



CITY OF MANSFIELD

1200 East. Broad St.
Mansfield, TX 76063
mansfieldtexas.gov

Meeting Agenda

City Council

Monday, August 8, 2016

5:00 PM

Council Chambers

1. 5:00 P.M. - CALL MEETING TO ORDER

2. RECESS INTO EXECUTIVE SESSION

Pursuant to Section 551.071, Texas Government Code, the Council reserves the right to convene in Executive Session(s), from time to time as deemed necessary during this meeting for any posted agenda item, to receive advice from its attorney as permitted by law.

A. Pending or Contemplated Litigation or to Seek the Advice of the City Attorney Pursuant to Section 551.071

Seek Advice of City Attorney Regarding Pending Litigation - Cause No. 348-270155-14

Seek Advice of City Attorney Regarding Modification to the Lease and Operating Agreement with DSE Hockey Centers, L.P.

Seek Advice of City Attorney Regarding Modification to the Development Agreement with DSE Hockey Centers, L.P.

Seek Advice of City Attorney Regarding South Main Street Reconstruction and North Main Trail Improvements

Seek Advice of City Attorney Regarding Proposed Public Memorial

Seek Advice of City Attorney Regarding Mineral Lease Agreement with Newark Core Barnett, LLC/GHA Barnett, LLC

B. Discussion Regarding Possible Purchase, Exchange, Lease, or Value of Real Property Pursuant to Section 551.072

Consider Possible Purchase/Lease/Exchange of Certain Properties for Future Development/Use:
1416 Holley Creek Lane

C. Personnel Matters Pursuant to Section 551.074

Board Appointments

D. Deliberation Regarding Commercial or Financial Information Received From or the Offer of a Financial or Other Incentive Made to a Business Prospect Seeking to Locate, Stay or Expand in or Near the Territory of the City and with which the City is Conducting Economic Development Negotiations Pursuant to Section 551.087

Project #15-02 - Business Prospect Briefing

Project #15-14 - Business Prospect Briefing

3. 6:50 P.M. – COUNCIL BREAK PRIOR TO REGULAR BUSINESS SESSION

4. 7:00 PM OR IMMEDIATELY FOLLOWING EXECUTIVE SESSION - RECONVENE INTO REGULAR BUSINESS SESSION

5. INVOCATION

6. PLEDGE OF ALLEGIANCE

7. TEXAS PLEDGE

"Honor the Texas Flag; I Pledge Allegiance to Thee, Texas, One State Under God; One and Indivisible"

8. PRESENTATIONS

Key Club Presentation to Tiffany Hang, International Trustee

MMMC Medic of the Year Award Presentation by MMMCH

9. CITIZEN COMMENTS

Citizens wishing to address the Council on non-public hearing agenda items and items not on the agenda may do so at this time. Once the business portion of the meeting begins, only comments related to public hearings will be heard. All comments are limited to 5 minutes. Please refrain from "personal criticisms."

In order to be recognized during the "Citizen Comments" or during a Public Hearing (applicants included), please complete a blue or yellow "Appearance Card" located at the entry to the City Council Chamber and present it to the Assistant City Secretary prior to the start of the meeting.

10. COUNCIL ANNOUNCEMENTS

11. STAFF COMMENTS

In addition to matters specifically listed below, Staff comments may include updates on ongoing or proposed projects and address of posted agenda items.

A. City Manager Report or Authorized Representative

Current/Future Agenda Items

12. TAKE ACTION NECESSARY PURSUANT TO EXECUTIVE SESSION**13. CONSENT AGENDA**

All matters listed under consent agenda have been previously discussed, require little or no deliberation, or are considered to be routine by the council. If discussion is desired, then an item will be removed from the consent agenda and considered separately. Otherwise, approval of the consent agenda authorizes the City Manager to implement each item in accordance with staff's recommendation.

ITEMS TO BE REMOVED FROM THE CONSENT AGENDA**[16-1914](#)**

Ordinance - Third and Final Reading for a Specific Use Permit for Discount Store on Approximately 3.8 Acres, Located at 120 N. Walnut Creek Drive; Grossman Design Build (ZC#16-005)

Sponsors: Joe Smolinski and Felix Wong

Attachments: [Maps & Supporting Info](#)

[Ordinance](#)

[Exhibit A](#)

[Exhibit B Modified](#)

[16-1975](#)

Resolution - A Resolution Authorizing Funding in an Amount Not to Exceed \$124,425.00 and Approval of a Contract for Design Services with Kimley-Horn and Associates, Inc. to Prepare the StarCenter Project for Construction of Off-Site Infrastructure (MEDC Funds)

Sponsors: Joe Smolinski and Steve Freeman

Attachments: [Resolution](#)

[16-1973](#)

Request for Special Event Permit: Mansfield High School Band Boosters Tiger Trek

Sponsors: Joe Smolinski and The Applicant

Attachments: [MHS Tiger Trek App](#)

[Approvals & Comments](#)

[16-1971](#)

Minutes - Approval of the July 25, 2016 Regular City Council Meeting Minutes

Sponsors: Shelly Lanners and Jeanne Heard

Attachments: [7-25-16 DRAFT Meeting Minutes](#)

[16-1974](#)

Minutes - Approval of the July 27, 2016 Special City Council Meeting Minutes

Sponsors: Shelly Lanners and Jeanne Heard

Attachments: [7-27-16 DRAFT Meeting Minutes](#)

END OF CONSENT AGENDA

14. OLD BUSINESS

[16-1943](#) Ordinance - Second Reading of an Ordinance for the Modification of the Mansfield Starcenter Lease and Operating Agreement Between the City of Mansfield and DSE Hockey Centers, L.P.

Sponsors: Shelly Lanners and Peter Phillis

Attachments: [Ordinance](#)

[16-1945](#) Ordinance - Second Reading of an Ordinance Authorizing the Conveyance of Approximately 4.22 Acres of City Owned Real Property

Sponsors: Shelly Lanners and Peter Phillis

Attachments: [Ordinance](#)

[Exhibits A & B](#)

[16-1955](#) Ordinance - Second Reading of an Ordinance Approving a Contract of Sale with Mansfield Independent School District; Authorizing the City Manager to Execute the Same and All Other Documents Necessary to Complete the Transaction; and Providing an Effective Date

Sponsors: Shelly Lanners and Matt Young

Attachments: [Ordinance](#)

15. PUBLIC HEARING CONTINUATION AND SECOND READING

[16-1913](#) Ordinance - Public Hearing Continuation and Second Reading on an Ordinance for Zoning Change from C-1 to PD for Professional Office on Approximately .33 Acres, Located at 500 S. Main Street; Eubanks Appraisals (ZC#16-004)

Sponsors: Joe Smolinski and Felix Wong

Attachments: [Maps & Supporting Info](#)

[Exhibit A](#)

[Exhibit B - Site Plan](#)

[Existing Structure](#)

[Ordinance](#)

[16-1930](#) Ordinance - Public Hearing Continuation and Second Reading on an Ordinance Approving a Zoning Change from C-2, Community Business to PD, Planned Development for Auto Parts Store on Approximately 1.2 Acres Located at 631 W Debbie Lane; Buddy Webb & Company Inc (ZC#16-007)

Sponsors: Joe Smolinski and Felix Wong

Attachments: [Letter from Applicant](#)
[Maps & Supporting Info.](#)
[Ordinance](#)
[Revised SUP](#)

16. PUBLIC HEARING CONTINUATION AND THIRD READING

[16-1915](#) Ordinance - Public Hearing Continuation and Third and Final Reading on an Ordinance Approving a Zoning Change from PD, Planned Development District, C-2, Community Business District, and PR, Pre-Development District to PD for Shopping Center, General Retail, General Service and Office Type Uses, Sports Facilities, and Multi-Family Residential Uses on Approximately 86 Acres, Generally Located East of Hwy 287, West of Carlin Road, North of E. Broad Street and South of McKnight Park East; Shops at Broad, LLC (ZC#16-008)

Sponsors: Joe Smolinski and Felix Wong

Attachments: [Maps & Supporting Info](#)
[Ordinance](#)
[Exhibit A](#)
[Exhibit B - Site Plan](#)
[Exhibit C - Master Sign Plan](#)
[Exhibit D 7-27-16 Redline](#)
[Exhibit F 7-27-16 Redline](#)

17. NEW BUSINESS

[16-1972](#) Resolution - A Resolution Recognizing that the City Council of the City of Mansfield, Texas is Proposing to Adopt a Tax Rate on a Future Agenda

Sponsors: Peter Phillis

Attachments: [Resolution](#)

18. ADJOURN

CERTIFICATION

THIS IS TO CERTIFY THAT A COPY OF THE NOTICE OF the August 8, 2016 Regular City Council Agenda was posted on the City Hall bulletin board, a place convenient and readily accessible to the general public at all times, and to the City's website, mansfieldtexas.gov, on 5th day of August, 2016 prior to 5:00 p.m., in compliance with Chapter 551, Texas Government Code.

Jeanne Heard, City Secretary

Approved as to form:

City Attorney

DATE OF POSTING: _____ TIME: _____ am/pm
DATE TAKEN DOWN: _____ TIME: _____ am/pm

This facility is ADA compliant. If you plan to attend this public meeting and have a disability that requires special arrangements, please call (817) 473-0211 at least 48 hours in advance. Reasonable accommodation will be made to assist your needs. PLEASE SILENCE ALL PAGERS, CELL PHONES & OTHER ELECTRONIC EQUIPMENT WHILE THE CITY COUNCIL MEETING IS IN SESSION.



CITY OF MANSFIELD

1200 East. Broad St.
Mansfield, TX 76063
mansfieldtexas.gov

STAFF REPORT

File Number: 16-1914

Agenda Date: 8/8/2016

Version: 3

Status: Third and Final
Reading

In Control: City Council

File Type: Ordinance

Title

Ordinance - Third and Final Reading for a Specific Use Permit for Discount Store on Approximately 3.8 Acres, Located at 120 N. Walnut Creek Drive; Grossman Design Build (ZC#16-005)

Requested Action

To consider the subject zoning change request

Recommendation

The Planning and Zoning Commission held a public hearing on June 20, 2016, and voted 5-0 to recommend approval. Commissioners Knight and Polozola were absent.

Description/History

First Reading

In December 2015, Council amended the Permitted Use Table in the Zoning Ordinance to require certain uses to obtain a Specific Use Permit (SUP). A discount or thrift store is one of those uses that will need to apply for a SUP. Upon approval, the Wesley Mission Center will relocate its store to the eastern end-cap of the existing retail building on the property. There will be an addition in the rear. The donation drop off will be behind the addition. The proposed addition will help enhance the existing building.

Second Reading

The applicant has modified the site plan and architectural drawings:

1. New back location of overhead door and covered loading/donation area and ramp location
2. Extend enclosed work room into previous location of side ramp; add a small covered dock to access dumpster
3. Build 6' high x 10' long wall to hide dumpster location immediately behind room addition and dock

Prepared By

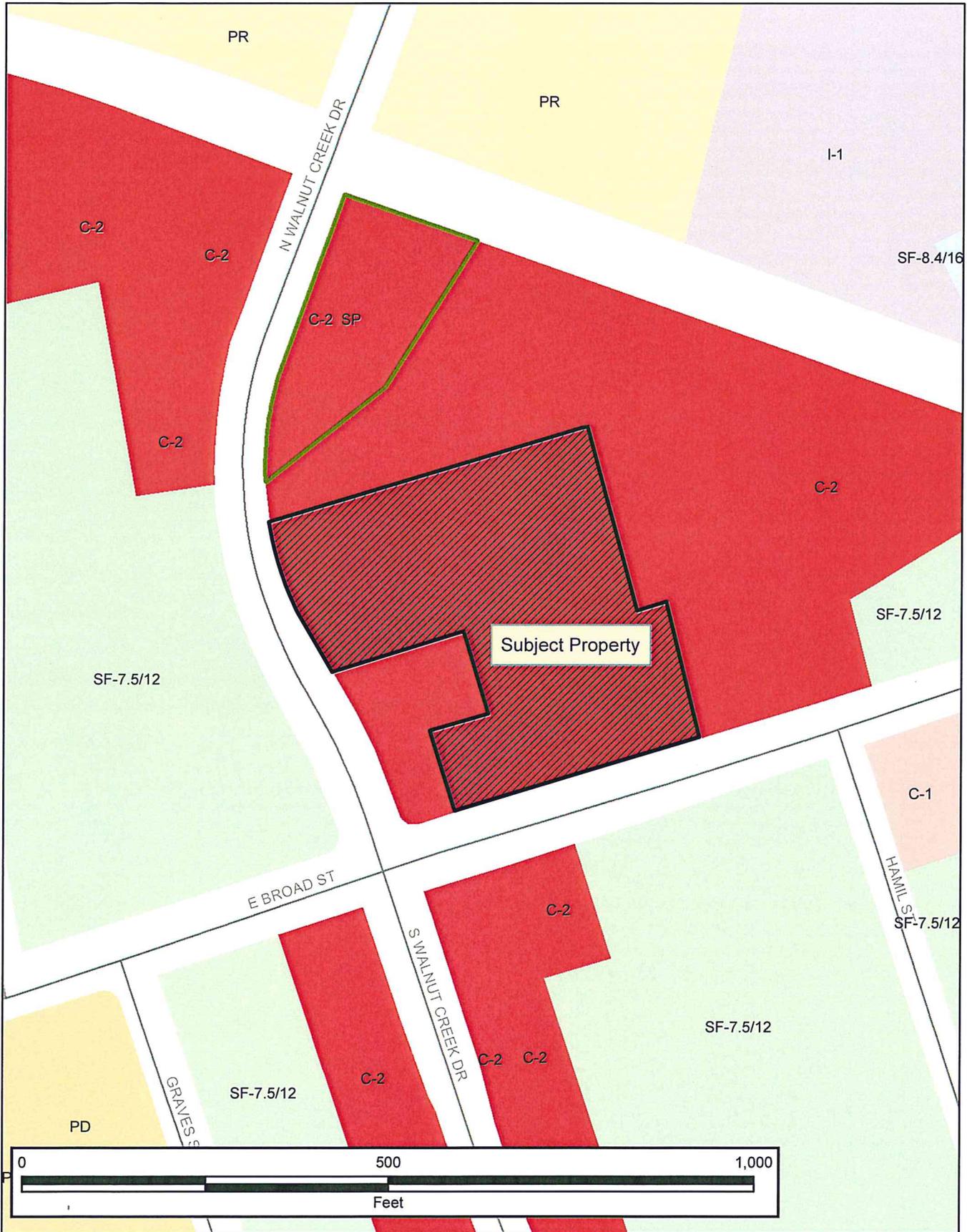
Felix Wong, Director of Planning
817-276-4228



ZC# 16-005

This information is for illustrative purposes only. Not for design or development purposes. Site-specific studies may be required to obtain accurate feature locations. Every effort is made to ensure the information displayed here is accurate; however, the City of Mansfield makes no claims to its accuracy or completeness.

06/07/2016



ZC# 16-005

This information is for illustrative purposes only. Not for design or development purposes. Site-specific studies may be required to obtain accurate feature locations. Every effort is made to ensure the information displayed here is accurate; however, the City of Mansfield makes no claims to its accuracy or completeness.

06/07/2016

Property Owner Notification for ZC# 16-005

LEGAL DESC 1	LEGAL DESC 2	OWNER NAME	OWNER ADDRESS	CITY	ZIP
HARRIS HEIGHTS ADDN-MANSFIELD	LOT 1	MOONEY, ROBERT A	1302 BROOK ARBOR DR	MANSFIELD, TX	76063-5412
LEE'S BROAD ADDITION	BLK 1	WESLEY MISSION CENTER INC	777 N WALNUT CREEK DR	MANSFIELD, TX	76063
LEE'S BROAD ADDITION	BLK 1	HOMER INVESTMENT PTNRSHIP	1849 LAMAR AVE	PARIS, TX	75460
MANSFIELD, CITY OF	BLK 17	MANSFIELD, ISD	605 E BROAD ST	MANSFIELD, TX	76063-1766
MANSFIELD, CITY OF	BLK 18	JML INVESTMENTS LTD	225 MAN O WAR CT	BURLESON, TX	76028-7934
MANSFIELD, CITY OF	BLK 18	KENNETH LEE ENTERPRISES INC	PO BOX 271	MANSFIELD, TX	76063-0271
MANSFIELD, CITY OF	BLK 18	FULLER, SHERRAN	201 N WALNUT CRK DR	MANSFIELD, TX	76063-1754
MANSFIELD, CITY OF	BLK 18	LINE, KENNETH L ETAL	PO BOX 271	MANSFIELD, TX	76063-0271
MANSFIELD, CITY OF	BLK 18	JML INVESTMENTS LTD	225 MAN O WAR CT	BURLESON, TX	76028-7934
MANSFIELD, CITY OF	BLK 20	JBK REALTY LLC	7240 RETTA MANSFIELD RD	MANSFIELD, TX	76063-4702
MANSFIELD, CITY OF	BLK 20	ORR, MARY B EST	5933 SHADY RIVER DR	HOUSTON, TX	77057-1312
MANSFIELD, CITY OF	BLK 20	ORR, MARY B EST	5933 SHADY RIVER DR	HOUSTON, TX	77057-1312
NOLES, R S REVISION	LOT A	GILSTRAP, ROBBIE L	708 E BROAD ST	MANSFIELD, TX	76063-1769
NOLES, R S REVISION	LOT R1F1	PERKINS, DREW K	1610 W BROAD ST	MANSFIELD, TX	76063-4305
NOLES, R S REVISION	LOT R2F	PAWAR, SANDEEP KAUR	8633 SARANAC TR	FORT WORTH, TX	76118-7857
PRICE, WILLIAM C SURVEY	A 1240	K LEE LP	PO BOX 271	MANSFIELD, TX	76063-0271
SMITH, VELMA EST	LOT 1	HOCK, BRENT L	608 E BROAD ST	MANSFIELD, TX	76063-1767

ORDINANCE NO. _____

AN ORDINANCE OF THE CITY OF MANSFIELD, TEXAS, AMENDING THE COMPREHENSIVE ZONING ORDINANCE OF THE CITY OF MANSFIELD, AS HERETOFORE AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT FOR A DISCOUNT STORE ON THE HEREINAFTER DESCRIBED PROPERTIES; PROVIDING FOR THE REPEAL OF ALL ORDINANCES IN CONFLICT; PROVIDING A SEVERABILITY CLAUSE; PROVIDING A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; AND PROVIDING AN EFFECTIVE DATE.

WHEREAS, the Planning and Zoning Commission and the governing body of the City of Mansfield, Texas, in compliance with the laws of the State of Texas with reference to the amendment of the Comprehensive Zoning Ordinance, have given the requisite notices by publication and otherwise, and after holding due hearings and affording a full and fair hearing opportunity to all property owners generally and to owners of the affected properties, the governing body of the City is of the opinion and finds that the Comprehensive Zoning Ordinance and Map should be amended;

NOW, THEREFORE BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF MANSFIELD, TEXAS:

SECTION 1.

That the Comprehensive Zoning Ordinance of the City of Mansfield, Texas, be, and the same is hereby, amended by amending the Zoning Map of the City of Mansfield, to give the hereinafter described property a new specific use permit for a discount store, said property being described in Exhibit "A" attached hereto and made a part hereof for all purposes.

SECTION 2.

That the use and development of the hereinabove described property shall be in accordance to the site plan shown on Exhibit "B" attached hereto and made a part hereof for all purposes.

SECTION 3.

That all ordinances of the City in conflict with the provisions of this ordinance be, and the same are hereby, repealed and all other ordinances of the City not in conflict with the provisions of this ordinance shall remain in full force and effect.

SECTION 4.

That the above described properties shall be used only in the manner and for the purposes provided for in the Comprehensive Zoning Ordinance of the City, as amended herein by the granting of this Specific Use Permit.

SECTION 5.

Should any paragraph, sentence, subdivision, clause, phrase or section of this ordinance be adjudged or held to be unconstitutional, illegal or invalid, the same shall not affect the validity of this ordinance as a whole or any part or provision thereof, other than the part so declared to be invalid, illegal or unconstitutional, and shall not affect the validity of the Comprehensive Zoning Ordinance as a whole.

SECTION 6.

Any person, firm or corporation violating any of the provisions of this ordinance or the Comprehensive Zoning Ordinance, as amended hereby, shall be deemed guilty of a misdemeanor and, upon conviction in the Municipal Court of the City of Mansfield, Texas, shall be punished by a fine not to exceed the sum of Two Thousand Dollars (\$2,000.00) for each offense, and each and every day any such violation shall continue shall be deemed to constitute a separate offense.

SECTION 7.

This ordinance shall take effect immediately from and after its passage on third and final reading and the publication of the caption, as the law and charter in such cases provide.

First reading approved on the _____ day of _____, 2016.

Second reading approved on the _____ day of _____, 2016.

DULY PASSED on the third and final reading by the City Council of the City of Mansfield, Texas, this _____ day of _____, 2016.

David L. Cook, Mayor

ATTEST:

Jeanne Heard, City Secretary

APPROVED AS TO FORM AND LEGALITY

Allen Taylor, City Attorney

ZC#16-005

EXHIBIT A

LEGAL DESCRIPTION

Lot 1R, Block 1

Lee's Broad Addition

BEING all of Lot 1R1 of the Lee's Broad Addition, an addition to the City of Mansfield, Tarrant County, Texas, recorded by plat in Cabinet A, Page 4168, Plat Records, Tarrant County, Texas (P.R.,T.Co., Tx.), conveyed to Linron Properties, LTD., in Instrument Number D209197165, Deed Records, Tarrant County, Texas (D.R.,T.Co., Tx.), said tract of land being more particularly described, by metes and bounds, as follows:

BEGINNING at a nail found at the southwest corner of Lot 1R1, Block 1, Lee's Broad Addition, said point being in the north line of East Broad Street;

THENCE with the east line of Lot 1C1, Block 18, Original Town of Mansfield, North 18 degrees 46 minutes 38 seconds West, a distance of 106.81 feet to a bolt found for a corner;

THENCE with the south line of Lot 2, Block 1, of said Lee's Broad Addition, North 73 degrees 27 minutes 21 seconds East, a distance of 91.87 feet to an x-cut found for a corner;

THENCE with the east line of Lot 2, Block 1, North 17 degrees 00 minutes 37 seconds West, a distance of 128.19 feet to an x-cut set for a corner;

THENCE with the north line of Lot 2, Block 1, South 73 degrees 16 minutes 18 seconds West, a distance of 201.22 feet to an x-cut set for a corner;

THENCE with the east line of Walnut Creek Drive, North 30 degrees 01 minutes 50 seconds West, a distance of 13.26 feet to an x-cut set for a corner, said point being the beginning of a curve to the right with a radius of 555.58 feet, whose long chord bears North 19 degrees 31 minutes 06 seconds West, a distance of 203.13 feet;

THENCE along said curve a distance of 204.28 feet to a 1/2-inch iron pin found for a corner;

THENCE North 73 degrees 45 minutes 52 seconds East, a distance of 454.54 feet to a 1/2-inch iron pin found for a corner;

THENCE South 14 degrees 16 minutes 23 seconds East, a distance of 249.93 feet to a 1/2-inch iron pin found for a corner;

THENCE North 75 degrees 42 minutes 39 seconds East, a distance of 44.98 feet to a 1/2-inch iron pin found for a corner;

THENCE South 14 degrees 19 minutes 04 seconds East, a distance of 195.18 feet to an x-cut found for a corner;

THENCE South 72 degrees 24 minutes 21 seconds West, a distance of 2.59 feet to a point for a corner, said point being the beginning of a curve to the right with a radius of 970.86 feet, whose long chord bears South 74 degrees 39 minutes 11 seconds West, a distance of 59.58 feet;

THENCE along said curve, a distance of 59.58 feet to a 5/8-inch iron pin set for a corner, said point being the beginning of a curve to the left with a radius of 1257.52 feet, whose long chord bears South 73 degrees 51 minutes 07 seconds West, a distance of 114.10 feet;

THENCE along said curve, a distance of 114.14 feet to an x-cut set for a corner;

THENCE South 72 degrees 28 minutes 51 seconds West, a distance of 177.58 feet to the POINT of BEGINNING, having an area of 167,209 Square Feet, or 3.839 Acres of land, more or less.

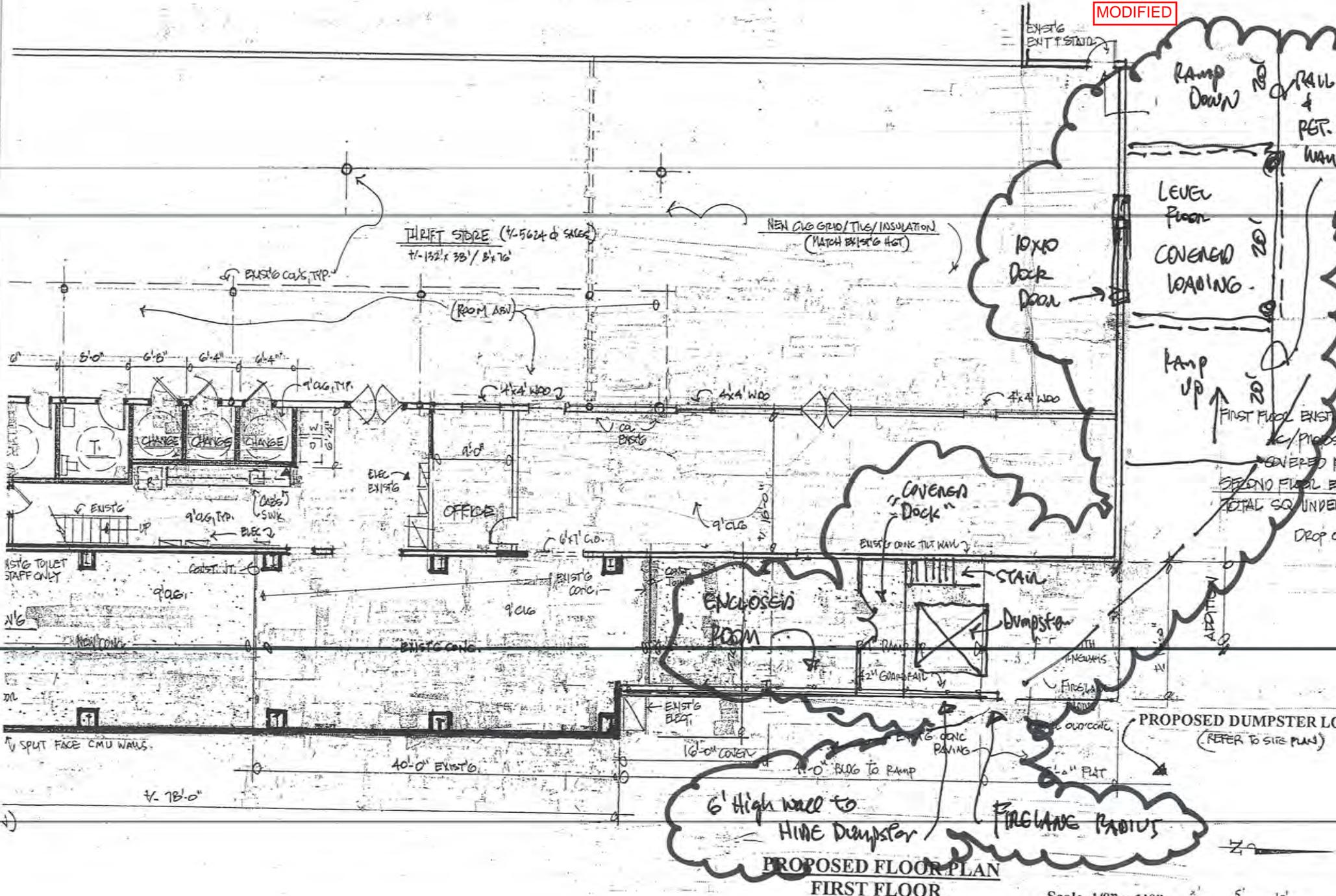
PREPARED FROM RECORDS FURNISHED AND
A SURVEY MADE ON THE GROUND ON OCTOBER 29, 2015



GEORGE R. HILL R.P.L.S. 6022



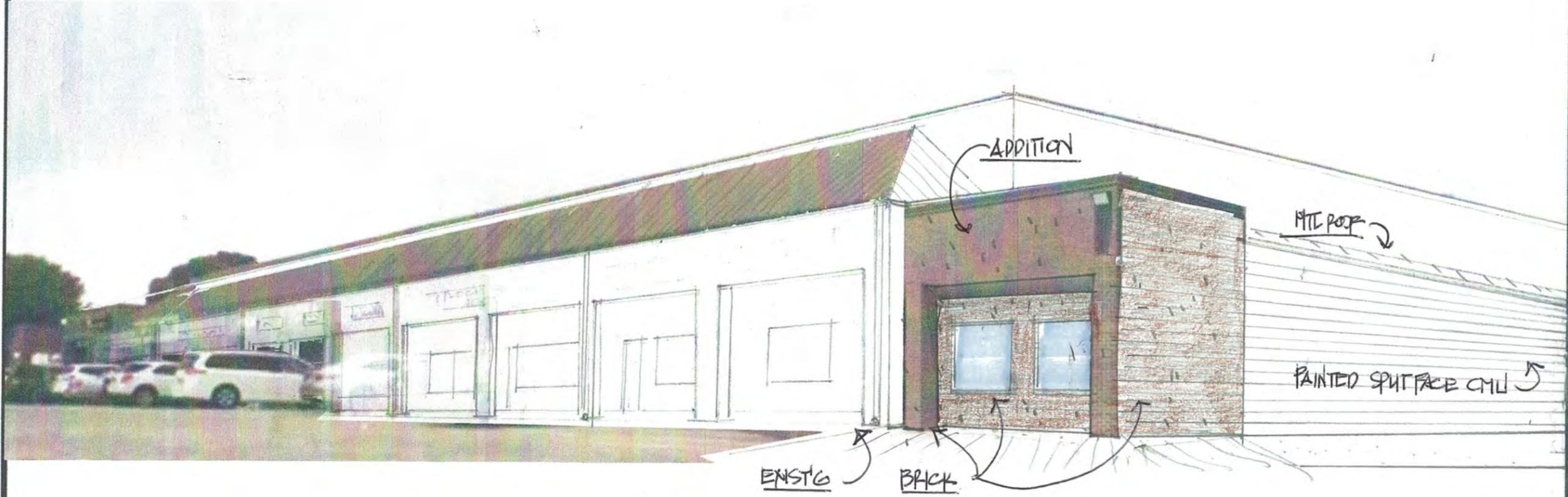
MODIFIED



PROPOSED FLOOR PLAN
FIRST FLOOR

Scale 1/8" = 1'0" 5' 10'

ORIGINAL -
NO CHANGE IN THE
FRONT FACADE



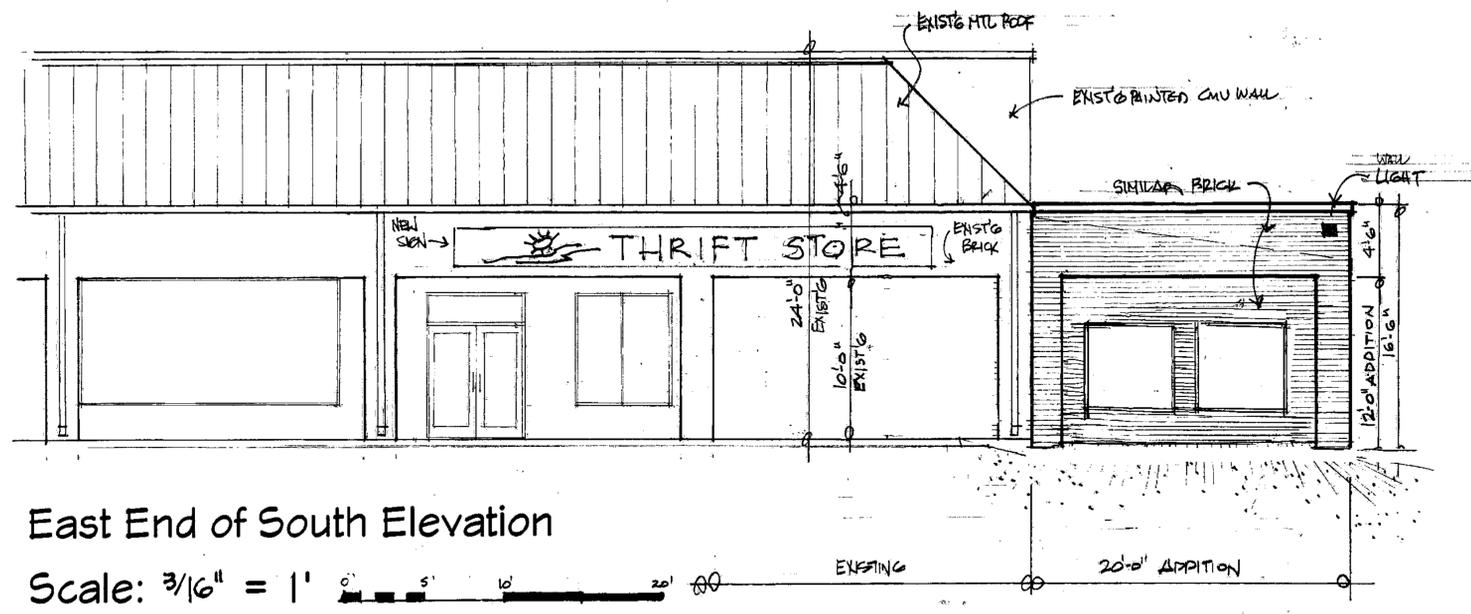
WESLEY MISSION CENTER

120 North Walnut Creek, Suite 103 , Mansfield, Texas 76063

Grossman Design Build
411 E. Broad Street,
Mansfield, TX 76063
817-473-9168

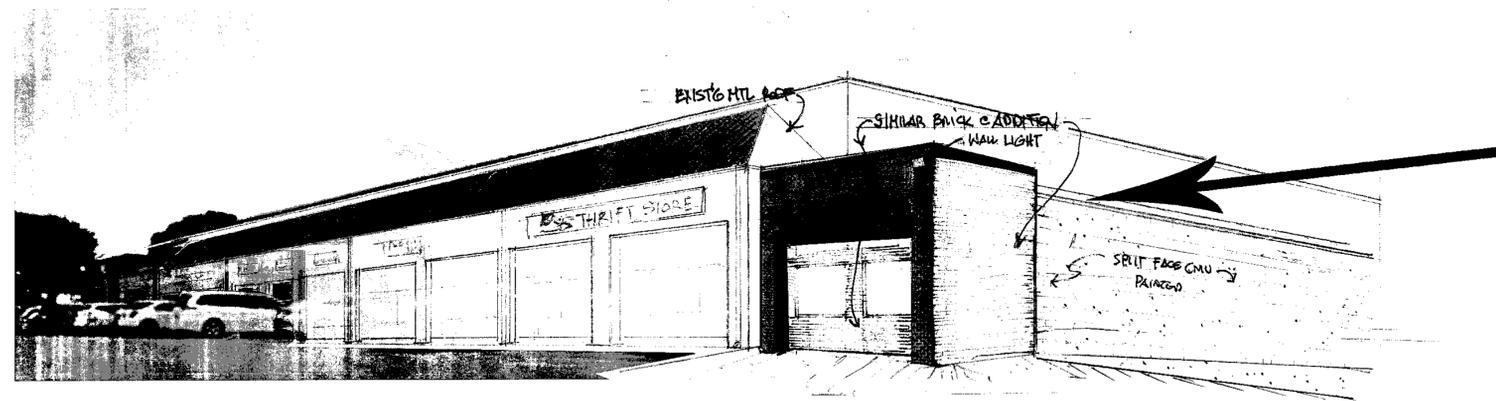
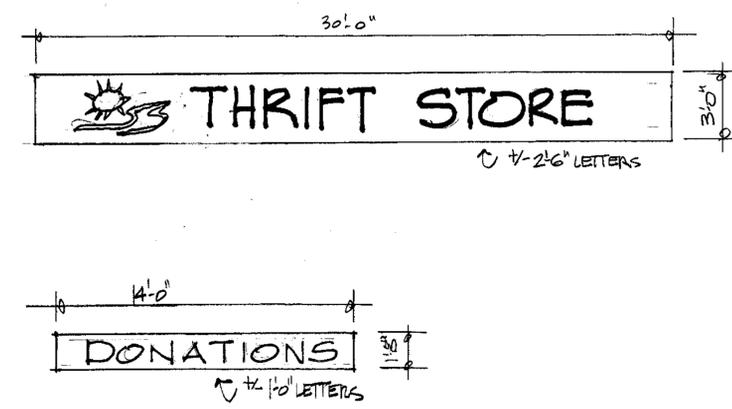
Exhibit D- Colored Rendering ZC #16-005
Development Plan, Wesley Mission Center
Lot 1R, Block 1 Lee's Broad Addition
Tarrant County, Mansfield Texas 76063
120 N. Walnut Creek, suite 103

ORIGINAL

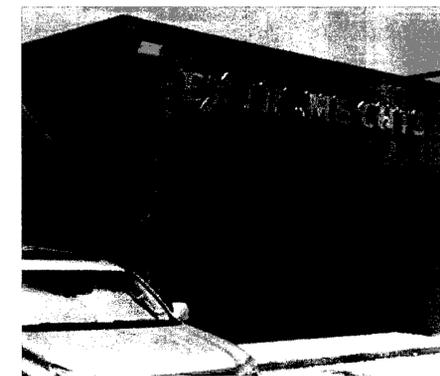


East End of South Elevation

Scale: 3/16" = 1'

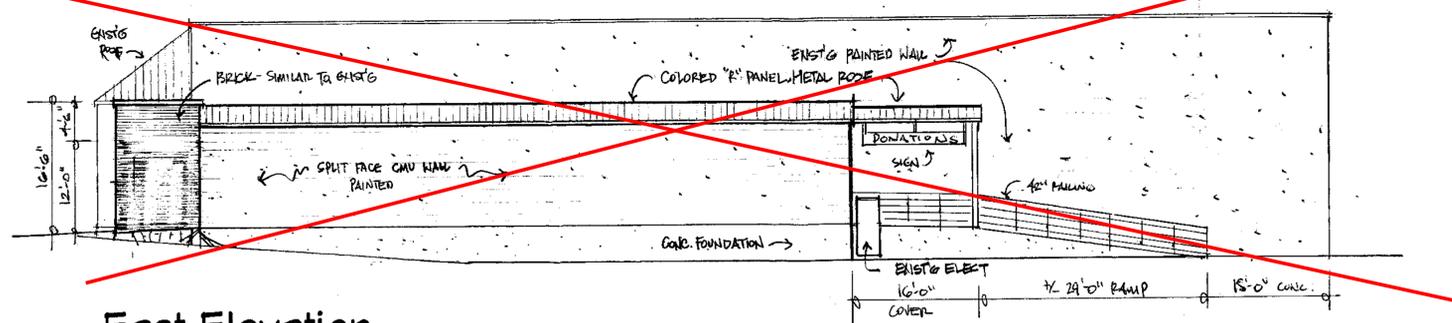


Concept Perspective
N.T.S.



Existing Building, New Addition
will Mirror Existing Facade

REPLACED BY NEXT PAGE



East Elevation

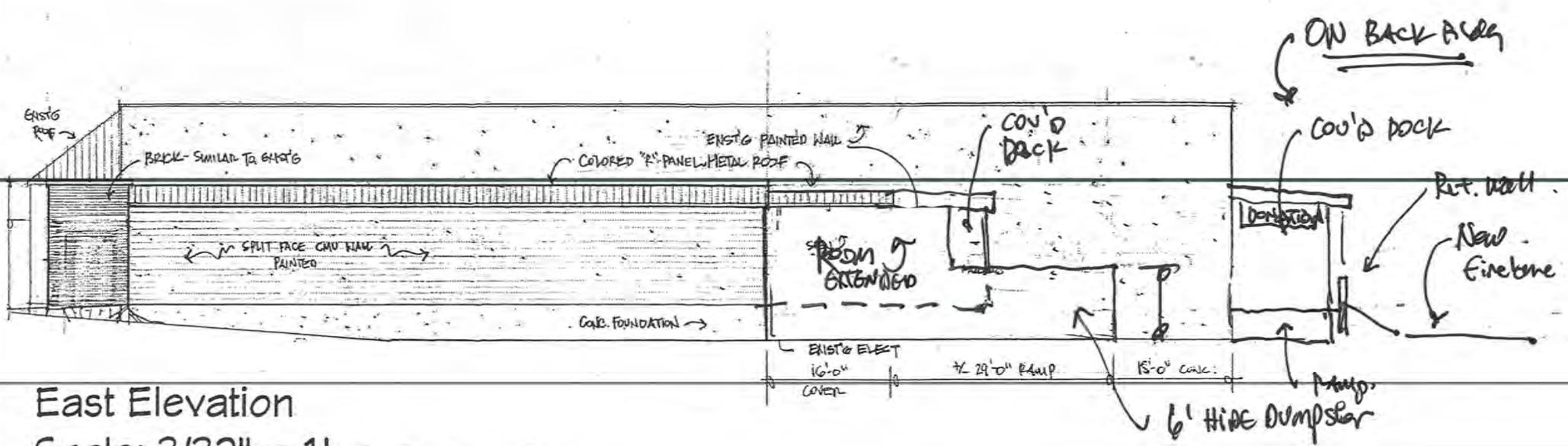
Scale: 3/32" = 1'

WESLEY MISSION CENTER

Grossman Design Build
911 E. Broad St. #120A
Mansfield, Tx. 76063

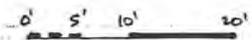
Exhibit C- Elevations 7C #16-005
Development Plan, Wesley Mission Center
Lot 1R, Block 1 Lee's Broad Addition
Tarrant County, Mansfield Texas 76063
120 N. Walnut Creek, suite 103

MODIFIED



East Elevation

Scale: 3/32" = 1'





CITY OF MANSFIELD

1200 East. Broad St.
Mansfield, TX 76063
mansfieldtexas.gov

STAFF REPORT

File Number: 16-1975

Agenda Date: 8/8/2016

Version: 1

Status: Consent

In Control: City Council

File Type: Resolution

Agenda Number:

Title

Resolution - A Resolution Authorizing Funding in an Amount Not to Exceed \$124,425.00 and Approval of a Contract for Design Services with Kimley-Horn and Associates, Inc. to Prepare the StarCenter Project for Construction of Off-Site Infrastructure (MEDC Funds)

Requested Action

The authorization of funds in an amount not to exceed \$124,425.00 and approval of a contract for design services with Kimley-Horn and Associates, Inc., to prepare the StarCenter project for construction of off-site infrastructure.

Recommendation

The authorization of funds in an amount not to exceed \$124,425.00 and approval of a contract for design services with Kimley-Horn and Associates, Inc., to prepare the StarCenter project for construction of off-site infrastructure.

Description/History

Kimley-Horn has been selected to design all off-site infrastructure associated with the StarCenter project located in the northeast quadrant of US 287 and East Broad St.

Justification

The requested funds are for design services with Kimley-Horn and Associates, Inc. in the amount of \$124,425.00 to prepare this portion of the project for construction.

The Public Works Director will be in attendance at the meeting to answer Council's questions regarding the proposed funding and contract.

Funding Source

MEDC Funds

Prepared By

Raymond Coffman, Development Manager, Engineering Department
817-276-4238

RESOLUTION NO. _____

A RESOLUTION AUTHORIZING FUNDING IN AN AMOUNT NOT TO EXCEED \$124,425.00 AND APPROVAL OF A CONTRACT FOR DESIGN SERVICES WITH KIMLEY-HORN AND ASSOCIATES, INC. TO PREPARE THE STARCENTER PROJECT FOR CONSTRUCTION OF OFF-SITE INFRASTRUCTURE (MEDC FUNDS)

WHEREAS, the City Council recognizes the need to proceed forward with the design of off-site infrastructure for the StarCenter Project; and,

WHEREAS, the City Staff has reviewed the proposal for the StarCenter Project; and,

WHEREAS, the City Council has received the recommendation of Staff to contract with Kimley-Horn and Associates, Inc. for design services; and,

WHEREAS, it is necessary to authorize and secure funds from MEDC Funds.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF MANSFIELD, TEXAS, THAT:

SECTION 1.

Funding is hereby authorized in the amount of One Hundred Twenty Four Thousand Four Hundred Twenty-Five and 00/100 Dollars (\$124,425.00) to prepare this project for construction.

SECTION 2.

The City Manager or his designee is hereby authorized and directed to execute a contract for design services with Kimley-Horn and Associates, Inc. in the amount of \$124,425.00 to prepare this project for construction.

PASSED AND APPROVED THIS 8th DAY OF AUGUST, 2016.

David L. Cook, Mayor

ATTEST:

Jeanne Heard, City Secretary



CITY OF MANSFIELD

1200 East. Broad St.
Mansfield, TX 76063
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STAFF REPORT

File Number: 16-1973

Agenda Date: 8/8/2016

Version: 1

Status: Consent

In Control: City Council

File Type: Special Event

Agenda Number:

Title

Request for Special Event Permit: Mansfield High School Band Boosters Tiger Trek

Requested Action

Approval of the Special Event Permit for the Mansfield High School Band Boosters Tiger Trek.

Recommendation

City Staff has reviewed the application and recommends the same.

Description/History

This is an annual event. See application for more details.

Justification

N/A

Funding Source

N/A

Prepared By

Lynn Brown, Code Compliance Coordinator
817-728-3609

Applicant:

Bridget Stack 972-742-3557

Attachments:

Application and site plan
Approvals & Comments



1200 East Broad Street, Mansfield, TX 76063
 www.mansfieldtexas.gov Fax: 817-728-3639

Special Event Application

Organization/Group: MHS Band Boosters	Date: 7/26/16
Applicant: Bridget Stack	
Applicant's Address: 2013 Perry Dr	Phone No. 972 742 3557
*Will be called or emailed for more information needed and/or when the permit is ready for pick-up	Email: Stackgirls@gmail.com
Address of Event: Heritage Estates	
Description & Activities: MHS Band will march through Heritage Estates Neighborhood	
Date of Event: 8/27/16	Hours of Event: 8-12 PM
Public Invited or Private Party?	Estimated Number of Attendees 250
Is the event in a Mansfield Park? No	*If yes, Insurance is required
Do you plan to Temporarily Close a Public Street? Yes	*If yes, Insurance is required
Is the event on Private Property other than your own? City Streets	*If yes, signed permission is required
Will there be any new or temporary electric lines installed? No	*If yes, a registered Electrician must obtain a permit. Indicate the line locations on the site plan.
Will you be using generators? No	*If yes, show location on the site plan
Do you plan to have any Tents? No	*If yes, a separate permit is required.
Do you plan to have any pop-up canopies? No	
Do you plan to have any Promotional Signs? (banners, streamers, balloons) No	*If yes, a separate permit is required
City of Mansfield Assistance Requested:	
Barricades/ Street Closure? No	*If yes, show on site plan where you want to have barricades. A resident roster must be submitted for a block party.
Police/Traffic Control/Security? MISD Police officer Below	*If yes, attach an explanation and the name of the person you are working with
<p>Please Read and Include the Following Information With This Application</p> <ul style="list-style-type: none"> For all outdoor activities, a site plan must be attached. One can be provided if requested. You need to show where all items will be located on the site plan. If Insurance is required, the City of Mansfield must be listed as "Additional Insured". All documents must be turned in at the same time. Please allow enough time for review and approval before the date of your event. 	
Applicant's Printed Name:	Applicant's Signature:
Bridget Stack	Bridget Stack



SPECIAL EVENT REVIEW APPROVALS & COMMENT

EVENT:	MHS Tiger Trek
DATE OF EVENTS:	Saturday, August 27th
*ANDY BINZ (RECREATION)	Approved
Comments:	
*KERIN MAGUIRE (PLANNING)	Approved
Comments:	
Promotional Signs?	no
*DAVID BOSKI (STREETS)	Approved
Comments:	
Street Closures?	no
*PAUL COKER (DEVELOPMENT SERVICES)	Approved
HOWARD REDFEARN (ENVIRONMENTAL)	Approved
Comments:	
*ERIC PETERSON (FIRE)	Approved
Comments:	
*W. KYLE LANIER (POLICE)	Approved
Comments:	
City Council Approval Required?	Yes
Agenda Date:	8/8/2016
Special Event Number	Legistar #16-1973



CITY OF MANSFIELD

1200 East. Broad St.
Mansfield, TX 76063
mansfieldtexas.gov

STAFF REPORT

File Number: 16-1971

Agenda Date: 8/8/2016

Version: 1

Status: Approval of Minutes

In Control: City Council

File Type: Meeting Minutes

Agenda Number:

Title

Minutes - Approval of the July 25, 2016 Regular City Council Meeting Minutes

Requested Action

Action to be taken by the Council to approve the minutes.

Recommendation

Approval of the minutes by the Council.

Description/History

The minutes of the July 25, 2016 Regular City Council Meeting are in DRAFT form and will not become effective until approved by the Council at this meeting.

Justification

Permanent Record

Funding Source

N/A

Prepared By

Susana Marin, Asst. City Secretary, City Secretary's Office
817-276-4203



CITY OF MANSFIELD

1200 East. Broad St.
Mansfield, TX 76063
mansfieldtexas.gov

Meeting Minutes - Draft

City Council

Monday, July 25, 2016

5:00 PM

Council Chambers

REGULAR MEETING

5:00 P.M. - CALL MEETING TO ORDER

Mayor Cook called the meeting to order at 5:00 p.m.

Present 7 - David Cook; Stephen Lindsey; Wendy Burgess; Cory Hoffman; Larry Broseh; Darryl Haynes and Brent Newsom

RECESS INTO EXECUTIVE SESSION

In accordance with the Texas Government Code, Chapter 551, Mayor Cook recessed the meeting into executive session at 5:03 p.m. Mayor Cook called the executive session to order in the Council Conference Room at 5:10 p.m. Mayor Cook adjourned executive session at 7:15 p.m.

Pending or Contemplated Litigation or to Seek the Advice of the City Attorney Pursuant to Section 551.071

Seek Advice of City Attorney Regarding Pending Litigation - Cause No. 348-270155-14

Seek Advice of City Attorney Regarding Code Compliance at 801 Stell Avenue

Seek Advice of City Attorney Regarding Modification to the Lease and Operating Agreement with DSE Hockey Centers, L.P.

Seek Advice of City Attorney Regarding Modification to the Development Agreement with DSE Hockey Centers, L.P.

Discussion Regarding Possible Purchase, Exchange, Lease, or Value of Real Property Pursuant to Section 551.072

Consider Possible Purchase/Lease/Exchange of Certain Properties for Future Development/Use

Personnel Matters Pursuant to Section 551.074

Deliberation Regarding Commercial or Financial Information Received From or the Offer of a Financial or Other Incentive Made to a Business Prospect Seeking to Locate, Stay or Expand in or Near the Territory of the City and with which the City is Conducting Economic Development Negotiations Pursuant to Section 551.087

Project #15-02 - Business Prospect Briefing

7:00 PM OR IMMEDIATELY FOLLOWING EXECUTIVE SESSION - RECONVENE INTO REGULAR BUSINESS SESSION

Mayor Cook reconvened into regular business session at 7:25 p.m.

INVOCATION

First United Methodist Church Pastor Sharon Reid led the Invocation.

PLEDGE OF ALLEGIANCE

Council Member Burgess led the Pledge Allegiance.

TEXAS PLEDGE

"Honor the Texas Flag; I Pledge Allegiance to Thee, Texas, One State Under God; One and Indivisible"

Council Member Haynes led the Texas Pledge.

CITIZEN COMMENTS

Steve Nelson - 257 Carlin Road - Mr. Nelson spoke about the city's development process. He requested that Council consider arranging meetings with citizens for involvement and transparency and not rush on projects.

Mayor Cook acknowledged the following non-speakers:

Opposed to agenda items 16-1964 and 16-1945:

Georgana Battles - 261 Carlin Road

Danny Battles - 261 Carlin Road

Cheryl Nelson - 257 Carlin Road

Nathan Doty - 253 Carlin Road

Jordan Doty - 253 Carlin Road

Opposed to agenda item 16-1943:

Karen Pope - 108 Carlin Road

Guy Pope - 108 Carlin Road

Carolyn Bishop - 1840 Paul Road

COUNCIL ANNOUNCEMENTS

Council Member Lindsey had no announcements.

Council Member Hoffman had no announcements.

Council Member Haynes thanked the owner of Fish City Grill for their grand opening this past weekend and commented on a play he attended at Mansfield Community Theater.

Council Member Burgess had no announcements.

Council Member Newsom had no announcements.

Mayor Pro Tem Broseh had no announcements.

Mayor Cook had no announcements.

STAFF COMMENTS

City Manager Report or Authorized Representative

Current/Future Agenda Items

There were no staff comments.

Business Services Department Report

[16-1936](#)

Presentation of Monthly Financial Report for the Period Ending June 30, 2016

There were no questions regarding the monthly financial.

TAKE ACTION NECESSARY PURSUANT TO EXECUTIVE SESSION

No action was taken by the Council.

CONSENT AGENDA

ITEMS TO BE REMOVED FROM THE CONSENT AGENDA

[16-1950](#)

Resolution - A Resolution for Authorization of Funding in an Amount not to exceed \$500,000.00 and Approval of an Engineering Contract with Kimley-Horn and Associates, Inc. for Design of E. Broad Street as a 6-Lane Divided Roadway from US Hwy 287 to Cannon Drive (MEDC Fund)

A motion was made by Council Member Hoffman to approve the following resolution:

A RESOLUTION AUTHORIZING FUNDING FOR AN AMOUNT NOT TO EXCEED

\$500,000.00 AND APPROVAL OF A CONTRACT WITH KIMLEY-HORN AND ASSOCIATES, INC. FOR DESIGN SERVICES FOR E. BROAD STREET AS A 6-LANE DIVIDED ROADWAY FROM US HWY 287 TO CANNON DRIVE

(Resolution in its entirety located in the City Secretary's Office)

Seconded by Council Member Burgess. The motion CARRIED by the following vote:

Aye: 7 - David Cook; Stephen Lindsey; Wendy Burgess; Cory Hoffman; Larry Broseh; Darryl Haynes and Brent Newsom

Nay: 0

Abstain: 0

Enactment No: RE-3268-16

[16-1951](#)

Resolution - A Resolution Authorizing Additional Funding to the Contract with Kimley-Horn and Associates, Inc. not to Exceed \$42,500.00 for a Change in Scope of Design Services for the US Hwy 287 Ramps and U-turn Project (Street Bond Fund)

A motion was made by Council Member Hoffman to approve the following resolution:

A RESOLUTION AUTHORIZING ADDITIONAL FUNDING TO THE CONTRACT WITH KIMLEY-HORN AND ASSOCIATES, INC. NOT TO EXCEED \$42,500.00 FOR A CHANGE IN SCOPE OF DESIGN SERVICES FOR THE US HWY 287 RAMPS AND TEXAS U-TURN PROJECT

(Resolution in its entirety located in the City Secretary's Office)

Seconded by Council Member Burgess. The motion CARRIED by the following vote:

Aye: 7 - David Cook; Stephen Lindsey; Wendy Burgess; Cory Hoffman; Larry Broseh; Darryl Haynes and Brent Newsom

Nay: 0

Abstain: 0

Enactment No: RE-3269-16

[16-1954](#)

Resolution - A Resolution Authorizing the Purchase of Properties Located at 620 S. Parkridge Drive, 622 S. Parkridge Drive, 624 S. Parkridge Drive, 1203 Palm Street, 1205 Palm Street, 1401 Palm Street, and 1403 Palm Street in the Amount of \$70,000 by the Mansfield Park Facilities Development Corporation (MPFDC)

A motion was made by Council Member Hoffman to approve the following resolution:

A RESOLUTION AUTHORIZING THE MANSFIELD PARK FACILITIES DEVELOPMENT CORPORATION'S (MPFDC) PURCHASE OF PROPERTIES LOCATED AT 620 S. PARKRIDGE DRIVE, 622 S. PARKRIDGE DRIVE, 624 S. PARKRIDGE DRIVE, 1203 PALM STREET, 1205 PALM STREET, 1401 PALM

STREET, AND 1403 PALM STREET IN THE AMOUNT OF \$70,000

(Resolution in its entirety located in the City Secretary's Office)

Seconded by Council Member Burgess. The motion CARRIED by the following vote:

Aye: 7 - David Cook; Stephen Lindsey; Wendy Burgess; Cory Hoffman; Larry Broseh; Darryl Haynes and Brent Newsom

Nay: 0

Abstain: 0

Enactment No: RE-3270-16

[16-1956](#)

Review and Consideration of Consent to Assignment of Development Agreement on the Backyard Project on S. Main Street

A motion was made by Council Member Hoffman to approve the request for consideration. Seconded by Council Member Burgess. The motion CARRIED by the following vote:

Aye: 7 - David Cook; Stephen Lindsey; Wendy Burgess; Cory Hoffman; Larry Broseh; Darryl Haynes and Brent Newsom

Nay: 0

Abstain: 0

[16-1957](#)

Resolution - A Resolution Authorizing the Issuance of a Purchase Order to Shade Structures, Inc. (USASHADE) in the Amount of \$67,825 for the Purchase and Installation of Ten (10) New Fabric Shade Structures for the Football Area Bleachers at Clayton Chandler Park by the Mansfield Park Facilities Development Corporation (MPFDC). (BUY BOARD #423-13)

A motion was made by Council Member Hoffman to approve the following resolution:

A RESOLUTION AUTHORIZING THE ISSUANCE OF A PURCHASE ORDER TO SHADE STRUCTURES, INC. (USASHADE) IN THE AMOUNT OF \$67,825 FOR PURCHASE AND INSTALLATION OF TEN (10) NEW FABRIC SHADE STRUCTURES FOR THE FOOTBALL AREA BLEACHERS AT CLAYTON CHANDLER PARK BY THE MANSFIELD PARK FACILITIES DEVELOPMENT CORPORATION (MPFDC) (BUY BOARD #423-13)

(Resolution in its entirety located in the City Secretary's Office)

Seconded by Council Member Burgess. The motion CARRIED by the following vote:

Aye: 7 - David Cook; Stephen Lindsey; Wendy Burgess; Cory Hoffman; Larry Broseh; Darryl Haynes and Brent Newsom

Nay: 0

Abstain: 0

Enactment No: RE-3271-16

[16-1937](#)

Minutes - Approval of the July 11, 2016 Regular City Council Meeting Minutes

A motion was made by Council Member Hoffman to approve the July 25, 2016 Regular City Council Meeting minutes as presented. Seconded by Council Member Burgess. The motion CARRIED by the following vote:

Aye: 7 - David Cook;Stephen Lindsey;Wendy Burgess;Cory Hoffman;Larry Broseh;Darryl Haynes and Brent Newsom

Nay: 0

Abstain: 0

END OF CONSENT AGENDA

OLD BUSINESS

[16-1943](#)

Ordinance - First Reading of an Ordinance for the Modification of the Mansfield Starcenter Lease and Operating Agreement Between the City of Mansfield and DSE Hockey Centers, L.P.

City Secretary Jeanne Heard read the caption into the record. Deputy City Manager Shelly Lanners made brief comments. Deputy City Manager Peter Phillis made a power point presentation and answered Council questions.

A motion was made by Council Member Newsom to approve the first reading of "AN ORDINANCE APPROVING A MODIFICATION OF THE MANSFIELD STARCENTER LEASE AND OPERATING AGREEMENT; AUTHORIZING THE CITY MANAGER TO EXECUTE THE SAME AND ALL OTHER DOCUMENTS NECESSARY TO COMPLETE THE TRANSACTION; AND PROVIDING AN EFFECTIVE DATE." Seconded by Council Member Burgess. The motion CARRIED by the following vote:

Aye: 7 - David Cook;Stephen Lindsey;Wendy Burgess;Cory Hoffman;Larry Broseh;Darryl Haynes and Brent Newsom

Nay: 0

Abstain: 0

PUBLIC HEARING AND FIRST READING

[16-1913](#)

Ordinance - Public Hearing and First Reading of an Ordinance for Zoning Change from C-1 to PD for Professional Office on Approximately .33 Acres, Located at 500 S. Main Street; Eubanks Appraisals (ZC#16-004)

Jeanne Heard read the caption into the record. Eubanks Appraisals representative William Eubanks made brief comments and answered Council questions. Mr. Eubanks was agreeable to placing a city entry sign on his property. Mayor Cook opened the public hearing at 7:47 p.m. With no one wishing to speak, Mayor Cook continued the public hearing through second reading at 7:47 p.m.

A motion was made by Mayor Pro Tem Broseh to approve the first reading of "AN ORDINANCE OF THE CITY OF MANSFIELD, TEXAS, AMENDING THE

COMPREHENSIVE ZONING ORDINANCE OF THE CITY OF MANSFIELD, AS HERETOFORE AMENDED, SO AS TO CHANGE THE ZONING ON THE HEREINAFTER DESCRIBED PROPERTIES TO A PD, PLANNED DEVELOPMENT DISTRICT FOR PROFESSIONAL OFFICE, PROVIDING FOR THE REPEAL OF ALL ORDINANCES IN CONFLICT; PROVIDING A SEVERABILITY CLAUSE; PROVIDING A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; AND PROVIDING AN EFFECTIVE DATE." Seconded by Council Member Hoffman. The motion CARRIED by the following vote:

Aye: 7 - David Cook; Stephen Lindsey; Wendy Burgess; Cory Hoffman; Larry Broseh; Darryl Haynes and Brent Newsom

Nay: 0

Abstain: 0

16-1930

Ordinance - Public Hearing and First Reading on an Ordinance Approving a Zoning Change from C-2, Community Business to PD, Planned Development for Auto Parts Store on Approximately 1.2 Acres Located at 631 W Debbie Lane; Buddy Webb & Company Inc (ZC#16-007)

Jeanne Heard read the caption into the record. Buddy Webb & Company Inc., representative Robert Deal made brief comments and answered Council questions. Mayor Cook opened the public hearing at 7:54 p.m. With no one wishing to speak, Mayor Cook continued the public hearing through second reading at 7:54 p.m.

A motion was made by Council Member Lindsey to approve the first reading of "AN ORDINANCE OF THE CITY OF MANSFIELD, TEXAS, AMENDING THE COMPREHENSIVE ZONING ORDINANCE OF THE CITY OF MANSFIELD, AS HERETOFORE AMENDED, SO AS TO CHANGE THE ZONING ON THE HEREINAFTER DESCRIBED PROPERTIES TO A PD, PLANNED DEVELOPMENT DISTRICT FOR AUTO PARTS STORE, PROVIDING FOR THE REPEAL OF ALL ORDINANCES IN CONFLICT; PROVIDING A SEVERABILITY CLAUSE; PROVIDING A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; AND PROVIDING AN EFFECTIVE DATE." Seconded by Council Member Hoffman. The motion CARRIED by the following vote:

Aye: 7 - David Cook; Stephen Lindsey; Wendy Burgess; Cory Hoffman; Larry Broseh; Darryl Haynes and Brent Newsom

Nay: 0

Abstain: 0

PUBLIC HEARING CONTINUATION AND SECOND READING

16-1914

Ordinance - Public Hearing Continuation and Second Reading for a Specific Use Permit for Discount Store on Approximately 3.8 Acres, Located at 120 N. Walnut Creek Drive; Grossman Design Build (ZC#16-005)

Wesley Mission Center representative Carmin MacMillan made brief comments. Grossman Design Build representative Gary Grossman answered Council questions. Mayor Cook continued the public hearing at 7:57 p.m. Mayor Cook acknowledged the following non-speakers in support:

Leland Gery - 6106 Autumn Springs Drive, Arlington
 Carol Vogelsberg - 2200 Nugent Drive
 Deborah Gery - 6106 Autumn Springs Drive, Arlington
 Carol Ann Grantham - 901 Saint Eric Drive
 Robert Grantham - 901 Saint Eric Drive
 Lindsey Trook - 3 Mills Court
 Tim Boles - 1501 Highland Drive
 Connie McGough - 1510 Clover Hill Drive
 Julie Harding - 924 Cope Street
 Malissa Otunba - 5 Pinedale Court
 Terry Twomey - 1042 Fallon Nest, Kennedale
 Susan Luttrell - 1092 S. Mitchell Road
 Caryl L. Siegle - 3205 Ridge Trace Circle
 Gerri Duren - 817 Red Oak Drive
 Cheryl Nelson - 257 Carlin Road
 Steve Nelson - 257 Carlin Road
 Jeff Rasco - 1210 Hudson Drive
 Paulette Tutor - 2 Toscani Court
 Sharon Reid - 905 Branch Creek Drive
 Sally Hoffman - 2121 Turtle Cove Drive
 Lisa Stewart - 826 Muirfield Drive
 Carla Jutson - 1705 Fairhaven Drive

With no one wishing to speak, Mayor Cook closed the public hearing at 7:59 p.m.

A motion was made by Council Member Haynes to approve the second reading of "AN ORDINANCE OF THE CITY OF MANSFIELD, TEXAS, AMENDING THE COMPREHENSIVE ZONING ORDINANCE OF THE CITY OF MANSFIELD, AS HERETOFORE AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT FOR A DISCOUNT STORE ON THE HEREINAFTER DESCRIBED PROPERTIES; PROVIDING FOR THE REPEAL OF ALL ORDINANCES IN CONFLICT; PROVIDING A SEVERABILITY CLAUSE; PROVIDING A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; AND PROVIDING AN EFFECTIVE DATE." Seconded by Council Member Newsom. The motion CARRIED by the following vote:

Aye: 7 - David Cook; Stephen Lindsey; Wendy Burgess; Cory Hoffman; Larry Broseh; Darryl Haynes and Brent Newsom

Nay: 0

Abstain: 0

16-1915

Ordinance - Public Hearing Continuation and Second Reading on an Ordinance approving a zoning change from PD, Planned Development District, C-2, Community Business District, and PR, Pre-Development District to PD for Shopping Center, General Retail, General Service and Office Type Uses, sports facilities, and multi-family residential uses on approximately 86 acres, generally located east of Hwy 287, west of Carlin Road, north of E. Broad Street and south of McKnight Park East; Shops at Broad, LLC (ZC#16-008)

Geyer Morris Company representative Tyler Morris made a brief power point presentation and answered Council questions. Mr. Morris advised there was another meeting scheduled with the homeowners on Tuesday, August 2, 2016 at 7:00 p.m. Bridgeview Real Estate representative Steve May made a brief power point presentation and answered Council questions. Kimley-Horn and Associates

representative Kevin Gaskey made a brief power point presentation. Mayor Cook continued the public hearing at 8:58 p.m. The following people spoke:

Greg Kunasek - 405 Carlin Road
Cheryl Nelson - 257 Carlin Road - Opposed
Steve Nelson - 257 Carlin Road
Sandi Kunasek - 405 Carlin Road
Carolyn Bishop - 1840 Paul Road - Opposed
Karen Pope - 108 Carlin Road - Opposed
James Sellers - 401 Carlin Road - Opposed
Catherine Fenoglio - 316 Carlin Road - Opposed
Gino Fenoglio - 316 Carlin Road - Opposed
Susan Miller - 318 Carlin Road
Philip Johnson - 603 Walnut Bend Drive
Bill Gooch - 240 Carlin Road
Joe Miller - 318 Carlin Road
Wallace Bennett - 323 Carlin Road - Opposed

Mayor Cook recognized the following non-speakers in opposition of this agenda item:

Nathan Doty - 253 Carlin Road
Brad Lipscomb - 319 Carlin Road
Jordan Doty - 253 Carlin Road
Guy Pope - 108 Carlin Road
Dianna Seller - 401 Carlin Road
Kent Heath - 251 Carlin Road
Roger & Becky Kendrick - 320 Carlin Road
Tom Meacham - 320 Carlin Road
Ann Robertson - 315 Carlin Road
Theresa Newlin - 501 Montclair Drive
Erik Newlin - 501 Montclair Drive
Linda Gooch - 240 Carlin Road
Amanda Stukey - 333 Carlin Road
Jace Stukey - 333 Carlin Road
Georgana Battles - 261 Carlin Road
Danny Battles - 261 Carlin Road
Kristen Fleming-Wood - 2220 Walnut Manor Drive

Mayor Cook continued the public hearing through third reading at 10:16 p.m.

Council requested the applicant provide a site line rendering of the project from Mr. Nelson's property, from Carlin Road, and from Cannon Drive by the third reading.

A motion was made by Council Member Lindsey to approve the second reading of "AN ORDINANCE OF THE CITY OF MANSFIELD, TEXAS, AMENDING THE COMPREHENSIVE ZONING ORDINANCE OF THE CITY OF MANSFIELD, AS HERETOFORE AMENDED, SO AS TO CHANGE THE ZONING ON THE HEREINAFTER DESCRIBED PROPERTIES TO A PD, PLANNED DEVELOPMENT DISTRICT FOR A SHOPPING CENTER, GENERAL RETAIL, GENERAL SERVICE AND OFFICE TYPE USES, SPORTS FACILITIES, AND MULTI-FAMILY RESIDENTIAL USE, PROVIDING FOR THE REPEAL OF ALL ORDINANCES IN CONFLICT; PROVIDING A SEVERABILITY CLAUSE; PROVIDING A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; AND PROVIDING AN EFFECTIVE DATE," with site plan approval process on the multi-family portion of the project. Seconded by Council Member Newsom. The motion CARRIED by the following vote:

Aye: 6 - David Cook;Stephen Lindsey;Wendy Burgess;Cory Hoffman;Darryl Haynes and Brent Newsom

Nay: 1 - Larry Broseh

Abstain: 0

NEW BUSINESS

16-1964

Resolution - A Resolution Awarding a Bid and Authorizing the City Manager to Enter into a Contract of Sale and Exchange for Approximately 4.22 Acres of Property

Shelly Lanners made brief comments. City Attorney Allen Taylor made brief comments.

A motion was made by Council Member Hoffman to approve the following resolution:

A RESOLUTION AWARDED A BID FOR THE SALE AND EXCHANGE OF APPROXIMATELY 4.22 ACRES OF CITY OWNED REAL PROPERTY; AUTHORIZING THE CITY MANAGER TO EXECUTE A CONTRACT OF SALE AND EXCHANGE AND ALL DOCUMENTS NECESSARY TO COMPLETE THE TRANSACTION; AND PROVIDING AN EFFECTIVE DATE

(Resolution in its entirety located in the City Secretary's Office)

Seconded by Mayor Pro Tem Broseh. The motion CARRIED by the following vote:

Aye: 7 - David Cook;Stephen Lindsey;Wendy Burgess;Cory Hoffman;Larry Broseh;Darryl Haynes and Brent Newsom

Nay: 0

Abstain: 0

Enactment No: RE-3272-16

16-1945

Ordinance - First Reading of an Ordinance Authorizing the Conveyance of Approximately 4.22 Acres of City Owned Real Property

Jeanne Heard read the caption into the record.

A motion was made by Council Member Hoffman to approve the first reading of "AN ORDINANCE AUTHORIZING THE CONVEYANCE OF APPROXIMATELY 4.22 ACRES OF CITY OWNED REAL PROPERTY; AUTHORIZING THE CITY MANAGER TO EXECUTE ALL DOCUMENTS NECESSARY TO COMPLETE THE TRANSACTION; AND PROVIDING AN EFFECTIVE DATE." Seconded by Council Member Lindsey. The motion CARRIED by the following vote:

Aye: 7 - David Cook;Stephen Lindsey;Wendy Burgess;Cory Hoffman;Larry Broseh;Darryl Haynes and Brent Newsom

Nay: 0

Abstain: 0

[16-1949](#)

Resolution - A Resolution of the City of Mansfield, Texas Authorizing the use of Eminent Domain and Authorizing the City Attorney to Bring a Condemnation Action for the Purpose of Obtaining Fee Title to Lot 10, Block 5, Shannon Creek Addition, Mansfield, Tarrant County, Texas, Commonly Known as 1416 Holley Creek Lane for the Purpose of Constructing Sanitary Sewer Improvements, and for other Public Purposes Permitted by Law

A motion was made by Council Member Hoffman to move that the City of Mansfield authorize the use of the power of eminent domain to acquire the following property: An approximate 0.3736 acre tract of land, Lot 10, Block 5, Shannon Creek Addition, Mansfield, Tarrant County, Texas, commonly known as 1416 Holley Creek Lane, Mansfield, Texas, owned by Tuong-An Wong; for the construction and maintenance of sanitary sewer system improvements for the Holley Creek Sewer Realignment project, and further move to approve Resolution No. RE-3267-16 as presented. Seconded by Council Member Newsom. The motion CARRIED by the following vote:

Aye: 7 - David Cook;Stephen Lindsey;Wendy Burgess;Cory Hoffman;Larry Broseh;Darryl Haynes and Brent Newsom

Nay: 0

Abstain: 0

Enactment No: RE-3267-16

[16-1955](#)

Ordinance - First Reading of an Ordinance Approving a Contract of Sale with Mansfield Independent School District; Authorizing the City Manager to Execute the Same and All Other Documents Necessary to Complete the Transaction; and Providing an Effective Date

Jeanne Heard read the caption into the record.

A motion was made by Mayor Pro Tem Broseh to approve the first reading of "AN ORDINANCE APPROVING A CONTRACT OF SALE WITH MANSFIELD INDEPENDENT SCHOOL DISTRICT; AUTHORIZING THE CITY MANAGER TO EXECUTE THE SAME AND ALL OTHER DOCUMENTS NECESSARY TO COMPLETE THE TRANSACTION; AND PROVIDING AN EFFECTIVE DATE." Seconded by Council Member Newsom. The motion CARRIED by the following vote:

Aye: 7 - David Cook;Stephen Lindsey;Wendy Burgess;Cory Hoffman;Larry Broseh;Darryl Haynes and Brent Newsom

Nay: 0

Abstain: 0

ADJOURN

A motion was made by Council Member Hoffman to adjourn the meeting at 10:50 p.m. Seconded by Council Member Burgess. The motion CARRIED by the following vote:

Aye: 7 - David Cook;Stephen Lindsey;Wendy Burgess;Cory Hoffman;Larry Broseh;Darryl Haynes and Brent Newsom

Nay: 0

Abstain: 0

_____ David L. Cook, Mayor

ATTEST:

_____ Jeanne Heard, City Secretary



CITY OF MANSFIELD

1200 East. Broad St.
Mansfield, TX 76063
mansfieldtexas.gov

STAFF REPORT

File Number: 16-1974

Agenda Date: 8/8/2016

Version: 1

Status: Approval of Minutes

In Control: City Council

File Type: Meeting Minutes

Agenda Number:

Title

Minutes - Approval of the July 27, 2016 Special City Council Meeting Minutes

Requested Action

Action to be taken by the Council to approve the minutes.

Recommendation

Approval of the minutes by the Council.

Description/History

The minutes of the July 27, 2016 Special City Council Meeting are in DRAFT form and will not become effective until approved by the Council at this meeting.

Justification

Permanent Record

Funding Source

N/A

Prepared By

Susana Marin, Assistant City Secretary, City Secretary's Office
817-276-4203



CITY OF MANSFIELD

1200 East. Broad St.
Mansfield, TX 76063
mansfieldtexas.gov

Meeting Minutes - Draft

City Council

Wednesday, July 27, 2016

6:00 PM

Council Chambers

SPECIAL MEETING

6:00 P.M. - CALL MEETING TO ORDER

Mayor Cook called the meeting to order at 6:07 p.m.

Present 7 - David Cook; Stephen Lindsey; Wendy Burgess; Cory Hoffman; Larry Broseh; Darryl Haynes and Brent Newsom

RECESS INTO EXECUTIVE SESSION

The Council did not recess into executive session.

Pending or Contemplated Litigation or to Seek the Advice of the City Attorney Pursuant to Section 551.071

Discussion Regarding Possible Purchase, Exchange, Lease, or Value of Real Property Pursuant to Section 551.072

Personnel Matters Pursuant to Section 551.074

Deliberation Regarding Commercial or Financial Information Received From or the Offer of a Financial or Other Incentive Made to a Business Prospect Seeking to Locate, Stay or Expand in or Near the Territory of the City and with which the City is Conducting Economic Development Negotiations Pursuant to Section 551.087

INVOCATION

Mayor Pro Tem Broseh led the Invocation.

PLEDGE OF ALLEGIANCE

Council Member Burgess led the Pledge of Allegiance.

TEXAS PLEDGE

"Honor the Texas Flag; I Pledge Allegiance to Thee, Texas, One State Under God; One and Indivisible"

Council Member Haynes led the Texas Pledge.

WORK SESSION TO BE HELD IN MULTI-PURPOSE ROOM

FY 2016/2017 Budget Work Session

City Manager Clayton W. Chandler made opening remarks regarding the 2017 budget. Discussion was held regarding: the proposed theme (Sustaining Momentum); building the estimated budget; budget priorities; future debt payments and ratios; and, strategic plan considerations. No action was taken by the Council.

Strategic Plan Update

ADJOURN

Mayor Cook adjourned the meeting at 9:05 p.m.

_____ David L. Cook, Mayor

ATTEST:

_____ Jeanne Heard, City Secretary



CITY OF MANSFIELD

1200 East. Broad St.
Mansfield, TX 76063
mansfieldtexas.gov

STAFF REPORT

File Number: 16-1943

Agenda Date: 8/8/2016

Version: 2

Status: Second Reading

In Control: City Council

File Type: Ordinance

Agenda Number:

Title

Ordinance - Second Reading of an Ordinance for the Modification of the Mansfield Starcenter Lease and Operating Agreement Between the City of Mansfield and DSE Hockey Centers, L.P.

Requested Action

Consider approving the Ordinance for the modification of the Lease and Operating Agreement for Mansfield StarCenter Sports Facility

Recommendation

Approve Ordinance

Description/History

In 2015, Dallas StarCenter's representatives contacted the City to discuss the possibility of creating a public/private partnership for the construction and operation of a facility called Mansfield StarCenter Sports Facility.

The City Council approved the Lease and Operating Agreement at the City Council meeting at the February 8, 2016, meeting contingent on funding participation from other entities. The additional funding was never secured so the lease agreement was not executed.

The City has determined a better site for the facility might be to locate it on land near or adjacent to the 4.22 acres of property currently owned by the City. The City published notice of bids for the purchase and exchange of real property to find a more suitable site.

Geyer Morris Company, the retail developer for the Shops at Broad submitted a bid to exchange approximately 6.5 acres of land currently owned by the Company along with \$2 million.

The modification to the Lease Agreement includes the new site location to be leased and adjusts the construction and opening dates. The Lease Agreement remains a 30 year term lease with annual rent payments and guidelines on how the facility is to be maintained and operated.

Justification

This facility will add an additional indoor element to our parks and recreation system that could operate year-round focusing on ice hockey leagues and tournaments and ice dancing. This facility will provide sports opportunities to our local youth and adults as well as out-of-town visitors. An economic and feasibility study was conducted on this project by Conventions Sport and Leisure, International. The new location provides an opportunity for the facility to be a key element in a mixed-use development.

Funding Source

N/A

Prepared By

Shelly Lanners, Deputy City Manager

shelly.lanners@mansfieldtexas.gov

817-276-4265

ORDINANCE NO. _____

AN ORDINANCE APPROVING A MODIFICATION OF THE MANSFIELD STARCENTER LEASE AND OPERATING AGREEMENT; AUTHORIZING THE CITY MANAGER TO EXECUTE THE SAME AND ALL OTHER DOCUMENTS NECESSARY TO COMPLETE THE TRANSACTION; AND PROVIDING AN EFFECTIVE DATE.

WHEREAS, the City of Mansfield is a home rule city acting under its charter adopted by the electorate pursuant to Article XI, Section 5 of the Texas Constitution and Chapter 9 of the Local Government Code; and

WHEREAS, the City has agreed to lease the Leased Premises (as defined in the attached Mansfield StarCenter Lease and Operating Agreement, hereafter the "Lease Agreement") to DSE Hockey Centers, L.P. on the terms and conditions set forth in the attached Lease Agreement; and

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF MANSFIELD, TEXAS:

SECTION 1

The City approves the Lease Agreement, attached hereto as Exhibit A.

SECTION 2

Pursuant to Section 3.13 of the City's Charter, the City authorizes the lease of the Leased Premises in accordance with the Lease Agreement.

SECTION 3

The City Manager of the City of Mansfield, Texas, is hereby authorized and empowered to execute the Lease Agreement and all other documents necessary to complete the transaction.

SECTION 4

This ordinance shall take effect immediately from and after its passage on third and final reading and the publication of the caption, as the law and charter in such cases provide.

First reading approved on the _____ day of _____, 2016.

Second reading approved on the _____ day of _____, 2016.

DULY PASSED on the third and final reading by the City Council of the City of Mansfield, Texas, this _____ day of _____, 2016.

David L. Cook, Mayor

ATTEST:

Vicki Collins, City Secretary

APPROVED AS TO FORM AND LEGALITY

Allen Taylor, City Attorney



CITY OF MANSFIELD

1200 East. Broad St.
Mansfield, TX 76063
mansfieldtexas.gov

STAFF REPORT

File Number: 16-1945

Agenda Date: 8/8/2016

Version: 2

Status: Second Reading

In Control: City Council

File Type: Ordinance

Agenda Number:

Title

Ordinance - Second Reading of an Ordinance Authorizing the Conveyance of Approximately 4.22 Acres of City Owned Real Property

Requested Action

Consider approving the Ordinance to convey City-owned property

Recommendation

Approve Ordinance

Description/History

The City owns approximately 4.22 acres along HWY 287 that had been considered as a site on which to build a Dallas StarCenter.

The City determined a better site for the facility might be the land near or adjacent to the City's property. The City published a bid notice for the purchase or exchange of real property to find a more suitable site. The bids were publicly opened on July 14, 2016.

Geyer Morris Company, LLC submitted a bid to exchange approximately 6.5 acres of real property currently owned by the Company and provide additional consideration of \$2 million.

Justification

The exchange of properties along with the additional consideration has been determined to be a reasonable consideration for both parties.

Funding Source

N/A

Prepared By

Shelly Lanners, Deputy City Manager

shelly.lanners@mansfieldtexas.gov

817-276-4265

ORDINANCE NO. _____

AN ORDINANCE AUTHORIZING THE CONVEYANCE OF APPROXIMATELY 4.22 ACRES OF CITY OWNED REAL PROPERTY; AUTHORIZING THE CITY MANAGER TO EXECUTE ALL DOCUMENTS NECESSARY TO COMPLETE THE TRANSACTION; AND PROVIDING AN EFFECTIVE DATE.

WHEREAS, the City of Mansfield is a home rule city acting under its charter adopted by the electorate pursuant to Article XI, Section 5 of the Texas Constitution and Chapter 9 of the Local Government Code; and

WHEREAS, the City owns approximately 4.22 acres of real property, as shown described and shown on the attached Exhibit A (the “City Property”), upon which it intended to build a facility as a portion of its park and recreation program; and

WHEREAS, the City after careful study and deliberation has determined that a better site for the facility might result from placing the facility on land near or adjacent to the City Property; and

WHEREAS, pursuant to Section 272.001 of the Texas Local Government Code, the City published notice of bids for the purchase or exchange of real property to find a more suitable site; and

WHEREAS, Geyer Morris Company, LLC currently owns approximately 6.5 acres of real property, as shown on the attached Exhibit B (the “Geyer Property”); and

WHEREAS, Geyer Morris Company, LLC submitted a bid responsive to the City’s notice of bids offering to (i) exchange the Geyer Property for the City Property; and (ii) provide additional consideration of \$2,000,000; and

WHEREAS, the parties believe that the Geyer Property with the additional consideration is of comparable value to the City Property and an even exchange might be reasonable to accommodate the needs of both parties; and

WHEREAS, the City Council of the City of Mansfield, Texas after due and careful consideration, has determined the conveyance and exchange of the City Property for the Geyer Property is in the best interest of the City.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF MANSFIELD, TEXAS:

SECTION 1

The City pursuant to Section 3.13 of the City’s Charter, authorizes the conveyance of the City Property to Geyer Morris Company, LLC.

SECTION 2

The City Manager of the City of Mansfield, Texas, is hereby authorized and empowered to execute all documents necessary to complete the conveyance of the City Property in exchange for the Geyer Property.

SECTION 3

This ordinance shall take effect immediately from and after its passage on third and final reading and the publication of the caption, as the law and charter in such cases provide.

First reading approved on the _____ day of _____, 2016.

Second reading approved on the _____ day of _____, 2016.

DULY PASSED on the third and final reading by the City Council of the City of Mansfield, Texas, this _____ day of _____, 2016.

David L. Cook, Mayor

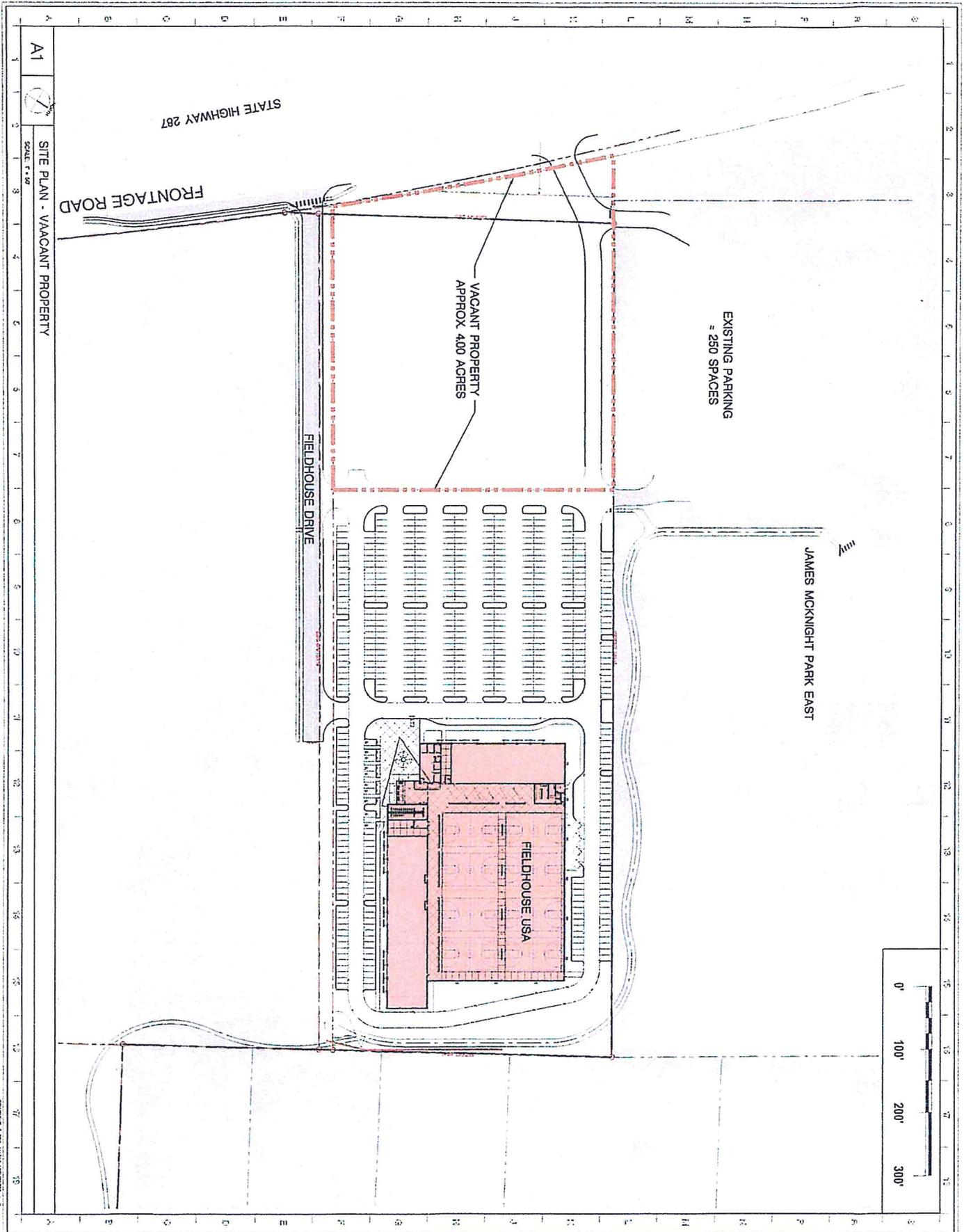
ATTEST:

Vicki Collins, City Secretary

APPROVED AS TO FORM AND LEGALITY

Allen Taylor, City Attorney

Exhibit A



A1
 SITE PLAN - VACANT PROPERTY
 SCALE: 1" = 50'

Copyright © 2011 Magee Architects, L.P.

SP101 SHEET NUMBER	SHEET CONTROL SITE PLAN	PREPARED FOR: MAGEE ARCHITECTS, L.P. 600 N. U.S. 287 MANSFIELD, TEXAS	PROJECT NO.: DATE: DRAWN BY: CHECKED BY: PROJECT NAME: MANSFIELD PROPERTY STUDY 600 N. U.S. 287 MANSFIELD, TEXAS	MAGEE ARCHITECTS, L.P. DESIGNERS • PLANNERS • INTERIORS FORT WORTH, TEXAS
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CITY OF MANSFIELD

1200 East. Broad St.
Mansfield, TX 76063
mansfieldtexas.gov

STAFF REPORT

File Number: 16-1955

Agenda Date: 8/8/2016

Version: 2

Status: Second Reading

In Control: City Council

File Type: Ordinance

Agenda Number:

Title

Ordinance - Second Reading of an Ordinance Approving a Contract of Sale with Mansfield Independent School District; Authorizing the City Manager to Execute the Same and All Other Documents Necessary to Complete the Transaction; and Providing an Effective Date

Requested Action

Consider approving ordinance

Recommendation

Approve ordinance

Description/History

The property located at 1004 Magnolia Street was originally built to serve as a field operations service center for the Water Utilities Department. Upon their move to the Chris Burkett Service Center, the Parks and Recreation Department converted the facility into a service center for the park operations division. In 2015, the Mansfield Independent School District (MISD) approached the City about the possibility of acquiring a portion of the property for expanded parking at R.L. Anderson Stadium.

After research and evaluation, it was determined that the property could be sub-divided with the service center remaining intact and active if a portion of the property were to be sold. The City commissioned an appraisal and survey to determine the fair market value of the land in 2016. The survey determined that the portion of the property to be sold includes 27,736 square feet. The sales price of \$105,396.80 represents the value determined by the appraisal at \$3.80 per square foot. MISD will also be responsible for paying the cost of the survey upon completion of the sale.

Justification

The property sale will strengthen the partnership between the City and MISD and allow for expanded parking opportunities for current and future events held at R.L. Anderson Stadium, Katherine Rose Memorial Park and Hardy Allmon Soccer Complex.

Funding Source

N/A

Prepared By

James Fish, RLA, ASLA, Sr. Park Planner, Parks and Recreation Department
817-804-5794

ORDINANCE NO. _____

AN ORDINANCE APPROVING A CONTRACT OF SALE WITH MANSFIELD INDEPENDENT SCHOOL DISTRICT; AUTHORIZING THE CITY MANAGER TO EXECUTE THE SAME AND ALL OTHER DOCUMENTS NECESSARY TO COMPLETE THE TRANSACTION; AND PROVIDING AN EFFECTIVE DATE.

WHEREAS, the City of Mansfield is a home rule city acting under its charter adopted by the electorate pursuant to Article XI, Section 5 of the Texas Constitution and Chapter 9 of the Local Government Code; and

WHEREAS, the City of Mansfield (“City”) has entered into a proposed contract of sale providing for the sale of an approximate 27,736 sq. ft. portion of the existing City Magnolia Street Service Center property located at 1004 Magnolia Street, Mansfield, Texas, to the Mansfield Independent School District (“MISD”), upon the terms and conditions set forth in the attached Contract of Sale; and

WHEREAS, Section 3.13 of the City Charter requires that the conveyance of any City owned property must be authorized by the City Council by ordinance.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF MANSFIELD, TEXAS:

SECTION 1

The City approves the Contract of Sale with MISD, attached hereto as Exhibit A.

SECTION 2

Pursuant to Section 3.13 of the City’s Charter, the City Council authorizes the conveyance of the designated portion of City property to MISD in accordance with the attached Contract of Sale.

SECTION 3

The City Manager of the City of Mansfield, Texas, is hereby authorized and empowered to execute the Contract of Sale, the deed, and all other documents necessary to complete the transaction.

SECTION 4

This ordinance shall take effect immediately from and after its passage on third and final reading and the publication of the caption, as the law and charter in such cases provide.

First reading approved on the _____ day of _____, 2016.

Second reading approved on the _____ day of _____, 2016.

DULY PASSED on the third and final reading by the City Council of the City of Mansfield, Texas, this _____ day of _____, 2016.

David L. Cook, Mayor

ATTEST:

Jeanne Heard, City Secretary

APPROVED AS TO FORM AND LEGALITY

Allen Taylor, City Attorney



CITY OF MANSFIELD

1200 East. Broad St.
Mansfield, TX 76063
mansfieldtexas.gov

STAFF REPORT

File Number: 16-1913

Agenda Date: 8/8/2016

Version: 2

Status: Second Reading

In Control: City Council

File Type: Ordinance

Agenda Number:

Title

Ordinance - Public Hearing Continuation and Second Reading on an Ordinance for Zoning Change from C-1 to PD for Professional Office on Zapproximately .33 Acres, Located at 500 S. Main Street; Eubanks Appraisals (ZC#16-004)

Requested Action

To consider the subject zoning change request

Recommendation

The Planning and Zoning Commission held a public hearing on June 20, 2016 and voted by 5-0 to recommend approval. Commissioners Knight and Polozola were absent.

Description/History

The applicant intends to occupy the building as a real estate appraisal office. Despite the current C-1 zoning, the property has been occupied as a single-family residence. The applicant is requesting the following modifications to accommodate the office use and related parking:

- Reduce the landscape buffer width bordering the adjacent residential lots from 20' to 3.5'
- Substitute the 8' masonry screening wall bordering the adjacent residential lots with a 6' board-on-board wood fence
- Maintain the existing wood siding structure in lieu of providing a masonry structure

There is no immediate plan for on-site signage; however if signage is needed in the future, it will comply with C-1 sign requirements.

This project is a good example of adaptive reuse of an existing residential structure by a low-intensity commercial use on the edge of a neighborhood in Historic Mansfield.

Prepared By

Felix Wong, Director of Planning
817-276-4228

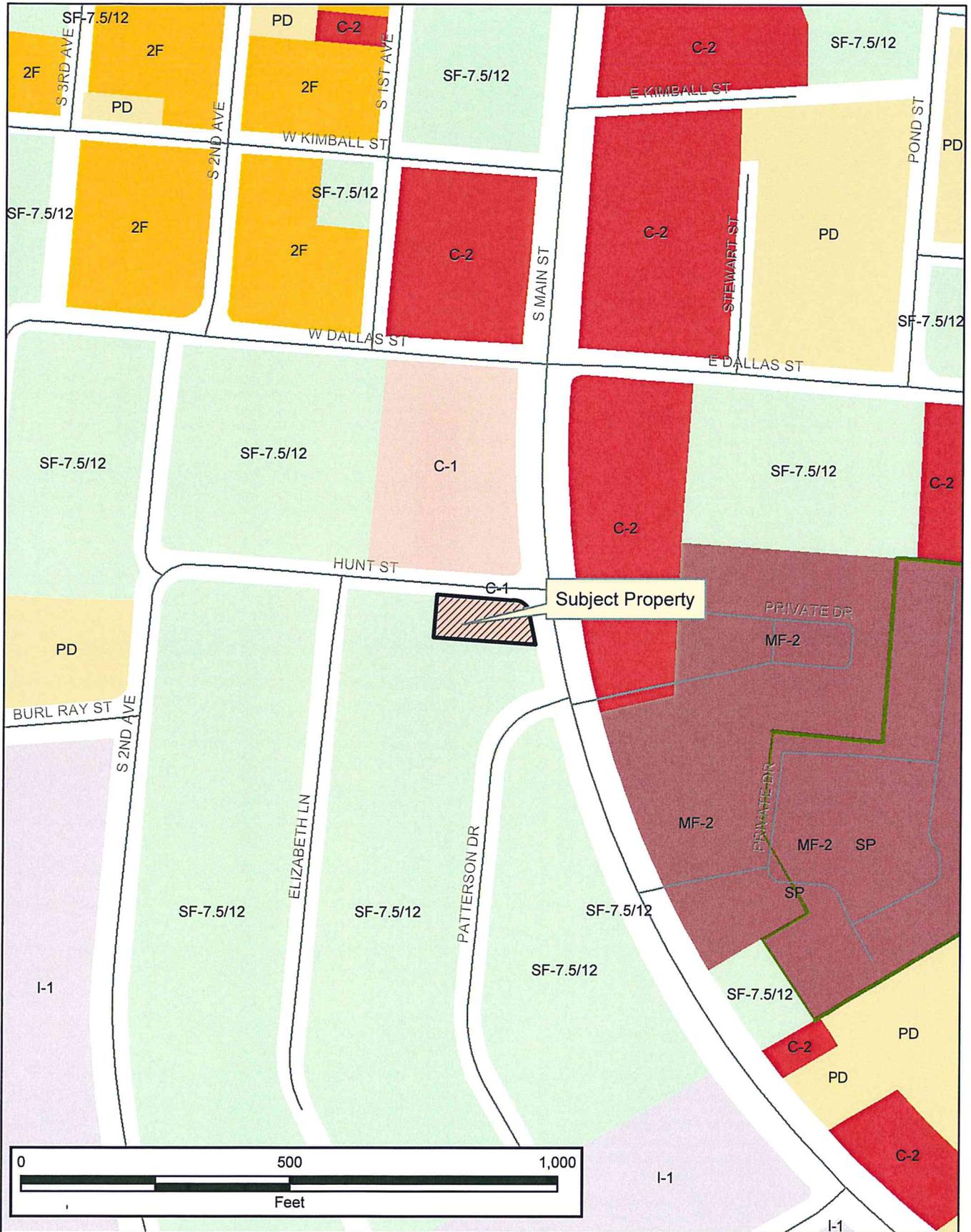


MANSFIELD
TEXAS

ZC# 16-004

This information is for illustrative purposes only. Not for design or development purposes. Site-specific studies may be required to obtain accurate feature locations. Every effort is made to ensure the information displayed here is accurate; however, the City of Mansfield makes no claims to its accuracy or completeness.

06/08/2016



ZC# 16-004

This information is for illustrative purposes only. Not for design or development purposes. Site-specific studies may be required to obtain accurate feature locations. Every effort is made to ensure the information displayed here is accurate; however, the City of Mansfield makes no claims to its accuracy or completeness.

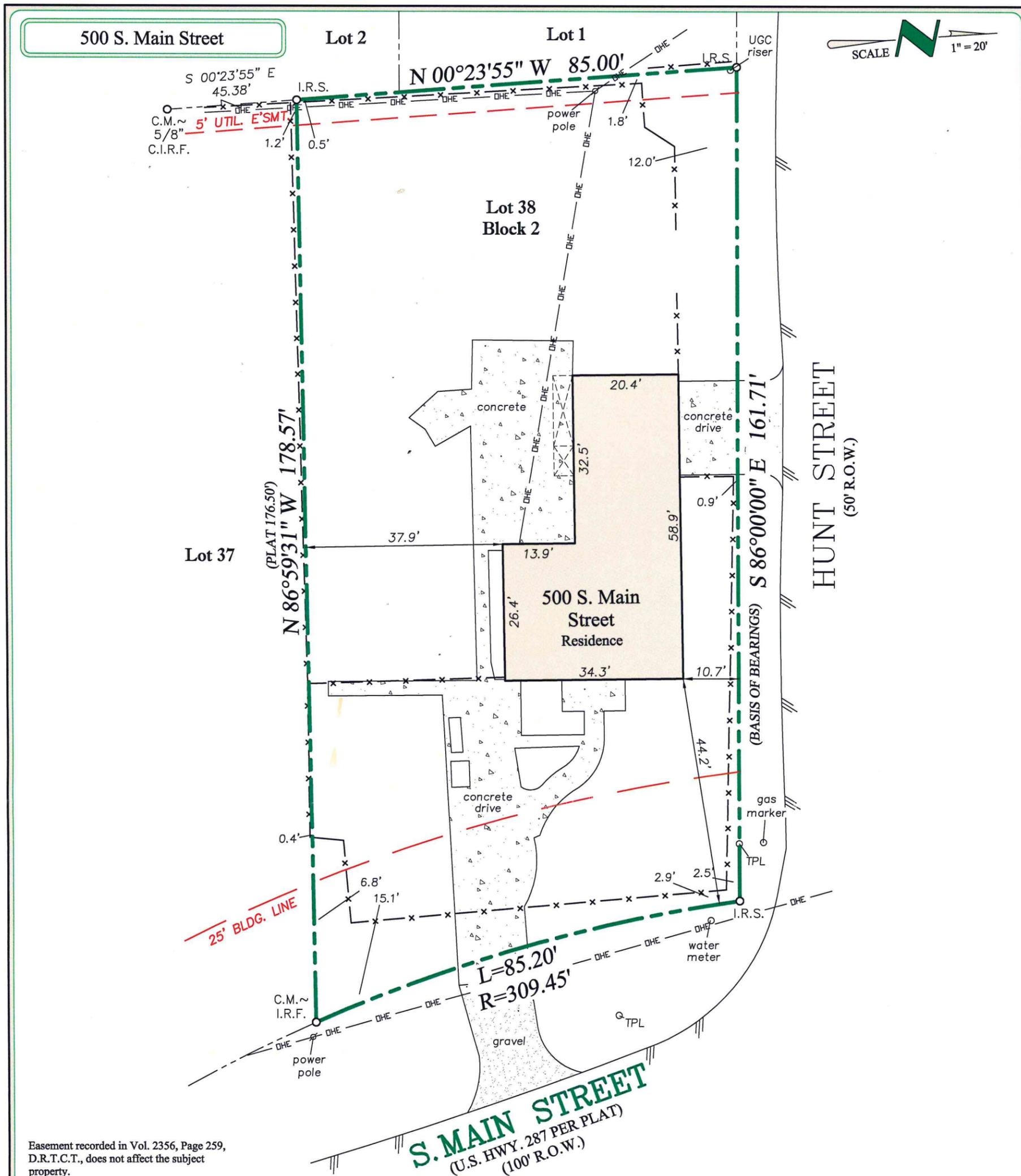
06/08/2016

Property Owner Notification for ZC# 16-004

LEGAL DESC 1	LEGAL DESC 2	OWNER NAME	OWNER ADDRESS	CITY	ZIP
JALALI FAMILY TRUST	BLK 1	JALALI FAMILY TRUST	PO BOX 14552	ARLINGTON, TX	76094-1552
MANSFIELD, CITY OF	BLK 48	RAY, CLIFTON J	1100 CYPRESS CT	MANSFIELD, TX	76063-2608
MANSFIELD, CITY OF	BLK 48	ZSCHIESCHE, EDWARD C	PO BOX 662	MANSFIELD, TX	76063-0662
MANSFIELD, CITY OF	BLK 48	SHELTON, KATHERINE LOUISE	3201 COUNTY ROAD 607	ALVARADO, TX	76009-6582
MANSFIELD, CITY OF	BLK 48	CORNETT, RONALD D	1406 COMANCHE CT	ARLINGTON, TX	76012-4324
MANSFIELD, CITY OF	BLK 48	CORNETT, RONALD D	1406 COMANCHE CT	ARLINGTON, TX	76012-4324
MANSFIELD, CITY OF	BLK 48	JONES COMMERCIAL PROPERTIES LL	PO BOX 380387	DUNCANVILLE, TX	75138
MANSFIELD, CITY OF	BLK 48	LOYA, JOEL A	708 COAL CREEK DR	MANSFIELD, TX	76063-4066
MANSFIELD, CITY OF	BLK 48	SHELTON, KATHERINE LOUISE	3201 COUNTY ROAD 607	ALVARADO, TX	76009-6582
MANSFIELD, CITY OF	BLK 48	CORNETT, RONALD D	1406 COMANCHE CT	ARLINGTON, TX	76012-4324
MANSFIELD, CITY OF	BLK 48	CORNETT, RONALD D	1406 COMANCHE CT	ARLINGTON, TX	76012-4324
MANSFIELD, CITY OF	BLK 48	JONES COMMERCIAL PROPERTIES LL	PO BOX 380387	DUNCANVILLE, TX	75138
MANSFIELD, CITY OF	BLK 48	CORNETT, RONALD D	1406 COMANCHE CT	ARLINGTON, TX	76012-4324
MANSFIELD, CITY OF	BLK 48	CORNETT, RONALD D	1406 COMANCHE CT	ARLINGTON, TX	76012-4324
MANSFIELD, CITY OF	BLK 48	JONES COMMERCIAL PROPERTIES LL	PO BOX 380387	DUNCANVILLE, TX	75138
MANSFIELD, CITY OF	BLK 48	JONES COMMERCIAL PROPERTIES LL	PO BOX 380387	DUNCANVILLE, TX	75138
MANSFIELD, CITY OF	BLK 48	JONES COMMERCIAL PROPERTIES LL	PO BOX 380387	DUNCANVILLE, TX	75138
MANSFIELD, CITY OF	BLK 48	SHELTON, KATHERINE LOUISE	3201 COUNTY ROAD 607	ALVARADO, TX	76009-6582
MANSFIELD, CITY OF	BLK 48	SHELTON, KATHERINE LOUISE	3201 COUNTY ROAD 607	ALVARADO, TX	76009-6582

Property Owner Notification for ZC# 16-004

LEGAL DESC 1	LEGAL DESC 2	OWNER NAME	OWNER ADDRESS	CITY	ZIP
MANSFIELD, CITY OF	BLK 48	SHELTON, KATHERINE LOUISE	3201 COUNTY ROAD 607	ALVARADO, TX	76009-6582
MANSFIELD, CITY OF	BLK 48	HERNANDEZ, ANTONIO	404 S MAIN ST	MANSFIELD, TX	76063-3107
MANSFIELD, CITY OF	BLK 48	HERNANDEZ, ANTONIO	404 S MAIN ST	MANSFIELD, TX	76063-3107
MANSFIELD, CITY OF	BLK 55	ZSCHIESCHE, EDWARD C	PO BOX 662	MANSFIELD, TX	76063-0662
PATTERSON ADDITION (MANSFIELD)	BLK 1	SCARTH, MICHAEL W	509 PATTERSON DR	MANSFIELD, TX	76063-1965
PATTERSON ADDITION (MANSFIELD)	BLK 2	CORNETT, RONALD D	1406 COMANCHE CT	ARLINGTON, TX	76012-4324
PATTERSON ADDITION (MANSFIELD)	BLK 2	EUBANKS, WILL	PO BOX 542168	GRAND PRAIRIE, TX	75054
PATTERSON ADDITION (MANSFIELD)	BLK 2	DISHONG, FRANCES E P	503 ELIZABETH LN	MANSFIELD, TX	76063-1945
PATTERSON ADDITION (MANSFIELD)	BLK 2	ALLEN, DONNA JO	211 N WISTERIA ST	MANSFIELD, TX	76063-1837
PATTERSON ADDITION (MANSFIELD)	BLK 2	KWETU LLC	1604 VALLEYWOOD TR	MANSFIELD, TX	76063-5458
PATTERSON ADDITION (MANSFIELD)	BLK 2	EUBANKS, DANNY E	504 PATTERSON DR	MANSFIELD, TX	76063-1966
PATTERSON ADDITION (MANSFIELD)	BLK 2	RICO-NUNEZ, ANTONIO	507 ELIZABETH LN	MANSFIELD, TX	76063
PATTERSON ADDITION (MANSFIELD)	BLK 2	ELDREDGE INVESTMENT PROPERTIES	990 HWY 287 N STE 109-199	MANSFIELD, TX	76063
PATTERSON ADDITION (MANSFIELD)	BLK 2	HALL, VIRGINIA	509 ELIZABETH LN	MANSFIELD, TX	76063-1945
SELLS, TROY	LOT 1	MANSFIELD PLAZA LTD	PO BOX 3144	BRYAN, TX	77805-3144



Easement recorded in Vol. 2356, Page 259, D.R.T.C.T., does not affect the subject property.

PROPERTY DESCRIPTION: Lot 38, Block 2, Patterson Addition to the City of Mansfield, Tarrant County, Texas, according to the Plat recorded in Volume 388-G, Page 101, Plat Records, Tarrant County, Texas.

The undersigned have/has received and reviewed a copy of this survey.

x _____

x _____

Date: _____

Date:	12/1/15
ASC No.	1511350
Drawn/Chk	TER/FHW
Client	Alamo Title
G.F. No.	ATD-03-6000031501757-AM

LEGEND - C.M.= Controlling Monument; I.R.F.= Iron Rod Found; I.P.F.= Iron Pipe Found; F.C.P.= Fence Corner Post. DHE=Overhead Electric. I.R.S.= Iron Rod Set 1/2" diameter with yellow cap stamped "Arthur Surveying Company". All found iron rods are 1/2" diameter unless otherwise noted. — x — (fence / ¼ fence post) — DHE — (overhead power)

FLOOD NOTE: It is my opinion that the property described hereon is not within the 100-year flood zone area according to the Federal Emergency Management Agency Flood Insurance Rate Map Community-Panel No. 480606 0470 K, present effective date of map, Sept. 25, 2009, herein property situated within Zone "X".

SURVEYORS CERTIFICATION:
The undersigned does hereby certify that this survey was this day made on the ground of the property legally described hereon and is correct, and to the best of my knowledge, there are no visible discrepancies, conflicts, shortages in area, boundary line conflicts, encroachments, overlapping of improvements, easements or rights of way that I have been advised of except as shown hereon. The bearings shown hereon are based on the above referenced recorded map or plat unless otherwise noted.



500 S. Main Street
Mansfield, Texas



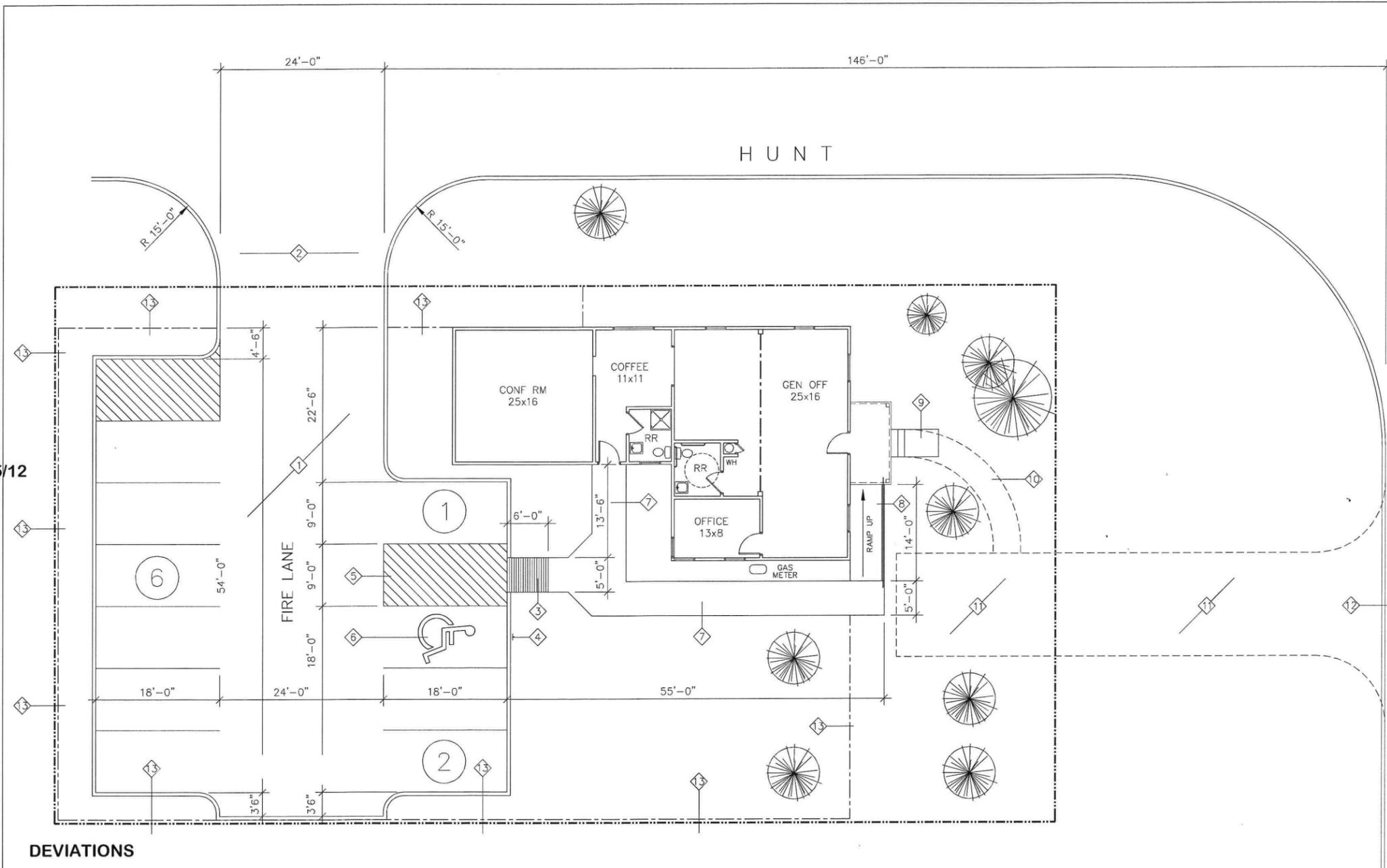
6200 Colleyville Blvd.,
Colleyville, Texas 76034
Ph. (817) 428-6996
Fax (817) 498-6146



220 Elm St., # 200 - Lewisville, TX 75057
Ph. 972.221.9439 - TFRN# 10063800
arthursurveying.com Established 1986



F.H. Westphall



- SITE NOTES:** (NUMBERS IN DIAMONDS)
1. NEW CONCRETE PAVING W/ 6" CONCRETE CURB - SEE CIVIL ENGINEER PLANS FOR EXACT PAVING SPECS
 2. PROVIDE NEW CONCRETE APPROACH PER CITY SPEC - PROVIDE 6" CURB TO TAPER TO GRADE AT STREET
 3. PROVIDE NEW CONCRETE RAMP AT SIDEWALK - PROVIDE GROOVES IN RAMP - GROOVES TO EXTEND FULL WIDTH AND LENGTH OF RAMP - SLOPE OF RAMP NOT TO EXCEED 8% OR 1"/1' - SURFACE OF RAMP TO RECEIVE HEAVY BROOM FINISH - PROVIDE CONTRASTING COLOR ON RAMP SURFACE - COLOR TO BE BLUE OR APPROVED EQUAL
 4. PROVIDE A SIGN DESIGNATING ACCESSIBLE PARKING SPACE - SIGN TO BE MTD A MINIMUM OF 5'0" ABOVE THE SURFACE OF THE GROUND - SIGN TO SHOW THE SYMBOL OF ACCESSIBILITY
 5. PROVIDE 5'0" WIDE STRIPED AREA FOR WHEELCHAIR ACCESS TO RAMP
 6. PROVIDE ACCESSIBILITY SYMBOL IN ACCESSIBLE PARKING SPACE
 7. PROVIDE NEW CONCRETE SIDEWALK - SEE CIVIL ENGINEER PLANS FOR EXACT SPECS - FIELD VERIFY EXACT SIDEWALK LOCATION
 8. PROVIDE HANDICAPPED RAMP FROM GRADE TO FRONT PORCH - PROVIDE 4"x4" CONCRETE CURB - PROVIDE 1 1/2" DIAMETER HANDRAIL MTD 34" ABOVE GRADE OF RAMP - HANDRAIL TO EXTEND 12" BEYOND END OF RAMP AT TOP AND BOTTOM OF RAMP - SLOPE OF RAMP NOT TO EXCEED 8% OR 1"/1' - PROVIDE A MINIMUM OF 5' LONG FLAT SECTION AT TOP AND BOTTOM ENDS OF RAMP - SURFACE OF RAMP TO BE HEAVY BROOM FINISH - HANDRAILS TO BE PAINTED TO MATCH BLDG STD
 9. PROVIDE NEW 5'0"x5'0" CONCRETE LANDING AT EXISTING CONCRETE STEPS
 10. DEMO EXISTING CONCRETE SIDEWALK
 11. DEMO EXISTING GRAVEL DRIVEWAY
 12. PROVIDE NEW CONCRETE CURB TO MATCH CITY SPEC
 13. PROVIDE 6' HIGH BOARD ON BOARD FENCE - VERIFY EXACT SPEC W/ OWNER

SF 7.5/12

DEVIATIONS

20' Buffer yard and 8' Screening Wall - South and West
70% Masonry - Existing Structure is 0%

NOTES

The Base Zoning for this PD is C-1
AC equipment will be screened with a low screening wall consisting of wood picket fencing.
The proposed development will be in complete accordance with the provisions of the approved Planned Development District and that all Development Plans recorded hereunder shall be binding upon the applicant thereof, his successors and assigns, and shall limit and control all building permits.



A SITE PLAN
SCALE : 1/8" = 1'0"

SF 7.5/12

**EXHIBIT B
DEVELOPMENT PLAN
ZC#16-004**

**LOT 2 BLOCK 38 OF THE PATTERSON ADDITION
MANSFIELD, TARRANT COUNTY, TEXAS
MAY 2016
1 LOT**

S
M
A
I
N

**500 S MAIN
MANSFIELD, TX**

BUILDING SUMMARY

OFFICE	1,524 SF
TOTAL	1,524 SF

Revised:				

GTS PLANNERS
2917 Shannon Lane
Grand Prairie, Tx 75052
(972) 602-9041
gordonstone@gtsplanners.com

Date:	Revised:	Revised:	Revised:	Sheet Number
03/08/16	03/24/16	06/03/16	06/06/16	A-1
16-068			STONE	

EAST SIDE



EXHIBIT C
ZC#16-004



WEST SIDE

EXHIBIT C
ZC#16-004

NORTH SIDE



EXHIBIT C
ZC#16-004



SOUTH SIDE

EXHIBIT C
ZC#16-004

ORDINANCE NO. _____

AN ORDINANCE OF THE CITY OF MANSFIELD, TEXAS, AMENDING THE COMPREHENSIVE ZONING ORDINANCE OF THE CITY OF MANSFIELD, AS HERETOFORE AMENDED, SO AS TO CHANGE THE ZONING ON THE HEREINAFTER DESCRIBED PROPERTIES TO A PD, PLANNED DEVELOPMENT DISTRICT FOR PROFESSIONAL OFFICE, PROVIDING FOR THE REPEAL OF ALL ORDINANCES IN CONFLICT; PROVIDING A SEVERABILITY CLAUSE; PROVIDING A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; AND PROVIDING AN EFFECTIVE DATE.

WHEREAS, the Planning and Zoning Commission and the governing body of the City of Mansfield, Texas, in compliance with the laws of the State of Texas with reference to the amendment of the Comprehensive Zoning Ordinance, have given the requisite notices by publication and otherwise, and after holding due hearings and affording a full and fair hearing opportunity to all property owners generally and to owners of the affected properties, the governing body of the City is of the opinion and finds that the Comprehensive Zoning Ordinance and Map should be amended;

NOW, THEREFORE BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF MANSFIELD, TEXAS:

SECTION 1.

That the Comprehensive Zoning Ordinance of the City of Mansfield, Texas, be, and the same is hereby, amended by amending the Zoning Map of the City of Mansfield, to give the hereinafter described property a new zoning district classification of PD, Planned Development for professional office use; said property being described in Exhibit "A" attached hereto and made a part hereof for all purposes.

SECTION 2.

That the use and development of the hereinabove described property shall be in accordance with the development plan shown on Exhibit "B" attached hereto and made a part hereof for all purposes.

SECTION 3.

That all ordinances of the City in conflict with the provisions of this ordinance be, and the same are hereby, repealed and all other ordinances of the City not in conflict with the provisions of this ordinance shall remain in full force and effect.

SECTION 4.

That the above described properties shall be used only in the manner and for the purposes provided for in the Comprehensive Zoning Ordinance of the City, as amended herein by the granting of this zoning classification.

SECTION 5.

Should any paragraph, sentence, subdivision, clause, phrase or section of this ordinance be adjudged or held to be unconstitutional, illegal or invalid, the same shall not affect the validity of this ordinance as a whole or any part or provision thereof, other than the part so declared to be invalid, illegal or unconstitutional, and shall not affect the validity of the Comprehensive Zoning Ordinance as a whole.

SECTION 6.

Any person, firm or corporation violating any of the provisions of this ordinance or the Comprehensive Zoning Ordinance, as amended hereby, shall be deemed guilty of a misdemeanor and, upon conviction in the Municipal Court of the City of Mansfield, Texas, shall be punished by a fine not to exceed the sum of Two Thousand Dollars (\$2,000.00) for each offense, and each and every day any such violation shall continue shall be deemed to constitute a separate offense.

SECTION 7.

This ordinance shall take effect immediately from and after its passage on third and final reading and the publication of the caption, as the law and charter in such cases provide.

First reading approved on the _____ day of _____, 2016.

Second reading approved on the _____ day of _____, 2016.

DULY PASSED on the third and final reading by the City Council of the City of Mansfield, Texas, this _____ day of _____, 2016.

David L. Cook, Mayor

ATTEST:

Jeanne Heard, City Secretary

APPROVED AS TO FORM AND LEGALITY

Allen Taylor, City Attorney



CITY OF MANSFIELD

1200 East. Broad St.
Mansfield, TX 76063
mansfieldtexas.gov

STAFF REPORT

File Number: 16-1930

Agenda Date: 8/8/2016

Version: 2

Status: Second Reading

In Control: City Council

File Type: Ordinance

Agenda Number:

Title

Ordinance - Public Hearing Continuation and Second Reading on an Ordinance Approving a Zoning Change from C-2, Community Business to PD, Planned Development for Auto Parts Store on Approximately 1.2 Acres Located at 631 W Debbie Lane; Buddy Webb & Company Inc (ZC#16-007)

Requested Action

To consider the subject zoning change request

Recommendation

The Planning and Zoning Commission held a public hearing on 7/5/16 and voted 6-0 to recommend approval. Commissioner Knight was absent.

Description/History

First Reading

The existing O'Reilly Auto Parts on W Debbie Lane is proposing a 3,400 sf addition in the back of the store. Pursuant to a recent amendment, a Specific Use Permit or Planned Development is required for an auto parts store. The same requirement applies to an expansion of an existing store.

For consistency, O'Reilly plans to continue the existing metal panel building facade on the new addition - Shadow Wall by Butler Mfg

(http://butlermfg.com/en/products_systems/wall_systems/shadowwall).

A PD is required to deviate from the masonry construction requirement.

Second Reading

The applicant revised the screening for the AC units as discussed at the last meeting.

Prepared By

Felix Wong, Director of Planning
817-276-4228



Buddy D. Webb, NCARB

Architect - Consultant

3057 E. Cairo
Springfield, Missouri 65802
(417) 877-1385 Phone
(417) 877-9736 Fax

June 23, 2016

Mrs. Kerin Maquire, Planner
City of Mansfield
1200 East Broad Street
Mansfield, Texas 76063

Re: Addition O'Reilly Auto Parts Store
631 West Debbie Lane
Mansfield, Texas

Dear Mrs. Kerin Maquire:

This letter is to explain the position of Buddy Webb and Company, Architecture firm, designing the addition to the existing O'Reilly Auto Part Store in Mansfield, Texas. After reviewing the local ordinances, we are formally requesting a deviation from Section 4600- Community Design Standards regarding the exterior materials for building Zoned C2. We are requesting this due to the fact this is an addition to an existing building that was constructed prior to the Design Standards came into effect.

Buddy Webb and Company believes that the following addition and modifications to the existing store will not only enhance but improve the quality of the local area. The items Buddy Webb and Company are offering include an addition of 3,400 SQ FT to the rear of the building, remove the existing trash enclose and replaced with a larger one to include a recycle area and finally new roof top units to be placed on the ground next to the existing units. Buddy Webb and Company believes that these items will not only improve the facility but improve the service that the store can provide to the local community.

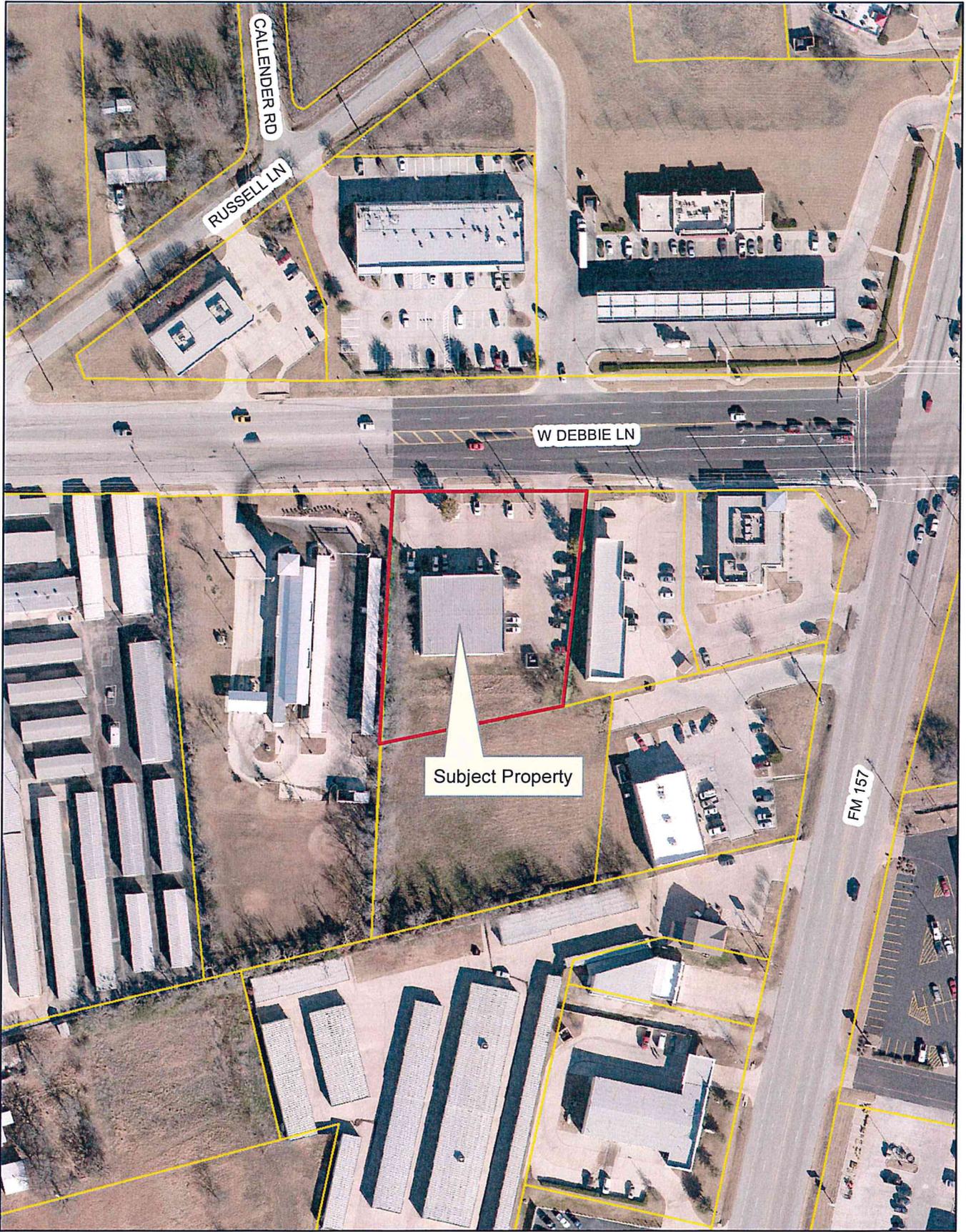
Thank you for your time and consideration on our proposal.

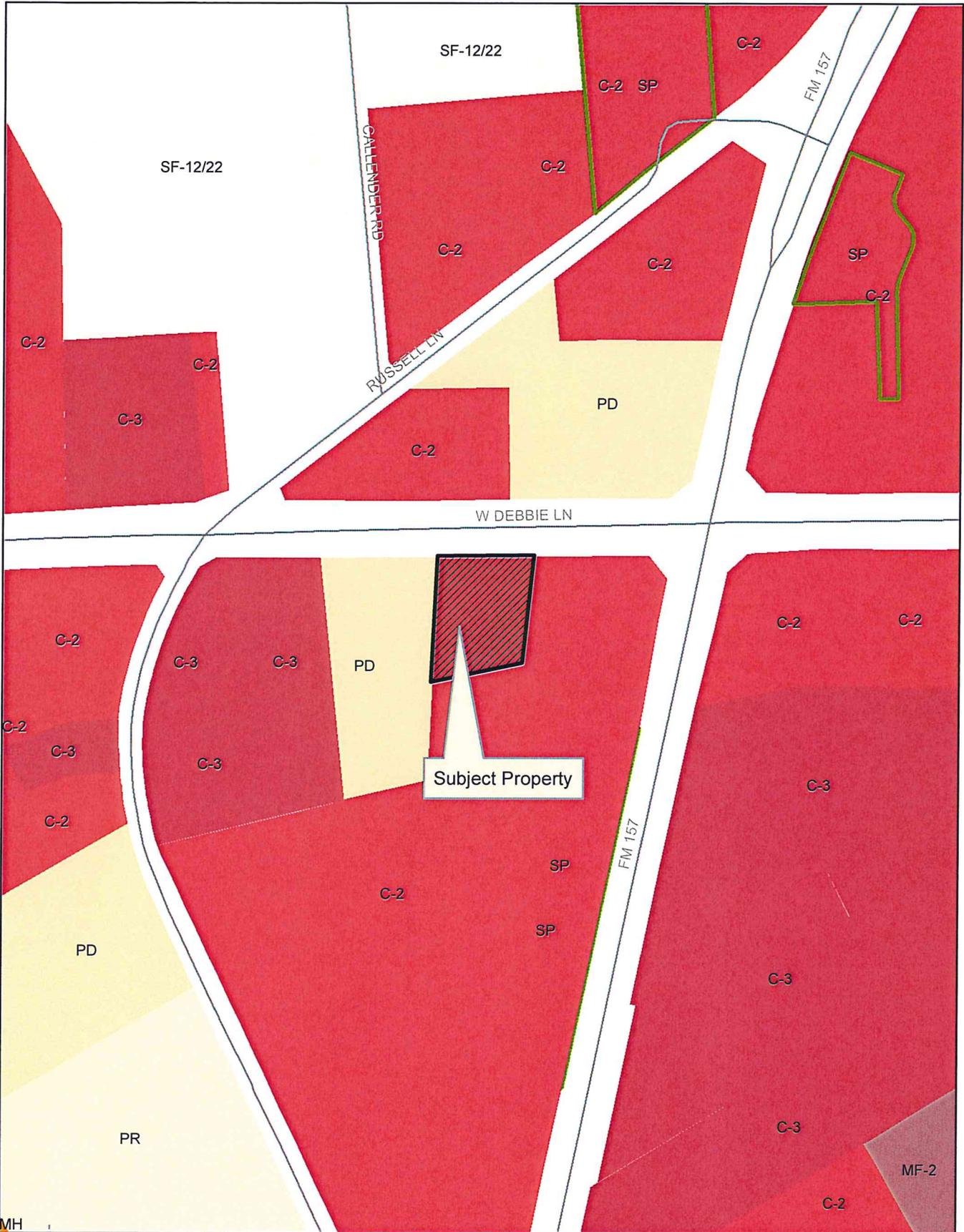
Respectfully,

Robert J. Deal, LEED GA
Project Designer
Buddy Webb and Company

attachment

Cc: Steve Peterie
file





ZC# 16-007

This information is for illustrative purposes only. Not for design or development purposes. Site-specific studies may be required to obtain accurate feature locations. Every effort is made to ensure the information displayed here is accurate; however, the City of Mansfield makes no claims to its accuracy or completeness.

06/24/2016

Property Owner Notification for ZC# 16-007

LEGAL DESC 1	LEGAL DESC 2	OWNER NAME	OWNER ADDRESS	CITY	ZIP
GENTRY, NORMAN L ADDITION	BLK 1	MANSFIELD SELF STORAGE LTD	2539 S GESSNER RD STE 13	HOUSTON, TX	77063-2028
OAKDALE ADDITION-MANSFIELD	BLK 3	MUTUAL PROJECTS INC	PO BOX 7766	FORT WORTH, TX	76111-0766
OAKDALE ADDITION-MANSFIELD	BLK 3	RANDAL INV GROUP LLC	2627 HOPKINS DR	GRAND PRAIRIE, TX	75052
OAKDALE ADDITION-MANSFIELD	BLK 3	QUIKTRIP CORPORATION	PO BOX 3475	TULSA, OK	74101-3475
OAKDALE ADDITION-MANSFIELD	BLK 5	O'REILLY AUTO ENTERPRISES LLC	233 S PATTERSON AVE	SPRINGFIELD, MO	65802-2298
OAKDALE ADDITION-MANSFIELD	BLK 5	AUTOZONE TEXAS L P	PO BOX 2198	MEMPHIS, TN	38101-2198
OAKDALE ADDITION-MANSFIELD	BLK 5	PHILLIPS, DOROTHY F	PO BOX 42	MANSFIELD, TX	76063-0042
OAKDALE ADDITION-MANSFIELD	BLK 5	HART SYSTEMS INC	PO BOX 40888	FORT WORTH, TX	76140-0888
OAKDALE ADDITION-MANSFIELD	BLK 5	JALALI FAMILY TRUST	PO BOX 14552	ARLINGTON, TX	76094-1552
OAKDALE ADDITION-MANSFIELD	BLK 5	JETT EXPRESS CAR WASHES LLC	363 AVIATOR DR	FORT WORTH, TX	76179-5437

ORDINANCE NO. _____

AN ORDINANCE OF THE CITY OF MANSFIELD, TEXAS, AMENDING THE COMPREHENSIVE ZONING ORDINANCE OF THE CITY OF MANSFIELD, AS HERETOFORE AMENDED, SO AS TO CHANGE THE ZONING ON THE HEREINAFTER DESCRIBED PROPERTIES TO A PD, PLANNED DEVELOPMENT DISTRICT FOR AUTO PARTS STORE, PROVIDING FOR THE REPEAL OF ALL ORDINANCES IN CONFLICT; PROVIDING A SEVERABILITY CLAUSE; PROVIDING A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; AND PROVIDING AN EFFECTIVE DATE.

WHEREAS, the Planning and Zoning Commission and the governing body of the City of Mansfield, Texas, in compliance with the laws of the State of Texas with reference to the amendment of the Comprehensive Zoning Ordinance, have given the requisite notices by publication and otherwise, and after holding due hearings and affording a full and fair hearing opportunity to all property owners generally and to owners of the affected properties, the governing body of the City is of the opinion and finds that the Comprehensive Zoning Ordinance and Map should be amended;

NOW, THEREFORE BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF MANSFIELD, TEXAS:

SECTION 1.

That the Comprehensive Zoning Ordinance of the City of Mansfield, Texas, be, and the same is hereby, amended by amending the Zoning Map of the City of Mansfield, to give Lot 5-R, Block 5, Oakdale Addition a new zoning district classification of PD, Planned Development for auto parts store; said Lot 5-R being described in Exhibit "A" attached hereto and made a part hereof for all purposes.

SECTION 2.

That the use and development of the hereinabove described property shall be in accordance with the development plan shown on Exhibit "B" attached hereto and made a part hereof for all purposes.

SECTION 3.

That all ordinances of the City in conflict with the provisions of this ordinance be, and the same are hereby, repealed and all other ordinances of the City not in conflict with the provisions of this ordinance shall remain in full force and effect.

SECTION 4.

That the above described properties shall be used only in the manner and for the purposes provided for in the Comprehensive Zoning Ordinance of the City, as amended herein by the granting of this zoning classification.

SECTION 5.

Should any paragraph, sentence, subdivision, clause, phrase or section of this ordinance be adjudged or held to be unconstitutional, illegal or invalid, the same shall not affect the validity of this ordinance as a whole or any part or provision thereof, other than the part so declared to be invalid, illegal or unconstitutional, and shall not affect the validity of the Comprehensive Zoning Ordinance as a whole.

SECTION 6.

Any person, firm or corporation violating any of the provisions of this ordinance or the Comprehensive Zoning Ordinance, as amended hereby, shall be deemed guilty of a misdemeanor and, upon conviction in the Municipal Court of the City of Mansfield, Texas, shall be punished by a fine not to exceed the sum of Two Thousand Dollars (\$2,000.00) for each offense, and each and every day any such violation shall continue shall be deemed to constitute a separate offense.

SECTION 7.

This ordinance shall take effect immediately from and after its passage on third and final reading and the publication of the caption, as the law and charter in such cases provide.

First reading approved on the _____ day of _____, 2016.

Second reading approved on the _____ day of _____, 2016.

DULY PASSED on the third and final reading by the City Council of the City of Mansfield, Texas, this _____ day of _____, 2016.

David L. Cook, Mayor

ATTEST:

Jeanne Heard, City Secretary

APPROVED AS TO FORM AND LEGALITY

Allen Taylor, City Attorney

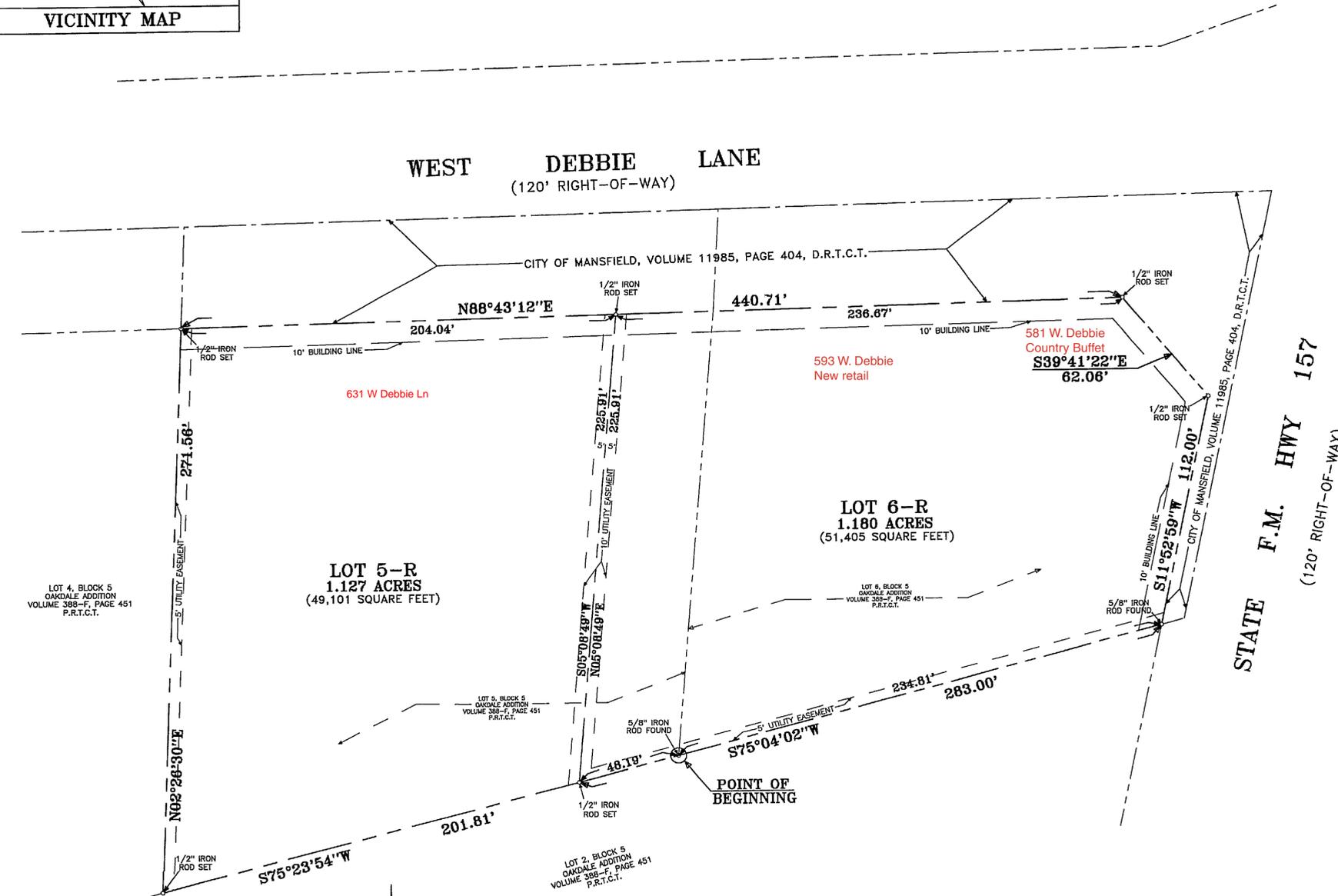
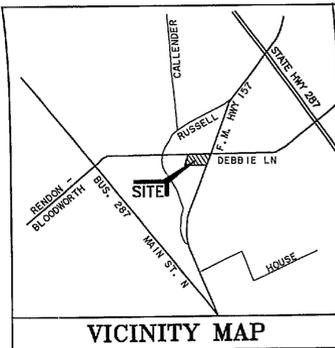
Ordinance No. _____

Page 3

EXHIBIT A ZC#16-007

D197162965

BRITTAIN & CRAWFORD
LAND SURVEYING &
TOPOGRAPHIC MAPPING
(817) 926-0211 - METRO (817) 429-5112
FAX No. (817) 926-9347
P.O. BOX 11374 * 3908 SOUTH FREEWAY
FORT WORTH, TEXAS 76110



STATE OF TEXAS
COUNTY OF TARRANT

WHEREAS, VIRGINIA R. ELLIOTT, DOROTHY FAYE PHILLIPS, and CHRISTOPHER REZA JALALI, are the sole owners of a tract of land situated in the S.S. CALLENDER SURVEY, Abstract No. 359, Tarrant County, Texas, according to the deeds recorded in Volume 4975, Page 564 and Volume 12941, Page 222 of the Deed Records of Tarrant County, Texas, and being more particularly described as follows:

LEGAL DESCRIPTION

BEING 2.307 acres of land located in Lot 5 and Lot 6, Block 5, OAKDALE ADDITION, to the City of Mansfield, Tarrant County, Texas, according to the plat recorded in Volume 388-F, Page 451, of the plat records of Tarrant County, Texas. Said 2.307 acres being more particularly described by metes and bounds, as follows:

- BEGINNING at a 5/8" iron rod found, at the Southwest corner of said Lot 6, being the Southeast corner of said Lot 5;
- THENCE S 75° 04' 02" W 48.19 feet, running along the South boundary line of said Lot 5 to a 1/2" iron rod set;
- THENCE S 75° 23' 54" W 201.81 feet, along the South boundary line of said Lot 5;
- THENCE N 02° 26' 30" E 271.56 feet, along the West boundary line of said Lot 5, to a 1/2" iron rod set, in the South right-of-way line of Debbie Lane, as conveyed to the City of Mansfield, by the deed recorded in Volume 11985, Page 404 of the Deed Records of Tarrant County, Texas;
- THENCE N 88° 43' 12" E 440.71 feet, running along the South boundary line of said Mansfield Tract, being the South right-of-way line of said Debbie Lane, to a 1/2" iron rod set, at the West end of a corner clip at the intersection of the West right-of-way line of F.M. Highway No. 157, also conveyed to the City of Mansfield by the deed recorded in Volume 11985, Page 404 of the Deed Records of Tarrant County, Texas;
- THENCE along the West right-of-way line of said F.M. Highway No. 157, being the West boundary line of said City of Mansfield Tract as follows:
- S 39° 41' 22" E 62.06 feet, along the Southwest boundary line of said corner clip to a 1/2" iron rod set, at the East end of said corner clip;
 - S 11° 52' 59" W 112.00 feet, to a 5/8" iron rod found, in the South boundary line of said Lot 6;
- THENCE S 75° 04' 02" W 234.81 feet, along the South boundary line of said Lot 6, to THE PLACE OF BEGINNING, containing 2.307 acres (100,506 square feet) of land.

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:
THAT, VIRGINIA R. ELLIOTT, DOROTHY FAYE PHILLIPS, and CHRISTOPHER REZA JALALI, do hereby adopt this plat designating the hereinabove described property as Lots 5-R and 6-R, Block 5, OAKDALE ADDITION, an addition to the City of Mansfield, Tarrant County, Texas, and do hereby dedicate to the public's use, the streets and easements shown hereon.

WITNESS OUR HANDS at Mansfield, Tarrant County, Texas, this 18th day of August, 1997.

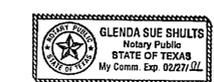
Virginia R. Elliott
DOROTHY FAYE PHILLIPS

Mohammad Reza Jalali
as custodian for
CHRISTOPHER REZA JALALI

STATE OF TEXAS
COUNTY OF TARRANT

BEFORE ME, the undersigned, a Notary Public in and for said County and State, on this day personally appeared VIRGINIA R. ELLIOTT, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that she executed the same for the purposes and consideration therein expressed, and in the capacity therein stated.

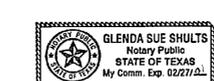
GIVEN UNDER MY HAND AND SEAL OF OFFICE, this the 11th day of August, 1997.



STATE OF TEXAS
COUNTY OF TARRANT

BEFORE ME, the undersigned, a Notary Public in and for said County and State, on this day personally appeared DOROTHY FAYE PHILLIPS, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that she executed the same for the purposes and consideration therein expressed, and in the capacity therein stated.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, this the 11th day of August, 1997.



STATE OF TEXAS
COUNTY OF TARRANT

BEFORE ME, the undersigned, a Notary Public in and for said County and State, on this day personally appeared MOHAMMAD REZA JALALI, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and consideration therein expressed, and in the capacity therein stated.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, this the 11th day of August, 1997.



STATE OF TEXAS
COUNTY OF TARRANT

WITNESS OUR HANDS at Mansfield, Tarrant County, Texas, this 18th day of August, 1997.

Virginia R. Elliott
DOROTHY FAYE PHILLIPS

Mohammad Reza Jalali
as custodian for
CHRISTOPHER REZA JALALI

NOTARY PUBLIC
STATE OF TEXAS
My Comm. Exp. 02/27/01

09-05-97 13:55

THIS IS TO CERTIFY THAT I, JAMES L. BRITTAIN, a Registered Professional Land Surveyor of the State of Texas, have plotted the above subdivision from an actual survey on the ground, and that all lot corners, angle points and points of curve are properly marked on the ground and that this plat correctly represents that survey made by me.

James L. Brittain
JAMES L. BRITTAIN, R.P.L.S.
State of Texas No. 1674



APPROVED BY THE CITY OF MANSFIELD

APPROVED: [Signature]
CHAIRMAN, PLANNING & ZONING COMMISSION

ATTESTED: [Signature]
PLANNING & ZONING SECRETARY

APPROVED: [Signature]
TEXAS UTILITIES

APPROVED: [Signature]
MARCUS CABLE

APPROVED: [Signature]
SOUTHWESTERN BELL TELEPHONE

APPROVED: [Signature]
LONE STAR GAS

DATE: 8-18-97

DATE: 8-18-97

DATE: 8-8-97

DATE: 8/8/97

DATE: 8-8-97

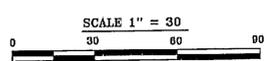
DATE: 8-8-97

AMENDING PLAT
LOTS 5-R AND 6-R, BLOCK 5
OAKDALE ADDITION
AN ADDITION TO THE CITY OF
MANSFIELD, TARRANT COUNTY, TEXAS
BEING A REVISION OF
LOTS 5 AND 6, BLOCK 5
OAKDALE ADDITION
TO THE CITY OF MANSFIELD, TARRANT COUNTY, TEXAS
ACCORDING TO THE PLAT RECORDED IN
VOLUME 388-F, PAGE 451 OF THE PLAT RECORDS
OF TARRANT COUNTY, TEXAS

AUGUST 1997

THIS PLAT FILED IN CABINET A, SLIDE 3726, DATE 9-5-97.

AFTER RECORDING RETURN TO:
CITY OF MANSFIELD
1305 E. BROAD STREET
MANSFIELD, TEXAS 76063



SIN. FIN. #
97-37 9734

PRELIMINARY
NOT FOR
CONSTRUCTION
OR PERMIT

SHEETS BEARING THIS SEAL ARE
AUTHENTICATED. RESPONSIBILITY FOR
ALL OTHER PLANS, SPECIFICATIONS
OR INSTRUMENTS ARE DISCLAIMED.

O'Reilly AUTO PARTS
CORPORATE OFFICES
233 SOUTH PATTERSON
SPRINGFIELD, MISSOURI 65802
(417) 862-2674 TELEPHONE

PROJECT: (ADDITION)
O'REILLY AUTO PARTS STORE
WEST DEBBIE LANE
MANSFIELD, TEXAS
EXHIBIT

Buddy D. Webb
Architect - Consultant
3057 EAST CAIRO
SPRINGFIELD, MISSOURI 65802
(417) 877-1385 TELEPHONE
(417) 877-9736 FAX

DRAWN BY: RJD CHECKED BY: LDG

DATE: 02/23/2016

REVISION:

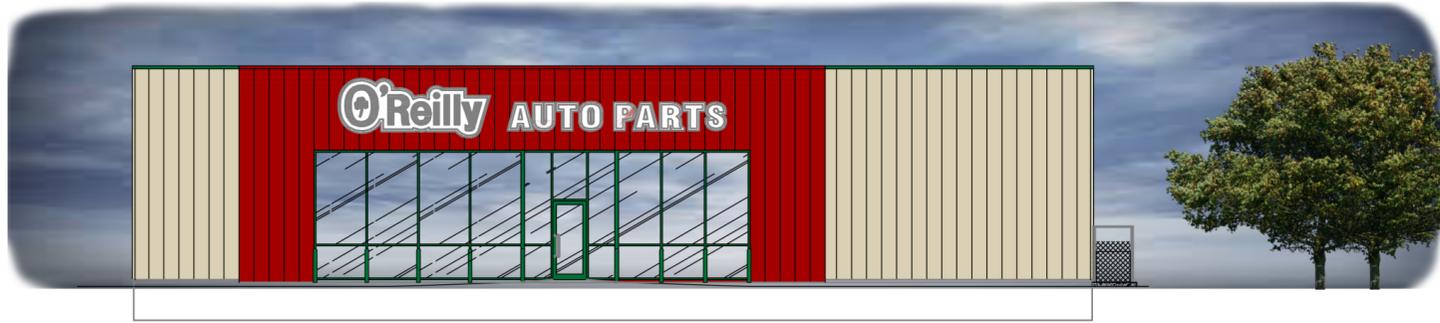
PROJECT NUMBER: MFD

SHEET NUMBER: A2

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A2



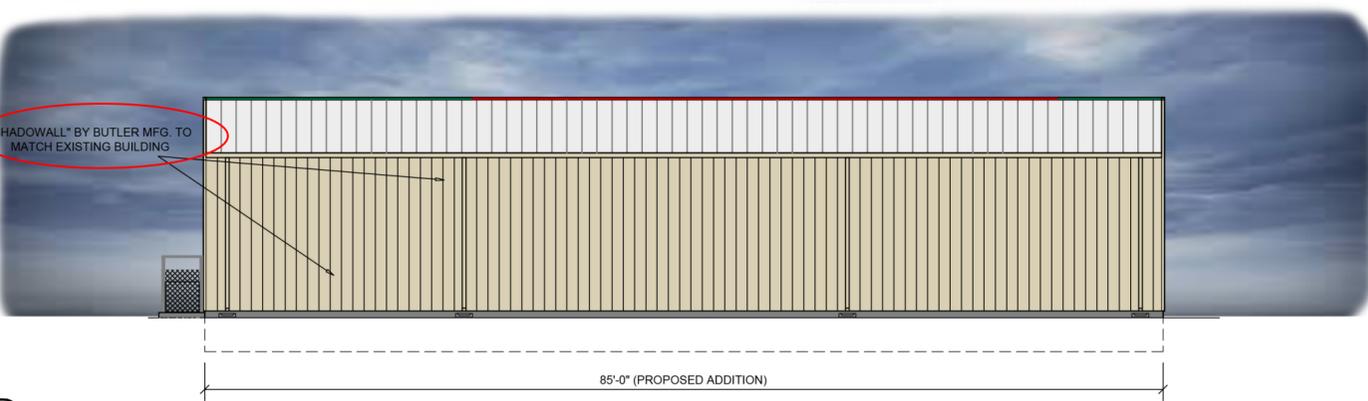
1 FRONT ELEVATION

A2 SCALE: 1/8" = 1'-0"



2 SIDE ELEVATION

A2 SCALE: 1/8" = 1'-0"



3 REAR ELEVATION

A2 SCALE: 1/8" = 1'-0"



4 SIDE ELEVATION

A2 SCALE: 1/8" = 1'-0"



5 EXISTING SIDE PHOTOS

A2 SCALE: 1/8" = 1'-0"

EXTERIOR FINISH SCHEDULE		
TYPE:	COMPANY TYPE:	COLOR:
PRE - ENGINEERED METAL BUILDING PANELS	"SHADOWALL" BY BUTLER MFG. OR SIMILAR COMPANY	COOL BIRCH WHITE
PRE - FINISHED GUTTERS AND DOWNSPOUTS	BY BUTLER MFG. OR SIMILAR COMPANY	COOL BIRCH WHITE
PRE - FINISHED SHEET METAL CAP FLASHING	BY BUTLER MFG. OR SIMILAR COMPANY	COOL EMERALD GREEN

ZC #16-007



CITY OF MANSFIELD

1200 East. Broad St.
Mansfield, TX 76063
mansfieldtexas.gov

STAFF REPORT

File Number: 16-1915

Agenda Date: 8/8/2016

Version: 3

Status: Third and Final
Reading

In Control: City Council

File Type: Ordinance

Agenda Number:

Title

Ordinance - Public Hearing Continuation and Third and Final Reading on an Ordinance Approving a Zoning Change from PD, Planned Development District, C-2, Community Business District, and PR, Pre-Development District to PD for Shopping Center, General Retail, General Service and Office Type Uses, Sports Facilities, and Multi-Family Residential Uses on Approximately 86 Acres, Generally Located East of Hwy 287, West of Carlin Road, North of E. Broad Street and South of McKnight Park East; Shops at Broad, LLC (ZC#16-008)

Requested Action

To consider the subject zoning change request.

Recommendation

The Planning and Zoning Commission held a public hearing on July 5, 2016 and voted 4 - 2 to recommend approval without the proposed multi-family residential uses. Commissioner Horn and Polozola voted nay and Commissioner Knight was absent.

Description/History

First Reading

The applicant intends to modify the existing PD for slight modifications to the C-2 architectural design standards and add other subject uses. The P&Z has requested that the following staff comments be provided to the City Council:

Planning Staff Comments

1. Per C-2 standards, all parking lot, vehicular use and maneuvering areas that are not screened by on-site buildings shall be screened from view of public streets. The screening shall be a minimum height of three feet at maturity, (in case of plants) above the grade of the parking lot, vehicle use and/or maneuvering areas.
2. For the northern and eastern property lines adjacent to the multi-family residential uses, a double row of trees with one row deciduous and one row evergreen is required at an interval of one tree every 50 feet. In addition, screening shrubs should be six feet on center and 5' to 6' tall at the time of planting.
3. In order to visually screen the loading docks and service area behind retail, enhanced landscaping should be provided with tall evergreen shrubs.
4. Landscaping should be used to enhance the front façade of buildings and provide a barrier between the drive isles and pedestrian walkways, similar to Kohl's Department Store.
5. Since not all buildings are provided in the original Planned Development zoning change application, a note should be added to Exhibit B stating: "All subsequent building elevations or landscaping not provided with the original Planned Development application will require detailed site plan approval by the City Council and compliance with the development or construction standards of the PD as demonstrated by the site plan and building elevations submitted with the original PD application."

Engineering and Transportation Staff Comments

6. The north/south drive aisles connecting to Fieldhouse Drive must align with the drive aisles

serving Fieldhouse USA on the north side of Fieldhouse Drive.

7. Only one point of access to Fieldhouse Drive will be allowed for the pad sites near the northwest corner of the PD with sufficient distance from Hwy 287 to be determined.

8. The right-in design for the southern-most entrance on Hwy 287 will be evaluated during future design prior to final approval.

9. Based on two different traffic consultants' recommendations, the entrance intersection at Mitchell Rd should be designed as protected left-ins and right-out only. This configuration will result in the best and safest movement of all directions of traffic.

10. The dual left turns shown at Regency Drive may not be needed. The final configuration will be based upon the revised traffic impact analysis.

11. The 2nd point of access for the parking garage should be located on the east side of the garage and not at the sports facility parking lot.

12. The drive aisle for the east side garage access should be separated from the service area for the sports facility.

Fire Marshall Comments

13. Proposed fire apparatus access will be evaluated during future design prior to final approval. A minimum of two points of access to buildings must be provided. A fire lane stub at the northeast corner of the apartments may be required for future access to the adjacent property.

Third and Final Reading

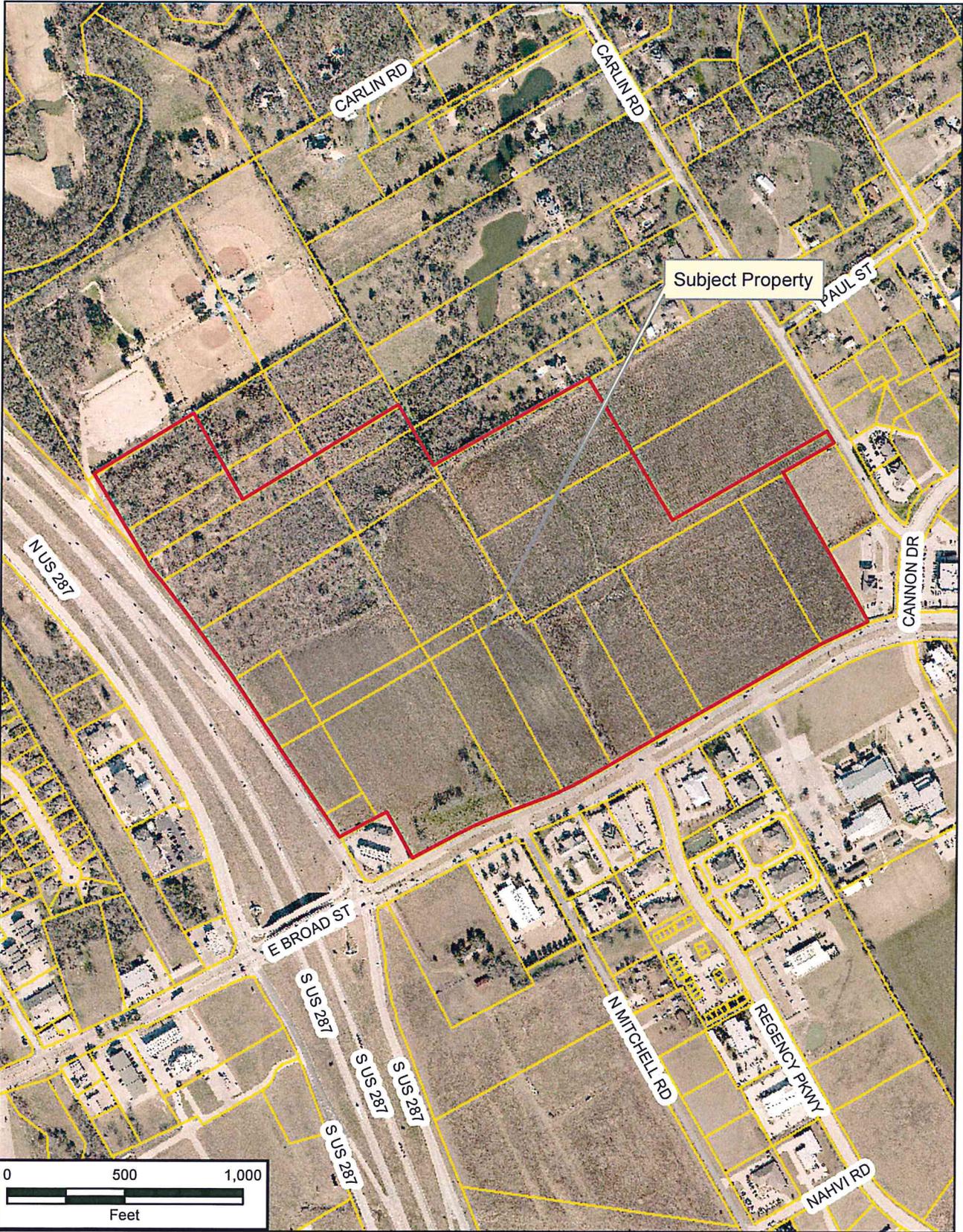
After the last meeting, the developer submitted the proposed PD Standards shown in Exhibits D and F for our consideration. The mark-ups represent review comments from the Planning Dept staff. A summary of the key issues is as follows:

- Site plan approval - The apartments and parking garage will be the only buildings returning to the City Council for future detailed site plan approval; the developer does not want to seek future Council approval on the other buildings not currently shown in the proposed PD drawings and presentations.
- Roof plane articulation - The developer wants to not incorporate variations in the roof plane if the building facade already incorporates projections and recesses.
- Number of eating and drinking establishments with drive-through service - The developer agrees to have only two drive-thru services along 287, but wants to have drive-thru service for non-fast food uses along E Broad St; e.g. coffee shops.
- Roof-top equipment screening - In lieu of building parapet walls to at least level with the top of roof-top equipment, the developer wants to submit future line-of-sight drawings to demonstrate screening.
- Signage - The developer wants to allow signs on awnings in addition to wall signs; current sign regulations will allow only one or the other.
- Stacking lane - The developer wants to be exempt from the minimum requirement on vehicle queuing spaces in the stacking lane.

Other staff review comments on items (not mentioned above) pertaining to outside display, transformer location, ground equipment and trash container screening, alcohol sale are in accordance with the City's requirements on commercial development.

Prepared By

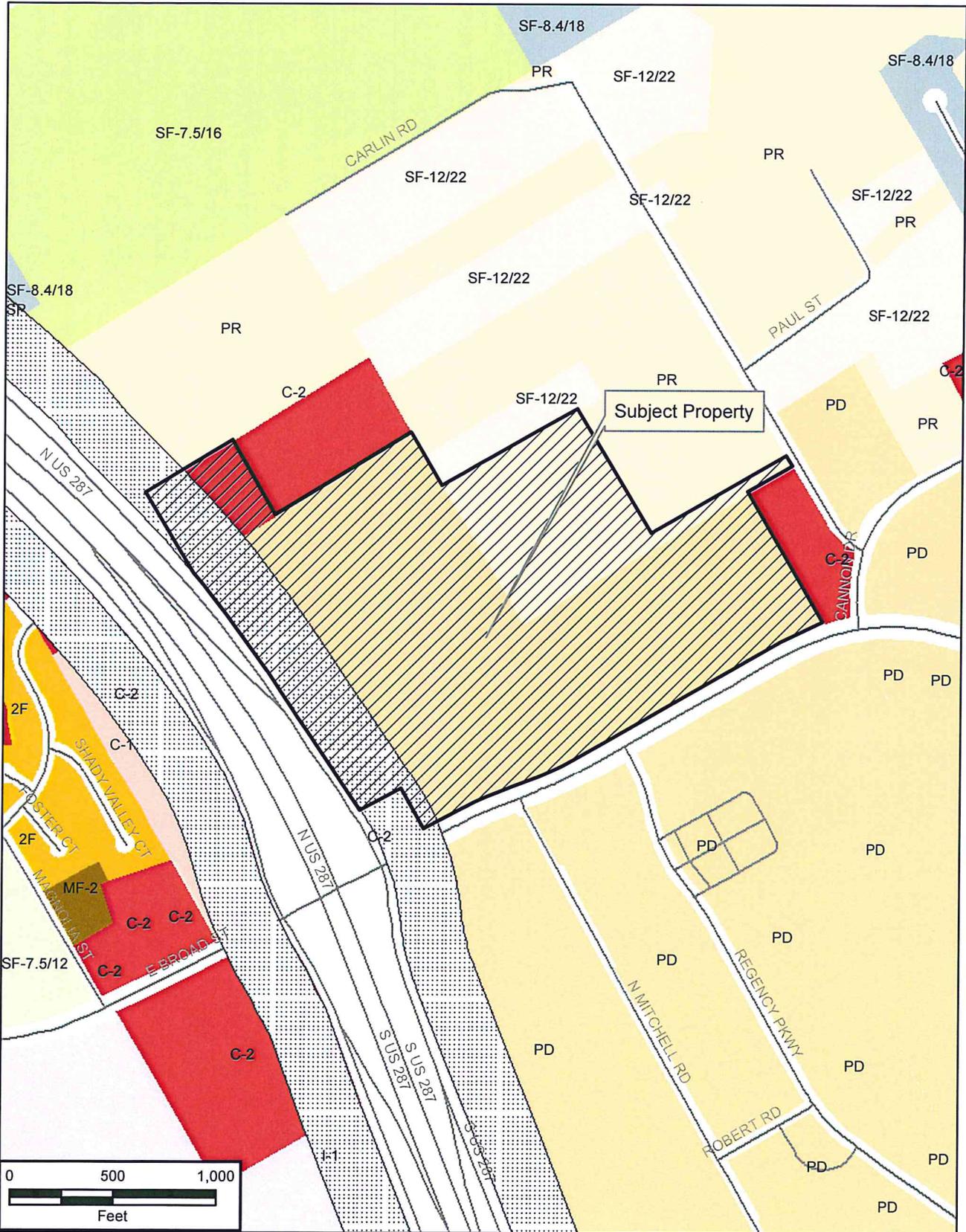
Felix Wong, Director of Planning
817-276-4228



ZC# 16-008

This information is for illustrative purposes only. Not for design or development purposes. Site-specific studies may be required to obtain accurate feature locations. Every effort is made to ensure the information displayed here is accurate; however, the City of Mansfield makes no claims to its accuracy or completeness.

06/17/2016



ZC# 16-008

This information is for illustrative purposes only. Not for design or development purposes. Site-specific studies may be required to obtain accurate feature locations. Every effort is made to ensure the information displayed here is accurate; however, the City of Mansfield makes no claims to its accuracy or completeness.

06/17/2016

Property Owner Notification for ZC# 16-008

LEGAL DESC 1	LEGAL DESC 2	OWNER NAME	OWNER ADDRESS	CITY	ZIP
ARLINGTON FEDERAL CREDIT UNION	BLK 1	ARLINGTON FED CREDIT UNION	909 W SANFORD ST	ARLINGTON, TX	76012-5032
ARLINGTON FEDERAL CREDIT UNION	BLK 1	THE FLYING A GROUP LTD	4408 LOST CREEK BLVD	ALEDO, TX	76008
BRATTON, THOMAS SURVEY	A 162	CPP DEVELOPMENT LP	6755 RIDGMAR BLVD APT 101	FORT WORTH, TX	76116-1670
BRATTON, THOMAS SURVEY	A 162	MFD ACQUISITION LP	100 CARLIN RD	MANSFIELD, TX	76063
BRATTON, THOMAS SURVEY	A 162	HERTER, MARILYN D TRUST	16 TRINITY OAKS RD	WESTWORTH VILLAGE, TX	76114-4100
BROAD PARK	BLK 1	LAURALEE DEVELOPMENT CO INC	PO BOX 170155	ARLINGTON, TX	76003-0155
BROAD PARK	BLK 1	AMERICAN BANK OF COMMERCE	5050 QUORUM DR STE 100	DALLAS, TX	75254-7089
CANNON PROFESSIONAL PLAZA PH 1	BLK 1	MFD ACQUISITIONS LP	100 CARLIN RD	MANSFIELD, TX	76063-3454
CANNON PROFESSIONAL PLAZA PH 1	BLK 1	H E H EQUITY LLC	6 FOREST DR	MANSFIELD, TX	76063
FIRST BAPT CHURCH ADDN-MANSFLD	BLK 1	FIRST BAPTIST CH MANSFIELD	PO BOX 2255	MANSFIELD, TX	76063-0047
GALLOWAY ADDITION	LOT 1	MANSFIELD I MEDICAL PROPERTIES	181 W MADISON FL 47	CHICAGO, IL	60602
MCCASLIN BUSINESS PARK	BLK 1	REGENCY @BROAD LLC	6421 CAMP BOWIE BLVD STE 302	FORT WORTH, TX	76116-5421
MCCASLIN BUSINESS PARK	BLK 1	JS IRVINE INVESTMENTS LLC	1720 E BROAD ST	MANSFIELD, TX	76063-3400
NELSON ADDITION-MANSFIELD	BLK 1	NELSON FAMILY REV TRUST	257 CARLIN RD	MANSFIELD, TX	76063
ODELE, HENRY SURVEY	A 1196	HUANTE, JOSE HECTOR	309 CARLIN RD	MANSFIELD, TX	76063-3458
ODELE, HENRY SURVEY	A 1196	MANSFIELD, CITY OF	1200 E BROAD ST	MANSFIELD, TX	76063-1805
ODELE, HENRY SURVEY	A 1196	BATTLES, DANNY L	261 CARLIN RD	MANSFIELD, TX	76063-3459
ODELE, HENRY SURVEY	A 1196	DOTY, NATHAN	253 CARLIN RD	MANSFIELD, TX	76063-3459

Property Owner Notification for ZC# 16-008

LEGAL DESC 1	LEGAL DESC 2	OWNER NAME	OWNER ADDRESS	CITY	ZIP
ODELE, HENRY SURVEY	A 1196	MANSFIELD, CITY OF	1200 E BROAD ST	MANSFIELD, TX	76063-1805
ODELE, HENRY SURVEY	A 1196	MANSFIELD, CITY OF	1200 E BROAD ST	MANSFIELD, TX	76063-1805
ODELE, HENRY SURVEY	A 1196	MANSFIELD, CITY OF	1200 E BROAD ST	MANSFIELD, TX	76063-1805
ODELE, HENRY SURVEY	A 1196	MANSFIELD, CITY OF	1200 E BROAD ST	MANSFIELD, TX	76063-1805
ODELE, HENRY SURVEY	A 1196	SHOPS AT BROAD LLC	4849 GREENVILLE AVE STE 1375	DALLAS, TX	75206
ODELE, HENRY SURVEY	A 1196	HCA HEALTH SERVICES OF TX INC	PO BOX 1504	NASHVILLE, TN	37202-1504
ODELE, HENRY SURVEY	A 1196	HCA HEALTH SERVICES OF TX INC	PO BOX 1504	NASHVILLE, TN	37202-1504
ODELE, HENRY SURVEY	A 1196	HCA HEALTH SERVICES OF TX INC	PO BOX 1504	NASHVILLE, TN	37202-1504
ODELE, HENRY SURVEY	A 1196	MANSFIELD, CITY OF	1200 E BROAD ST	MANSFIELD, TX	76063-1805
ODELE, HENRY SURVEY	A 1196	MANSFIELD, CITY OF	1200 E BROAD ST	MANSFIELD, TX	76063-1805
ODELE, HENRY SURVEY	A 1196	MANSFIELD, CITY OF	1200 E BROAD ST	MANSFIELD, TX	76063-1805
ODELE, HENRY SURVEY	A 1196	MANSFIELD, CITY OF	1200 E BROAD ST	MANSFIELD, TX	76063-1805
ODELE, HENRY SURVEY	A 1196	SHOPS AT BROAD LLC	4849 GREENVILLE AVE STE 1375	DALLAS, TX	75206
O'DELL, H ADDITION	BLK 1	TAF TARRANT PROPERTIES LP	12342 INWOOD RD	DALLAS, TX	75244-8091
WOODHAVEN NATIONAL BANK ADDN	BLK 1	WOODHAVEN NATIONAL BANK	18081 BURT ST	OMAHA, NE	68022

ORDINANCE NO. _____

AN ORDINANCE OF THE CITY OF MANSFIELD, TEXAS, AMENDING THE COMPREHENSIVE ZONING ORDINANCE OF THE CITY OF MANSFIELD, AS HERETOFORE AMENDED, SO AS TO CHANGE THE ZONING ON THE HEREINAFTER DESCRIBED PROPERTIES TO A PD, PLANNED DEVELOPMENT DISTRICT FOR A SHOPPING CENTER, GENERAL RETAIL, GENERAL SERVICE AND OFFICE TYPE USES, SPORTS FACILITIES, AND MULTI-FAMILY RESIDENTIAL USE, PROVIDING FOR THE REPEAL OF ALL ORDINANCES IN CONFLICT; PROVIDING A SEVERABILITY CLAUSE; PROVIDING A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; AND PROVIDING AN EFFECTIVE DATE.

WHEREAS, the Planning and Zoning Commission and the governing body of the City of Mansfield, Texas, in compliance with the laws of the State of Texas with reference to the amendment of the Comprehensive Zoning Ordinance, have given the requisite notices by publication and otherwise, and after holding due hearings and affording a full and fair hearing opportunity to all property owners generally and to owners of the affected properties, the governing body of the City is of the opinion and finds that the Comprehensive Zoning Ordinance and Map should be amended;

NOW, THEREFORE BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF MANSFIELD, TEXAS:

SECTION 1.

That the Comprehensive Zoning Ordinance of the City of Mansfield, Texas, be, and the same is hereby, amended by amending the Zoning Map of the City of Mansfield, to give the hereinafter described property a new zoning district classification of PD, Planned Development for a shopping center and General Retail, General Service and Office Type uses, sports facilities, and multi-family residential use; said property being described in Exhibit "A" attached hereto and made a part hereof for all purposes.

SECTION 2.

That the use and development of the hereinabove described property shall be in accordance with the development plan shown on Exhibits "B" and "C" attached hereto and made a part hereof for all purposes.

SECTION 3.

That all ordinances of the City in conflict with the provisions of this ordinance be, and the same are hereby, repealed and all other ordinances of the City not in conflict with the provisions of this ordinance shall remain in full force and effect.

SECTION 4.

That the above described properties shall be used only in the manner and for the purposes provided for in the Comprehensive Zoning Ordinance of the City, as amended herein by the granting of this zoning classification.

SECTION 5.

Should any paragraph, sentence, subdivision, clause, phrase or section of this ordinance be adjudged or held to be unconstitutional, illegal or invalid, the same shall not affect the validity of this ordinance as a whole or any part or provision thereof, other than the part so declared to be invalid, illegal or unconstitutional, and shall not affect the validity of the Comprehensive Zoning Ordinance as a whole.

SECTION 6.

Any person, firm or corporation violating any of the provisions of this ordinance or the Comprehensive Zoning Ordinance, as amended hereby, shall be deemed guilty of a misdemeanor and, upon conviction in the Municipal Court of the City of Mansfield, Texas, shall be punished by a fine not to exceed the sum of Two Thousand Dollars (\$2,000.00) for each offense, and each and every day any such violation shall continue shall be deemed to constitute a separate offense.

SECTION 7.

This ordinance shall take effect immediately from and after its passage on third and final reading and the publication of the caption, as the law and charter in such cases provide.

First reading approved on the _____ day of _____, 2016.

Second reading approved on the _____ day of _____, 2016.

DULY PASSED on the third and final reading by the City Council of the City of Mansfield, Texas, this _____ day of _____, 2016.

David L. Cook, Mayor

ATTEST:

Jeanne Heard, City Secretary

Ordinance No. _____

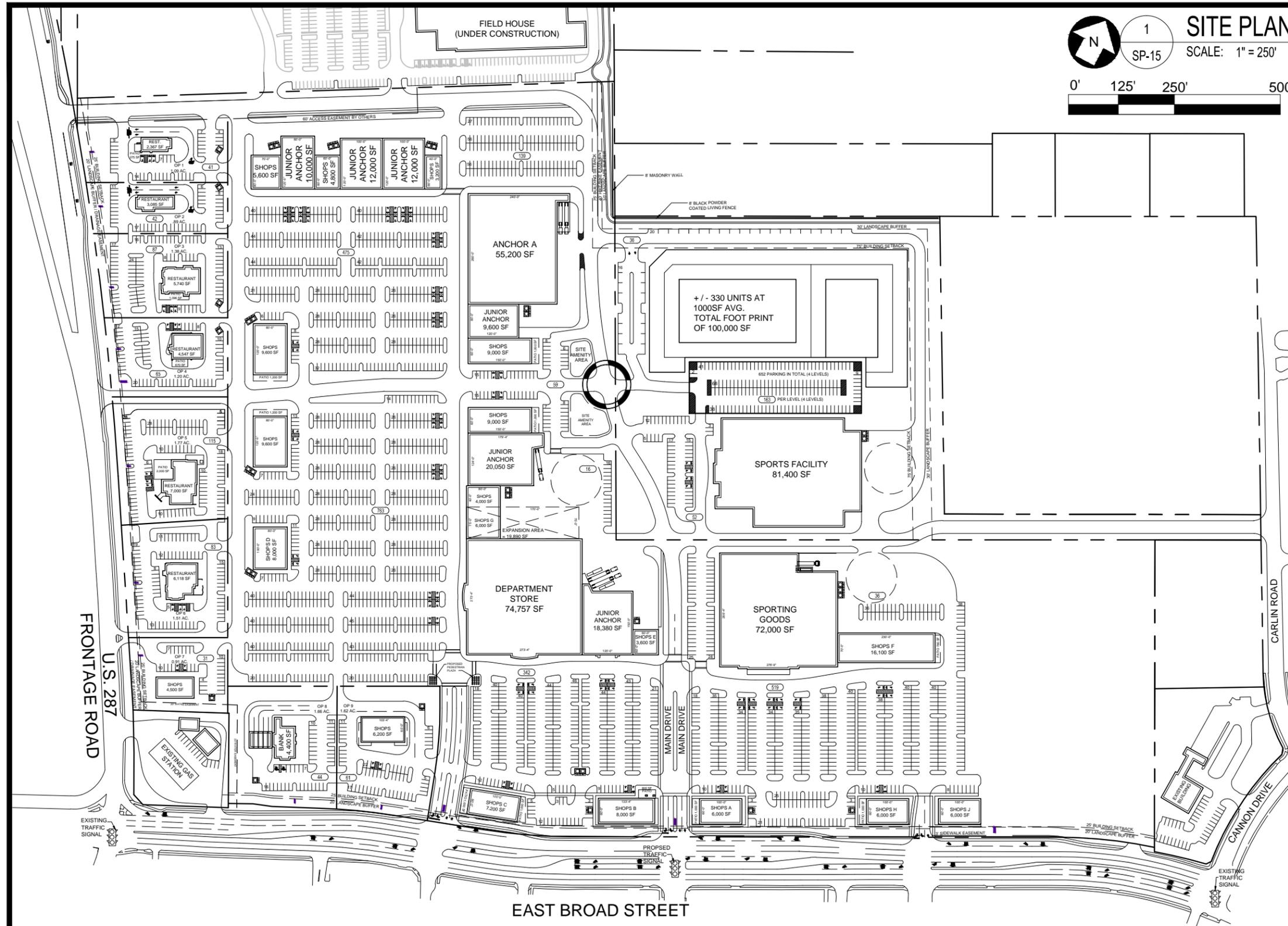
Page 3

APPROVED AS TO FORM AND LEGALITY

Allen Taylor, City Attorney

Ordinance No. _____

Page 4



SITE PLAN
 1
 SP-15
 SCALE: 1" = 250'
 0' 125' 250' 500'

PROJECT DATA OVERALL

RETAIL BUILDINGS

DEPARTMENT STORE	74,757 SF
ANCHOR A	55,200 SF
SPORTING GOODS STORE	72,000 SF
SHOPS/JUNIOR ANCHORS	153,730 SF
RESTAURANT (NOT INCLUDING 9,980 SF OF PATIO)	50,000 SF
TOTAL PROJECT AREA	405,687 SF

RETAIL PARKING

ANCHOR PARKING REQ'D (3.3/1000 SF)	667 SPACES
SHOPS PARKING REQ'D (3.3/1000 SF)	504 SPACES
RESTAURANT (10.0/1000 SF)	500 SPACES
RESTAURANT PATIO PARKING (10.0/1000SF)	100 SPACES
TOTAL PARKING REQUIRED	1,771 SPACES
TOTAL PARKING PROVIDED	2,349 SPACES
PARKING RATIO PROVIDED	5.79 /1,000 SF

OUTPARCELS

	ACREAGE	SQUARE FOOTAGE	PARKING COUNT	PARKING RATIO
OP 1 (REST.)	1.09 AC.	2,367 SF.	41	17.3 /1000
OP 2 (REST.)	0.89 AC.	3,085 SF.	42	13.6 /1000
OP 3 (REST.)	1.38 AC.	5,740 SF.	87	15.2 /1000
OP 4 (REST.)	1.20 AC.	4,547 SF.	65	14.3 /1000
OP 5 (REST.)	1.77 AC.	7,000 SF.	115	16.4 /1000
OP 6 (REST.)	1.51 AC.	6,118 SF.	83	13.6 /1000
OP 7 (SHOPS)	0.91 AC.	4,500 SF.	31	6.9 /1000
OP 8 (BANK)	1.66 AC.	4,400 SF.	44	10.0 /1000
OP 9 (REST.)	1.62 AC.	6,200 SF.	61	9.8 /1000

CLIENT
GEYER MORRIS
 COMPANY
 4849 GREENVILLE AVE, STE 1375. DALLAS, TX 75206. 214-458-4808

PROJECT
SHOPS @ BROAD STREET
 MANSFIELD, TX

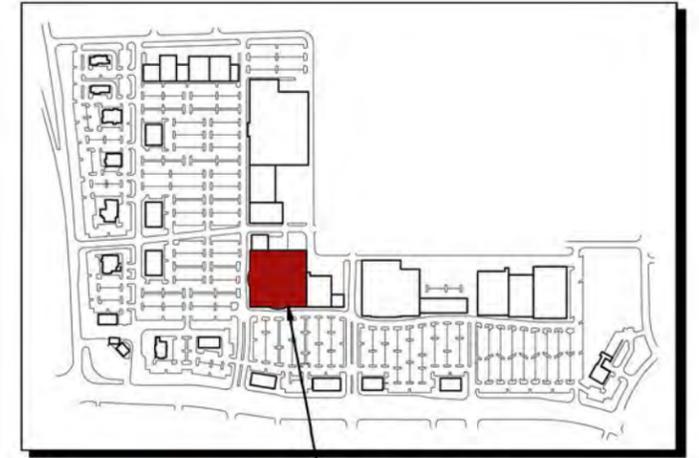
JOB NUMBER
 1540715
 DATE
 06.27.16

BY
 KMC
 DRAWING
 EXHIBIT B
 SP-15 SITE PLAN
 ZC # 16 - 008

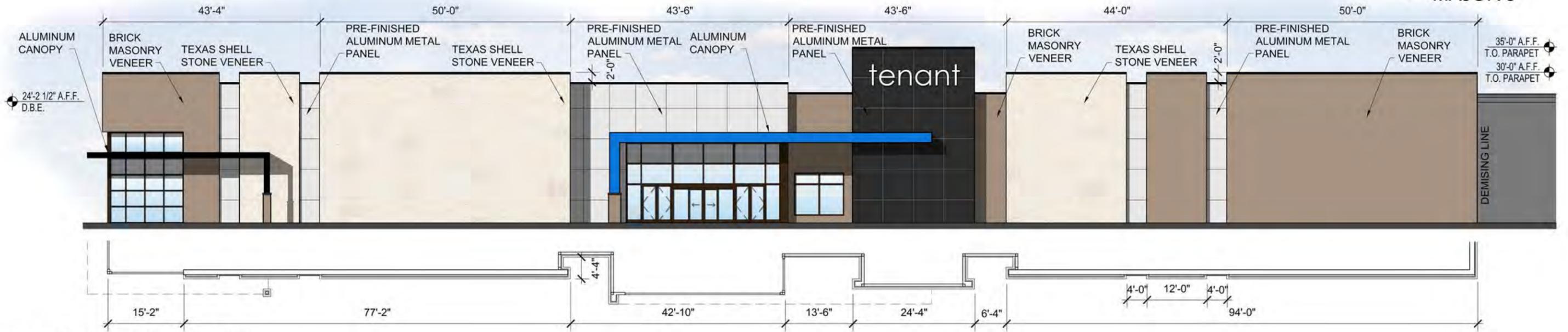
PHILLIPS
 architects + engineers
 THE PALISADES
 5901 PEACHTREE DUNWOODY RD.
 BUILDING A, SUITE 450
 ATLANTA, GA 30328
 770.394.1616

**POINTS CONSIDERED FOR BUILDING DESIGN PER
COMMUNITY DESIGN STANDARDS:**

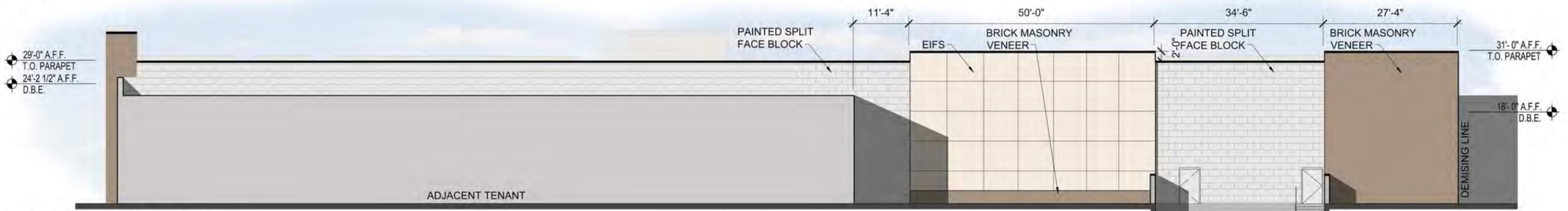
- 1) Section 4600-A:
Note # 1 - Materials Allowed - 70% Masonry and 30% masonry-like
*** This option has 72% Masonry Veneer, with 12% Masonry-like material, and 16% Non-Masonry material.
- 2) Section 4600-9:
Note # 4 - Projections or Recesses - 4'-0" Deep x 4'-0" Wide projection change requirement within a 50' span of facade.
*** This option has 4'-0" Deep x 4'-0" Wide plane change articulation on the facade located 94' along the facade.
- Note # 6 - Repeating horizontal pattern
*** This option has horizontal repeating patterns on the facade, including metal canopy, cornices and reveals to comply with the requirement
- 2) Section 7301-1 - RTU Screening:
Note # 2b - Parapet wall heights - Must be 12" higher than RTU height
*** The lowest parapet height level with top of RTU's. All mechanical equipments are screened



MAJOR J



1 SOUTH ELEVATION (FRONT)
SCALE: N.T.S.



2 EAST ELEVATION (SIDE)
SCALE: N.T.S.

**POINTS CONSIDERED FOR BUILDING DESIGN PER
COMMUNITY DESIGN STANDARDS:**

1) Section 4600-A:

Note # 1 - Materials Allowed - 70% Masonry and 30% masonry-like

*** This option has 72% Masonry Veneer, with 12% Masonry-like material, and 16% Non-Masonry material.

2) Section 4600-9:

Note # 4 - Projections or Recesses - 4'-0" Deep x 4'-0" Wide projection change requirement within a 50' span of facade.

*** This option has 4'-0" Deep x 4'-0" Wide plane change articulation on the facade located 94' along the facade.

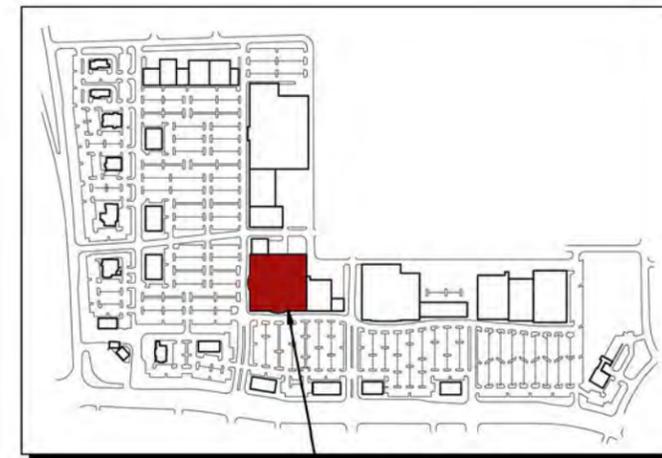
Note # 6 - Repeating horizontal pattern

*** This option has horizontal repeating patterns on the facade, including metal canopy, cornices and reveals to comply with the requirement

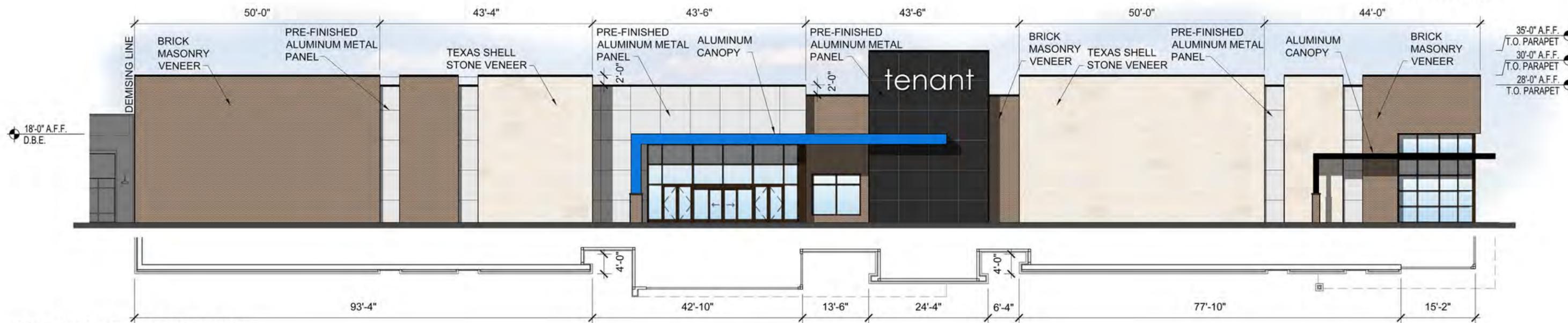
2) Section 7301-1 - RTU Screening:

Note # 2b - Parapet wall heights - Must be 12" higher than RTU height

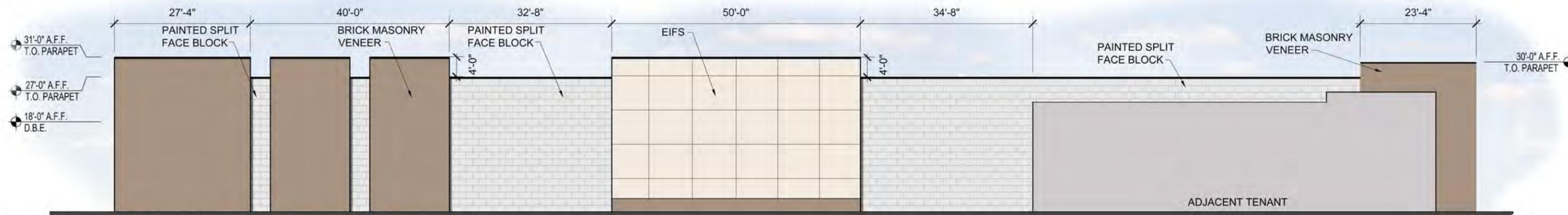
*** The lowest parapet height level with top of RTU's. All mechanical equipments are screened



MAJOR J



1 WEST ELEVATION (FRONT)
SCALE: N.T.S.



2 NORTH ELEVATION (SIDE)
SCALE: N.T.S.

SHOPS AT BROAD STREET

MANSFIELD, TEXAS
MAJOR J



1 NORTH ELEVATION (FRONT)
CA-4.0 SCALE: 1/16" = 1'-0"



2 EAST ELEVATION (SIDE)
CA-4.0 SCALE: 1/16" = 1'-0"



3 WEST ELEVATION (SIDE)
CA-4.0 SCALE: 1/16" = 1'-0"



4 SOUTH ELEVATION (REAR)
CA-4.0 SCALE: 1/16" = 1'-0"

POINTS CONSIDERED FOR BUILDING DESIGN PER COMMUNITY DESIGN STANDARDS:

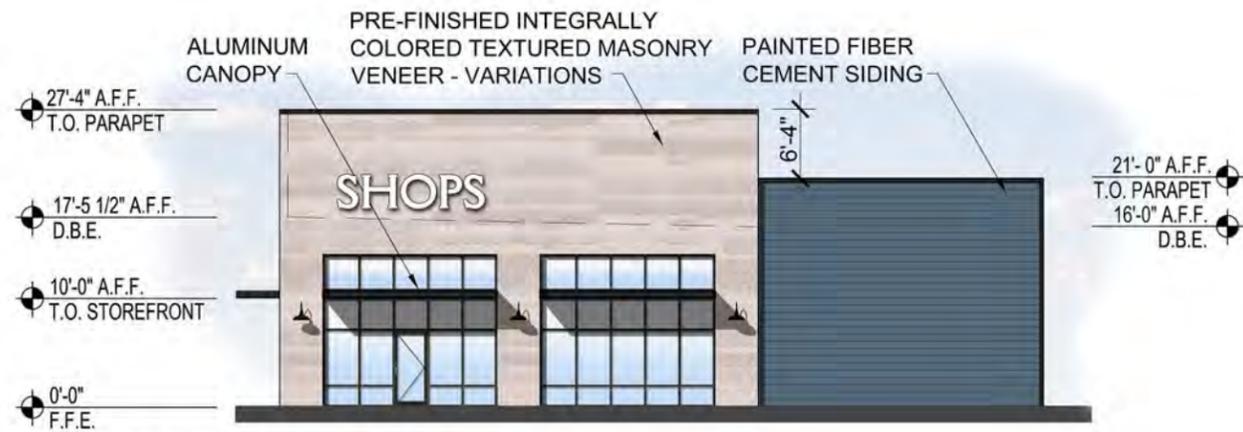
1) Section 4600-A:
Note # 1 - Materials Allowed - 70% Masonry and 30% masonry-like
 *** This option has Polished split face (60%) and Fiber Cement Siding (40%) as main facade elements

2) Section 4600-9:
Note #4 - Projections or Recesses - 4'-0" Deep x 4'-0" Wide projection change requirement
 *** This option has 2'-0" Deep x 4'-0" Wide plane change articulation on the facade

Note # 6 - Repeating horizontal pattern
 *** This option has horizontal repeating patterns on the facade, including Metal Canopy with tie rods, Metal Fascia band, Awning, Eye brow channel and cornices to comply with the requirement

2) Section 7301-1 - RTU Screening:
Note # 2b - Parapet wall heights - Must be 12" higher than RTU height
 *** The lowest parapet height will match top of RTU's. All mechanical equipments are screened from view.

3) Section 7100-7 - Sign Design:
Note E2 - Additional wall signs - Additional wall signs are not allowed on the rear facade of the building
 *** This option has additional signs on the rear of the building to emphasize tenant and increase visibility



2 EAST ELEVATION (SIDE)

FA-4.0 SCALE: 1/16" = 1'-0"

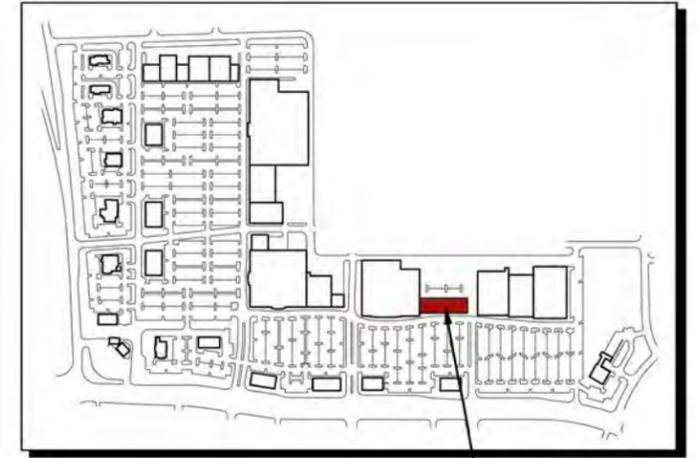
POINTS CONSIDERED FOR BUILDING DESIGN PER COMMUNITY DESIGN STANDARDS:

1) Section 4600-A:
 Note # 1 - Materials Allowed - 70% Masonry and 30% masonry-like
 *** This option has 68% Masonry Veneer, with 32% Masonry-like material.

2) Section 4600-9:
 Note #4 - Projections or Recesses - 4'-0" Deep x 4'-0" Wide projection change requirement
 *** This option has 2'-0" Deep x 4'-0" Wide plane change articulation on the facade

Note # 6 - Repeating horizontal pattern
 *** This option has horizontal repeating patterns on the facade, including metal canopy, awning, eye brow channel and cornices to comply with the requirement

2) Section 7301-1 - RTU Screening:
 Note # 2b - Parapet wall heights - Must be 12" higher than RTU height
 *** The lowest parapet height level with top of RTU's. All mechanical equipments are screened from view.

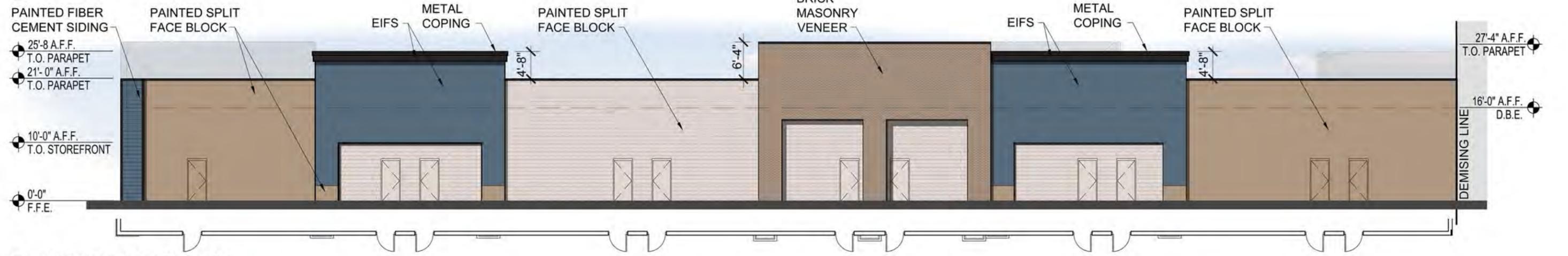


SHOPS F



1 SOUTH ELEVATION (FRONT)

FA-4.0 SCALE: 1/16" = 1'-0"

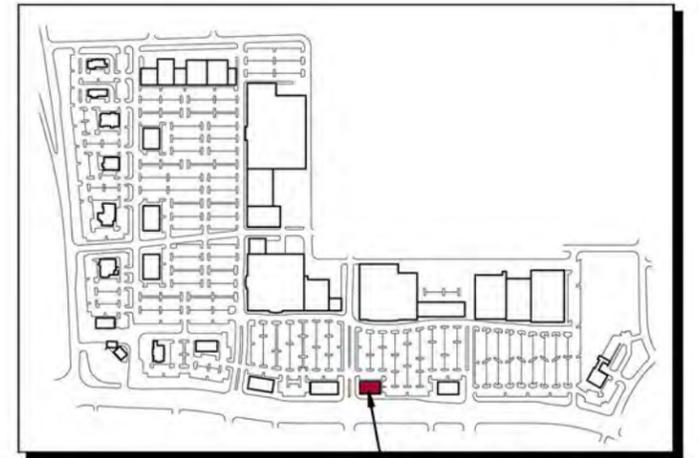


3 NORTH ELEVATION (REAR)

FA-4.0 SCALE: 1/16" = 1'-0"



1 NORTH ELEVATION (FRONT)
AA-4.0 SCALE: 1/16" = 1'-0"



SHOPS A



2 WEST ELEVATION (SIDE)
AA-4.0 SCALE: 1/16" = 1'-0"



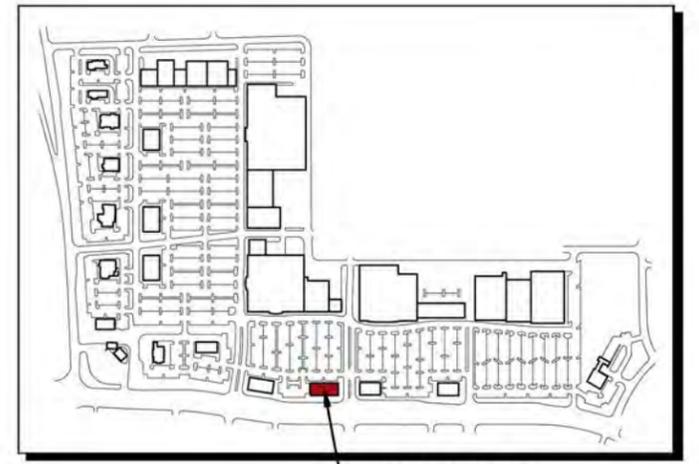
3 EAST ELEVATION (SIDE)
AA-4.0 SCALE: 1/16" = 1'-0"



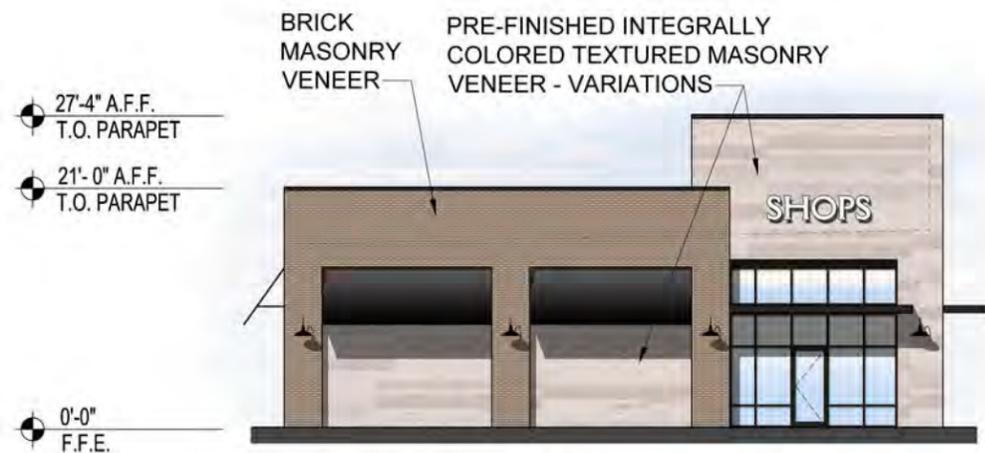
4 SOUTH ELEVATION (REAR)
AA-4.0 SCALE: 1/16" = 1'-0"



1 NORTH ELEVATION (FRONT)
BA-4.0 SCALE: 1/16" = 1'-0"



SHOPS B



3 WEST ELEVATION (SIDE)
BA-4.0 SCALE: 1/16" = 1'-0"



2 EAST ELEVATION (SIDE)
BA-4.0 SCALE: 1/16" = 1'-0"

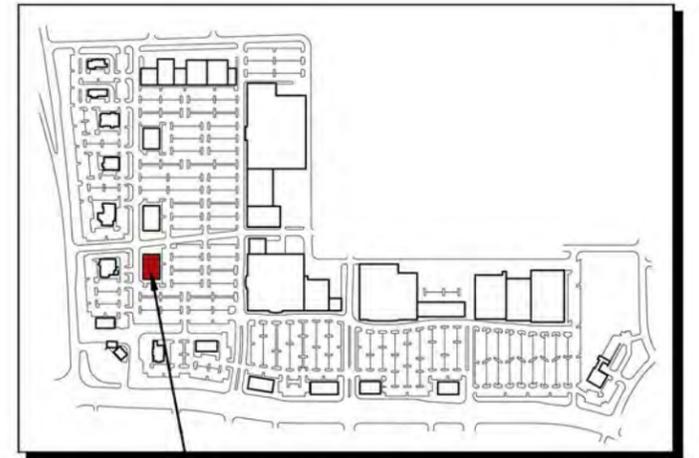


4 SOUTH ELEVATION (REAR)
BA-4.0 SCALE: 1/16" = 1'-0"

- 27'-4" A.F.F. T.O. PARAPET
- 25'-8" A.F.F. T.O. PARAPET
- 21'-0" A.F.F. T.O. PARAPET
- 17'-8" A.F.F. D.B.E
- 10'-0" A.F.F. T.O. STOREFRONT
- 0'-0" A.F.F. F.F.E



1 EAST ELEVATION (FRONT)
DA-4.0 SCALE: 1/16" = 1'-0"



SHOPS D

- 22'-4" A.F.F. T.O. PARAPET
- 21'-0" A.F.F. T.O. PARAPET
- 10'-0" A.F.F. T.O. STOREFRONT
- 0'-0" A.F.F. F.F.E



2 NORTH ELEVATION (SIDE)
DA-4.0 SCALE: 1/16" = 1'-0"

- 24'-4" A.F.F. T.O. PARAPET
- 21'-0" A.F.F. T.O. PARAPET
- 10'-0" A.F.F. T.O. STOREFRONT
- 0'-0" A.F.F. F.F.E

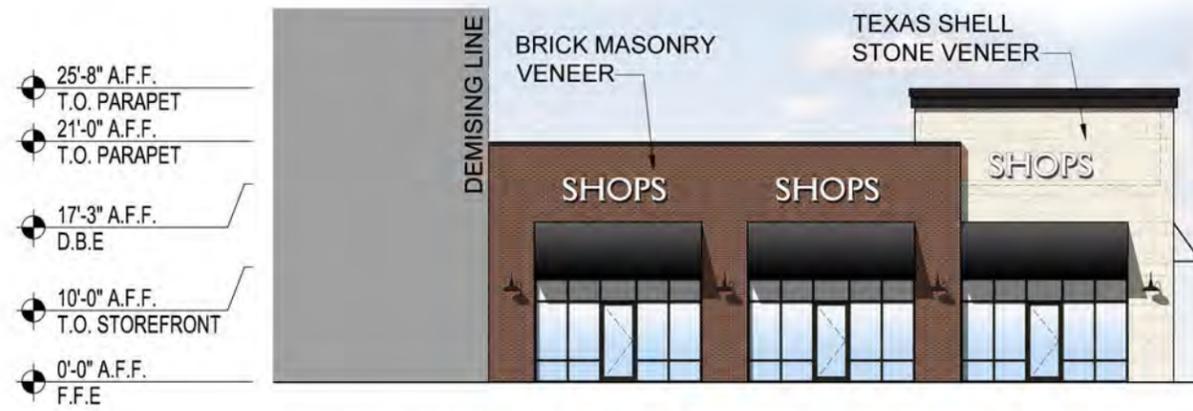


3 SOUTH ELEVATION (SIDE)
DA-4.0 SCALE: 1/16" = 1'-0"

- 23'-8" A.F.F. T.O. PARAPET
- 22'-4" A.F.F. T.O. PARAPET
- 21'-0" A.F.F. T.O. PARAPET
- 16'-0" A.F.F. D.B.E
- 10'-0" A.F.F. T.O. STOREFRONT
- 0'-0" A.F.F. F.F.E



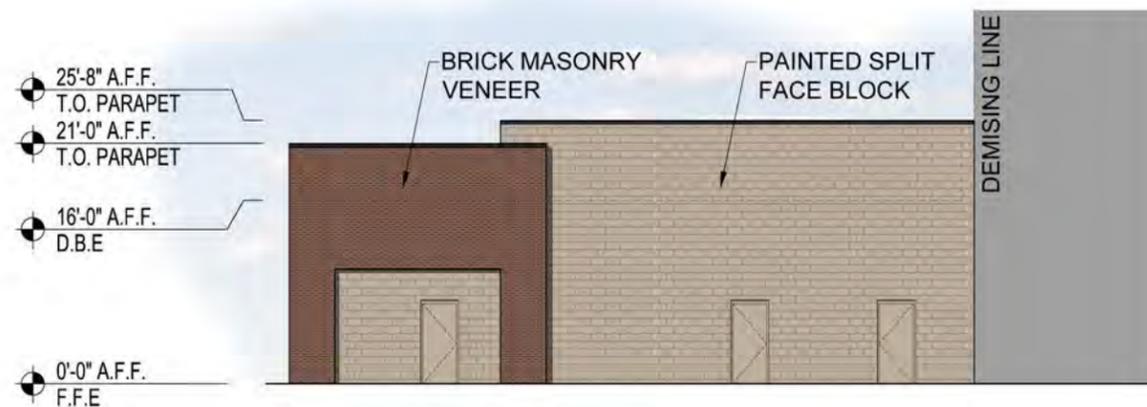
4 WEST ELEVATION (REAR)
DA-4.0 SCALE: 1/16" = 1'-0"



1 SOUTH ELEVATION (FRONT)
EA-4.0 SCALE: 1/16" = 1'-0"



2 EAST ELEVATION (SIDE)
EA-4.0 SCALE: 1/16" = 1'-0"



3 NORTH ELEVATION (REAR)
EA-4.0 SCALE: 1/16" = 1'-0"



SHOPS E



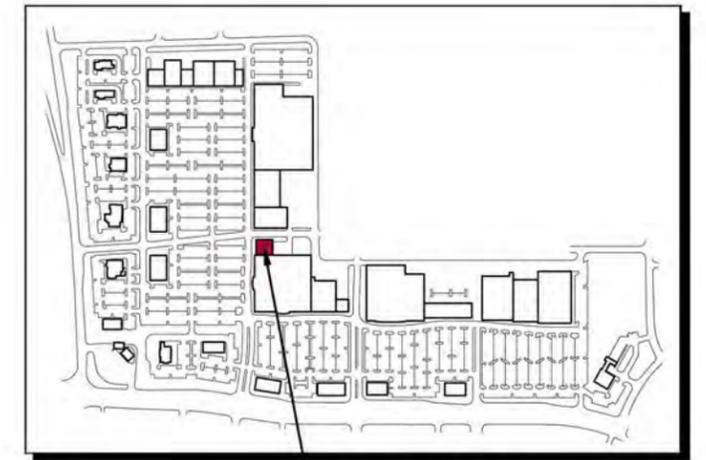
1 WEST ELEVATION (FRONT)
GA-4.0 SCALE: 1/16" = 1'-0"



2 NORTH ELEVATION (SIDE)
GA-4.0 SCALE: 1/16" = 1'-0"



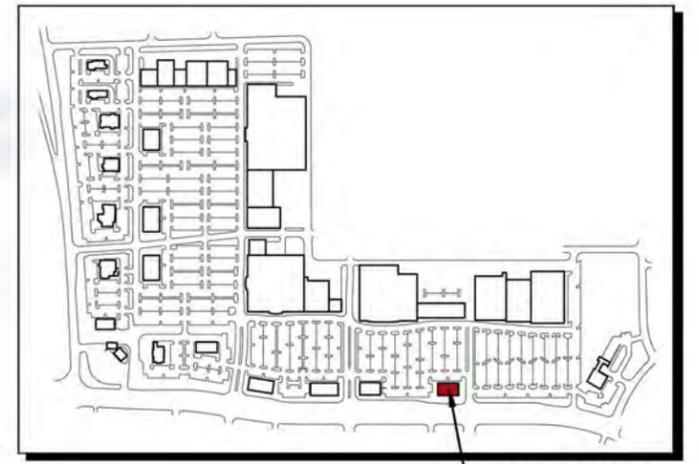
3 EAST ELEVATION (REAR)
GA-4.0 SCALE: 1/16" = 1'-0"



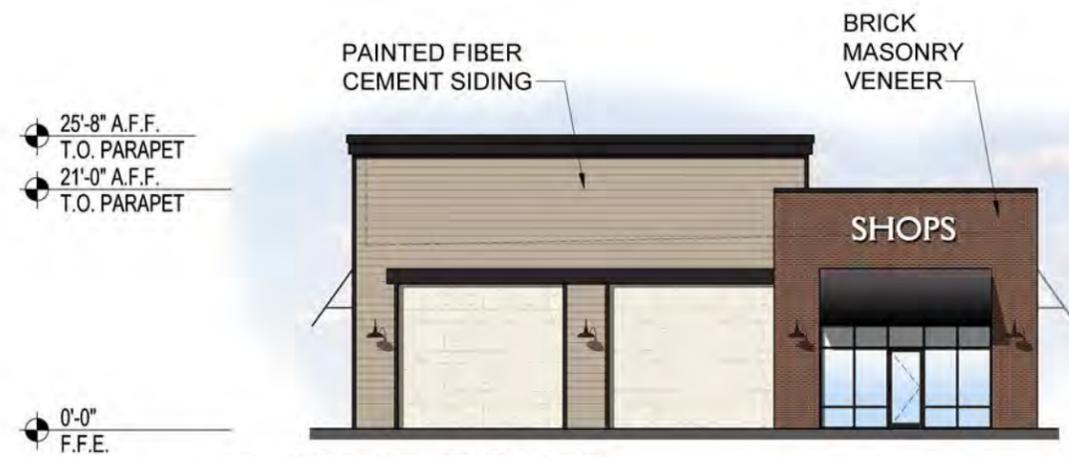
SHOPS G



1 NORTH ELEVATION (FRONT)
HA-4.0 SCALE: 1/16" = 1'-0"



SHOPS H



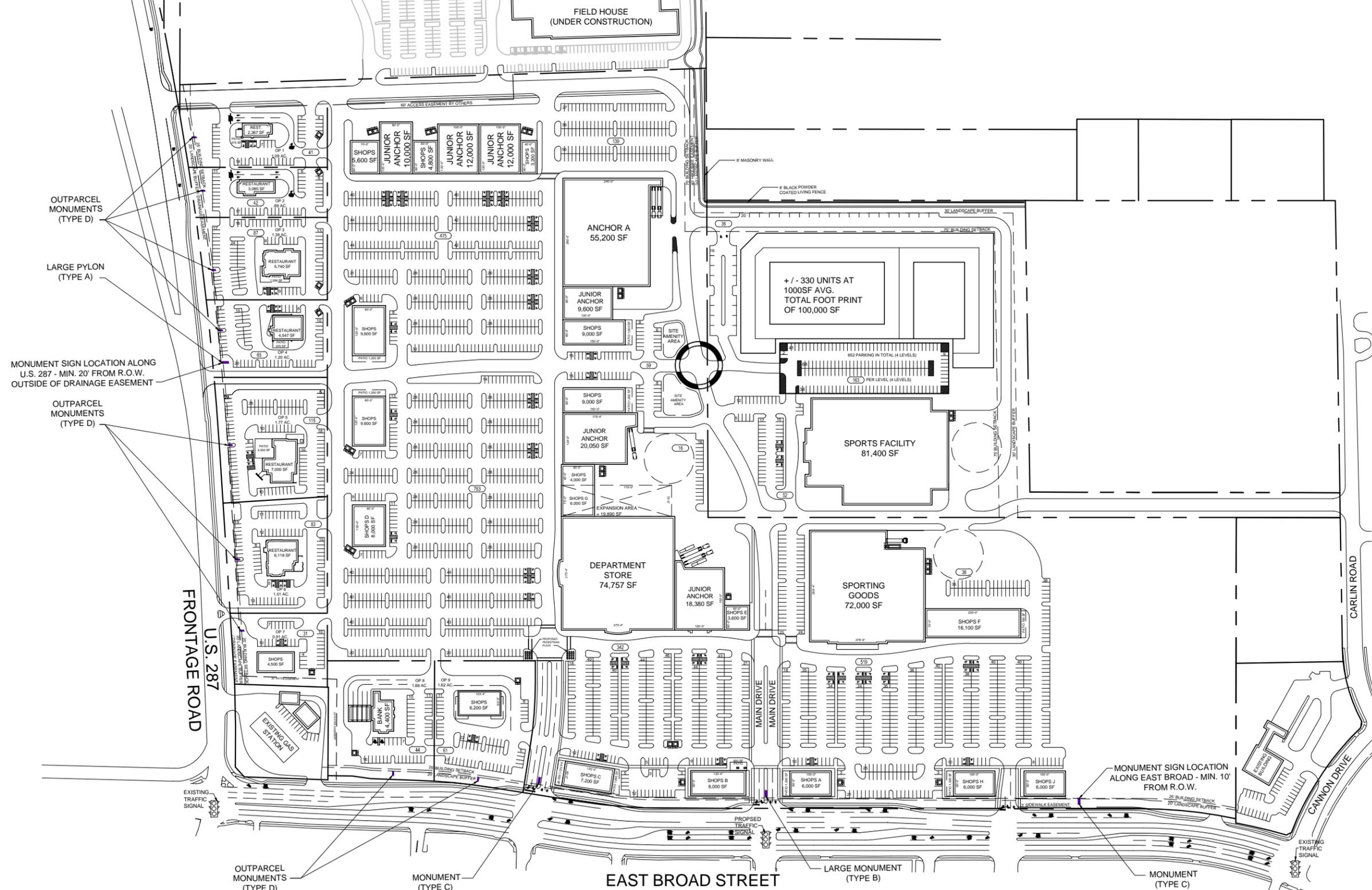
3 EAST ELEVATION (SIDE)
HA-4.0 SCALE: 1/16" = 1'-0"



2 WEST ELEVATION (SIDE)
HA-4.0 SCALE: 1/16" = 1'-0"



4 SOUTH ELEVATION (REAR)
HA-4.0 SCALE: 1/16" = 1'-0"



1 SITE PLAN
 SP-15 SCALE: 1" = 250'
 0' 125' 250' 500'

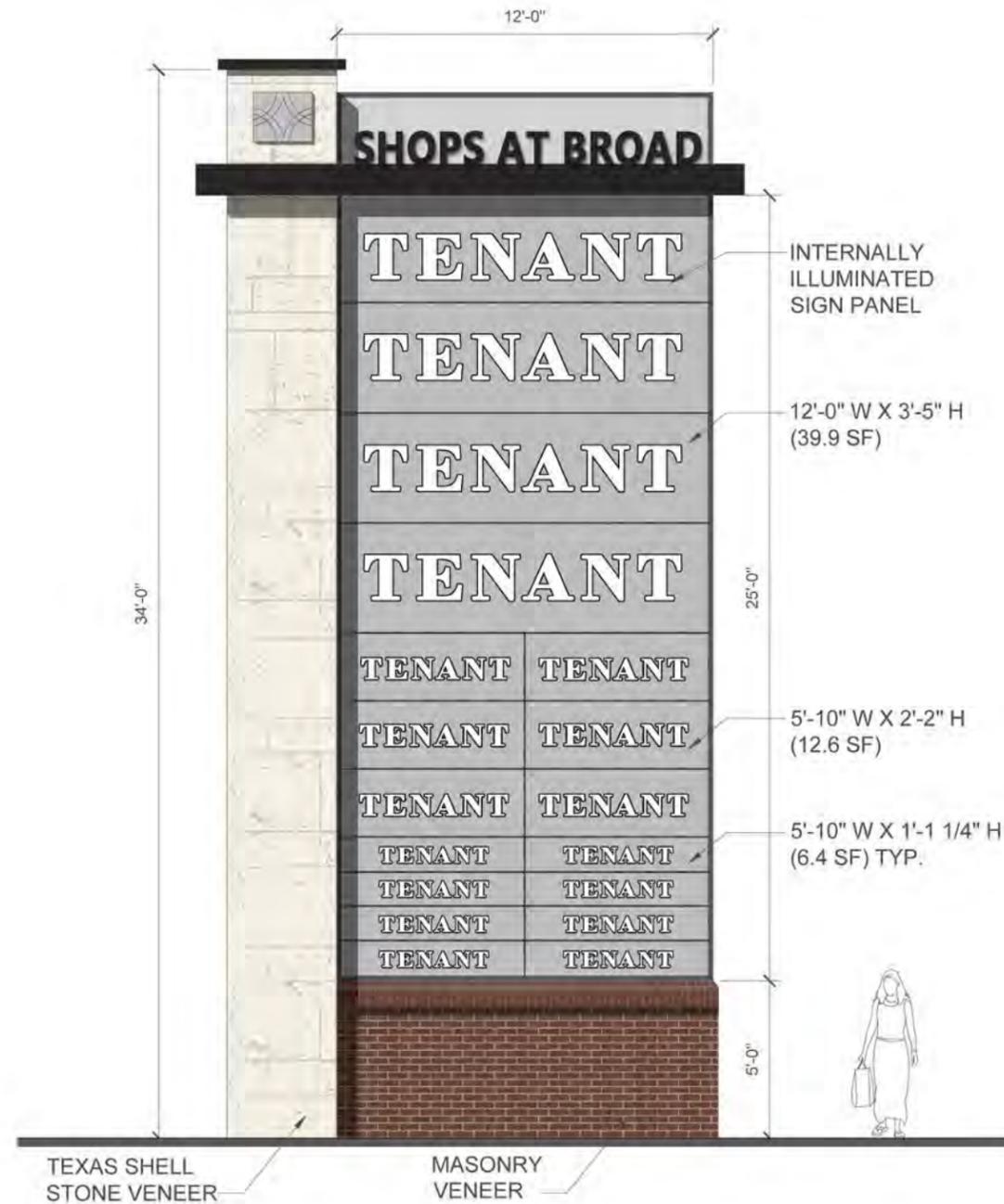
CLIENT
GEYER MORRIS
 COMPANY
 4849 GREENVILLE AVE, STE 1375. DALLAS, TX 75206. 214-458-4808

PROJECT
SHOPS @ BROAD STREET
 MANSFIELD, TX

JOB NUMBER
 1540715
 DATE
 06.27.16

BY
 KMC
 DRAWING
 EXHIBIT C
 SP-15_SIGNAGE
 ZC # 16 - 008

PHILLIPS
 architects + engineers
 THE PALISADES
 5901 PEACHTREE DUNWOODY RD.
 BUILDING A, SUITE 450
 ATLANTA, GA 30328
 770.394.1616



TYPE A - MONUMENT SIGN (300 SF)



TYPE B - MONUMENT SIGN (162 SF)



CLIENT

GEYER MORRIS
COMPANY

4849 GREENVILLE AVE, STE 1375. DALLAS, TX 75206. 214-458-4808

PROJECT

SHOPS @ BROAD STREET

MANSFIELD, TX

JOB NUMBER

1540715

DATE

06.27.2016

BY

NV/KMC

DRAWING

EXHIBIT C

MONUMENT SIGNAGE

ZC # 16 - 008

PHILLIPS
architects + engineers

THE PALISADES
5901 PEACHTREE DUNWOODY RD.
BUILDING A, SUITE 450
ATLANTA, GA 30328

770.394.1616



TYPE C - MONUMENT SIGN (120 SF)



TYPE D - OUTPARCEL SIGN (30 SF)

CLIENT

GEYER MORRIS
COMPANY

4849 GREENVILLE AVE, STE 1375. DALLAS, TX 75206. 214-458-4808

PROJECT

SHOPS @ BROAD STREET

MANSFIELD, TX

JOB NUMBER

1540715

DATE

06.27.2016

BY

NV/KMC

DRAWING

EXHIBIT C
MONUMENT SIGNAGE
ZC # 16 - 008



PHILLIPS

architects + engineers
THE PALISADES
5901 PEACHTREE DUNWOODY RD.
BUILDING A, SUITE 450
ATLANTA, GA 30328

770.394.1616

ZC#16-008

EXHIBIT “D”

SHOPS AT BROAD PLANNED DEVELOPMENT

DEVELOPMENT STANDARDS AND REGULATIONS

1. Applicability. These Development Standards and Regulations (the “Development Standards”) shall apply to all development in the Shops at Broad Planned Development (the “Shops at Broad PD”), as further legally described in Exhibit “A”.
2. Permitted Uses. Uses permitted in the Shops at Broad Street PD shall be the following:
 - a) Uses permitted in C-2;
 - b) Eating Places with Drive-Through Service by right
 - c) Multi-family Dwelling uses, Apartments, and their accessory uses; and,
 - d) Sports facilities and their accessory uses.
 - e) Trailer sales as a secondary use for a sporting goods store.
 - f) Movie Theatres and Movie Houses
 - g) Housing of Animals as a secondary use for pet store
3. Uses Requiring Specific Use Permit. Uses requiring an SUP shall require an SUP in this planned development district except as permitted in Section 2 above.
4. Development Plan.
 - a) A Development Plan is attached hereto as Exhibit “B” Site Plan and Exhibit “C” Master Sign Plan (collectively the “Development Plan”) for the following sole purposes:
 - i. To establish all setbacks and buffers for the Property in the locations identified on the Development Plan;
 - ii. To establish driveway curb cuts along Broad Street with full median openings as indicated on the Development Plan;
 - iii. To identify development tracts; and,
 - iv. To set forth a general plan of development for Tract 2, as defined herein.
 - b) The locations of structures on Tract 1, as defined herein, are only illustrative in nature. Structures may be located anywhere within Tract 1 provided such

locations comply with the development standards set forth in the C-2 District, defined on Exhibit "F" or as modified herein. Approval of a building permit or plat for any development in Tract 1 shall not require approval of a development plan other than a site plan typically required for building permit review.

- c) Development of Tract 2, including locations of buildings and circulation, shall generally comply with the Development Plan.
5. Development Tracts. For purposes of this planned development, the Property is divided into two development tracts as shown on the Development Plan.
- a) "Tract 1" consists of approximately 72 acres and is intended to develop as a commercial/retail development in accordance with the C-2 development standards, as amended herein.
 - b) "Tract 2" consists of approximately 14 acres and is intended for the development of a sports facility use and multi-family residential use.
6. Area, Height and Setback Regulations.
- a) Area, Height and Setback regulations for nonresidential uses shall be those required for development in the C-2 Community Business District as set forth in Article 3. Section 4500 of the City of Mansfield Zoning Ordinance, except that setbacks provided on the Development Plan shall control in the identified locations.
 - b) Area and Setback regulations for residential uses shall be those set forth on the Development Plan. The maximum height for Multi-family Dwelling and parking structures shall be 65 feet.
 - c) Setbacks along public streets shall be measured from right-of-way lines existing as of the date of approval of this planned development.
7. Density.
- a) The maximum density for nonresidential uses shall be in accordance with the C-2 Community Business District regulations and as otherwise provided on the Development Plan.
 - b) The maximum number of multi-family residential units is 350.
8. Community Design Standards. Community design standards shall be those required for development in the C-2 Community Business District as set forth in Article 4, Section 4600 of the City of Mansfield Zoning Ordinance except as otherwise amended herein.
9. Off-Street Parking and Loading Standards. Off-street parking and loading standards shall be those required for development in the C-2 Community Business District as set forth in

Article 7. Section 7200 of the City of Mansfield Zoning Ordinance for the following exceptions and those as defined in Exhibit “F”:

- a) The parking requirement for multifamily uses shall be a minimum of 1.5 spaces per unit.

10. Landscaping and Screening Standards. Landscaping and screening standards shall be those required for development in the C-2 Community Business District as set forth in Article 7. Section 7300 of the City of Mansfield Zoning Ordinance except as follows:

- a) The existing tree line within the landscape buffer along the north side of Tract 2 adjacent to the proposed multi-family use as shown on Exhibit “B” shall be preserved except for the area needed for drainage improvements (e.g. drainage channel improvements, outfall, etc.) and a hike and bike trail. In the event of loss of trees within the landscape buffer due to natural causes, safety precautions, or other means beyond the control of the owner of Tract 2, owner of Tract 2 shall replace the lost trees on a caliper-per-caliper inch basis within the landscape buffer.
- b) Setbacks for landscaping shall be provided as set forth on the Development Plan.
- c) Enhanced landscaping consisting of shade trees, ornamental trees and shrubs measuring 6-feet at maturity, shall be planted along landscape strips adjacent to service drives and loading and unloading areas at the rear of buildings on Tract 1 where such areas are in view from adjacent properties.
- d) (Fronts of retail buildings) **PROVIDE MISSING TEXT OR DELETE**
- e) As defined in Exhibit “F”

11. Sign Standards. Sign standards shall be those required for development in the C-2 Community Business District as set forth in Article 7. Section 7100 of the City of Mansfield Zoning Ordinance except as follows: (i) signage may be provided as shown on the Master Sign Plan attached hereto as Exhibit “C” and/or as defined in Exhibit “F”; (ii) Freestanding Retail Buildings may have signage on all facades subject to the maximize size per façade set forth in Article 7. Section 7100 of the City of Mansfield Zoning Ordinance or as defined on Exhibit “C” and Exhibit “F.” In the event of a conflict between the provisions of Section 7100 of the Zoning Ordinance, Exhibit “F” and the Master Sign Plan, the least restrictive requirement shall control.

12. Elevations. Building elevations for Tract 1 included in Exhibit “E” are for illustrative purposes to define general design intent and may be modified provided such modifications adhere to this concept as graphically described and further defined in Exhibit “F” or complies with the C-2 District standards. Elevations for Tract 2 shall be submitted and approved by the City Council prior to the issuance of a building permit for each respective structure in Tract 2. The City Council shall not withhold approval so long as elevations for Tract 2 adhere to design intent shown on Exhibit E and further defined in Exhibit F.

13. Allowable Building Materials. All construction materials permitted in the C-2 zoning shall remain as such, in addition to the following:
 - a. Fiberglass or Plastic Panels **Propose limitation in sq ft or percentage**
 - b. Corrugated, ribbed or standing seam metal panels
 - c. Reflective Glass with reflectance percentage not to exceed thirty-five (35) percent
14. There will be no restaurant with drive-through service along E Broad St and no more than two restaurants with drive-through service along US 287.
15. Other Development Standards/Regulations. All development standards and regulations not specifically set forth herein shall be those required for development in the C-2 Community Business District as set forth in the relevant section of the City of Mansfield Zoning Ordinance except as otherwise amended herein. In the event of a conflict between the C-2 standards set forth in the Zoning Ordinance and the provisions of this planned development district, then the terms of this planned development district shall control.

EXHIBIT "F"

- 1) Exterior surfaces of all structures, including screening walls, wing walls, columns and supports, shall consist of at least fifty (50) percent masonry construction materials. This requirement shall not apply to roofs, awnings, canopies, doors, windows, glass walls and frame assemblies thereof. The remaining fifty (50) percent of the exterior surfaces may be constructed of masonry-like construction materials or any construction materials not expressly prohibited by this exhibit.
- 2) All non-residential buildings with facades greater than one hundred (100') feet in length shall incorporate wall plane projections or recesses that are at least two (2) feet deep. Projections/recesses must be at least two (2) feet in length. No uninterrupted length of façade may exceed one hundred (100) feet in length.
- 3) All non-residential buildings with flat roof planes greater than one hundred (100') feet in length shall incorporate variations in the visual appearance in the height of the roof plane. Variations to flat roof planes may include pilasters and projected or raised features that present variations in the roof plane. No uninterrupted length of any flat roof plane may exceed eighty (80) feet in length.
- 4) All non-residential building facades shall include a repeating pattern of elements such as material module change, colors or textures. Repeating patterns can be expressed in the vertical or horizontal plane.
- 5) Outside display of goods, wares, or merchandise shall be permitted provided that the area used for outside storage must not exceed ten(10) percent of the gross floor area of the establishment having the outside display.
- 6) Sign Area is defined as the imaginary area within a circle, triangle or parallelogram immediately surrounding the extreme limits of the text, representation, emblem or any figure of similar character.
- 7) All signs of any nature whatsoever, whether temporary or permanent, shall be located at least ten (10) feet from the right-of-way line.
- 8) Multi-family parking shall be a minimum ratio of 1.5 spaces per unit.
- 9) Hotel parking ratio shall be a minimum of 1 space/room plus 5 additional employee spaces.
- 10) Notwithstanding section 7200B, the sports facility (i.e. StarCenter) shall be provided a minimum of 250 parking spaces.
- 11) The parking requirements defined in Section 7200B, #5b shall be 1 parking space for

every 100sf of floor area.

- 12) Parking area layout shall not require approval by The Director of Planning so long as the final layout conforms to the general layout as shown on The Development Plan.
- 13) Electrical transformers and similar equipment shall be permitted to be placed within buffer yards or landscape setbacks provided that they are not located within the required street landscape setback.
- 14) Metal, black powder coated fence with landscaping screening, organically attached to the fence at a height equal to the fence at maturity shall be permitted as an SW6 or SW8 wall.
- 15) All buildings designed with parapet walls or other similar architectural elements shall be constructed to completely screen the mechanical and other rooftop equipment and built to a height that is level with the top of the mechanical and other rooftop equipment after installation.
- 16) Landscaping shall be permitted as an acceptable material for all required ground equipment screening. The compliance of height requirements shall be determined at plant maturity and the width matching the item or equipment being screened.
- 17) Switch gear devices shall be screened by a hedgerow of dense evergreen shrubbery to form a visual screen using plant materials approved by the Landscape Administrator.
- 18) Trash container and storage area for refuse or material awaiting disposal or recycling shall be visually screened in accordance with the requirements in Section 7301.B of the Zoning Ordinance.
- 19) Paving design and specifications shall be determined by the Civil and Geotechnical engineers.
- 20) All vehicular access to Multi-Family shall be as shown on the development plan.
- 21) No single structure shall exceed 1000' in length.
- 22) The stacking lane(s) for drive-thrus shall be allowed to be parallel to a public street in all site plan conditions provided that there is a building or a row of parking spaces between the stacking lane(s) and the street.



CITY OF MANSFIELD

1200 East. Broad St.
Mansfield, TX 76063
mansfieldtexas.gov

STAFF REPORT

File Number: 16-1972

Agenda Date: 8/8/2016

Version: 1

Status: Consent

In Control: City Council

File Type: Resolution

Agenda Number:

Title

Resolution - A Resolution Recognizing that the City Council of the City of Mansfield, Texas is Proposing to Adopt a Tax Rate on a Future Agenda

Requested Action

To vote to put a proposed tax rate on the August 22, 2016 City Council Agenda for Public Hearing and comment.

Recommendation

That City Council pass a resolution proposing to vote on a tax rate (\$0.71 per \$100) on a future agenda and to hold public hearings on the tax rate at the next regularly scheduled City Council meeting, August 22, 2016 and a special City Council meeting, August 29, 2016. The vote on the tax rate is scheduled for September 6, 7, and 8, 2016.

Description/History

The Texas Property Tax Code is specific about the process that taxing authorities must go through before the adoption of a tax rate. This action is required in accordance with the Property Tax Code. The adoption of this resolution is simply to announce the intent of the Council to adopt a tax rate at a future date after public hearings have been held on the tax rate.

Justification

The tax rate will provide revenues for the payment of the City's expenditures for fiscal year 2017.

Funding Source

N/A

Prepared By

Gary Cardinale, Budget/Purchasing Officer, Business Services Department
817-276-4262

RESOLUTION NO. _____

A RESOLUTION RECOGNIZING THAT THE CITY COUNCIL OF THE CITY OF MANSFIELD, TEXAS IS PROPOSING TO ADOPT A TAX RATE ON A FUTURE AGENDA, THE PROPOSED TAX RATE ON THE FUTURE AGENDA IS CURRENTLY EXPECTED TO BE 71 CENTS PER ONE HUNDRED DOLLARS (\$100) OF ASSESSED VALUATION ON ALL TAXABLE PROPERTY WITHIN THE CORPORATE LIMITS OF THE CITY AS OF JANUARY 1, 2016. THE CITY COUNCIL WILL HAVE PUBLIC HEARINGS ON THE EXPECTED TAX RATE OF 71 CENTS PER ONE HUNDRED DOLLARS OF ASSESSED VALUATION AT THE NEXT REGULARLY SCHEDULED MEETING AND A SPECIAL MEETING BEFORE THE ADOPTION OF A TAX RATE

WHEREAS, the City of Mansfield is a home rule municipal corporation existing pursuant to the laws of the State of Texas, and located within Tarrant County, Texas; and

WHEREAS, the City Council of the City of Mansfield, Texas will adopt a tax rate on a future agenda; and

WHEREAS, the tax rate will provide for the revenues for the payment of the expenditures of the City of Mansfield, Texas for the fiscal year 2017.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF MANSFIELD, TEXAS, THAT:

SECTION 1.

The City Manager of the City of Mansfield is hereby authorized to proceed in preparing a budget to provide for the public’s safety and welfare pursuant to the City’s Charter and the constitution of the State of Texas, based upon an expected tax rate of 71 cents per one hundred dollars of assessed valuation on taxable property within corporate limits of the City of Mansfield, Texas.

PASSED AND APPROVED THIS THE 8TH DAY OF AUGUST, 2016.

David L. Cook, Mayor

ATTEST:

Jeanne Heard, City Secretary