRONT (FACING WEST)

LT SANDSTONE BRICK VENEER:	189 SF	(50%)
STOREFRONT / GLAZING:	43 SF	(12%)
IVORY BRICK VENEER:	51 SF	(14%)
STONE WATERTABLE:	91 SF	(24%)
TOTAL:	374 SF	(100%)

3 ELEVATION - REAR (FACING EAST)

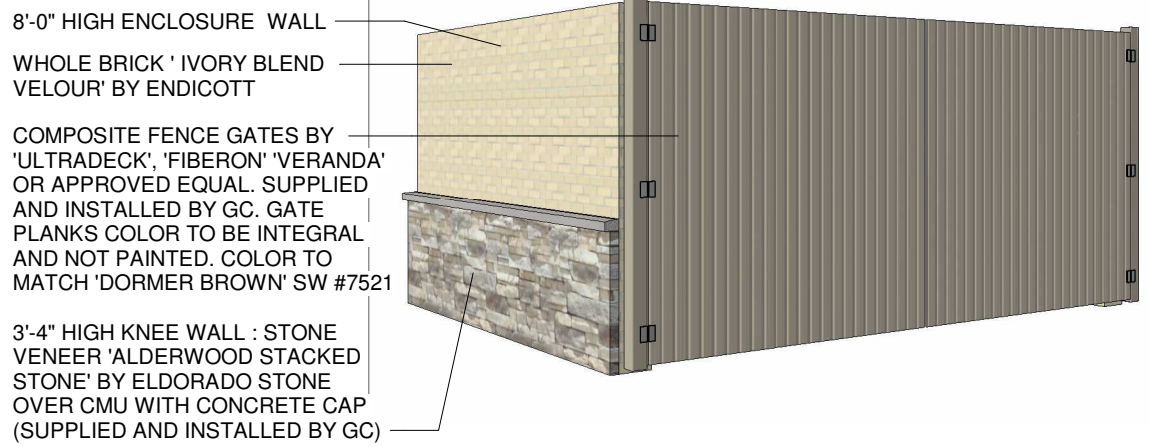
LT SANDSTONE BRICK VENEER:	211 SF	(56%)
IVORY BRICK VENEER:	72 SF	(20%)
STONE WATERTABLE:	91 SF	(24%)
TOTAL:	374 SF	(100%)

2 ELEVATION - RIGHT (FACING SOUTH)

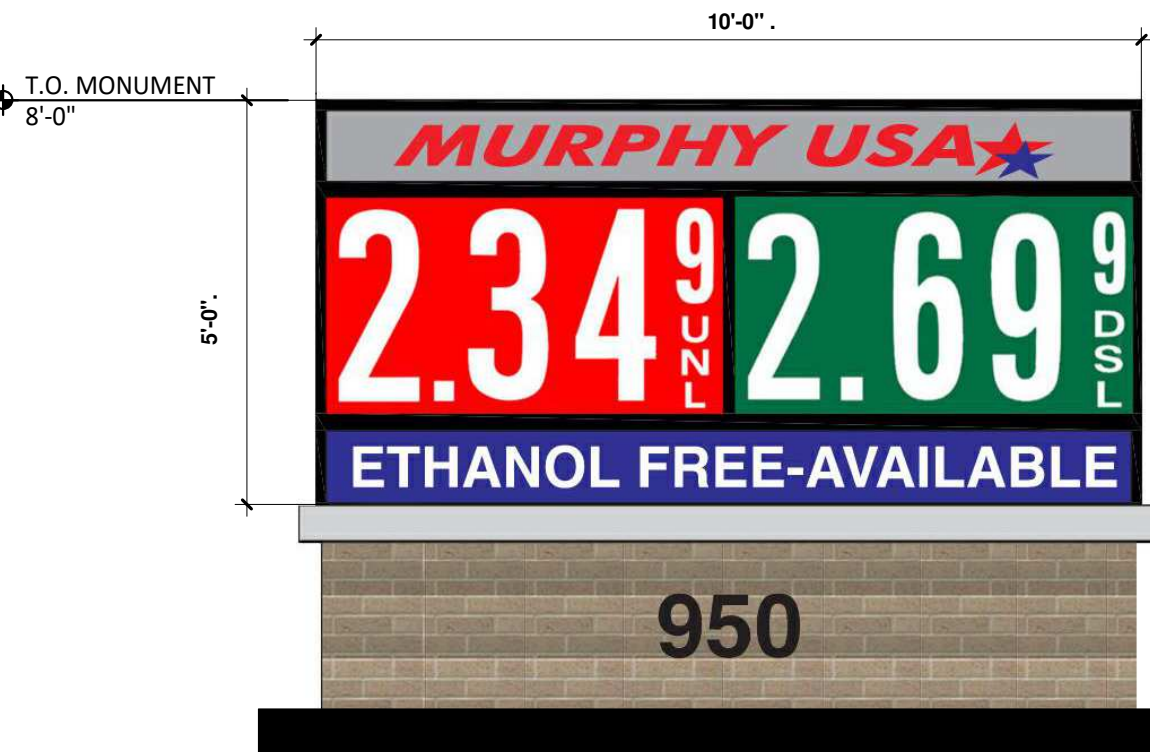
LT SANDSTONE BRICK VENEER:	280 SF	(40%)
STOREFRONT / GLAZING:	98 SF	(14%)
IVORY BRICK VENEER:	88 SF	(13%)
STONE WATERTABLE:	112 SF	(16%)
ACM / METAL FASCIA:	124 SF	(17%)
TOTAL:	706 SF	(100%)

4 ELEVATION - LEFT (FACING NORTH)

LT SANDSTONE BRICK VENEER:	280 SF	(40%)
STOREFRONT / GLAZING:	98 SF	(14%)
IVORY BRICK VENEER:	88 SF	(13%)
STONE WATERTABLE:	112 SF	(16%)
ACM / METAL FASCIA:	124 SF	(17%)
TOTAL:	706 SF	(100%)



5 TRASH ENCLOSURE



6 MONUMENT SIGN

CANOPY SIGNS :	QTY.	HEIGHT	WIDTH	AREA S.F.	TOTAL S.F.
MURPHY USA CANOPY LOGO SIGN	2		GRAPHIC AREA	24.76	49.52
LARGE CANOPY PRICE SIGN	4	51.25"	118.00"	42.00	168.00
SMALL CANOPY PRICE SIGN	4	34.13"	74.00"	17.54	70.16
CANOPY SIGNS TOTAL SIGNAGE :					287.68 S.F.
MONUMENT SIGN:					
UNLEADED W/LOGO	1	60.00"	120.00"	50.00	50.00
MONUMENT SIGNS TOTAL SIGNAGE :					50.00 S.F.
TOTAL SIGN AREA :					337.68 S.F.

SIGNAGE COLOR CHART			
CANOPY - ROUTED SIGNS FURNISHED AND INSTALLED BY FMS			
MURPHY USA STAR LOGO	BLUE	EASTMAN BLUE, PANTONE 287 BLUE 3M 3630-87 ROYAL BLUE	
	RED	PROGRAM RED, PANTONE 485 RED 3M 3630-43 RED	
	WHITE	EASTMAN WHITE	
CANOPY - PRICE SIGNS FURNISHED AND INSTALLED BY THE SIGN VENDOR			
UNLEADED	RED	3M 3632-73	
	WHITE	3M 3632-20	
	DIGIT	RED/WHITE	
DIESEL	CABINET	BLACK	
	GREEN	3M 3632-26	
	WHITE	3M 3632-20	
	DIGIT	GREEN/WHITE	
	CABINET	BLACK	
MONUMENT - PRICE SIGNS FURNISHED AND INSTALLED BY THE SIGN VENDOR			
MURPHY USA STAR LOGO	BLUE	3M 3632-157	
	RED	3M 3632-43	
	SILVER	3M 3630-121	
UNLEADED	CABINET	BLACK	
	RED	3M 3632-73	
	WHITE	3M 3632-20	
DIESEL	DIGIT	RED/WHITE	
	CABINET	BLACK	
	GREEN	3M 3632-26	
	WHITE	3M 3632-20	
	DIGIT	GREEN/WHITE	
ETHANOL FREE	CABINET	BLACK	
	BLUE	3M 3632-157	
	WHITE	3M 3632-20	
	DIGIT	BLUE/WHITE	
	CABINET	BLACK	



MANSFIELD, TX (950 NORTH WALNUT CREEK DRIVE) R01
MURPHY #5753 WM #284
DECEMBER 02, 2024


CAUTION NOTICE TO CONTRACTOR
THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS ARE BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 7 DAYS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES HORIZONTALLY AND VERTICALLY WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.

REFER TO SHEET LP-2
FOR PLANTING NOTES.

POST-CONSTRUCTION

IMPERVIOUS SITE RATIO (ISR)		
AREA	SQUARE FEET	%
IMPERVIOUS (ROOF AND PAVING)	17,049	81
GREENSPACE	3,897	19
GROSS SITE	20,916	100

LEGEND:

SYMBOL	SCIENTIFIC NAME	COMMON NAME	SIZE/CALIPER	HT/ WIDTH	FLOWER COLOR	QTY
EXISTING TREES — SEE GENERAL NOTES						
	EXISTING TREES TO REMAIN	—	PER PLANS	—	—	PER PLAN





SHADE TREES — SEE GENERAL NOTES, THIS SHEET REGARDING INSTALLATION SIZE UNLESS NOTED BELOW

	PISTACHIA CHINENSIS 'KEITH DAVEY'	CHINESE PISTACHE 'KEITH DAVEY'	3" CALIPER	40'/35'	—	1
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ORNAMENTAL TREES — SEE GENERAL NOTES, THIS SHEET REGARDING INSTALLATION SIZE UNLESS NOTED BELOW

	ILEX OPACA 'SAVANNAH'	SAVANNAH HOLLY	15 GAL	10'/8'	—	1
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1 GALLON SHRUB — (SEE PLANTING NOTES)

	ABELIA GRANDIFLORA	GLOSSY ABELIA	5 GAL	6'/6'	LILAC	15
	ILEX VOMITORIA 'BORDEAUX'	DWARF BORDEAUX HOLLY	5 GAL	3'/3'	INSIGNIFICANT	9
	ILEX VOMITORIA 'NANA'	DWARF YAUPON HOLLY	5 GAL	42"/4'	INSIGNIFICANT	22
	SALVIA GREGGI	AUTUMN SAGE	5 GAL	30"/30"	RED	3

SOD, GROUNDCOVER, MULCH, AND EDGING

	LIRIOPE MUSCARI 'SILVER SUNPROOF'	SILVERY SUNPROOF LILYTURF	1 GAL@ 18" O.C.	12"	PURPLE— LAVENDAR	22 S.F.
	CYNDON DACTYLON 'TIF 419'	BERMUDA GRASS	SOD	—	—	400± S.F.
	HARDWOOD MULCH	SEE "GENERAL LANDSCAPE NOTES" FOR REQUIREMENTS				
EVEREDGE STEEL EDGING (GARDEN RING WHERE NOTED) LINEAR FEET PER PLAN						

GENERAL NOTES:

- TREES TO BE INSTALLED 4'–0" MINIMUM AWAY FROM PAVING AREAS.
- MURPHY PROTOTYPE LANDSCAPE NOTES ON SHEET L-2 TAKE PRECEDENCE OVER THE PLANTING NOTES ON SHEET L-2, IF THEY ARE THE SAME.
- A FULLY AUTOMATIC IRRIGATION SYSTEM WILL BE SPECIFIED FOR THIS PROJECT, PLANS OF WHICH WILL BE PROVIDED TO AGENCY PRIOR TO START OF CONSTRUCTION, OR AT TIME REQUIRED BY GOVERNING AGENCY.

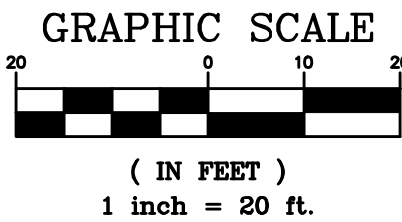
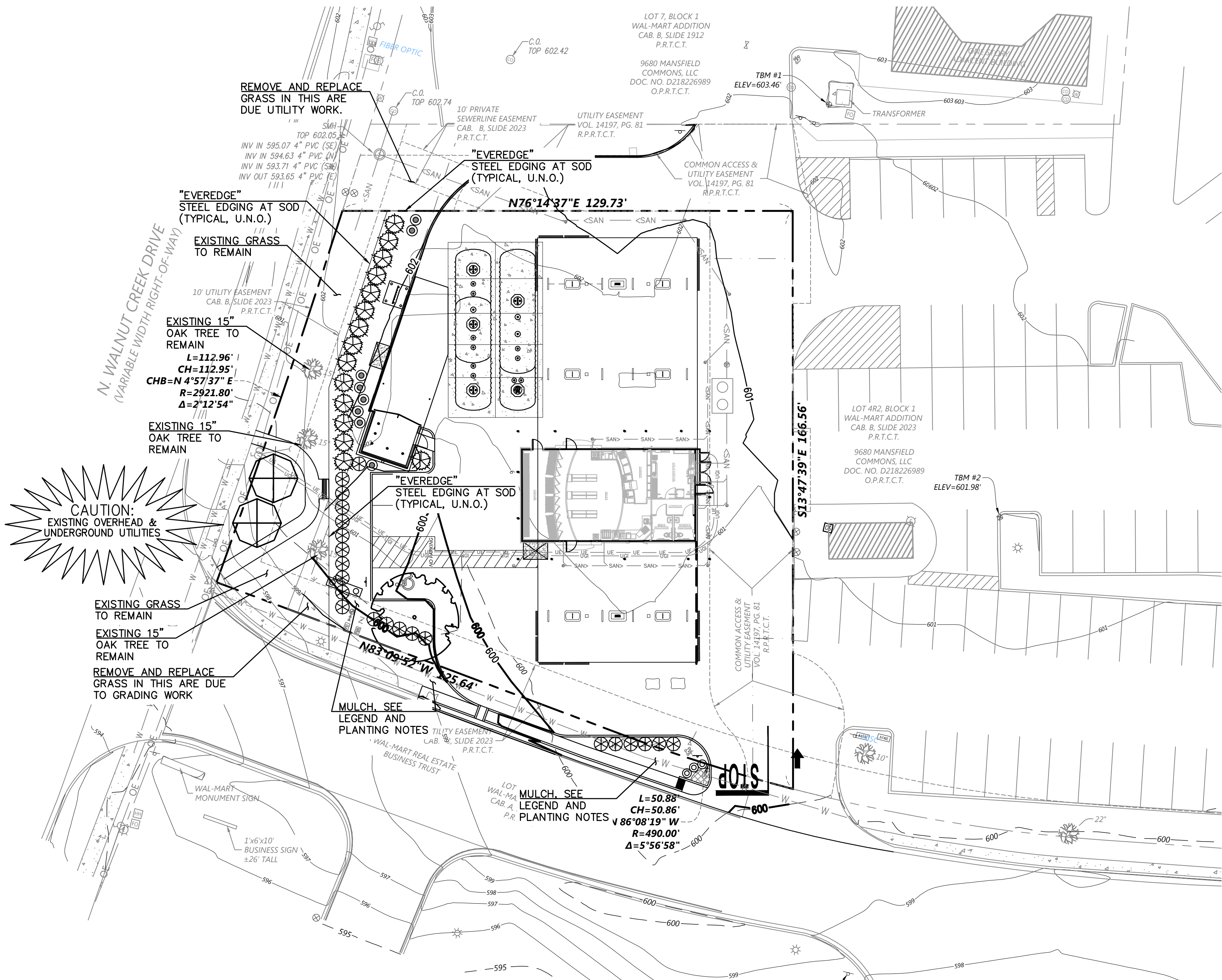
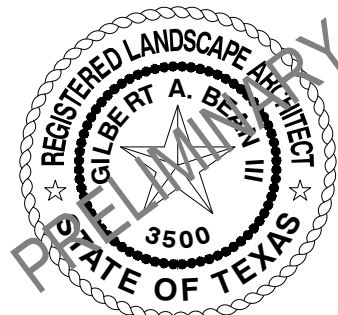


Exhibit D

SHEET NO.

LP-1



12/03/2024

PRELIMINARY PLANTING PLAN
WALMART SUPERCENTER #284
960 N. WALNUT CREEK DRIVE
MANSFIELD, TX 76063

1101 Central Expressway
South,
Suite 215
Allen, TX 75013
Ph. 214.491.1830
John Measels, PE
CIVIL ENGINEER



MURPHY OIL USA, INC.

MURPHY 200 PEACH STREET
P.O. BOX 7000
USA EL DORADO, AR 71730-7000

SUP#24-003

J:\MURPHY\PROJECTS\MANSFIELD, TX_#9753\CURRENT DRAWINGS\JM-M024007_LANDSCAPE MANSFIELD, TX.DWG 11/25/2024 1:40 PM CHRIS STRICKLAND

SUMMARY CHART - BUFFER YARD/SETBACKS							
LOCATION OF BUFFER YARD OR SETBACK	REQUIRED/PROVIDED	LENGTH	BUFFER YARD OR SETBACK WIDTH/TYPE	CANOPY TREES	ORNAMENTAL TREES	SHRUBS	SCREENING WALL/DEVICE HEIGHT & MATERAIL
WEST	REQUIRED		20'	3	N/A	YES	3'/SHRUBS
	PROVIDED	113'	20'	6*	N/A	YES	3'/SHRUBS
* NOTE ANY CREDITS USED IN CALCULATIONS A. THERE ARE TWO EXISTING 15" TREES ALONG WESTERLY PROPERTY							
OTHER COMMENTS: 1. THE NORTH, SOUTH AND EAST PROPERTY LINES DUE NOT REQUIRE ANY LANDSCAPE BUFFER OR SETBACK.							

SUMMARY CHART - INTERIOR LANDSCAPE						
	LANDSCAPE AREA (SQ. FT)	% OF LANDSCAPE AREA	CANOPY TREES	ORNAMENTAL TREES	SHRUBS	GROUND COVER (IN SQ. FT)
REQUIRED	2,092	10	0	0	?	?
PROVIDED	3,897	19	0	0	49	422±

SUMMARY CHART - INTERIOR PARKING LOT LANDSCAPING	
# OF REQUIRED PARKING SPACES	7
# OF PROVIDED PARKING SPACES	15
# OF TREE ISLANDS PROVIDED	0
* NOTE ANY CREDITS USED IN CALCULATIONS A. NONE	
OTHER COMMENTS: 1. NONE	

GENERAL LANDSCAPE NOTES (FROM MURPHY PROTOTYPE):

- A. LOCATE ALL UTILITIES AND SITE LIGHTING CONDUITS BEFORE LANDSCAPE CONSTRUCTION BEGINS.

B. NOTIFY LANDSCAPE ARCHITECT OR DESIGNATED REPRESENTATIVE OF ANY LAYOUT DISCREPANCIES PRIOR TO ANY PLANTING.

C. ALL LANDSCAPE MATERIALS SHALL BE IN COMPLIANCE WITH THE AMERICAN STANDARD FOR NURSERY STOCK. (ANSI—Z60.1—1986)

D. ALL DISTURBED AREAS DESIGNATED ON THE GRADING PLAN SHALL BE SHOWN AS FOLLOWS:
GRASS SEED MIX: 40% PERENNIAL RYE
40% TURF TYPE FESCUE 0.5 LB PER 100 S.F.
20% BERMUDAS GRASS
AGRICULTURAL LIME 2 LB PER 1000 S.F.
FERTILIZER 10-10-10 2 LB PER 1000 S.F.
MULCH: DRY STRAW OR HAY 2"—3" DEPTH

E. ALL HOBBY LOBBY PROPERTY DAMAGED DUE TO CONSTRUCTION ACTIVITES MUST BE REPLACED/RESTORED TO MATCH THE EXISTING TYPE AND QUALITY OF WORK AND MATERIALS AND IS SUBJECT TO WAL—MART APPROVAL.

F. ALL SLOPES AND AREAS DISTURBED BY CONSTRUCTION SHALL BE GRADED SMOOTH AND FOUR INCHES OF TOPSOIL APPLIED. IF ADEQUATE TOPSOIL IS NOT AVAILABLE ON SITE, THE CONTRACTOR SHALL PROVIDE TOPSOIL. APPROVED BY THE OWNER, AS NEEDED. THE AREA SHALL THEN BE SODDED, FERTILIZED, MULCHED, WATERED AND MAINTAINED UNTIL HARDY GRASS GROWTH IS ESTABLISHED IN ALL AREAS. ANY RELOCATED TREES SHALL BE MAINTAINED UNTIL SUCH POINT AS TREE IS RE—ESTABLISHED. ANY AREAS DISTURBED SHALL ANY REASON PRIOR TO THE FINAL ACCEPTANCE OF THE PROJECT SHALL BE CORRECTED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.

G. THE MURPHY STATION WILL NOT DROP HOBBY LOBBY’S GREEN SPACE BELOW CITY REQUIREMENTS.

H. CONTRACTOR IS TO VERIFY LOCATION OF HOBBY LOBBY IRRIGATION SYSTEM, VALVE BOXES, CONTROL BOXES, BACKFLOW PREVENTION DEVICES AND OTHER ITEMS WHICH ARE PART OF THE SYSTEM. IF DAMAGED THEY MUST BE REPAIRED AT CONTRACTOR’S COST.

I. CONTRACTOR IS TO PROTECT EXISTING LANDSCAPING/IRRIGATION MATERIALS.
- J. ACCEPTANCE OF GRADING AND SEEDING SHALL BE BY LANDSCAPE ARCHITECT AND/OR OWNER. THE CONTRACTOR SHALL ASSUME MAINTENANCE RESPONSIBILITIES FOR A MINIMUM OF ONE (1) YEAR OR UNTIL SECOND CUTTING, WHICH EVER IS LONGER. MAINTENANCE SHALL INCLUDE WATERING, WEEDING, RESEEDING AND OTHER OPERATIONS NECESSARY TO KEEP ALL LAWN AREAS IN A THRIVING CONDITIONS. UPON FINAL ACCEPTANCE, OWNER SHALL ASSUME ALL MAINTENANCE RESPONSIBILITIES. AFTER LAWN AREA HAVE GERMINATED, AREAS WHICH FAIL TO SHOW A UNIFORM STAND OF GRASS FOR ANY REASON WHATSOEVER SHALL BE RE—SEEDED REPEATEDLY UNTIL ALL AREAS ARE COVERED WITH A SATISFACTORY STAND OF GRASS. MINIMUM ACCEPTANCE OF SEEDED LAWN AREAS MAY INCLUDE SCATTERED BARE SPOTS, NONE OF WHICH ARE LARGER THAN 1 SQUARE FOOT, AND WHEN COMBINED DO NOT EXCEED 2% OF TOTAL LAWN AREA.

K. ALL PERMANENT TURF AREAS SHALL BE SOD.

L. FERTILIZE ALL PLANTS AT THE TIME OF PLANTING WITH TIME RELEASE FERTILIZER.

M. SEE GRADING PLAN FOR APPLICATION OF TOPSOIL AND MAINTENANCE OF LAWN AREAS.

N. SHREDDED HARDWOOD MULCH SHALL BE USED AS A FOUR INCH (4”) TOP DRESSING IN ALL PLANT BEDS AND AROUND ALL TREES. SINGLE TREES OR SHRUBS SHALL BE MULCHED TO THE OUTSIDE EDGE OF THE SAUCER OR LANDSCAPE ISLAND (SEE PLANTING DETAILS).

O. ALL PLANT MATERIAL SHALL BE WARRANTED FOR A PERIOD OF 1 YEAR AFTER PLANTING. IF ANY PLANTS DIE BEFORE THEY END OF 1 YEAR THEY SHALL BE REPLACED, AT NO COST TO THE OWNER, BY A PLANT OF SIMILAR SIZE AND SPECIES.

P. TREES SHALL BE PLANTED PER DETAILS.

Q. GC SHALL INCORPORATE PER—EMERGENT HERBICIDE AND WEED BARRIER FABRIC IN ALL MULCH AND PLANTING AREA.

R. NO PLANTINGS SHALL BLOCK VIEW OF FREE—STANDING OR ID SIGNAGE.

PLANTING NOTES:

- A. GENERAL LANDSCAPE REQUIREMENTS ARE PER CITY OF MANSFIELD ORDINANCE, SECTION 155.092 LANDSCAPE AND SCREENING STANDARDS.

B. PLANT MATERIAL TYPES SHOWN ARE PER CITY CODE REFERENCED ABOVE.

C. CONTRACTOR SHALL REFER TO CITY OF MURPHY FOR LANDSCAPE PERMIT AND OR LANDSCAPE CONSTRUCTION REQUIREMENTS.

D. ALL TREES SHALL BE SINGLE LEADER TRUNK, MUST DISPLAY A STRONG CENTRAL LEADER AND MEET ANSI STANDARD Z.60.1 OF THE AMERICAN STANDARD FOR NURSERY STOCK, LATEST EDITION

E. THOUGH NO DIMENSIONS ARE SHOWN, IT IS THE CONTRACTORS RESPONSIBILITY TO MAINTAIN PLANTING LOCATIONS, CONFIGURATION AND SPACING AS SHOWN, MAINTAINING PLANTING DISTANCES FROM CURBS, SIDEWALKS, EXISTING AND PROPOSED BUILDINGS AND UTILITIES AS SHOWN ON PLANS.

F. ALL LANDSCAPE AREAS, PLANTED OR NOT, SHALL HAVE A PRE—EMERGENT SPRAYED ACCORDING TO MANUFACTURER AND AGENCY REQUIREMENTS PRIOR TO INSTALLATION OF FILTER FABRIC OR ANY PLANT MATERIAL.

G. SHOULD PLANT MATERIAL NOT BE AVAILABLE IN EITHER TYPE AND/OR SIZE SPECIFIED,
CONTRACTOR MUST CONTACT LANDSCAPE ARCHITECT FOR AN APPROVED SUBSTITUTION.

H. SHOULD CONTRACTOR INSTALL PLANT MATERIAL THAT DOES NOT MEET TYPE, SIZE, AND/OR TYPE AS SPECIFIED, CONTRACTOR SHALL BE RESPONSIBLE FOR PLANT REPLACEMENT.
- I. ALL QUANTITIES PROVIDED FOR BIDDING ASSISTANCE ONLY. CONTRACTOR TO VERIFY PLANT AND OTHER QUANTITIES, PLANS TAKE PRECEDENCE.

J. ALL UTILITY EASEMENTS SHALL BE MARKED PRIOR TO EXCAVATION, AND PARTICULAR ATTENTION PAID TO TREE PLACEMENT WITHIN AND THROUGHOUT SITE.

K. IF PROPOSED ON THESE PLANS, CONTRACTOR SHALL PROVIDE ROCK SAMPLES AND OBTAIN APPROVAL FROM OWNER PRIOR TO FINAL DELIVERY OF QUARRIED MATERIALS. NO STEEL EDGING SHALL BE USED BETWEEN ROCK TYPES UNLESS SPECIFICALLY SHOWN ON THESE PLANS.

L. CONTRACTOR TO PAY CLOSE ATTENTION TO FINISH GRADES. SHOULD ROCK OR SOD AREAS EXCEED 4:1 SLOPE, CONTRACTOR TO OBTAIN APPROVAL OF LANDSCAPE DESIGNER PRIOR TO INSTALLATION.

M. LANDSCAPING SHALL BE INSTALLED ACCORDING TO PLANS, DETAILS, AND SPECIFICATIONS. SHOULD CHANGES BE IMPLEMENTED IN THE FIELD, A NEW SET OF PLANS ARE REQUIRED TO BE SUBMITTED TO THE CITY OF MANSFIELD OR GOVERNING AGENCY. LANDSCAPE DESIGNER IS NOT UNDER CONTRACT TO PROVIDE THESE PLANS, EXCEPT AS PROVIDED FOR IN ORIGINAL CONTRACT.

MURPHY OIL USA, INC.

MURPHY
USA

200 PEACH STREET
P.O. BOX 7000
EL DORADO, AR 71730-7000



1101 Central Expressway
South,
Suite 215
Allen, TX 75013
Ph. 214.491-1830
John Measels, PE
CIVIL ENGINEER

LANDSCAPE NOTES AND CALCS
WALMART SUPERCENTER #284
960 N. WALNUT CREEK DRIVE
MANSFIELD, TX 76063

REV-0

11/25/24

JM

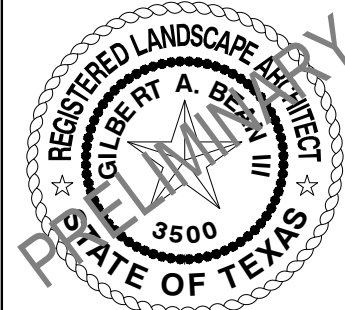
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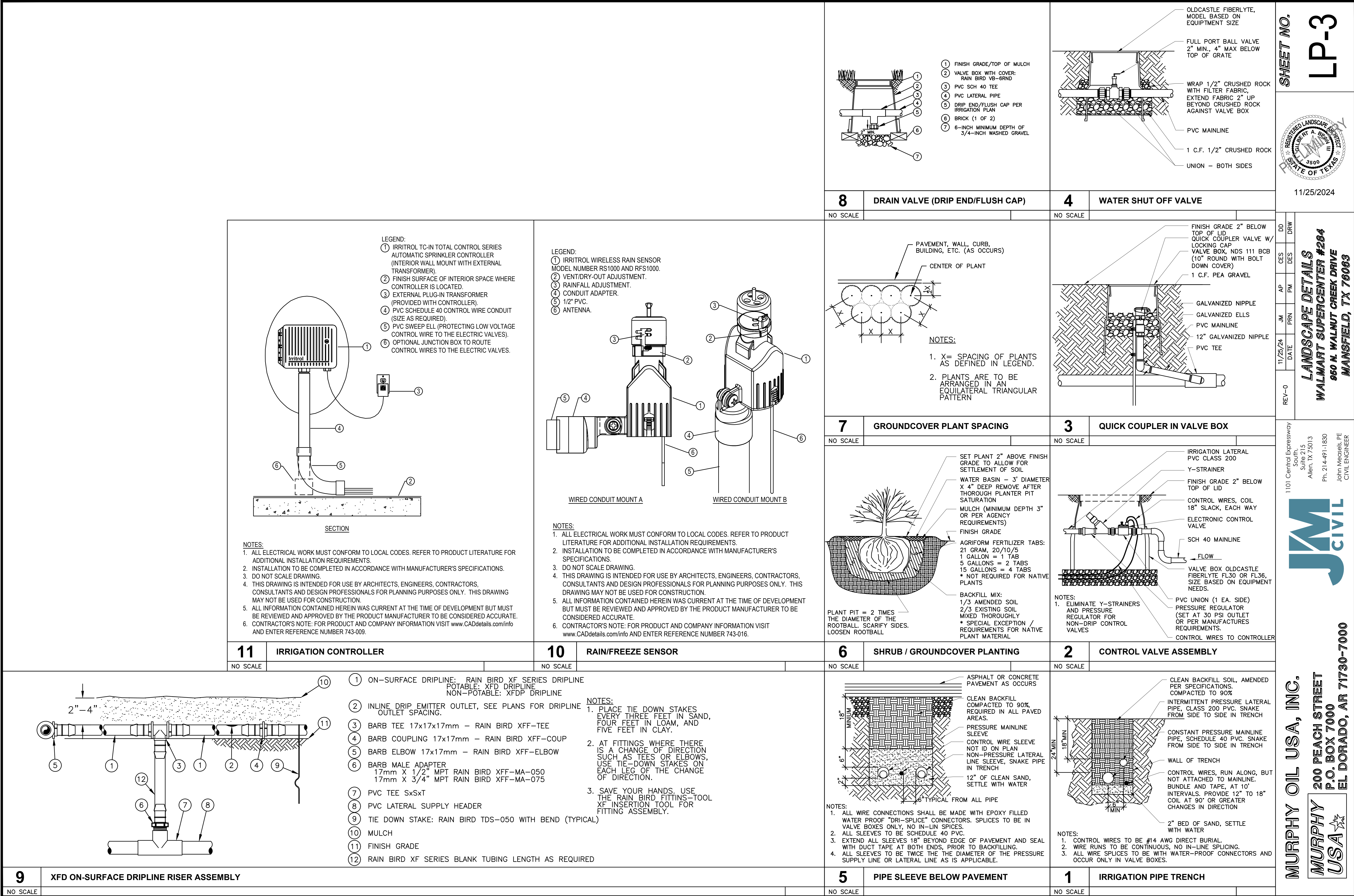


SHEET NO.

LP-2

SUP#24-003

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SHEET NO.

LP-3

11/25/2024

REGISTERED LANDSCAPE ARCHITECT
GILBERT A. BROWN III
5500
STATE OF TEXAS

LANDSCAPE DETAILS
WALMART SUPERCENTER #284
950 N. WALNUT CREEK DRIVE
MANSFIELD, TX 76063

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CIVIL ENGINEER

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P.O. BOX 7000
EL DORADO, AR 71730-7000

MURPHY
USA

SUP#24-003

J:\MURPHY\PROJECTS\MANSFIELD, TX, #753\CURRENT DRAWINGS\JM-M024007_LANDSCAPE MANSFIELD, TX.DWG 12/3/2024 11:04 AM CHRIS STRICKLAND

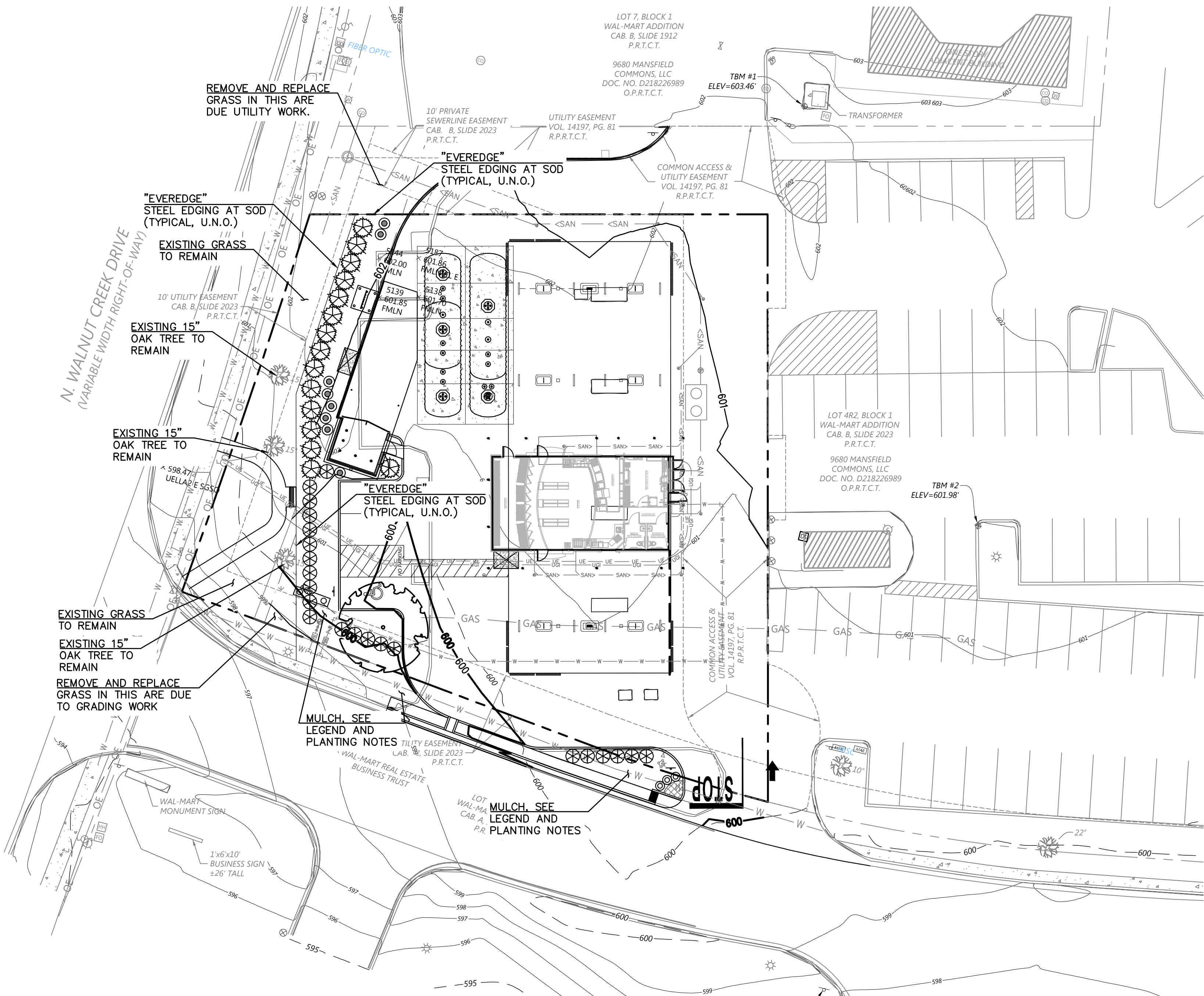
CAUTION NOTICE TO CONTRACTOR
THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS ARE BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 7 DAYS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES HORIZONTALLY AND VERTICALLY WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.

REFER TO SHEET LP-2 FOR
IRRIGATION NOTES,
SHEET LP-3 FOR DETAILS.

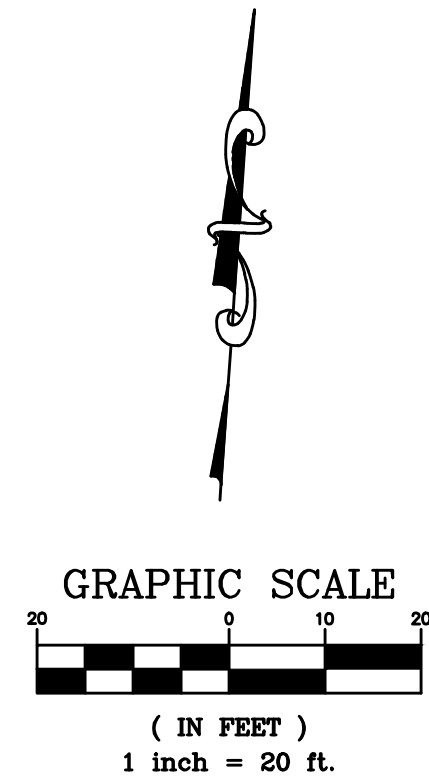
PROVIDE DRIP END/FLUSH CAP AT
LOW END OF ALL DRIPLINE EVEN IF
NOT SHOWN AT LOW POINT.

GENERAL NOTES:

- A. PROPERTY LINE NOT SHOWN TO IMPROVE READABILITY OF THE PLAN, ELIMINATE GRAPHIC CONFLICT WITH IRRIGATION LINES.

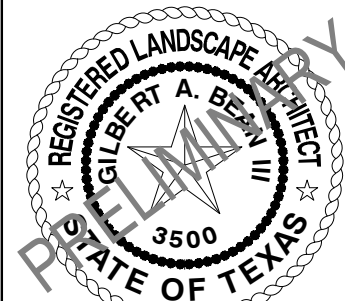


IRRIGATION LEGEND				
SYMBOL	DESCRIPTION	MANUFACTURER /MODEL NUMBER	REMARKS	DETAIL REFERENCE SHEET/NUMBER
	AUTOMATIC CONTROLLER	IRRITROL TOTAL CONTROL - R SERIES CONTROLLER	LOCATION IS APPROXIMATE. FIELD LOCATE INSIDE BUILDING PER CLIENT	L-3 / 11
	RAIN AND FREEZE SENSOR	IRRITROL RFS1000	INSTALL PER MFR RECOMMENDATIONS	L-3 / 10
	POINT OF CONNECTION		REFER TO CIVIL ENGINEERING PLANS FOR 1" IRRIGATION METER AND BALANCE OF WATER SERVICE.	L-1 / INSET 'A'
	REDUCED PRESSURE BACKFLOW PREVENTER	1" FEBCO LF825Y	INSTALL BACKFLOW DEVICE PER MANUFACTURER RECOMMENDATIONS. LOCATION AND SYMBOLS SHOWN ARE PER CIVIL ENGINEERING PLANS. INSTALL ADJACENT TO BACKFLOW DEVICE FOR DOMESTIC SERVICE. TWO SEPARATE SYMBOLS SHOWN BASED ON CIVIL PLANS.	REFER TO CIVIL ENGINEERING DRAWINGS
	BRONZE FULL PORT BALL VALVE TO LINE SIZE	WATTS QV SERIES	IN VALVE BOX FLUSH TO GRADE	L-3 / 4
	STRIP SPRAY	HUNTER STRIP SPRAY NOZZLE WITH PROS-06-PRS40 SPRAY BODY	9X18 STRIP SPRAYS HAVE 2 TIMES THE FLOW AS THE 5' x "X" STRIP SPRAYS. ADJUST TIMER ACCORDINGLY IF BOTH ARE SPECIFIED.	PER MANUFACTURER
	QUICK COUPLER VALVE W/ LOCKING COVER & 2 KEYS, 2 SWIVEL HOSE ELLS	RAINBIRD 33-DLRC OR OWNER APPROVED EQUAL	INTALL AT OWNERS OPTION. INSTALL PER MFR. RECOMMENDATIONS	L-3 / 3
	CONTROL VALVE FOR TREES IN VALVE BOX	RAINBIRD 100-PESB (WITH IN-LINE PRESSURE REGULATOR)	SIZE BASED ON GPM REQUIREMENTS FOR SPECIFIC ZONE. PER MANUFACTURER INSTALL FILTER UPSTREAM FOR FLOWS BELOW 3 GPM. SEE MANUFACTURER RECOMMENDATION FOR FLOWS UNDER 10 GPM. IN-LINE PRESSURE REGULATOR IS SET AT 40 PSI OUTLET PRESSURE, SEE DETAIL	L-3 / 2
	DRIP VALVE ASSEMBLY WITH PRESSURE REGULATOR IN VAVE BOX	RAINBIRD XCZ-100-PR(F/BR)-COM (0.3 - 20 GPM)	SIZE BASED ON GPM REQMT. FOR SPECIFIC ZONE. INSTALL RBY(F) OR BASKET(BR) FILTER	L-3 / 2
	1" P.V.C. SCHEDULE 40 MAINLINE		18" MIN. COVER	-
	P.V.C. CLASS 200 LATERAL 3/4" LINE U.N.O.		12" MIN. COVER	-
	1", UNLESS NOTED OTHERWISE, P.V.C. SCHEDULE 40 SLEEVE FOR WIRE		SEE DETAIL EXTEND SLEEVE PAST EDGE OF CURB OR OTHER ELEMENTS, I.E. EDGE OF SIDEWALK, UTILITY, ETC. AS REQUIRED.	L-3 / 1 AND 5
	P.V.C. SCHEDULE 40 SLEEVE, 2X LINE SIZE BY GENERAL CONTRACTOR EXCEPT WHERE NOTED		SEE DETAIL EXTEND SLEEVE PAST EDGE OF CURB OR OTHER ELEMENTS, I.E. EDGE OF SIDEWALK, UTILITY, ETC. AS REQUIRED.	L-3 / 1 AND 5
	RAINBIRD XFD ON-SURFACE DRIPLINE #XFD-06-24 (0.52 GPM/100') LENGTH OF TUBING PER SITE REQUIREMENTS. PER MANUFACTURER MAXIMUM LENGTH OF RUN AT 30 PSI IS 586'		SOME LINES MAY NOT BE SHOWN WITH THE "X" SYMBOL DUE TO SEVERAL CADD RELATED ITEMS, ALTHOUGH IT SHOULD BE QUITE OBVIOUS WHICH LINES ARE LATERALS VS DRIP. INSTALL ON EACH SIDE OF SHRUBS AND GROUNDCOVER TO PROVIDE FULL COVERAGE. ALTHOUGH LAYOUT IS DIAGRAMMATIC, SPACING AND LENGTH SHOWN IS CLOSE TO ACCURATE. REFER TO RAINBIRD DESIGN AND INSTALLATION MANUAL FOR LAYOUT BASED ON PLANTER AND SHRUB CONFIGURATION.	L-3 / 9
	DRIP END / FLUSH CAP IN VALVE BOX	NETAFIM AUTOMATIC FLUSH VALVE MODEL# TLFV-A OR AGENCY APPROVED EQUAL	INSTALL IN VALVE BOX: INSTALL 3/4" TO 1/2" REDUCER WHERE 3/4" POLY TUBING IS IDENTIFIED. REFER TO RAINBIRD DESIGN AND INSTALLATION MANUAL FOR FLUSH VALVE OPTIONS ON XFD DRIPLINE	L-3 / 11
	PVC TO POLYETHYLENE TUBING CONNECTOR	PEPCO OR EQUAL FOR POLY WITH NETAFIM EMITTERS (IF PROPOSED) SEE DETAIL FOR CONNECTION TO XF SERIES DRIPLINE		L-3 / 2



SHEET NO.

IR-1



12/03/2024

DD

DES

DES

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PM

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PRN

12/03/24

DATE

REV-0

REV-0

1101 Central Expressway

South,

Suite 215

Allen, TX 75013

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John Measels, PE

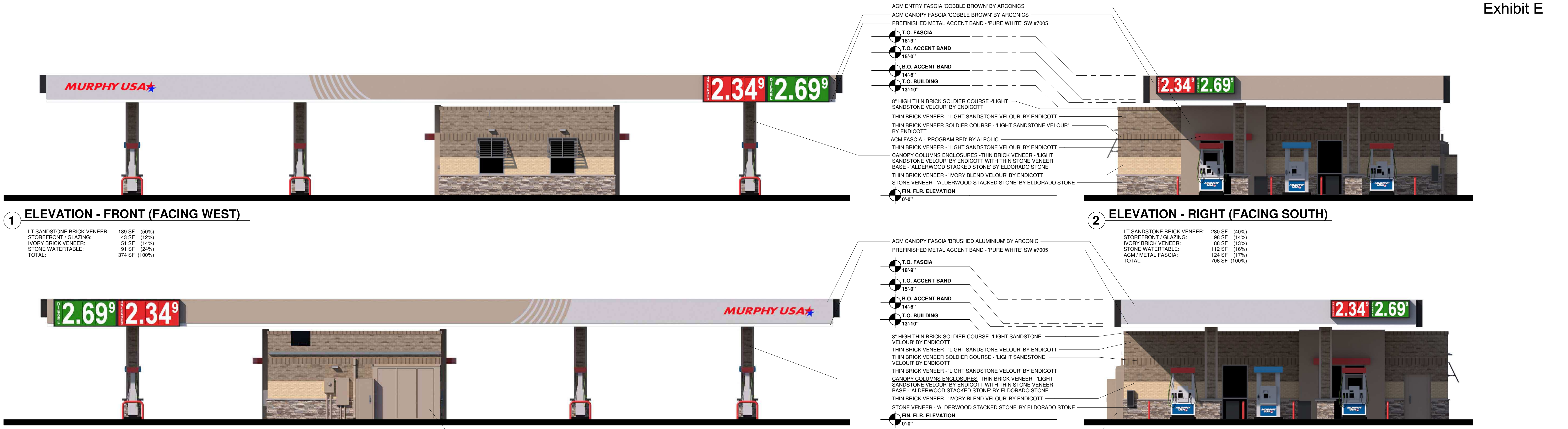
CIVIL ENGINEER



MURPHY OIL USA, INC.

MURPHY 200 PEACH STREET
P.O. BOX 7000
USA EL DORADO, AR 71730-7000

SUP#24-003



SIGNAGE COLOR CHART		
CANOPY - ROUTED SIGNS FURNISHED AND INSTALLED BY FMS		
MURPHY USA STAR LOGO	BLUE	EASTMAN BLUE, PANTONE 287 BLUE 3M 3630-87 ROYAL BLUE
	RED	PROGRAM RED, PANTONE 485 RED 3M 3630-43 RED
	WHITE	EASTMAN WHITE
CANOPY - PRICE SIGNS FURNISHED AND INSTALLED BY THE SIGN VENDOR		
UNLEADED	RED	3M 3632-73
	WHITE	3M 3632-20
	DIGIT	RED/WHITE
DIESEL	CABINET	BLACK
	GREEN	3M 3632-26
	WHITE	3M 3632-20
	DIGIT	GREEN/WHITE
	CABINET	BLACK
	MONUMENT - PRICE SIGNS FURNISHED AND INSTALLED BY THE SIGN VENDOR	
MURPHY USA STAR LOGO	BLUE	3M 3632-157
	RED	3M 3632-43
	SILVER	3M 3630-121
UNLEADED	CABINET	BLACK
	RED	3M 3632-73
	WHITE	3M 3632-20
DIESEL	DIGIT	RED/WHITE
	CABINET	BLACK
	GREEN	3M 3632-26
	WHITE	3M 3632-20
	DIGIT	GREEN/WHITE
	CABINET	BLACK
ETHANOL FREE	BLUE	3M 3632-157
	WHITE	3M 3632-20
	DIGIT	BLUE/WHITE
	CABINET	BLACK