

AGENDA

**PLANNING AND ZONING COMMISSION
CITY OF MANSFIELD, TEXAS
CITY HALL COUNCIL CHAMBERS
TUESDAY, JANUARY 17, 2017, 6:30 PM**

1. CALL TO ORDER

2. APPROVAL OF LAST MEETING MINUTES

- 3. CITIZEN COMMENTS:** Citizens wishing to address the Commission on non-public hearing agenda items and items not on the agenda may do so at this time. Once the business portion of the meeting begins, only comments related to public hearings will be heard. All comments are limited to 5 minutes. Please refrain from “personal criticisms”.

In order to be recognized during the “Citizens Comments” **or** during a public hearing (applicants included), please complete a blue “Appearance Card” located at the entry to the Chambers and present it to the Planning Secretary.

- 4. CONSENT AGENDA:** All matters listed under the consent agenda are considered routine. If discussion is desired, then an item will be removed from the consent agenda and considered separately.

A. SD#17-001: Final Plat of Seeton Estates Addition

END OF CONSENT AGENDA

5. PUBLIC HEARINGS:

- A. ZC#16-023: Public hearing for zoning change from C-2, Community Business District and a pre-approved Planned Development to PD for retail and other commercial uses and to provide a variance to the alcoholic beverage sale regulations enacted under Section 109.33 of the Texas Alcoholic Beverage Code on approximately 19.3 acres, generally located at the NW corner of E. Broad Street and Cannon Drive
- B. ZC#16-027: Public hearing for zoning change from PR to C-2 for general retail & office uses by Reilly Brothers Property on approximately 1.43 acres, generally located east of Matlock Rd. and approximately 1,181 feet south of the intersection of Matlock Rd. and E. Debbie Ln.

6. COMMISSION ANNOUNCEMENTS

7. STAFF ANNOUNCEMENTS

8. ADJOURNMENT OF MEETING

9. NEXT MEETING DATE: February 6, 2017

I certify that the above agenda was posted on the bulletin board next to the main entrance of City Hall on **Thursday, January 12, 2017**, in accordance with Chapter 551 of the Texas Government Code.

Delia Jones, Planning and Zoning Secretary

- This building is wheelchair accessible. Disabled parking spaces are available. Request for sign interpreter services must be made 48 hours ahead of meeting to make arrangements. Call 817 473-0211 or TDD 1-800-RELAY TX, 1-800-735-2989.
- In deciding a zoning change application, the Planning & Zoning Commission and City Council are required to determine the highest and best use of the property in question. The Commission may recommend and the Council may approve a change in zoning to the category or district requested by the applicant or to any zoning category or district of lesser intensity. Notice is presumed sufficient for every District up to the intensity set forth in the zoning change application.

**ZC#16-027: PR to C-2 for
general retail and office uses**

SD#17-001: Seeton Estates Additon
74 residential lots

**PLANNING & ZONING COMMISSION MEETING
CITY OF MANSFIELD**

December 19, 2016

Chairman Wilshire called the meeting to order at 6:30 p.m. in the Council Chambers of City Hall, 1200 East Broad Street, with the meeting being open to the public and notice of said meeting, giving date, place, and subject thereof, having been posted as prescribed by Chapter 551, Texas Government Code.

Present:

Wayne Wilshire	Chairman
Cory Smithee	Vice-Chairman
Mel Neuman	Commissioner
Larry Hudson	Commissioner
Kent Knight	Commissioner
Gary Mills	Commissioner

Absent:

Preston Horn	Commissioner
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Staff:

Lisa Sudbury	Assistant Director of Planning
Shirley Emerson	Planner
Delia Jones	P&Z Secretary
Clay Cawood	Fire Marshal

Call to Order

Chairman Wilshire called the meeting to order at 6:30 p.m.

Minutes

Chairman Wilshire called for approval of the December 5, 2016, minutes. Commissioner Hudson made a motion to approve the minutes as presented. Vice-Chairman Smithee seconded the motion, which carried by the following vote:

Ayes: 5 – Wilshire, Smithee, Neuman, Hudson and Mills

Nays: 1 – Knight

Abstain: 0

Citizen Comments

None

Consent Agenda

SD#16-042: Final Plat of Lots 1 & 2, Block 1, Horace Clowdis Addition

SD#16-044: Final Plat of Lot 4, Block 2, Weatherford Addition

SD#16-045: Final Plat of Lots 1-3, Block 1, Coble Place

Commissioner Neuman made a motion to approve the plats. Commissioner Knight seconded the motion, which carried by the following vote:

Ayes: 6 – Wilshire, Smithee, Neuman, Hudson, Knight and Mills

Nays: 0

Abstain: 0

ZC#16-016: Public hearing for zoning change from PR to PD for C-2 uses by Mansfield-Webb LLC, on approximately 3.296 acres, generally located south of Mansfield-Webb Road and west of the city limit line

James Johnston, the applicant, gave a brief overview of the request and was available to answer questions. Dayton Macatee, Project Engineer, was also available to answer questions.

Chairman Wilshire opened the public hearing and called for anyone wishing to speak to come forward.

Seeing no one come forward to speak, Chairman Wilshire closed the public hearing.

After discussion, Commissioner Neuman made a motion to approve the request with the following comments: 1) the uses are limited to there being no rear exits on the building because of the elevation being raised; 2) a minimum of 10 foot wide unobstructed pathway around all structures is required and it shall be at level grade for firefighter access (refer to Section 503.1.1 of the Fire Code); 3) Fire Lane access road shall have no more than a 10 degree slope; 4) Elevations are not clear; 5) where the building is raised in the rear due to topographic changes, the building needs to be finished and not just show exposed concrete slab; and, 6) natural screen of trees, in lieu of the required 8-foot masonry screening wall, are not to be removed. Vice-Chairman Smithee seconded the motion, which carried by the following vote:

Ayes: 4 – Smithee, Neuman, Hudson and Mills
Nays: 2 – Wilshire and Knight
Abstain: 0

ZC#16-018: Public hearing for zoning change from PR to PD for single-family residential by Double Eagle Real Estate on approximately 10 acres, generally located at the southeast corner of National Parkway and Seeton Road

Charles Clawson, representing the applicant, stated that on behalf of the property owner and developer, they are requesting that the zoning request be tabled until January 3, 2017.

Chairman Wilshire opened the public hearing and called for anyone wishing to speak to come forward.

Anthony Brown, property owner backing up to the request, wanted to know what the zoning change is requesting. Chairman Wilshire explained that the request is for a residential development and encouraged anyone interested in the request to attend the January 3, 2017, meeting in order to hear the presentation.

Vice-Chairman Smithee made a motion to postpone the request to January 3, 2017. Commissioner Hudson seconded the motion, which carried by the following vote:

Ayes: 6 – Wilshire, Smithee, Neuman, Hudson, Knight and Mills
Nays: 0
Abstain: 0

Commission Announcements

Chairman Wilshire thanked Staff for the dinner and wished everyone a Merry Christmas.

Staff Announcements

Ms. Sudbury updated Commissioners on projects in the downtown area: Pond Branch Trail permit that would have allowed access under the culvert was denied by the Railroad; South Main Street design is still with the consultants; and Main Street Lofts is progressing with a proposed opening date of Spring 2017 for Phase 1.

Adjournment

Commissioner Hudson made a motion to adjourn the meeting. Commissioner Knight seconded the motion which carried by the following vote:

Ayes: 6 – Wilshire, Smithee, Neuman, Hudson, Knight and Mills
Nays: 0
Abstain: 0

With no further business, Chairman Wilshire adjourned the meeting at 7:07 p.m.

Wayne Wilshire, Chairman

Delia Jones, Planning & Zoning Secretary

PLANNING AND ZONING COMMUNICATION

Agenda: January 17, 2017

Subject: SD#17-001 Final Plat of Seeton Estates Addition

GENERAL INFORMATION

Applicant:	Robert Shelton, owner ANA Consultants, LLC, engineer/surveyor
Existing Zoning:	SF-8.4/18
Proposed Use:	Single Family Residential
Size:	25.51 acres
Total Number of Lots:	74
R.O.W. Dedication:	45' from the centerline of National Parkway and internal streets
Compliance with Ordinances:	Yes

COMMENTS & CONSIDERATIONS

The purpose of this plat is to create 66 residential lots and 8 open space lots. The plat substantially conforms to the approved preliminary plat. Some of the lot lines have shifted due to surveying and layout of streets. All lots meet the requirement minimum lot area, lot width and lot depth.

Although the plat in the Commission's packet does not have signatures, the filing copies have been signed.

Staff recommends approval.

Attachments:

Approved Preliminary Plat

STATE OF TEXAS
COUNTY OF TARRANT

WHEREAS, SEETON DEVELOPMENT LLC., ACTING BY AND THROUGH THE UNDERSIGNED, IT'S DULY AUTHORIZED AGENT IS THE SOLE OWNER OF A 25.51 ACRE TRACT OF LAND, SAID 25.51 ACRE TRACT OF LAND LOCATED IN THE SAMUEL C. NEILL SURVEY, ABSTRACT NO. 1159, TARRANT COUNTY, TEXAS, AND BEING ALL THAT CERTAIN TRACT OF LAND AS DESCRIBED IN DEED TO SEETON DEVELOPMENT, LLC, A TEXAS LIMITED LIABILITY COMPANY AS RECORDED IN INSTRUMENT NUMBER D216087740, REAL PROPERTY RECORDS, TARRANT COUNTY, TEXAS, AND BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

BEGINNING AT USA C.O.E. CONCRETE MONUMENT NO. 715-5 FOUND FOR THE NORTHEAST CORNER OF HEREIN DESCRIBED TRACT AND BEING IN SOUTHWESTERLY LINE OF A TRACT OF LAND DESCRIBED AS TRACT NO. 715 IN DEED TO UNITED STATES OF AMERICA AS RECORDED IN VOLUME 7160, PAGE 1009, OF SAID DEED RECORDS;

THENCE SOUTH 33 DEGREES, 35 MINUTES, 20 SECONDS EAST, 1075.95 FEET WITH THE COMMON LINE OF SAID TRACT NO. 715 AND SAID 25.51 ACRE TRACT TO A USA C.O.E. CONCRETE MONUMENT NO. 715-6 FOUND FOR THE SOUTH CORNER OF SAID TRACT 715 IN THE WEST LINE OF A TRACT OF LAND DESCRIBED AS TRACT NO. 725, IN A DEED TO UNITED STATES OF AMERICA AS RECORDED IN VOLUME 7168, PAGE 2254, OF SAID DEED RECORDS;

THENCE SOUTH 00 DEGREES, 55 MINUTES, 06 SECONDS EAST, WITH THE COMMON LINE OF SAID TRACT NO. 725, AND SAID 25.51 ACRE TRACT, AT 85.51 FEET PASSING BY A USA C.O.E. CONCRETE MONUMENT NO. 715-7 FOUND, IN ALL A DISTANCE OF 101.29 FEET TO A 5/8 INCH IRON ROD WITH YELLOW CAP STAMPED "ANA" SET FOR THE SOUTHEAST CORNER OF SAID 25.51 ACRE TRACT IN THE NORTH LINE OF A 4.26 ACRE TRACT OF LAND AS CONVEYED BY DEED TO SOUTH ALAMO LAND AND MINERALS, LP & SAGER MINERAL PARTNERS, LP, AS RECORDED IN INSTRUMENT NUMBER D214171454, OF SAID DEED RECORDS;

THENCE SOUTH 89 DEGREES, 15 MINUTES, 03 SECONDS WEST, WITH THE SOUTH LINE OF THE SAID 25.51 ACRE TRACT AND THE NORTH LINE OF THE SAID 4.26 ACRE TRACT, AT 646.53 FEET PASSING THE NORTHEAST CORNER OF LOT 6, BLOCK 3, OF SECTION TWO, SPRING LAKE ESTATES, AN ADDITION TO THE CITY OF MANSFIELD, TARRANT COUNTY, TEXAS, ACCORDING TO THE PLAT RECORDED IN INSTRUMENT NUMBER D215061751, PLAT RECORDS, TARRANT COUNTY, TEXAS, CONTINUE IN ALL 1348.80 FEET TO A P.K. NAIL SET IN CONCRETE AT THE SOUTHWEST CORNER OF THE SAID 25.51 ACRE TRACT, SAID P.K. NAIL BEING IN THE NORTH LINE OF LOT A, BLOCK 3, SECTION ONE, SPRING LAKE ESTATES, AN ADDITION TO THE CITY OF MANSFIELD, TARRANT COUNTY, TEXAS, ACCORDING TO THE PLAT RECORDED IN CABINET A, SLIDE 12781, PLAT RECORDS, TARRANT COUNTY, TEXAS;

THENCE NORTH 01 DEGREES, 03 MINUTES, 17 SECONDS WEST, 1030.99 FEET ALONG THE CENTERLINE OF SEETON ROAD (90 FOOT RIGHT-OF-WAY) AND THE EAST LINE OF THE VILLAGES AT SPRING LAKE, AN ADDITION TO THE CITY OF MANSFIELD, TARRANT COUNTY, TEXAS AS RECORDED IN CABINET A, SLIDE 6930, OF SAID PLAT RECORDS, AND THE WEST LINE OF SAID 25.51 ACRE TRACT TO A P.K. NAIL SET FOR THE MOST WESTERLY SOUTHWEST CORNER OF SAID TRACT NO. 715, AND THE NORTHWEST CORNER OF SAID 25.51 ACRE TRACT;

THENCE NORTH 88 DEGREES, 54 MINUTES, 03 SECONDS EAST, 349.81 FEET TO USA C.O.E. CONCRETE MONUMENT NO. 715-2;

THENCE SOUTH 01 DEGREES, 04 MINUTES, 54 SECONDS EAST, 58.15 FEET TO A 5/8 INCH IRON ROD WITH YELLOW CAP STAMPED "ANA" SET ;

THENCE NORTH 69 DEGREES, 26 MINUTES, 02 SECONDS EAST, 240.86 FEET TO A 5/8 INCH IRON ROD WITH YELLOW CAP STAMPED "ANA" SET;

THENCE SOUTH 75 DEGREES, 54 MINUTES, 53 SECONDS EAST, 200.46 FEET TO THE **PLACE OF BEGINNING** AND CONTAINING 1,111,327 SQUARE FEET OR 25.51 ACRES OF LAND, MORE OR LESS.

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

THAT, SEETON DEVELOPMENT, LLC., ACTING BY AND THROUGH THE UNDERSIGNED, ITS DULY AUTHORIZED AGENT, DOES HEREBY ADOPT THIS PLAT DESIGNATING THE HEREINABOVE DESCRIBED REAL PROPERTY AS SEETON ESTATES ADDITION AN ADDITION TO THE CITY OF MANSFIELD, TARRANT COUNTY, TEXAS, AND DOES HEREBY DEDICATE TO THE PUBLIC'S USE FOREVER THE STREETS, EASEMENTS, SHOWN HEREON EXCEPT EXISTING EASEMENTS TO OTHER ENTITIES.

WITNESS MY HAND AT MANSFIELD, TARRANT COUNTY, TEXAS, THIS THE _____ DAY OF _____, 2017.

SEETON DEVELOPMENT, LLC.

ROBERT SHELTON
STATE OF TEXAS
COUNTY OF TARRANT

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED ROBERT SHELTON, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATION THEREIN EXPRESS, IN THE CAPACITY THEREIN STATED AND AS THE ACT AND DEED OF SAID LLC.

GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS THE ____ DAY OF _____, 2017.

NOTARY PUBLIC, STATE OF TEXAS

THIS IS TO CERTIFY THAT I, EDWARD KHALIL, A REGISTERED PROFESSIONAL LAND SURVEYOR OF THE STATE OF TEXAS, HAVE PLATTED THE SUBDIVISION SHOWN HEREON FROM AN ACTUAL SURVEY ON THE GROUND, AND THAT ALL LOT CORNERS, AND ANGLE POINTS SHALL BE PROPERLY MARKED ON THE GROUND, AND THAT THIS PLAT REPRESENTS THE SURVEY MADE BY ME.

EDWARD KHALIL
REGISTERED PROFESSIONAL LAND SURVEYOR NO. 5951

DATE



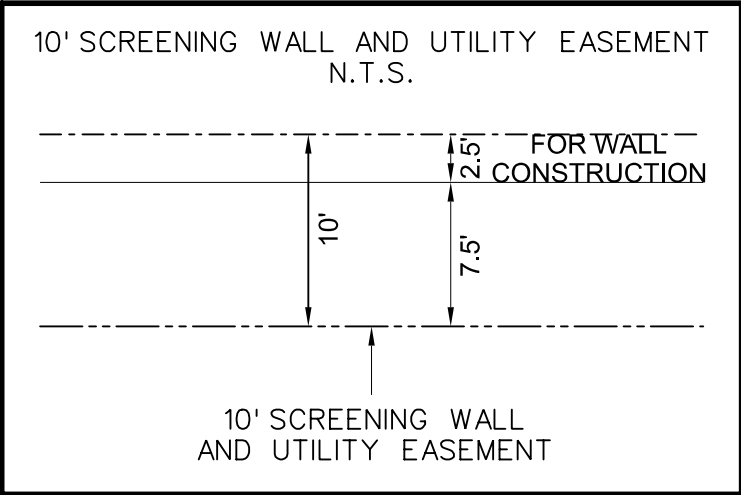
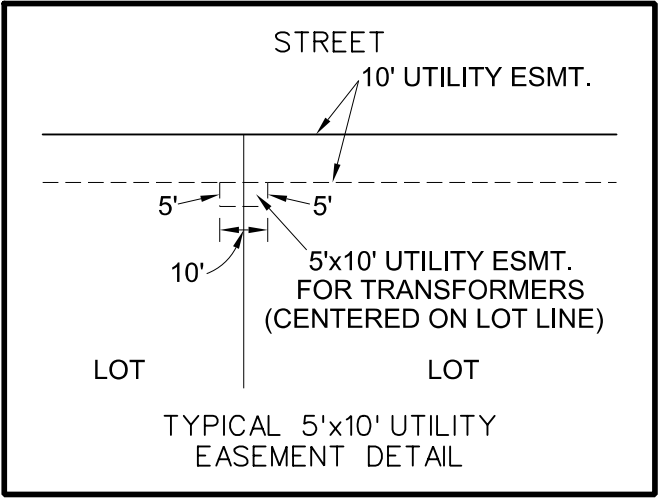
CURVE TABLE

CURVE	RADIUS	LENGTH	DELTA	TANGENT	CHORD BEARING	CHORD LENGTH
C1	500.00'	139.67'	16°00'16"	70.29'	N 80°54'07" E	139.21'
C2	200.00'	256.60'	73°30'41"	149.38'	S 70°20'40" E	239.36'
C3	100.00'	57.27'	32°48'57"	29.45'	S 17°10'51" E	56.49'
C4	400.00'	229.10'	32°48'57"	117.79'	S 72°49'09" W	225.98'
C5	350.00'	200.46'	32°48'57"	103.06'	N 17°10'51" W	197.73'
C6	100.00'	156.52'	89°40'38"	99.44'	N 45°56'04" W	141.02'
C7	1113.35'	322.73'	16°36'31"	162.50'	S 07°32'33" W	321.60'
C8	1093.35'	301.31'	15°47'23"	151.62'	S 07°07'09" W	300.36'
C9	15.00'	20.07'	76°39'27"	11.86'	N 71°55'03" W	18.61'
C10	12.50'	39.27'	180°00'00"	0.00'	S 01°05'45" E	25.00'
C11	12.50'	39.27'	180°00'00"	0.00'	N 01°05'45" W	25.00'
C12	25.00'	24.33'	55°45'28"	13.23'	S 11°41'22" W	23.38'
C13	50.00'	149.51'	171°19'35"	659.31'	S 46°05'41" E	99.71'
C14	25.00'	24.33'	55°45'28"	13.23'	N 76°07'16" E	23.38'
C15	25.00'	28.97'	66°23'53"	16.36'	N 00°23'24" W	27.38'
C16	50.00'	237.70'	272°22'58"	0.00'	N 76°37'04" E	69.23'
C17	25.00'	15.96'	36°34'16"	8.26'	N 41°17'17" W	15.69'

On June 26, 2006, an Oil, Gas and Mineral Lease and Limited Surface Use Agreement ("Lease") was made and entered into between Lester A. Levy, Trusty ("Levy"), as Lessor, and Carrizo Oil & Gas, Inc. ("Carrizo"), as Lessee, for 84.368 acres of land, more or less, in the William Childress Survey, A-1949. The Lease was made of record by Memorandum of Oil, Gas and Mineral Lease and Addendum to Contract of Sale to the Sale of the Surface Estate filed in Tarrant County, Texas as Instrument No. D206236420. By Stipulation of Interest, dated July 19, 2010, effective as of August 31, 2008, and recorded in Tarrant County at Instrument No. D210209294, it was stipulated that Wilderness Acres, a joint venture ("Wilderness Acres"), owns 100% of the mineral fee and executive rights as well as the oil and gas royalty pertaining to the subject land. By Assignment and Bill of Sale dated April 30, 2012, effective as of January 1, 2012, and recorded in Tarrant County at Instrument No. 212110245, Carrizo assigned the Lease to ARP Barnett, LLC ("ARP"), the current Lessee.

LINE TABLE

LINE	LENGTH	BEARING
L1	17.00'	N 88°54'15" E
L2	7.40'	S 00°46'23" E
L3	31.78'	S 89°13'37" W
L4	63.69'	N 00°46'23" W
L5	25.00'	S 56°24'40" W
L6	200.00'	S 88°54'15" W



APPROVED BY THE CITY OF MANSFIELD
2016
APPROVED BY: P & Z COMMISSION CHAIRMAN
2016
ATTEST: PLANNING & ZONING SECRETARY

CONDITIONS OF ACCEPTANCE OF DRAINAGE EASEMENTS

THIS PLAT IS PROPOSED BY THE OWNERS OF PROPERTIES DESCRIBED HEREIN (HEREINAFTER REFERRED TO AS "PROPERTY OWNERS") AND IS APPROVED BY THE CITY OF MANSFIELD SUBJECT TO THE FOLLOWING CONDITIONS WHICH SHALL BE BINDING UPON THE PROPERTY OWNERS, HIS HEIRS, GRANTEES, SUCCESSORS AND ASSIGNS.

NO OBSTRUCTION TO THE FLOW OF STORMWATER RUN-OFF SHALL BE PERMITTED BY FILLING OR BY CONSTRUCTION OF ANY TYPE OF DAM, BUILDING, BRIDGE, FENCE, OR ANY OTHER STRUCTURE WITHIN THE DRAINAGE EASEMENT SHOWN HEREIN ON THIS PLAT, UNLESS APPROVED BY THE CITY OF MANSFIELD. PROVIDED, HOWEVER, IT IS UNDERSTOOD THAT IN THE EVENT IT BECOMES NECESSARY FOR THE CITY OF MANSFIELD TO ERECT DRAINAGE FACILITIES IN ORDER TO IMPROVE THE STORM DRAINAGE THAT MAY BE OCCASIONED BY THE STREETS AND ALLEYS IN OR ADJACENT TO THE SUBDIVISION, THEN IN SUCH EVENT, THE CITY OF MANSFIELD SHALL HAVE THE RIGHT TO ENTER SAID DRAINAGE EASEMENT AT ANY POINT OR POINTS TO ERECT, CONSTRUCT AND MAINTAIN ANY FACILITY DEEMED NECESSARY FOR DRAINAGE PURPOSES.

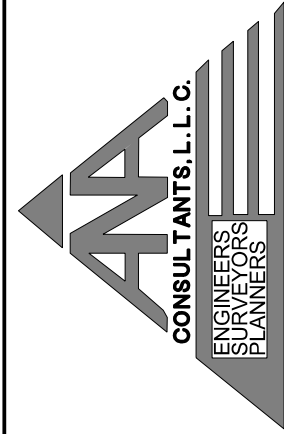
THE PROPERTY OWNERS WILL BE RESPONSIBLE FOR MAINTAINING SAID DRAINAGE EASEMENT. THE PROPERTY OWNERS SHALL KEEP SAID DRAINAGE EASEMENT CLEAN AND FREE OF DEBRIS, SILT, HIGH WEEDS, AND ANY SUBSTANCE WHICH WOULD RESULT IN UNSANITARY OR UNDESIRABLE CONDITIONS. THE CITY OF MANSFIELD SHALL HAVE THE RIGHT OF INGRESS AND EGRESS FOR THE PURPOSE OF INSPECTING AND SUPERVISING MAINTENANCE WORK DONE BY THE PROPERTY OWNERS. IF AT ANY TIME THE PROPERTY OWNERS FAIL TO SATISFY ANY OF THEIR AFOREMENTIONED RESPONSIBILITIES OR OBLIGATIONS, THE CITY OF MANSFIELD, UPON TEN (10) DAYS PRIOR NOTICE TO THE OWNERS, MAY ENTER SAID DRAINAGE EASEMENT AT ANY POINT OR POINTS TO PERFORM MAINTENANCE OR CLEAN-UP, AND BILL THE PROPERTY OWNERS THE COST INCURRED, OR PLACE A LIEN ON SAID PROPERTIES IF THE BILL IS NOT PAID WITHIN THIRTY (30) DAYS OF ITS MAILING.

SAID DRAINAGE EASEMENT, AS IN THE CASE OF ALL DRAINAGE EASEMENTS, IS SUBJECT TO STORMWATER OVERFLOW AND EROSION TO AN EXTENT WHICH CANNOT BE SPECIFICALLY DEFINED. THE CITY OF MANSFIELD SHALL NOT BE HELD LIABLE FOR ANY DAMAGES RESULTING FROM THE OCCURRENCE OF THESE NATURAL PHENOMENA OR THE FAILURE OF ANY FACILITIES WITHIN SAID DRAINAGE EASEMENT. FURTHER, THE CITY OF MANSFIELD WILL NOT BE RESPONSIBLE FOR EROSION CONTROL OR ANY DAMAGE TO PRIVATE PROPERTIES OR PERSONS RESULTING FROM THE FLOW OF WATER WITHIN SAID DRAINAGE EASEMENT AND PROPERTIES.

REVISIONS	DATE	DATE	DATE	DATE	DATE
150770	JSW	EKK	11-18-2016		
PROJECT NO.	DRAWN BY	APPROVED BY	DATE		

FINAL PLAT
SEETON ESTATES ADDITION

5000 Thompson Terrace
Colleyville, TX 76034
(817)335-9900
FAX: (817)335-9955



SD#17-001

SHEET 2 OF 2

PLANNING AND ZONING COMMUNICATION

Agenda: 17 January 2017

Subject: ZC#16-023: Public hearing for zoning change from C-2, Community Business District and a pre-approved Planned Development to PD for retail and other commercial uses and to provide a variance to the alcoholic beverage sale regulations enacted under Section 109.33 of the Texas Alcoholic Beverage Code on approximately 19.3 acres, generally located at the NW corner of E Broad St and Cannon Dr.

GENERAL INFORMATION

Applicant:

777 Main Street, LLC - Property Owner
Leon Capital Group – Developer/Applicant
Kimley Horn – Engineer/Landscape Architect
CTA Architects - Architect

Size: 19.3 acres

Proposed Use: Retail and Commercial Uses

Existing Land Use: Vacant

Surrounding Land Use &
Zoning:

North – Single-Family Residential
South - Sonic, Vacant; PD
East - Single-Family Residential, Cemetery, Car
Wash; SF-9.6/20, PR & C-2, PD
West - Mansfield High School; PR

Thoroughfare Plan Specification: East Broad Street – Principal Arterial

COMMENTS AND CONSIDERATIONS

The subject property is currently split-zoned. PD zoning was approved for the northern 12 acres in January, 2016, with the land along East Broad Street retaining C-2. At this time, the developer is seeking to PD the entire land area including the existing PD and the C-2 frontage. The proposed PD is for retail and other commercial uses including a grocery store anchor, fast food restaurants and a convenience store/gas station.

Deviations have been requested regarding the fast food restaurants, specifically the 20' landscape buffer required between properties, and the parking ratio. A masonry screening wall is required along the west and north property lines and the applicant is proposing a living screen instead. Additionally, the applicant is seeking a variance to the alcoholic beverage sale regulations enacted under Section 109.33 of the Texas Alcoholic Beverage Code.

The applicant has identified some users for the pad sites fronting E Broad, though they are not specifically designated on the Detailed Site Plan. For sites in which a user has not been identified, a Detailed Site Plan approval from City Council will be required. No specific users have been named for Lots 2 and 3. Raising Cane's is slated for Lot 4, Zoey's Kitchen and Wells Fargo will share Lot 5, and Lot 6 is a C-store associated with the anchor, Market Street. Retail Buildings B, C and D will be restaurant/retail uses.

Additional landscaping has been added at the northeast corner to screen the building and outdoor equipment from the residential property across the street.

Staff recommends approval subject to relocating the dumpster on Lot 6 to be a greater distance than 50' from the street right of way.

Attachments:

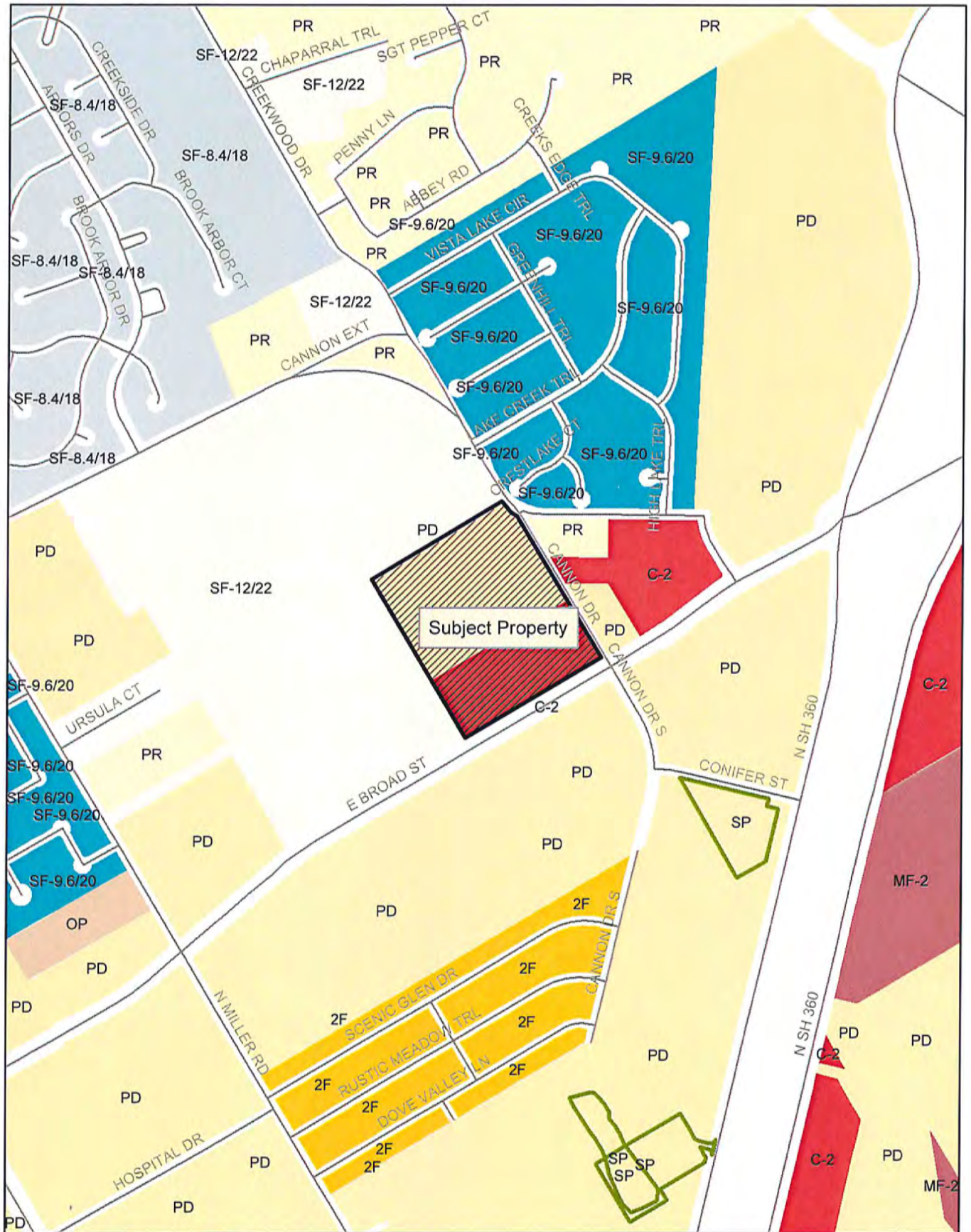
Maps and Supporting Information
Proposed PD



This information is for illustrative purposes only. Not for design or development purposes. Site-specific studies may be required to obtain accurate feature locations. Every effort is made to ensure the information displayed here is accurate; however, the City of Mansfield makes no claims to its accuracy or completeness.

ZC# 16-023

01/04/2017



ZC# 16-023

This information is for illustrative purposes only. Not for design or development purposes. Site-specific studies may be required to obtain accurate feature locations. Every effort is made to ensure the information displayed here is accurate; however, the City of Mansfield makes no claims to its accuracy or completeness.

01/04/2017

Property Owner Notification for ZC# 16-023

LEGAL DESC 1	LEGAL DESC 2	OWNER NAME	OWNER ADDRESS	CITY	ZIP
			*** NO ADDRESS ***	*** NO CITY ***	* NO ZIP *
BACK, J SURVEY	A 126	CALVARY CEMETERY	800 W 820 LOOP S	FORT WORTH, TX	76108-2919
BACK, J SURVEY	A 126	DELANEY, JOSEPH P	800 W 820 LOOP S	FT WORTH, TX	76108
BROAD STREET COMMONS	BLK 1	CHICK-FIL-A	5200 BUFFINGTON RD	ATLANTA, GA	30349
FUSSELL, R D ADDITION	LOT 2	MOORE, SANDRA FINLEY	2318 AUTUMN RUN CT	CEDAR HILL, TX	75104-1001
FUSSELL, R D ADDITION	LOT 2	MOORE, SANDRA FINLEY	2318 AUTUMN RUN CT	CEDAR HILL, TX	75104-1001
HOWARD, HRS OF WILLIAM ADD	BLK 1	HOMER, MOLLY	1849 LAMAR AVE STE 105	PARIS, TX	75460-1463
HOWARD, WILLIAM SURVEY	A 690	FARMERS & MECHANICS LP	1308 LAKE ST	FORT WORTH, TX	76102-4505
HOWARD, WILLIAM SURVEY	A 690	FARMERS & MECHANICS LP	1308 LAKE ST	FORT WORTH, TX	76102-4505
HOWARD, WILLIAM SURVEY	A 690	FARMERS & MECHANICS LP	1308 LAKE ST	FORT WORTH, TX	76102-4505
HOWARD, WILLIAM SURVEY	A 690	FARMERS & MECHANICS LP	1308 LAKE ST	FORT WORTH, TX	76102-4505
HOWARD, WILLIAM SURVEY	A 690	CANN-MANSFIELD LTD	PO BOX 100997	FORT WORTH, TX	76185-0997
HOWARD, WILLIAM SURVEY	A 690	MANSFIELD 2016 LLC	2708 URSULA CT	MANSFIELD, TX	76063
LAKES OF CREEKWOOD ADDITION	BLK 4	AMARAM, ARUN	4 CRESTLAKE CT	MANSFIELD, TX	76063
LAKES OF CREEKWOOD ADDITION	BLK 4	HOUSER, RONALD	2 TALLON CT	MANSFIELD, TX	76063
LAKES OF CREEKWOOD ADDITION	BLK 4	CANTRELL, COLT	7 CRESTLAKE CT	MANSFIELD, TX	76063-5469
LAKES OF CREEKWOOD ADDITION	BLK 4	ISON, CHRISTOPHER	5 CRESTLAKE CT	MANSFIELD, TX	76063-5469
LAKES OF CREEKWOOD ADDITION	BLK 4	BALDWIN, CARL G	3200 LAKE CREEK TR	MANSFIELD, TX	76063-5414
LAKES OF CREEKWOOD ADDITION	BLK 4	MADDOX, SHELLEY	6 CRESTLAKE CT	MANSFIELD, TX	76063-5469

Property Owner Notification for ZC# 16-023

LEGAL DESC 1	LEGAL DESC 2	OWNER NAME	OWNER ADDRESS	CITY	ZIP
MANSFIELD HIGH SCHOOL ADDITION	BLK 1	MANSFIELD, ISD	605 E BROAD ST	MANSFIELD, TX	76063-1766
NEW INTERMEDIATE SCH SOUTH ADD	BLK 1	MANSFIELD, CITY OF	1200 E BROAD ST	MANSFIELD, TX	76063-1805
RACETRAC ADDITION - MANSFIELD	BLK 1	JHPR II LLC	4824 NASHWOOD LN	DALLAS, TX	75244-7735
VILLAGE OFF BROADWAY ADDN	BLK 1	CHICKEN OF THE POND	2204 W HARRIS RD	ARLINGTON, TX	76001
VILLAGE OFF BROADWAY ADDN	BLK 1	NATIONAL RETAIL PROPERTIES LP	450 S ORANGE AVE STE 900	ORLANDO, FL	32801-3339

EXHIBIT A - LEGAL DESCRIPTION FOR RE-ZONING

BEING that certain lot, tract or parcel of land located in the William A. Howard Survey, Abstract No. 690, in the City of Mansfield, Tarrant County, Texas and being a portion of that certain tract of land described in deed to Farmers & Mechanics, L.P., a Texas Limited Partnership, recorded in Instrument Number D208042009, in the Deed Records of Tarrant County, Texas (DRTCT), subject tract being more particularly described as follows;

BEGINNING at a ½ inch iron rod with yellow cap stamped "JDZ" found, from which a ½ inch iron rod with yellow cap stamped "B&C" bears South 53°29'20" West, a distance of 0.50 feet, said "JDZ" iron rod being the southeasterly corner of Lot 1, Block 1, of the Mansfield High School Addition, an addition to the City of Mansfield, Texas recorded in Cabinet A, Slide 6072, in the Plat Records of Tarrant County, Texas (PRTCT) and the northwesterly right-of-way line of East Broad Street (a variable width R.O.W. at this point);

THENCE North 30°40'33" West, departing the northwesterly right of way line of East Broad Street and with a northeasterly line of said Mansfield High School Addition, a distance of 989.36 feet to a ½ inch iron rod with a yellow cap stamped "DiSciullo & Terry", found for corner;

THENCE North 59°16'28" East, passing at 217.59 feet a 2 inch inside diameter pipe, passing at 653.06 feet a 3/4 inch inside diameter pipe, in all, a distance of 825.52 feet to a ½ inch iron rod found, said iron rod being located on the westerly right of way line of Cannon Drive, a variable width right of way, for corner;

THENCE South 30°40'04" East, with said westerly right of way line of Cannon Drive, a distance of 91.49 feet to a ½ inch iron rod found, for corner;

THENCE South 89°17'20" East, with the southwesterly right of way line of Cannon Drive, a variable width right of way, a distance of 23.80 feet to a ½ inch iron rod found with a pink cap stamped "STANTON RPLS 6173", for corner;

THENCE South 30°59'55" East, with the west right of way line of Cannon Drive, a 60 foot right of way through this section, as recorded in Instrument No. D213012204, DRTCT, a distance of 666.43 feet to ½ inch iron rod found with a pink cap stamped "STANTON RPLS 6173", for corner;

THENCE South 25°53'05" East, continuing with the west right of way line of Cannon Drive, a variable width right of way through this section, a distance of 100.97 feet to ½ inch iron rod found with a pink cap stamped "STANTON RPLS 6173", for corner;

THENCE South 30°59'55" East, continuing with the west right of way line of Cannon Drive, a variable width right of way through this section, a distance of 113.51 feet to ½ inch iron rod found with a pink cap stamped "STANTON RPLS 6173", for corner;

THENCE South 14°06'07" West, with a corner clip at the west right of way line of Cannon Drive, and the north right of way line of East Broad Street, a distance of 21.83 feet to an "X" cut in concrete, for corner;

THENCE South 59°18'19" West, with the northwesterly right of way line of East Broad Street, a 120 foot right of way at this point, as described in Permanent Right-of-Way dedication to the City of Mansfield recorded in Volume 12916, Page 229, DRTCT, a distance of 551.98 feet to a ½ inch iron rod found with yellow cap stamped "B&C", for corner;

THENCE South 65°37'29" West, continuing with the northwesterly line of said East Broad Street, said right of way and Easement Dedication to the City of Mansfield described in Volume 15044, Page 258, DRTCT, a distance of 90.60 feet to a ½ inch iron rod found with yellow cap stamped "B&C", for corner;

THENCE South 59°21'04" West, continuing with the northwesterly line of East Broad Street, a distance of 184.37 feet to the POINT OF BEGINNING of herein described tract, containing 841,821 square feet, or 19.326 acres of land.

20. N/A

DI SCIULLO -TERRY, STANTON & ASSOCIATES, INC.
June 16, 2016.


Joyce P. Stanton,
Texas Registered Professional Land Surveyor No. 6173



Notes:

The bearings shown & referenced hereon are according to the monumented northwesterly right-of-way line of East Broad Street, said northwesterly line described in deed recorded in Volume 12916, Page 229, of the Deed Records of Tarrant County, Texas (S 59°18'19" W).

EXHIBIT B – SITE PLAN

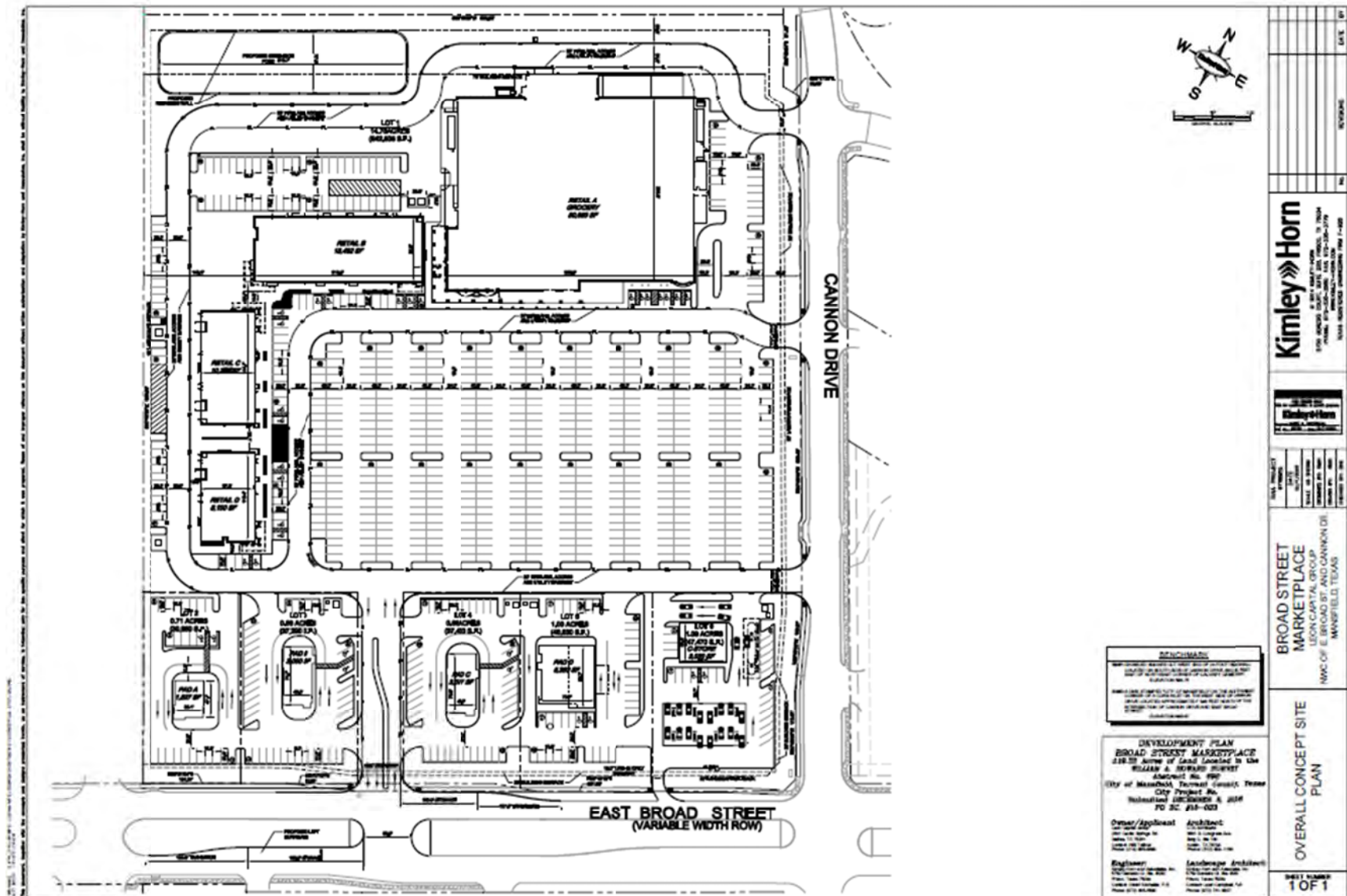


EXHIBIT "C"BROAD STREET MARKETPLACE PLANNED DEVELOPMENTDEVELOPMENT STANDARDS AND REGULATIONS

These Development Standards and Regulations (the "Development Standards") shall apply to all development in the Broad Street Marketplace Planned Development (the "Broad Street PD"), as further legally described in Exhibit "A", and are to be utilized in conjunction with the Development Plan for the Planned Development.

1. Permitted Uses. Uses permitted in the Broad Street PD shall only include: Art Gallery or Museum; Bakery or Confectionery Shop, Retail; Book Store, Retail; Camera and Photography Supply; New Clothing or Department Store; Drug Store or Pharmacy; Florist, Retail; Food or Beverage Sales Store; Furniture, Home Furnishings or Appliance Store; Gift Store; Hobby, Toy or Game Shop; Jewelry Store; Luggage or Leather Goods Store; Nursery or Garden Shop, Retail; Pet Shop; Sewing, Stationery Store; Sporting Goods or Bicycle Shop; Drive-In Banking Facilities; Banking Offices or Facilities Excluding Drive-In Services; Beauty shop or Barber Shop; Catering Service; Computer and/or Data Processing Services; Eating Places without Drive-Through Services; Agents for Garment Pressing, Laundries or Dry Cleaning; Mailing, Reproduction, Medical or Dental Laboratories; Office, Physician, Dentist or Other Health Practitioners; Office, Professional or Administration; Personnel Supply Services; Pet Grooming; Repair Shop or Shoe Shine Parlor; Studio for Photographer, Tailor or Dressmaking Shop; Veterinarian Office Only with indoor kennels; Minor Car Repair, Eating Places with Drive-Through Service, Retail and Grocery Store w/ gas pumps, Convenience store, Auto Parts or Accessory Sales (Indoor) Firestone Tire Store with Minor Vehicle Repair, Bridgestone Tire Store and Minor Vehicle Repair, Auto Parts or Accessory Sales (Indoor) and fine dining and casual sit down restaurants.
2. Uses Not Permitted.
 - a) No Sales of alcoholic beverages for off premise consumption permitted, other than the grocery or convenience store.
 - b) No sports bars that serve alcoholic beverages will be permitted, such as Hooters, Twin Peaks or similar uses.
 - c) No male oriented restaurants or bars that feature provocatively dressed staff will be permitted.
 - d) No bars of any kind, other than those that serve as an accessory use to a restaurant, or as an accessory use within a grocery store.
 - e) No hotels, motels, extended stay residences, or any other residential units.
 - f) No movie theaters.
3. Area Height and Setback Regulations. Area, Height and Setback regulations shall be those required for development in the C-2 Community Business District as set forth in Article 3.

Section 4500 of the City of Mansfield Zoning Ordinance, with the exception that the maximum height will be limited to 35 feet, for any portion of a structure located within 300 feet of a residential lot within the Lakes of Creekwood Addition.

4. Community Design Standards. Community unity design standards shall be those required for development in the C-2 Community Business District as set forth in Article 3. Section 4600 of the City of Mansfield Zoning Ordinance.
5. Off-Street Parking and Loading Standards. Off-street parking and loading standards shall be those required for development in the C-2 Community Business District as set forth in Article 7. Section 7200 of the City of Mansfield Zoning Ordinance
6. Landscaping and Screening Standards. Landscaping and screening standards shall be those required for development in the C-2 Community Business District as set forth in Article 7. Section 7300 of the City of Mansfield Zoning Ordinance.
7. Sign Standards. Sign standards shall be those required for development in the C-2 Community Business District as set forth in Article 7. Section 7100 of the City of Mansfield Zoning Ordinance, except for the two shopping center signs shown in the Sign Plan. The sign plan is provided as Exhibit S-1.
8. Development Plan. Approval of the zoning for the Broad Street PD shall not require simultaneous approval of the Development Plan for the Broad Street PD; provided, however, no plat shall be approved or building permit issued for development in the Broad Street Marketplace PD until the Development Plan has been submitted to the City for approval by the City Council. The purpose of Development Plan review for the Broad Street Marketplace PD is to achieve the individualized site development review that would normally be accomplished under planned development district zoning at the time the initial zoning decision was made. In reviewing the Development Plan submitted pursuant to this provision, the City Council will be reviewing the site development proposal for the following issues:
 - a. Internal traffic circulation;
 - b. Impact on external traffic circulation;
 - c. Site signage;
 - d. Building facades and articulation;
 - e. Compatibility of the site design with adjacent properties;
 - f. Internal landscaping;
 - g. Internal and external lighting impacts;
 - h. Compliance with master community or neighborhood comprehensive planning documents;
 - i. Adequacy of off-street parking, loading and delivery design;
 - j. Storm water impacts and management; and
 - k. Such other design factors as the City Council may determine to be appropriate based upon the location and character of the site.

Approval of the Development Plan by the City Council shall be by simple majority vote at the meeting without a public hearing. The Development Plan Application shall comply with the requirements of Article 5. Section 5100 F. of the City of Mansfield Zoning Ordinance. The City Council may approve the Development plan, approve it with modifications and development conditions deemed appropriate by the City Council, or deny the plan for any issue that is unresolved by the site development proposal as determined by the City Council. A denial of Development Plan shall not be considered as a denial of the use of the property.

9. Lighting. A photometric plan shall be submitted as part of the Development Plan.

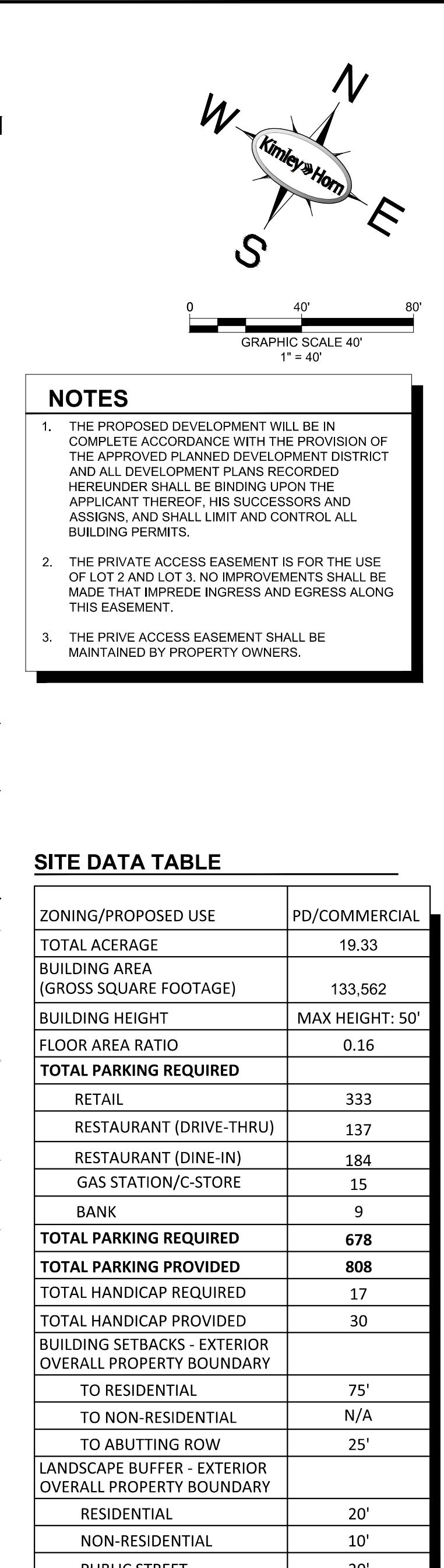
10. Variance Requests.

- a. A variance to Section 7800, Special Conditions (21)(d) of the Zoning Ordinance to allow the sale of alcoholic beverages within (300) feet of a public school.

Examples of restaurants are: Zoe's Kitchen, Modern Market, Chipotle, Chili's, Abuelo's, Mi Cocina, Taco Diner, Uncle Julio's, Portillo's, Taco Cabana, Pollo Tropical, Cane Rosso, Coal Vines, PDQ, Slim Chickens, MOD Pizza, Pie 5, Ana Mia's, Blue Goose Cantina, Hopdoddy, Snuffer's, Pei Wei, Gatti's, or concepts of similar quality.

- b. A variance to allow for an exemption for the masonry wall requirements to the north and west side of the property. In lieu of the masonry wall requirement, a heavily landscaped screening will be installed for the full-length of the property along the northern and western boundaries.
- c. A variance to allow for a reduction of the parking ratio for drive through restaurants from 1 space per 75 SF of floor area to 1 space per 100 SF of floor area for the single tenant parcels located on East Broad Street.
- d. A variance to allow for a reduction of the 20' landscape buffer between parcels for drive through restaurants to a 10' landscape buffer between parcels.

11. All subsequent lots not provided with the initial PD will require a Detailed Site Plan approval through City Council and compliance with the applicable requirements of this PD.



***CALCULATION EQUATIONS PROVIDED:**

RETAIL =

- *ASSUME 1/2 OF RETAIL IS DINE-IN RESTAURANT*
1 PER 250 SF OF AREA FOR FIRST 3,000 SF, THEN
AFTER 1 SPACE FOR EACH ADDITIONAL 300 SF

RESTAURANT (DINE-IN)

- *ASSUME 1/2 OF RETAIL IS DINE-IN RESTAURANT*
1 PER 100 SF OF FLOOR AREA

RESTAURANT (DRIVE-IN FLOWERS) =

- 1 PER 100SF OF FLOOR AREA

GAS STATION/C-STORE

- 1 PER 200 SF OF FLOOR AREA

BANK

- 1 PER 300 SF OF FLOOR AREA

BM#1: CHISELED SQUARE CUT WEST END OF 24 FOOT HEADWALL
LOCATED ON SOUTH SIDE OF CANNON DRIVE AND 90 FEET
EAST OF NORTHEAST CORNER OF CALVARY CEMETERY.
ELEVATION 583.75

BM#2: A DISK STAMPED "CITY OF MANSFIELD" ON THE SOUTHWEST
CORNER OF A CURB INLET ON THE WEST SIDE OF CANNON
DRIVE LOCATED APPROXIMATELY 346 FEET NORTH OF THE
INTERSECTION OF CANNON DRIVE AND EAST BROAD
STREET.
ELEVATION 605.67






Engineer:	Landscape Architect:
Kimley-Horn and Associates, Inc.	Kimley-Horn and Associates, Inc.
5750 Genesis Ct. Ste. #200	5750 Genesis Ct. Ste. #200
Frisco, Texas 75034	Frisco, Texas 75034
Contact: David Kochalka, P.E.	Contact: Leah Campbell, PLA
Phone: (972) 335-3580	Phone: (972) 731-3807

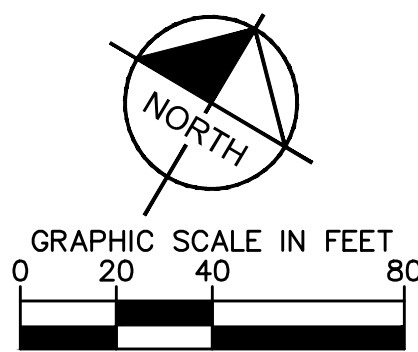
Phase	Lot No.	Acreage	Use
1	Lot 1	14.43 acres	Retail/Grocery
	Lot 6	1.09 acres	Convenience Store/Gas Station
2	Lot 2	0.71 acres	Restaurant
	Lot 3	0.86	Restaurant
	Lot 4	0.86	Restaurant
	Lot 5	1	Restaurant/Bank



1. ALL PLANT MATERIAL SHALL BE INSTALLED ACCORDING TO SOUND NURSERY PRACTICES AND SHALL MEET ALL STANDARDS AS STATED IN THE LATEST EDITION OF "AMERICAN STANDARD FOR NURSERY STOCK" BY THE AMERICAN ASSOCIATION OF NURSERYMEN.
2. NO SUBSTITUTIONS IN PLANT MATERIALS SHALL BE MADE WITHOUT WRITTEN AUTHORIZATION FROM THE OWNER. DISCREPANCIES, IF ANY, IN THE LOCATION OR DISCREPANCIES BETWEEN THE DRAWING AND THE PLANT LIST, THE DRAWING SHALL PREVAIL.
3. LOCATE ALL UTILITIES PRIOR TO ANY DIGGING OPERATIONS. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DAMAGES TO EXISTING UTILITIES INCURRED BY HIS WORK.
4. REFERENCE IRRIGATION PLAN FOR BED IRRIGATION INFORMATION.
5. STAKING AND GUYING ALTERNATIVES: METHODS INDICATED IN DRAWING DETAILS ARE PREFERRED. CONTRACTOR MAY SUGGEST ALTERNATE METHODS, ASSUMING FULL RESPONSIBILITY FOR THEIR ADEQUACY. CONTRACTOR SHALL REPLACE PLANT, OR UPRIGHT ANY TREES BLOWN OVER OR DAMAGED DUE TO INADEQUATE STAKING AT NO ADDITIONAL COST TO THE OWNER.
6. PLANTS MASSED IN BEDS SHALL BE ARRANGED USING TRIANGULAR SPACING.
7. PROVIDE A STEEL EDGE OR CONCRETE MOW STRIP BETWEEN ALL PLANTING BEDS AND LAWN AREAS. REFERENCE SITE PLAN.
8. ALL PLANTING BEDS TO BE TOP DRESSED WITH A MINIMUM OF 3" SHREDDED HARDWOOD MULCH.
9. PROVIDE GRASS SEEDING OR LAY BERMUDA SOD FOR PROPOSED LAWN AREAS TO ALL EDGES OF PAVEMENT AND/OR LIMITS OF DISTURBANCE OUTSIDE R.O.W. OR PROPOSED LANDSCAPE EASEMENT.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL LANDSCAPING UNTIL FINAL ACCEPTANCE. ALL REQUIRED LANDSCAPING SHALL BE MAINTAINED IN A NEAT AND ORDERLY MANNER AT ALL TIMES. THE WORK SHALL INCLUDE, BUT NOT TO BE LIMITED TO, MOWING, EDGING, PRUNING, WEEDING, WATERING, WEEDING, AND OTHER SUCH ACTIVITIES COMMON TO THE MAINTENANCE OF LANDSCAPING. ALL PLANT MATERIALS SHALL BE MAINTAINED IN A HEALTHY AND GROWING CONDITION AS IS APPROPRIATE FOR THE SEASON OF THE YEAR. PLANT MATERIAL THAT DIES SHALL BE REPLACED WITH THE PLANT MATERIAL OF SIMILAR SIZE AND VARIETY.
11. CONTRACTOR SHALL WARRANTY PLANT MATERIAL TO REMAIN ALIVE AND HEALTHY FOR A PERIOD OF ONE YEAR AFTER FINAL ACCEPTANCE. WARRANTY SHALL NOT INCLUDE DAMAGE FOR LOSS OF PLANT MATERIAL DUE TO NATURAL CAUSES, ACTS OF VANDALISM OR NEGLIGENCE ON THE PART OF THE OWNER.
12. ALL DISTURBED AREAS WITHIN LIMITS OF CONSTRUCTION NOT CALLED TO BE SODED, SHALL BE REESTABLISHED WITH BERMUDA SOD.
13. ALL LANDSCAPE BED AREAS TO BE PREPARED USING "READY TO PLANT BEDDING MIX" BY SOIL BUILDING SOLUTIONS (OR APPROVED EQUAL). INSTALL TO DEPTHS, PER PLANTING DETAILS (12" DEPTH MIN). FINISHED GRADES OF PLANTING BEDS TO BE 2" BELOW FINISHED GRADE OF ADJACENT PAVING OR AS SHOWN ON GRADING PLAN.
14. ALL SOD AREAS TO RECEIVE 4" DEPTH (MIN) TOPSOIL PRIOR TO INSTALLATION. ALL PLANTING AREAS TO RECEIVE 6" DEPTH (MIN) TOPSOIL. TOPSOIL SHALL BE NATURAL, FERTILE, pH RANGE OF 6.0-6.5, AND FREE OF TRASH, DEBRIS, STONES, WEEDS, AND TWIGS/BRANCHES.

PLANT SCHEDULE

<u>TREES</u>	<u>CODE</u>	<u>QTY</u>	<u>BOTANICAL NAME</u>	<u>SPECIFICATIONS</u>	<u>REMARKS</u>
	TR1	251	Canopy Tree	3.5" cal.	Full, Stright, Single Leader. Mixture of Evergreen & Deciduous trees. See plans for Evergreen screening placement.
	TR2	22	Screening Tree	10' ht x 6' spr	Full to ground, Evergreen
	TR3	336	Screening Tree	6' ht x 4' spr	Full to ground, Evergreen
<u>SHRUBS</u>	<u>CODE</u>	<u>QTY</u>	<u>BOTANICAL NAME</u>	<u>SPECIFICATIONS</u>	<u>REMARKS</u>
	SH1	775	Screening Shrub	24" ht, 18" spr, 36" oc	36" at maturity
<u>SHRUB AREAS</u>	<u>CODE</u>	<u>QTY</u>	<u>BOTANICAL NAME</u>	<u>SPECIFICATIONS</u>	<u>REMARKS</u>
	FLA	TBD	Foundation Landscape Area	Install	Shrubs and groundcover



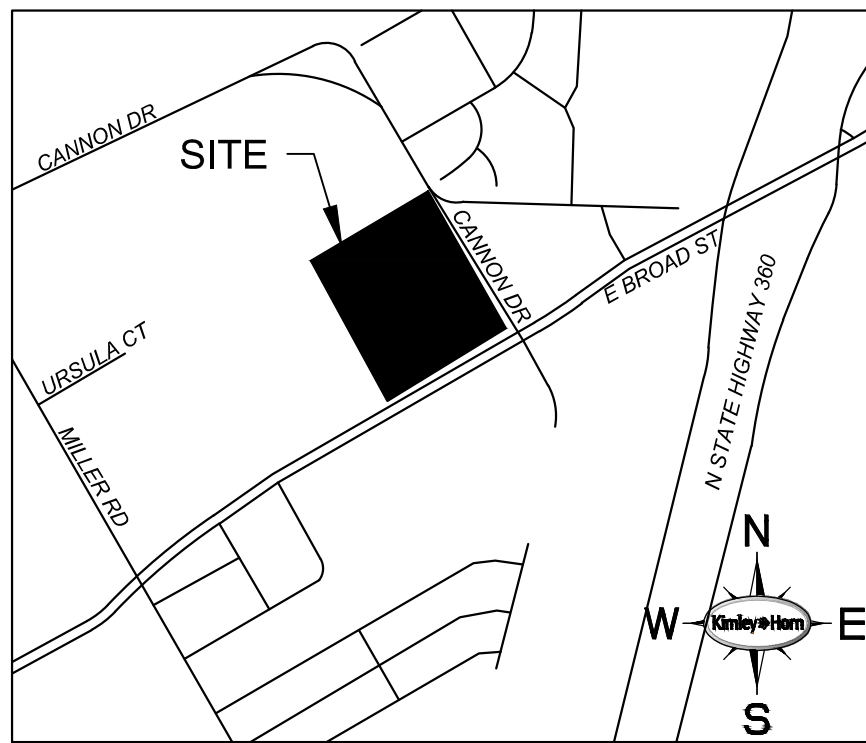
DEVELOPMENT PLAN
BROAD STREET MARKETPLACE
±19.33 Acres of Land Located in the
WILLIAM A. HOWARD SURVEY
Abstract No. 690
City of Mansfield, Tarrant County, Texas
City Project No.
Submitted January 10, 2017
PD ZC. #16-023

Owner/Applicant
Leon Capital Group
2301 Cedar Springs Rd.
Dallas, TX 75201
Contact: Will Tolliver
Phone: (214) 865-8090

Engineer:
Kimley-Horn and Associates, Inc.
5750 Genesis Ct. Ste. #200
Frisco, Texas 75034
Contact: David Kochalka, P.E.
Phone: (972) 335-3580

Architect:
CTA Architects
3601 S. Congress Ave.
Bldg C, Ste 100
Austin, TX 78704
Phone: (512) 804 -1163

Landscape Architect:
Kimley-Horn and Associates, Inc.
5750 Genesis Ct. Ste. #200
Frisco, Texas 75034
Contact: Leah Campbell, PLA
Phone: (972) 731-3807



VICINITY MAP
N.T.S

**BROAD STREET
MARKETPLACE**
LEON CAPITAL GROUP
NWC OF E. BROAD ST. AND CANNON DR.
MANSFIELD, TEXAS

LANDSCAPE PLAN

SHEET NUMBER
EXHIBIT D.1

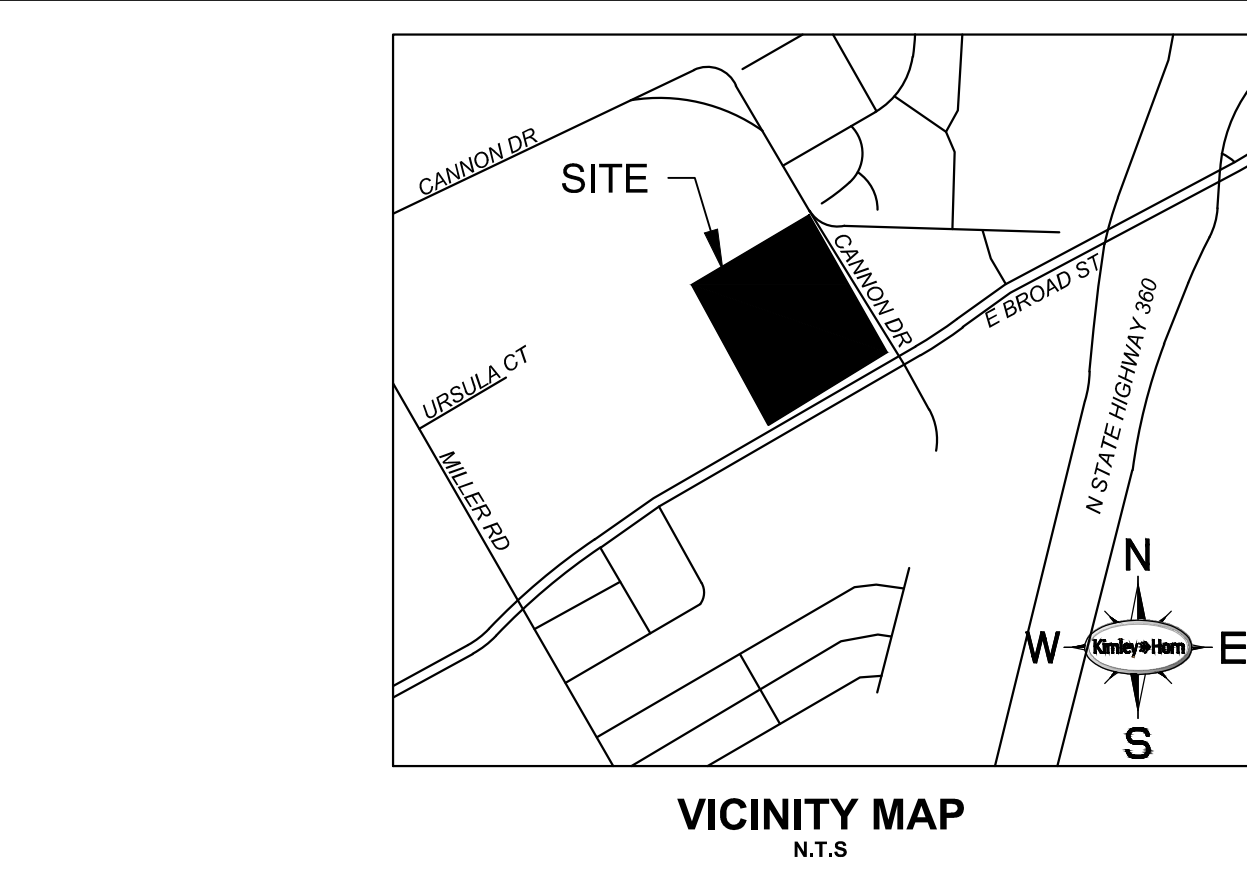
Kimley»»Horn

© 2014 KIMLEY-HORN
D GENESIS COURT, SUITE 200, FRISCO, TX 75034
PHONE: 972-335-3580 FAX: 972-335-3779
WWW.KIMLEY-HORN.COM

The logo for Kimley-Horn is located in the top left corner. It features the word "PRELIMINARY" in a bold, sans-serif font. Below it, in a smaller font, is "FOR REVIEW ONLY" and "Not for construction or permit purposes". The company name "Kimley-Horn" is prominently displayed in a large, bold, sans-serif font. At the bottom of the logo area, the text "P.L.A. KENZIE L. PORTER" and "L.A. No. 3128 Date 01/10/2017" is printed.

KHA PROJECT 67786812	DATE 01/10/2017	SCALE AS SHOWN	DESIGNED BY: KLP	DRAWN BY: KLP	CHECKED BY: LMC
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21
VT
O
P

[illegible]

**BROAD STREET
MARKETPLACE**
LEON CAPITAL GROUP
NWFC OF E. BROAD ST. AND CANNON DR.
MANSFIELD, TEXAS

NOTES:

1. LANDSCAPING MAINTENANCE: THE PROPERTY OWNER, TENANT OR AGENC, SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL REQUIRED LANDSCAPING IN A HEALTHY, NEAT, ORDERLY AND LIVE-GROWING CONDITION ALL TIMES. THIS SHALL INCLUDE MOWING, EDGING, PRUNING, FERTILIZING, IRRIGATION, WEEDING, AND OTHER SUCH ACTIVITIES COMMON TO MAINTENANCE OF LANDSCAPING. LANDSCAPED AREAS SHALL BE KEPT FREE OF TRASH, LITTER, WEEDS, AND OTHER MATERIALS NOT A PART OF THE LANDSCAPING. PLANT MATERIALS THAT DIE SHALL BE REPLACED WITH PLANT MATERIALS OF SIMILAR VARIETY AND SIZE.
2. NO TREES, SHRUBS, WALLS, FENCES, OR ANYTHING OVER 2' IN HEIGHT IS ALLOWED WITHIN THE VISIBILITY TRIANGLES.

*TOTAL TREES PROVIDED INCLUDED THE FOLLOWING:

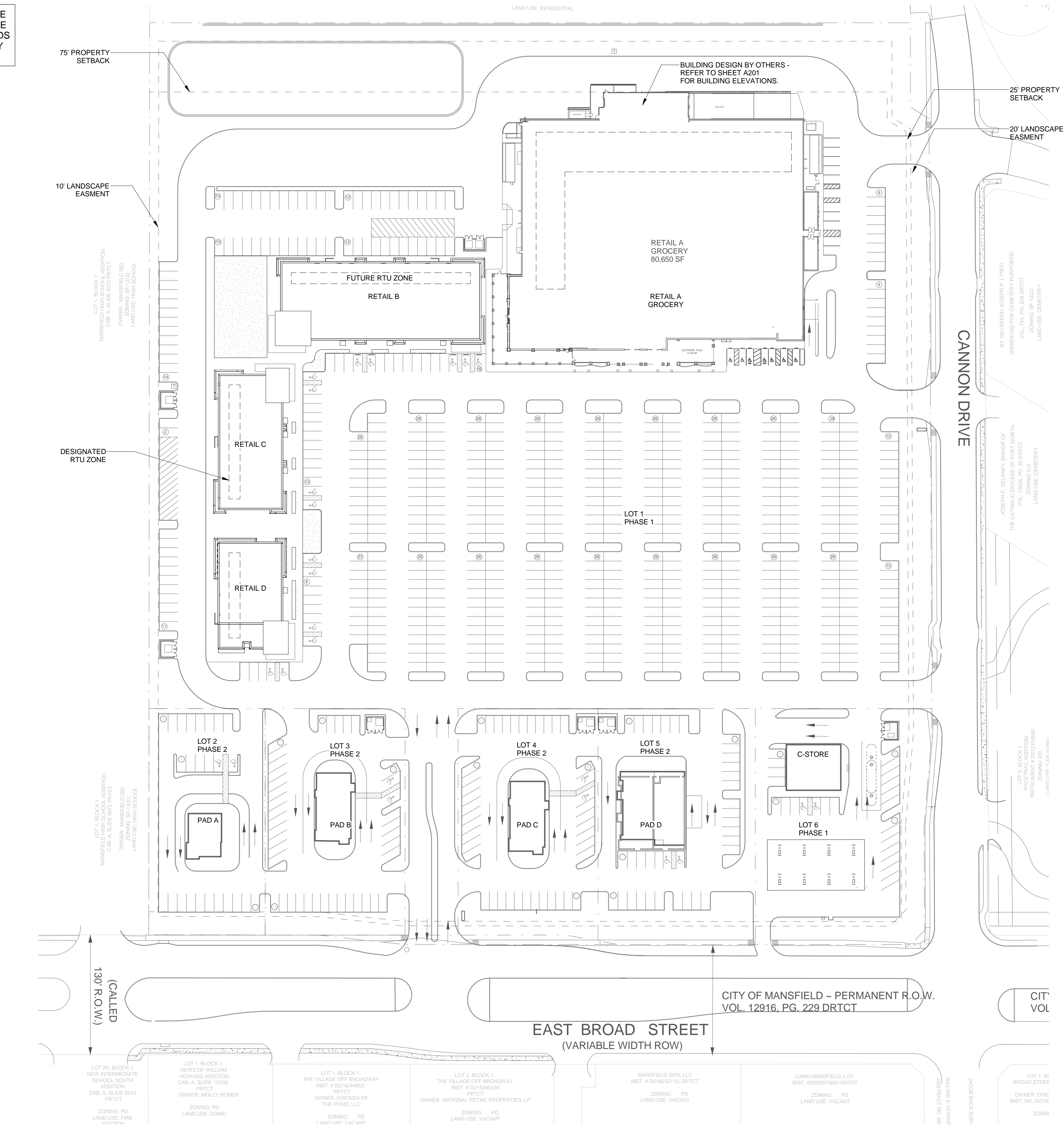
- PARKING SPACE TREES (1 TREE PER EVERY 10 SPACES)
- REQUIRED DRIVE ISLE TREES (1 TREE PER 40 LF)
- PARKING ISLAND TREES (SINGLE AND DOUBLE ISLANDS)
- RESTAURANT DRIVE THROUGH TREES (1 TREE PER 25 LF)

SUMMARY CHART - FOUNDATION LANDSCAPING	
REQUIRED	MIN. 4' WIDE LANDSCAPE AREA WITHIN 10' OF BUILDING FACADE WITH CUSTOMER ENTRANCE OR FACING A PUBLIC STREET
PROVIDED	MIN. 4' WIDE LANDSCAPE AREA WITHIN 10' OF BUILDING FACADE WITH CUSTOMER ENTRANCE OR FACING A PUBLIC STREET

SITE DATA TABLE	
ZONING/PROPOSED USE	PD/COMMERCIAL
TOTAL ACERAGE	19.33
BUILDING AREA (GROSS SQUARE FOOTAGE)	133,562
BUILDING HEIGHT	MAX HEIGHT: 50'
FLOOR AREA RATIO	0.16
TOTAL PARKING REQUIRED	
RETAIL	333
RESTAURANT (DRIVE-THRU)	137
RESTAURANT (DINE-IN)	184
GAS STATION/C-STORE	15
BANK	9
TOTAL PARKING REQUIRED	678
TOTAL PARKING PROVIDED	808
TOTAL HANDICAP REQUIRED	17
TOTAL HANDICAP PROVIDED	30
BUILDING SETBACKS - EXTERIOR OVERALL PROPERTY BOUNDARY	
TO RESIDENTIAL	75'
TO NON-RESIDENTIAL	N/A
TO ABUTTING ROW	25'
LANDSCAPE BUFFER - EXTERIOR OVERALL PROPERTY BOUNDARY	
RESIDENTIAL	20'
NON-RESIDENTIAL	10'
PUBLIC STREET	20'

A graphic scale in feet showing 0, 20, 40, and 80 feet. Above the scale is a north arrow pointing towards the top-left, with the word "NORTH" written inside the circle.

NOTE: DESIGN TO BE IN COMPLIANCE WITH BROAD STREET MARKETPLACE PLANNED DEVELOPMENT STANDARDS AND REGULATIONS AS PROVIDED BY THE CITY OF MANSFIELD.

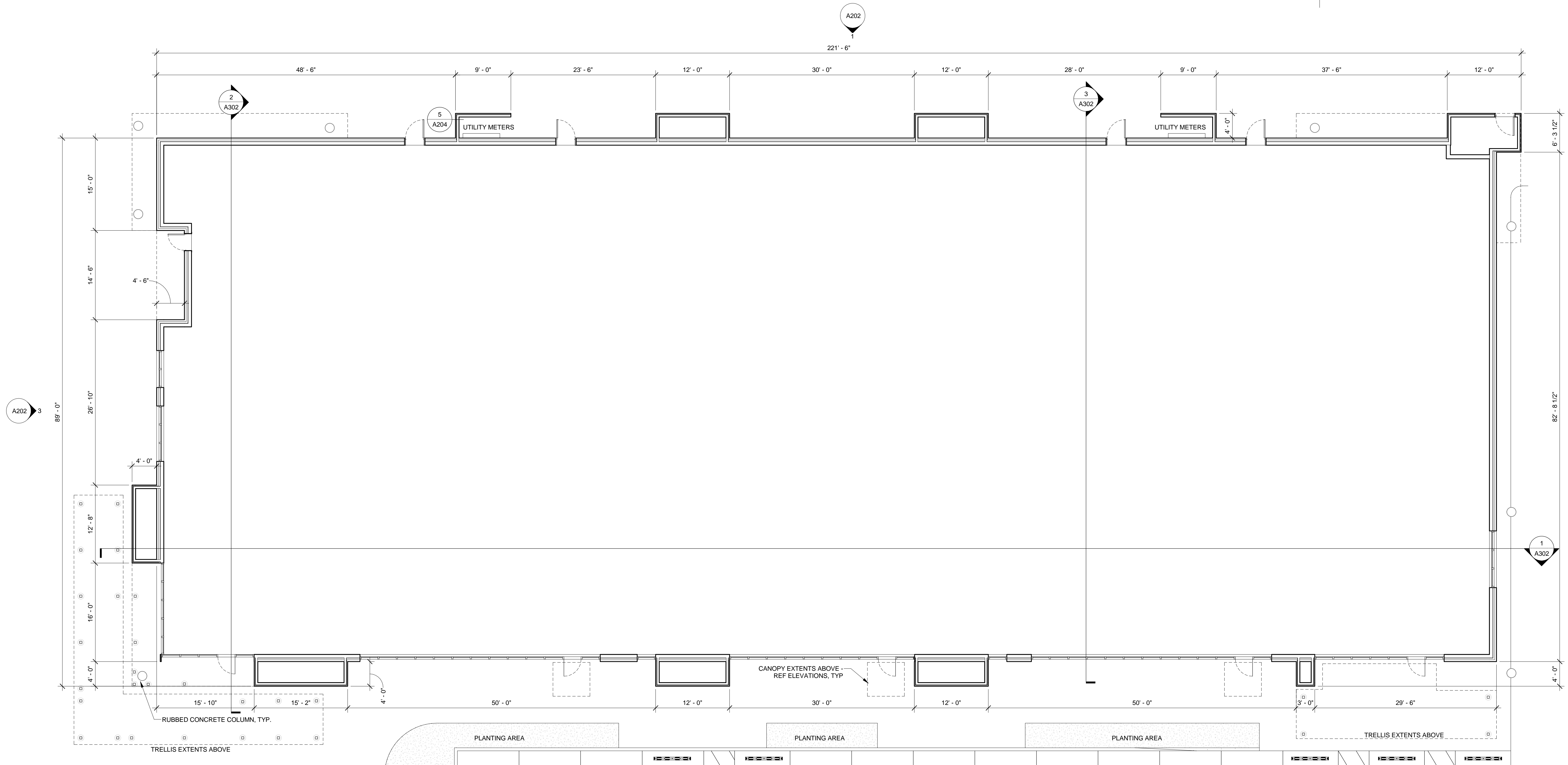


1 SITE - PROJECT NORTH
A100 1" = 60'-0"

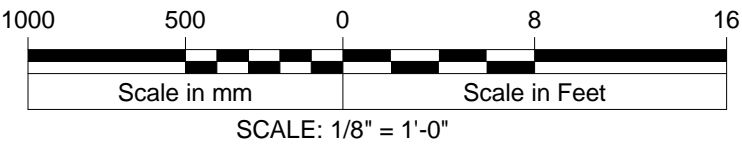
- GENERAL NOTES
- A. ALL NEW UTILITIES SHALL BE PLACED UNDERGROUND.
 - B. BUILDINGS SHALL BE COMPRISED OF 70% MINIMUM MASONRY. ALL FOUR ELEVATIONS SHALL BE CONSTRUCTED OF SIMILAR MATERIALS AND DETAILING.
 - C. ALL PROPOSED BUILDING AND SITE LIGHTING SHALL BE FULL-CUT OFF FIXTURES AND SHIELDED AWAY FROM ADJACENT RESIDENTIAL ZONING.
 - D. ALL ROOF MOUNTED EQUIPMENT MUST BE FULLY SCREENED FROM VIEW FROM ADJACENT PROPERTIES AND STREETS. PARAPET WALLS SHALL HAVE A HEIGHT AT LEAST 1'-0" GREATER THAN TALLEST MECHANICAL UNIT.
 - E. EXPOSED CONDUIT, LADDERS, UTILITY BOXES, STACK PIPES, AND DRAIN SPOUTS SHALL BE PAINTED TO MATCH BUILDING ELEMENTS.

PLAN LEGEND

- WALL TYPE (SEE SHEET A101)
- WALL TYPE NOTE
- ROOM NUMBER
- WINDOW TYPE (SEE SHEET A601)
- PLAN NOTE
- SIM
DETAIL OR SECTION NUMBER
SHEET WHERE DRAWN
- DOOR NUMBER (SEE SHEET A601)
- DIMENSION TO FACE OF STUD
- DIMENSION TO GRID LINE



1 FIRST FLOOR PLAN - RETAIL B
A102 1/8" = 1'-0"



NOT FOR CONSTRUCTION - PRELIMINARY DESIGN

ZC#16-023
LEON CAPITAL GROUP
BROAD STREET MARKETPLACE

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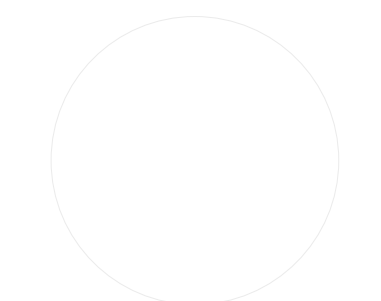
DETAILED SITE PLAN
APPLICATION - NOT
FOR CONSTRUCTION

12.20.2016
DRAWN BY | BO
CHECKED BY | CT
REVISIONS



EXHIBIT G.2 - FLOOR
PLAN - RETAIL B

A102



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DETAILED SITE PLAN
APPLICATION - NOT
FOR CONSTRUCTION

12.20.2016
DRAWN BY | BO
CHECKED BY | CT
REVISIONS

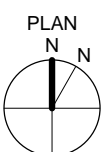
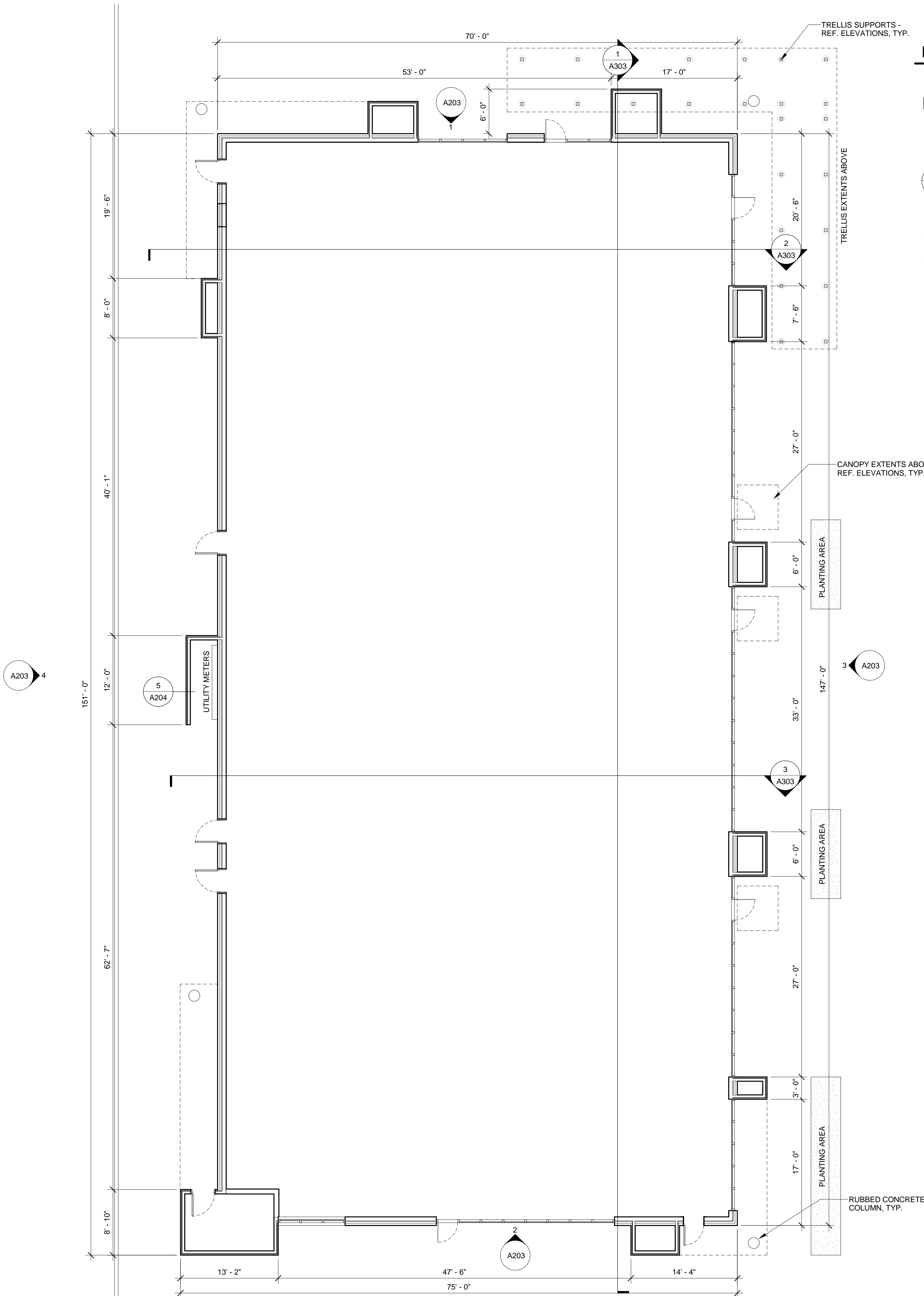


EXHIBIT G.3 - FLOOR
PLAN - RETAIL C

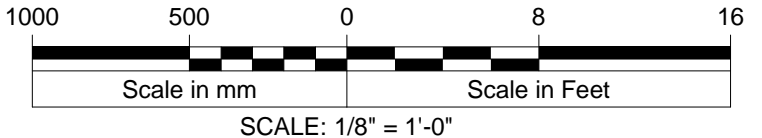
A103

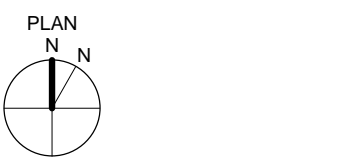
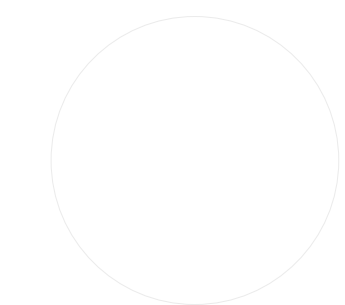
PLAN LEGEND

- WALL TYPE (SEE SHEET A101)
- WALL TYPE NOTE
- ROOM NUMBER
- WINDOW TYPE (SEE SHEET A601)
- PLAN NOTE
- DETAIL OR SECTION NUMBER
- SHEET WHERE DRAWN
- DOOR NUMBER (SEE SHEET A601)
- DIMENSION TO FACE OF STUD
- DIMENSION TO GRID LINE



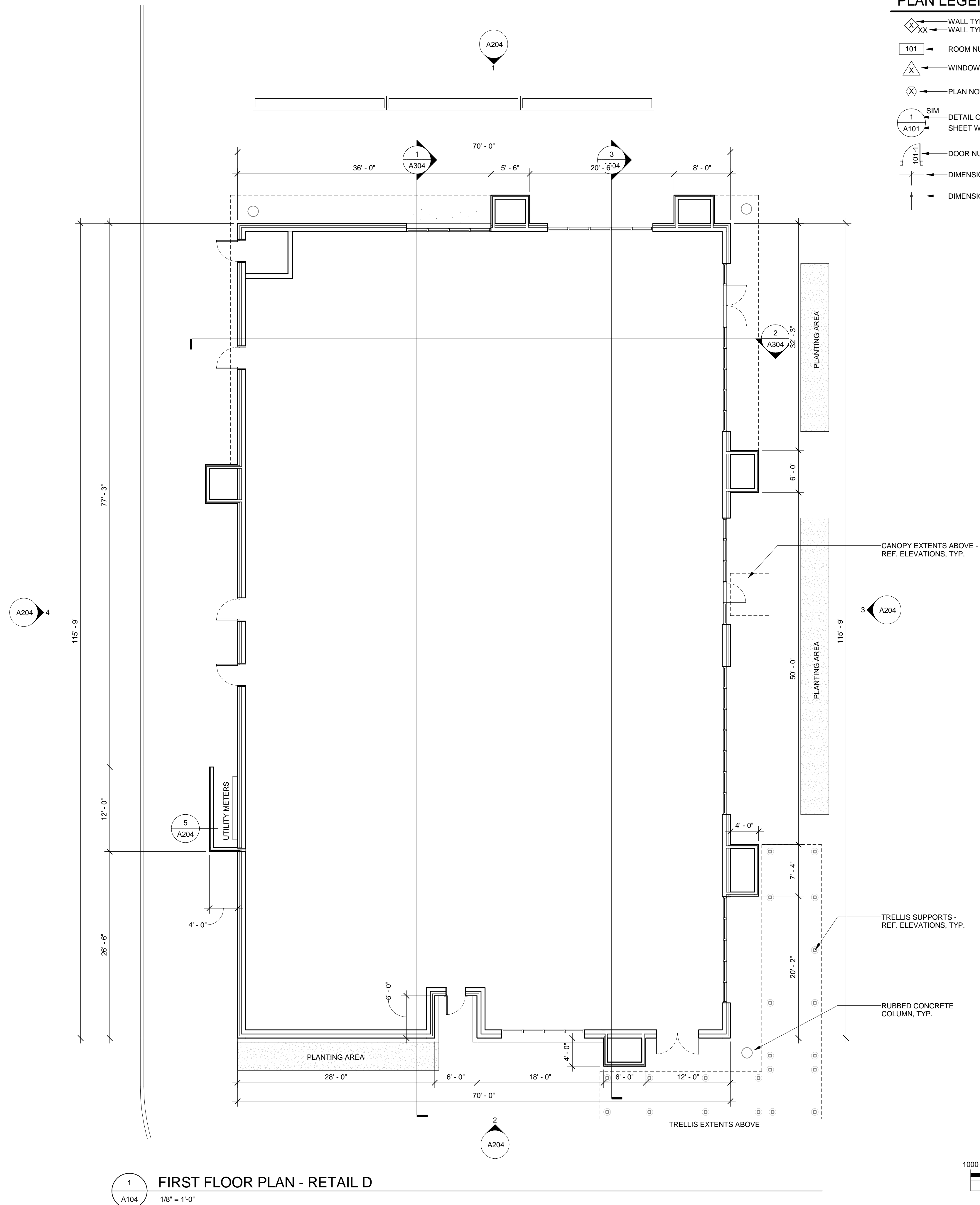
FIRST FLOOR PLAN - RETAIL C



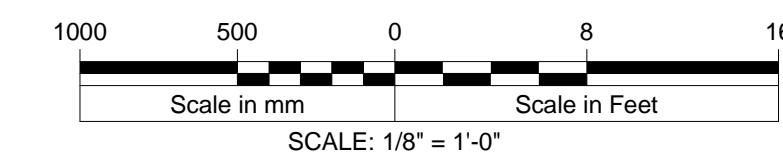


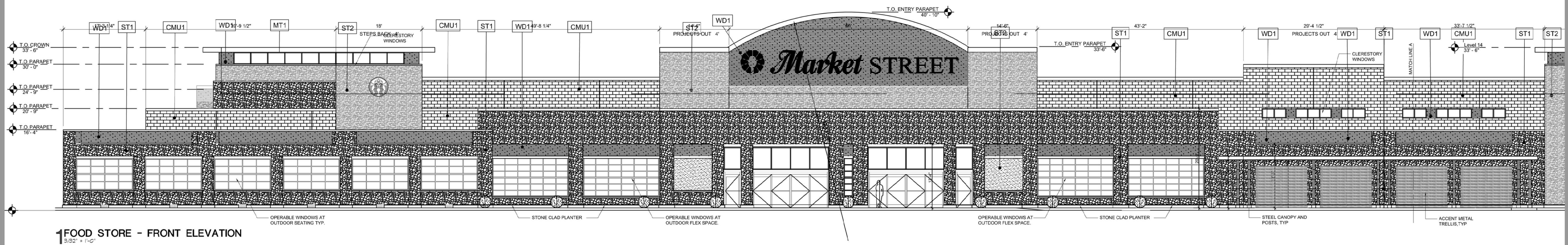
PLAN LEGEND

- ◊ XX — WALL TYPE (SEE SHEET A101)
- ◊ — WALL TYPE NOTE
- 101 — ROOM NUMBER
- △ — WINDOW TYPE (SEE SHEET A601)
- ⊗ — PLAN NOTE
- 1 — SIM — DETAIL OR SECTION NUMBER
- A101 — SHEET WHERE DRAWN
- 100-1 — DOOR NUMBER (SEE SHEET A601)
- — DIMENSION TO FACE OF STUD
- — DIMENSION TO GRID LINE

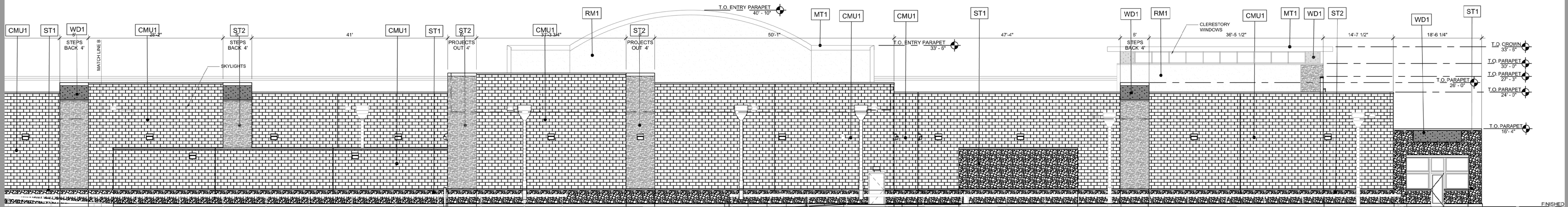


1
A104
FIRST FLOOR PLAN - RETAIL D
1/8" = 1'-0"

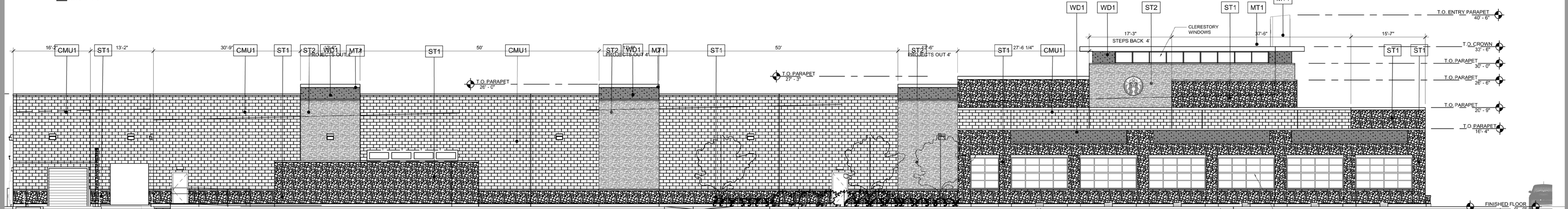




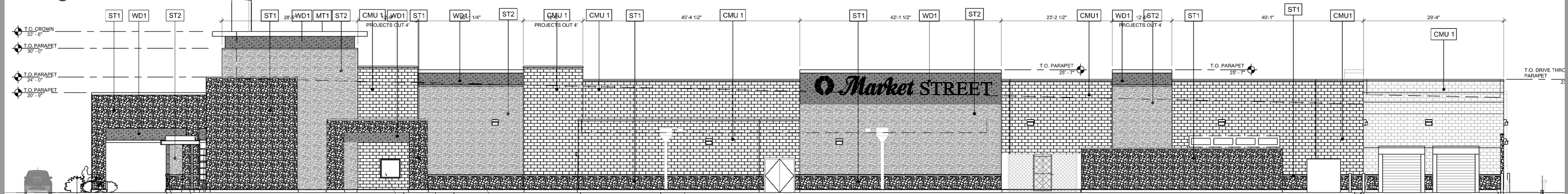
1 FOOD STORE - FRONT ELEVATION
5/32" = 1'-0"



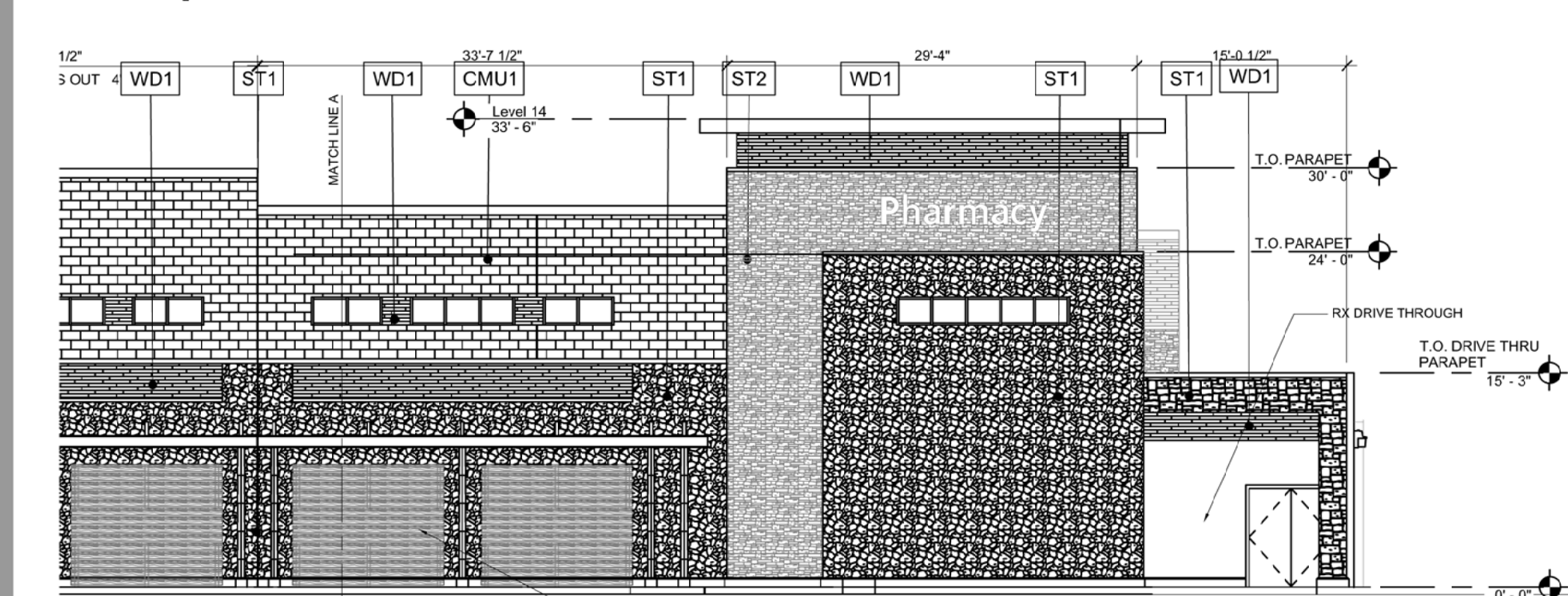
2 FOOD STORE - REAR ELEVATION
5/32" = 1'-0"



3 FOOD STORE - SIDE PATIO ELEVATION
5/32" = 1'-0"



4 FOOD STORE - RX DRIVE THROUGH ELEVATION
5/32" = 1'-0"



5 FOOD STORE - ELEVATION CONTINUATION RX DRIVE THROUGH
5/32" = 1'-0"

6 FOOD STORE - REAR ELEVATION CONTINUATION
5/32" = 1'-0"

MATERIAL COVERAGE CALCULATIONS FOR FOOD STORE									
		FRONT/ENTRY		REAR		SIDE/RX DRIVE-THRU		SIDE/OUTDOOR SEATING	
		SQ FT	%	SQ FT	%	SQ FT	%	SQ FT	%
COMPOSITE WOOD (CEMENTITIOUS PRODUCT)	WD 1	1205	12	72	1	474	6	283	4
GLASS	GL1	1572	16	192	2	30	0	633	9
ROOFING MEMBRANE	RM1			1082	12				
STONE 1	ST 1	4599	46	1369	15	1635	22	1992	27
SPLIT FACE BLOCK	CMU 1	1523	15	5359	59	3046	42	3031	41
STONE 2	ST 2	681	7	614	7	1746	24	935	13
METAL TRIM	MT 1	467	5	410	4	387	5	460	6
	TOTAL	10047	100	9098	100	7318	100	7334	100
	TOTAL MASONRY: 26,458sf / 33,035sf = 82.6%					TOTAL MTL: 1724sf / 33,035sf = 5.2%			

Issue Dates:
DETAILED SITE PLAN APP 11-21-16

Heights Venture
ARCHITECTURE • DESIGN

HOUSTON 1111 North Loop West, Suite 800
HOUSTON, TEXAS 77008
713.669.1103 V

DALLAS 5717 Legacy Drive, Suite 240
PLANO, TEXAS 75024
972.490.7292 V

Robert R. Holton, AIA
TX Registration #14938

Not for Regulatory Approval,
Permit, or Construction.

BROAD STREET
MARKETPLACE
ZC #16-023

MANSFIELD

Project Number:
16126-001

Date Plotted:
DECEMBER 07, 2016

Drawn By: FL
Checked By: FL

File Name:
11.21.16 MARKET STREET

A201
EXTERIOR ELEVATIONS

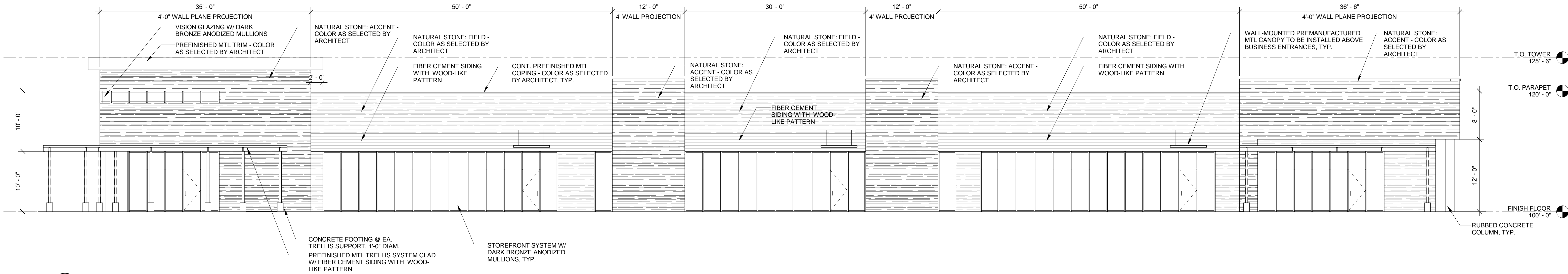
© COPYRIGHT 2016 HEIGHTS VENTURE

GENERAL NOTES

- A. ALL NEW UTILITIES SHALL BE PLACED UNDERGROUND.
B. BUILDINGS SHALL BE COMPRISED OF 70% MINIMUM MASONRY. ALL FOUR ELEVATIONS SHALL BE CONSTRUCTED OF SIMILAR MATERIALS AND DETAILING.
C. ALL PROPOSED BUILDING AND SITE LIGHTING SHALL BE FULL-CUT OFF FIXTURES AND SHIELDED AWAY FROM ADJACENT RESIDENTIAL ZONING.
D. ALL ROOF MOUNTED EQUIPMENT MUST BE FULLY SCREENED FROM VIEW FROM ADJACENT PROPERTIES AND STREETS. PARAPET WALLS SHALL HAVE A HEIGHT AT LEAST 1'-0" GREATER THAN TALLEST MECHANICAL UNIT.
E. EXPOSED CONDUIT, LADDERS, UTILITY BOXES, STACK PIPES, AND DRAIN SPOUTS SHALL BE PAINTED TO MATCH BUILDING ELEMENTS.

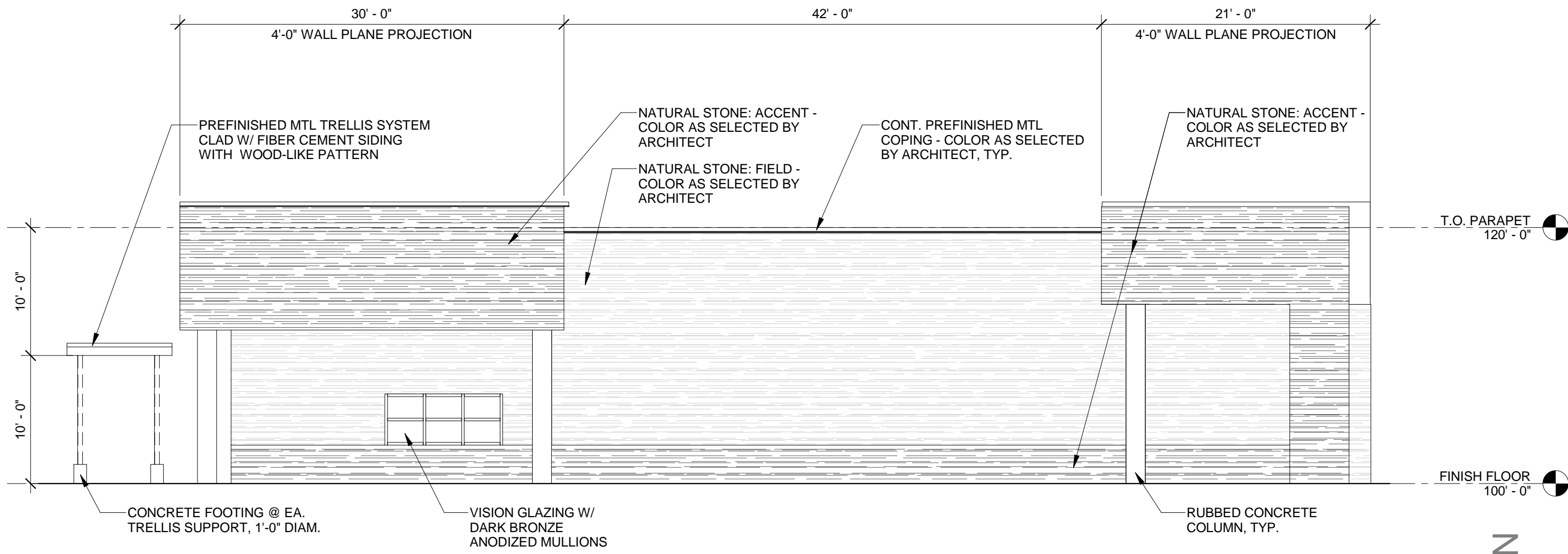
MATERIAL CALCULATIONS				
BUILDING	MASONRY SF	%	MASONRY-LIKE / OTHER SF	%
BUILDING B	8,227.10 SF	77.5%	2,381.86 SF	22.5%
BUILDING C	6,006.60 SF	80.2%	1,481.95 SF	19.8%
BUILDING D	5,156.67 SF	82.3%	1,108.01 SF	17.7%
TOTAL	19,390.37 SF	79.6%	4,971.82 SF	20.4%

NOTE: MATERIALS ARE DEFINED ABOVE AS SPECIFIED FOR THE C-2 COMMUNITY BUSINESS DISTRICT, SECTION 2200M OF THE CITY OF MANSFIELD ZONING ORDINANCE.



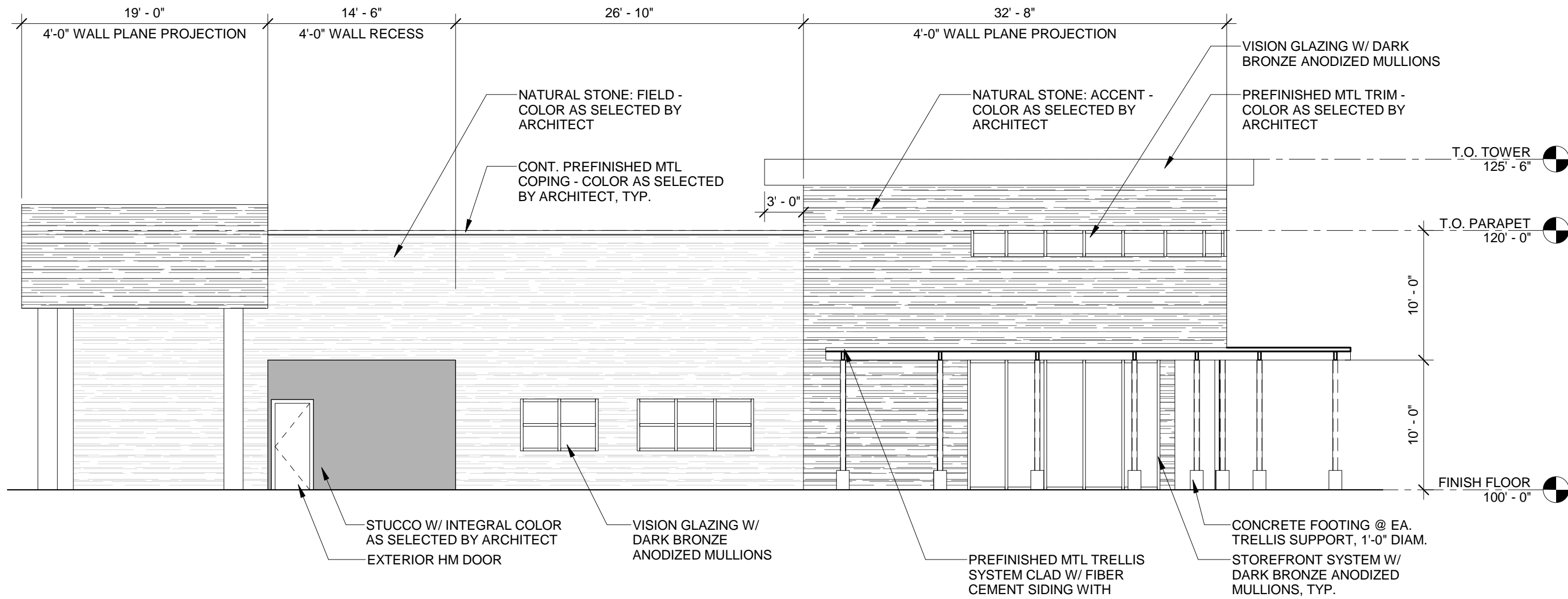
4 ELEVATION - RETAIL B - SOUTH

1/8" = 1'-0"



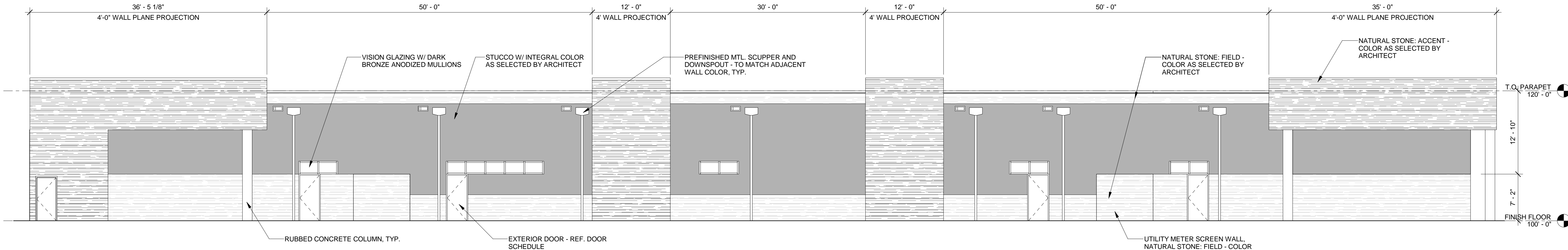
2 ELEVATION - RETAIL B - EAST

1/8" = 1'-0"



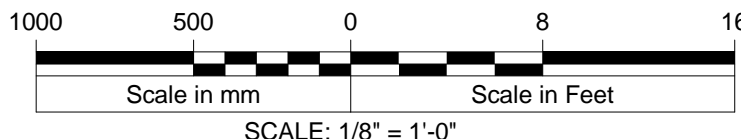
3 ELEVATION - RETAIL B - WEST

1/8" = 1'-0"



1 ELEVATION - RETAIL B - NORTH

1/8" = 1'-0"



NOT FOR CONSTRUCTION - PRELIMINARY DESIGN

ZC#16-023
LEON CAPITAL GROUP

BROAD STREET MARKETPLACE

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DETAILED SITE PLAN
APPLICATION - NOT
FOR CONSTRUCTION

12.20.2016
DRAWN BY | BO
CHECKED BY | CT
REVISIONS

EXHIBIT E.2 -
EXTERIOR
ELEVATIONS -
BUILDING B

A202

MATERIAL CALCULATIONS				
BUILDING	MASONRY SF	%	MASONRY-LIKE / OTHER SF	%
BUILDING B	8,227.10 SF	77.5%	2,381.86 SF	22.5%
BUILDING C	6,006.60 SF	80.2%	1,481.95 SF	19.8%
BUILDING D	5,156.67 SF	82.3%	1,108.01 SF	17.7%
TOTAL	19,390.37 SF	79.6%	4,971.82 SF	20.4%

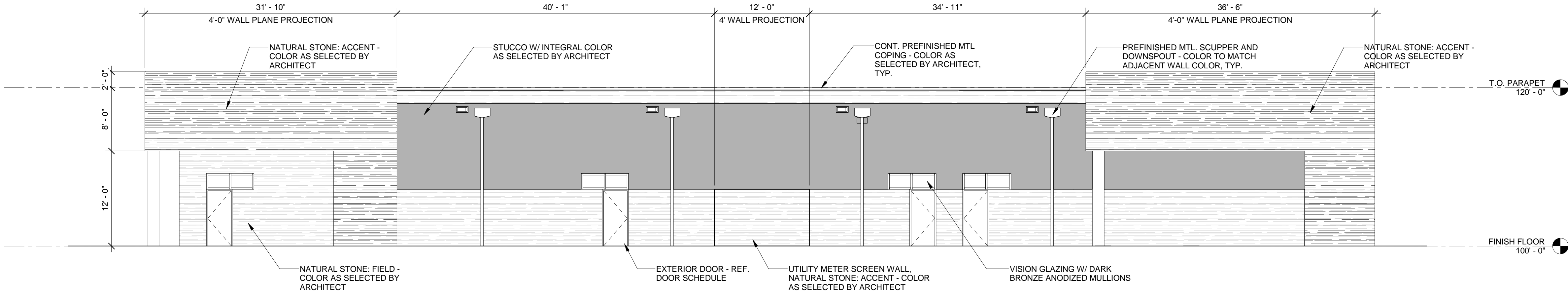
NOTE: MATERIALS ARE DEFINED ABOVE AS SPECIFIED FOR THE C-2 COMMUNITY BUSINESS DISTRICT. SECTION 2200M OF THE CITY OF MANSFIELD ZONING ORDINANCE.

GENERAL NOTES

- A. ALL NEW UTILITIES SHALL BE PLACED UNDERGROUND.
- B. BUILDINGS SHALL BE COMPRISED OF 70% MINIMUM MASONRY. ALL FOUR ELEVATIONS SHALL BE CONSTRUCTED OF SIMILAR MATERIALS AND DETAILING.
- C. ALL PROPOSED BUILDING AND SITE LIGHTING SHALL BE FULL-OUT OFF FIXTURES AND SHIELDED AWAY FROM ADJACENT RESIDENTIAL ZONING.
- D. ALL ROOF MOUNTED EQUIPMENT MUST BE FULLY SCREENED FROM VIEW FROM ADJACENT PROPERTIES AND STREETS. PARAPET WALLS SHALL HAVE A HEIGHT AT LEAST 1'-0" GREATER THAN TALLEST MECHANICAL UNIT.
- E. EXPOSED CONDUIT, LADDERS, UTILITY BOXES, STACK PIPES, AND DRAIN SPOUTS SHALL BE PAINTED TO MATCH BUILDING ELEMENTS.

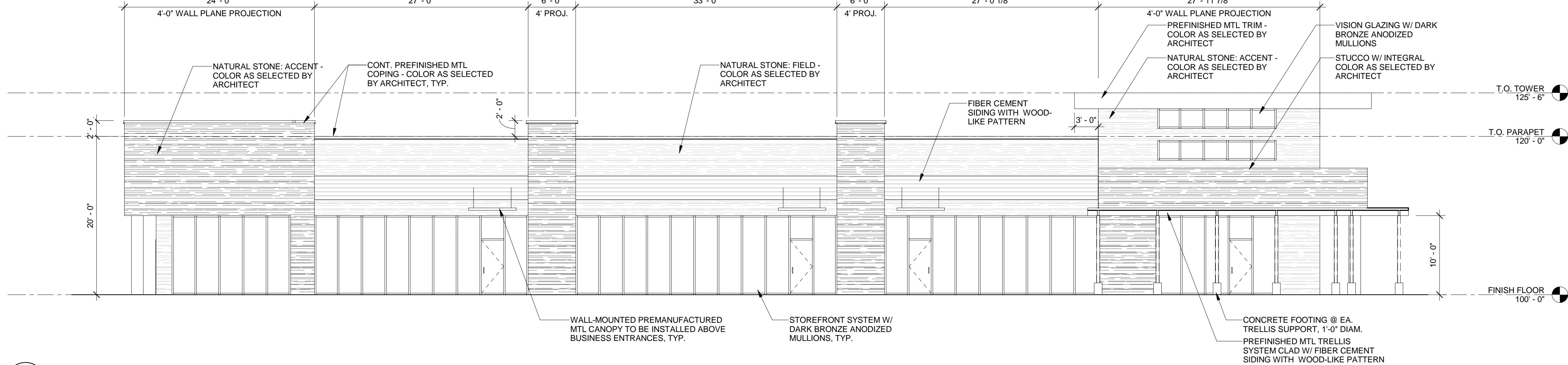


www.ctagroup.com
800.757.9522



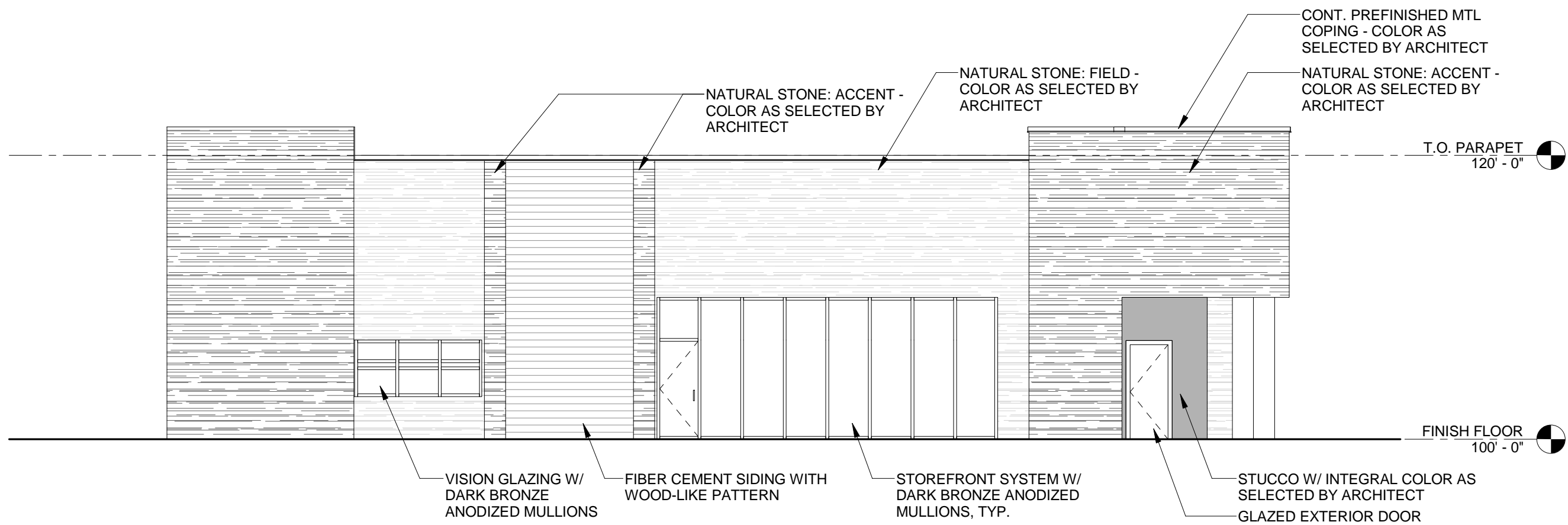
4 ELEVATION - RETAIL C - WEST

1/8" = 1'-0"



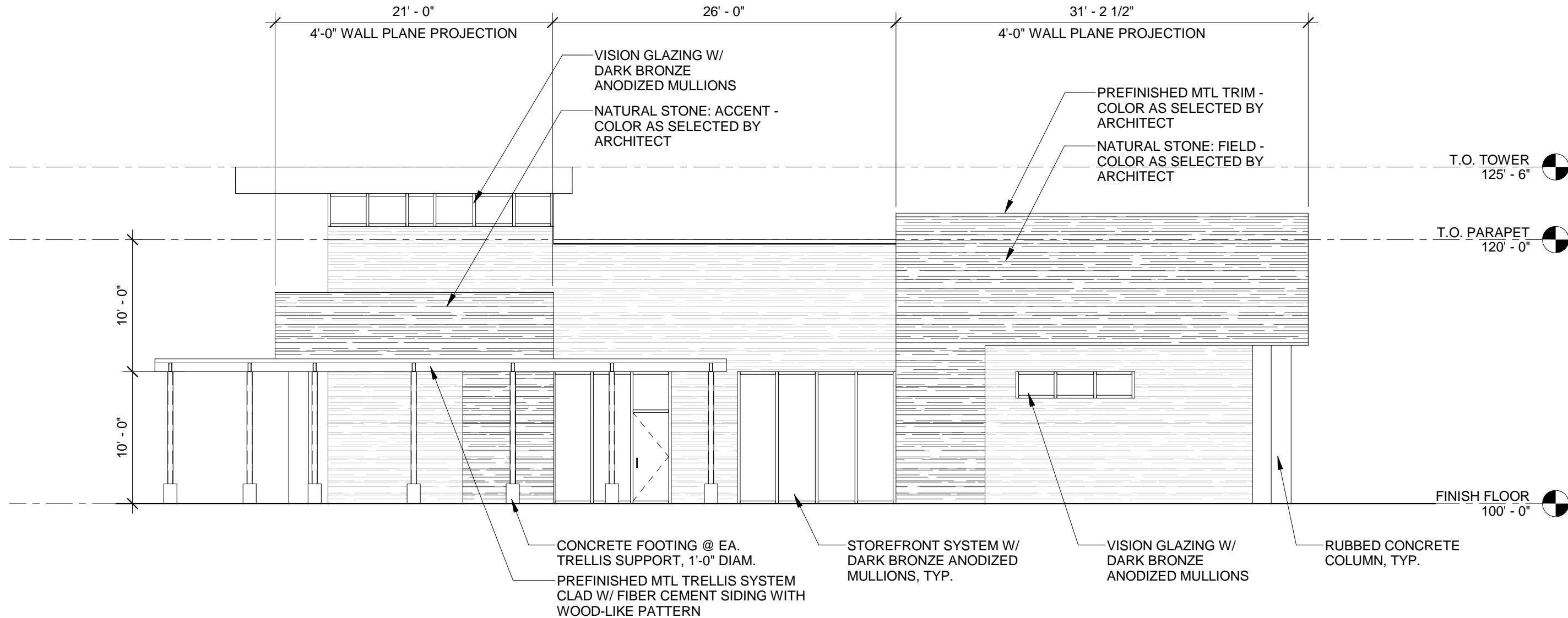
3 ELEVATION - RETAIL C - EAST

1/8" = 1'-0"



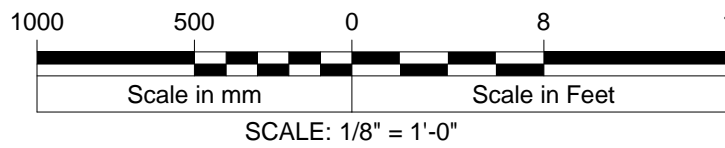
2 ELEVATION - RETAIL C - SOUTH

1/8" = 1'-0"



1 ELEVATION - RETAIL C - NORTH

1/8" = 1'-0"



NOT FOR CONSTRUCTION - PRELIMINARY DESIGN

ZC#16-023
LEON CAPITAL GROUP

BROAD STREET MARKETPLACE



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DETAILED SITE PLAN
APPLICATION - NOT
FOR CONSTRUCTION

12.20.2016
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CHECKED BY | CT
REVISIONS

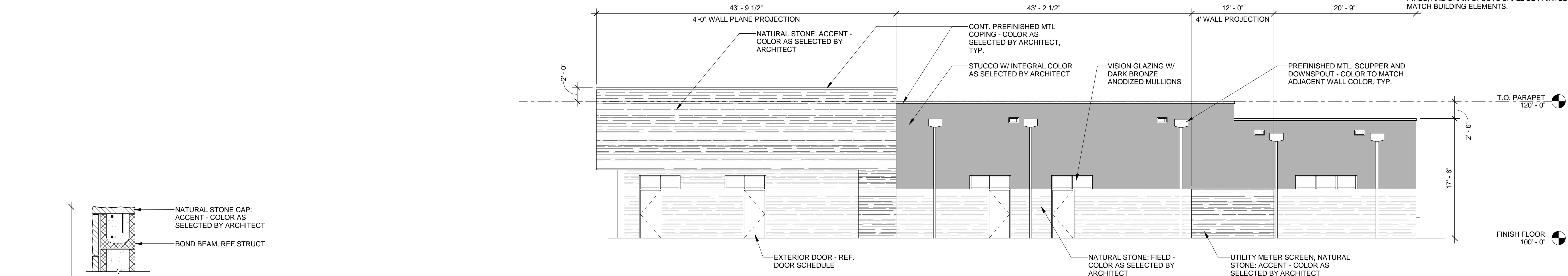
EXHIBIT E.3 -
EXTERIOR
ELEVATIONS -
BUILDING C

A203

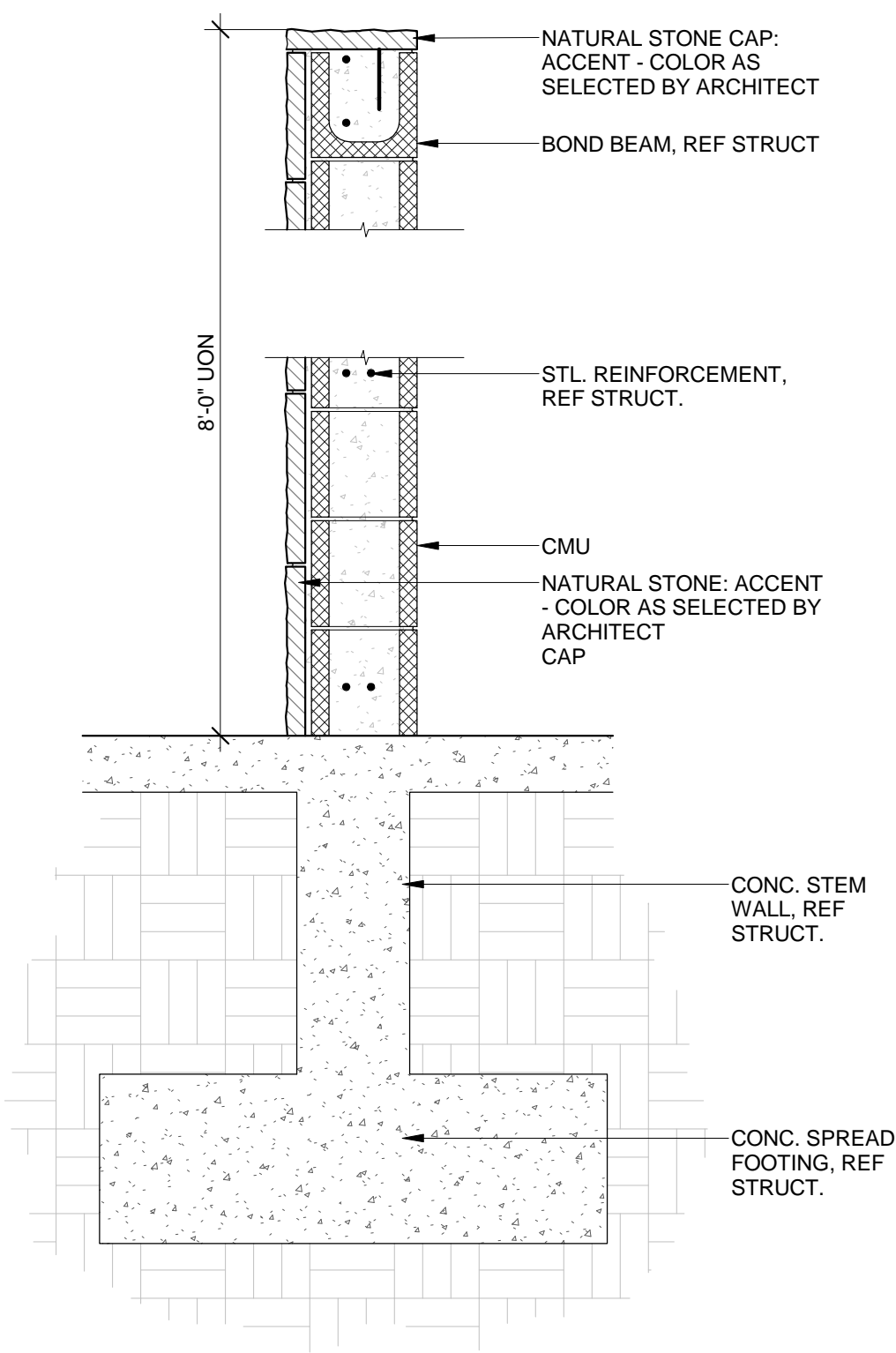
- GENERAL NOTES
- A. ALL NEW UTILITIES SHALL BE PLACED UNDERGROUND.
 - B. BUILDINGS SHALL BE COMPRISED OF 70% MINIMUM MASONRY. ALL FOUR ELEVATIONS SHALL BE CONSTRUCTED OF SIMILAR MATERIALS AND DETAILING.
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 - E. EXPOSED CONDUIT, LADDERS, UTILITY BOXES, STACK PIPES, AND DRAIN SPOUTS SHALL BE PAINTED TO MATCH BUILDING ELEMENTS.

MATERIAL CALCULATIONS				
BUILDING	MASONRY SF	%	MASONRY-LIKE / OTHER SF	%
BUILDING B	8,227.10 SF	77.5%	2,381.86 SF	22.5%
BUILDING C	6,006.60 SF	80.2%	1,481.95 SF	19.8%
BUILDING D	5,156.67 SF	82.3%	1,108.01 SF	17.7%
TOTAL	19,390.37 SF	79.6%	4,971.82 SF	20.4%

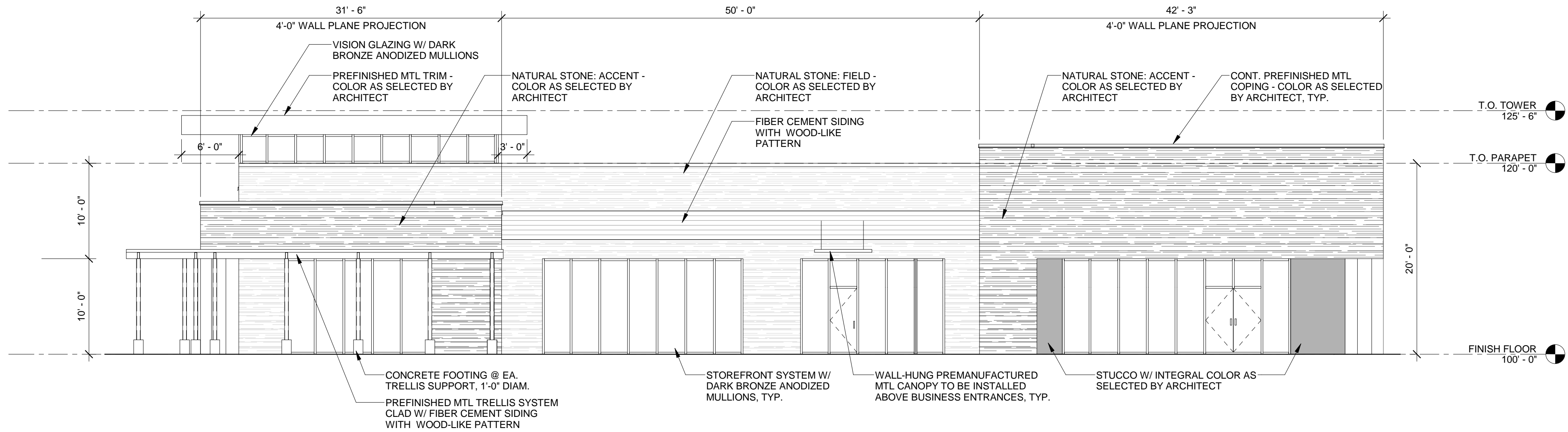
NOTE: MATERIALS ARE DEFINED ABOVE AS SPECIFIED FOR THE C-2 COMMUNITY BUSINESS DISTRICT, SECTION 2200M OF THE CITY OF MANSFIELD ZONING ORDINANCE.



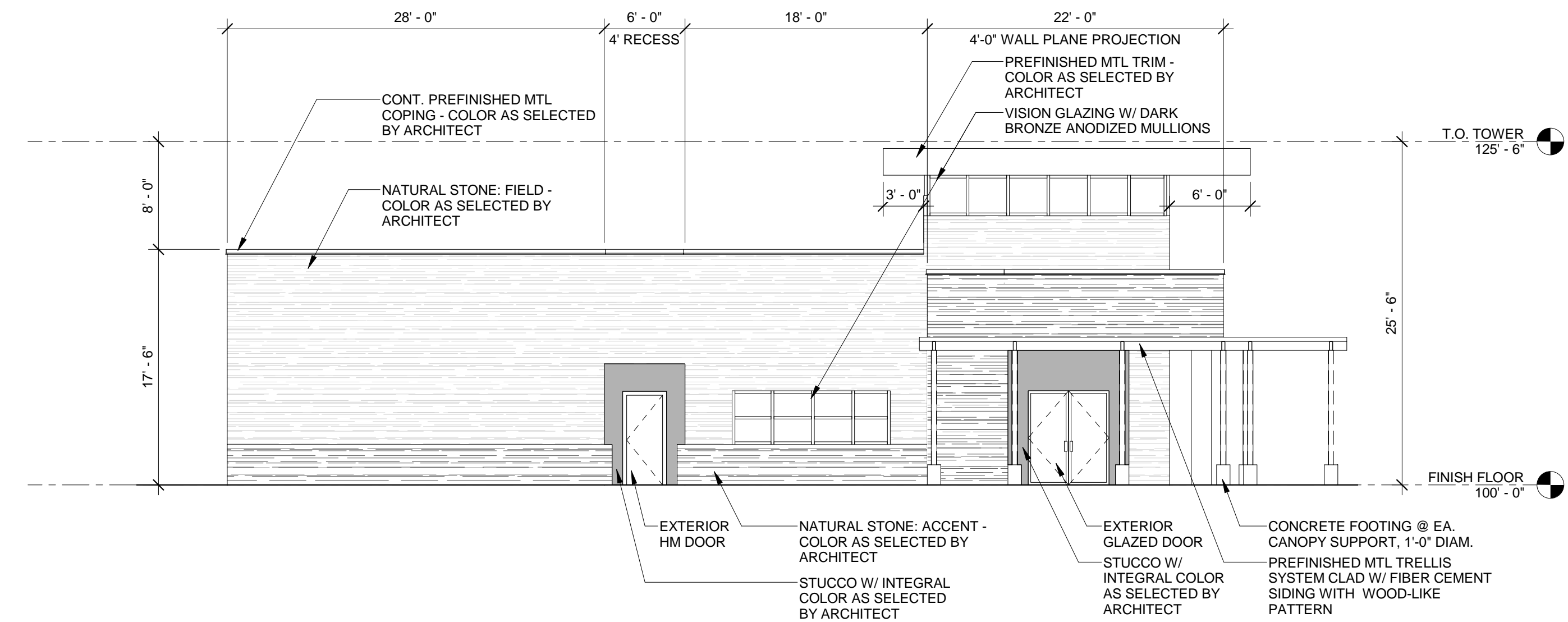
4 ELEVATION - RETAIL D - WEST
1/8" = 1'-0"



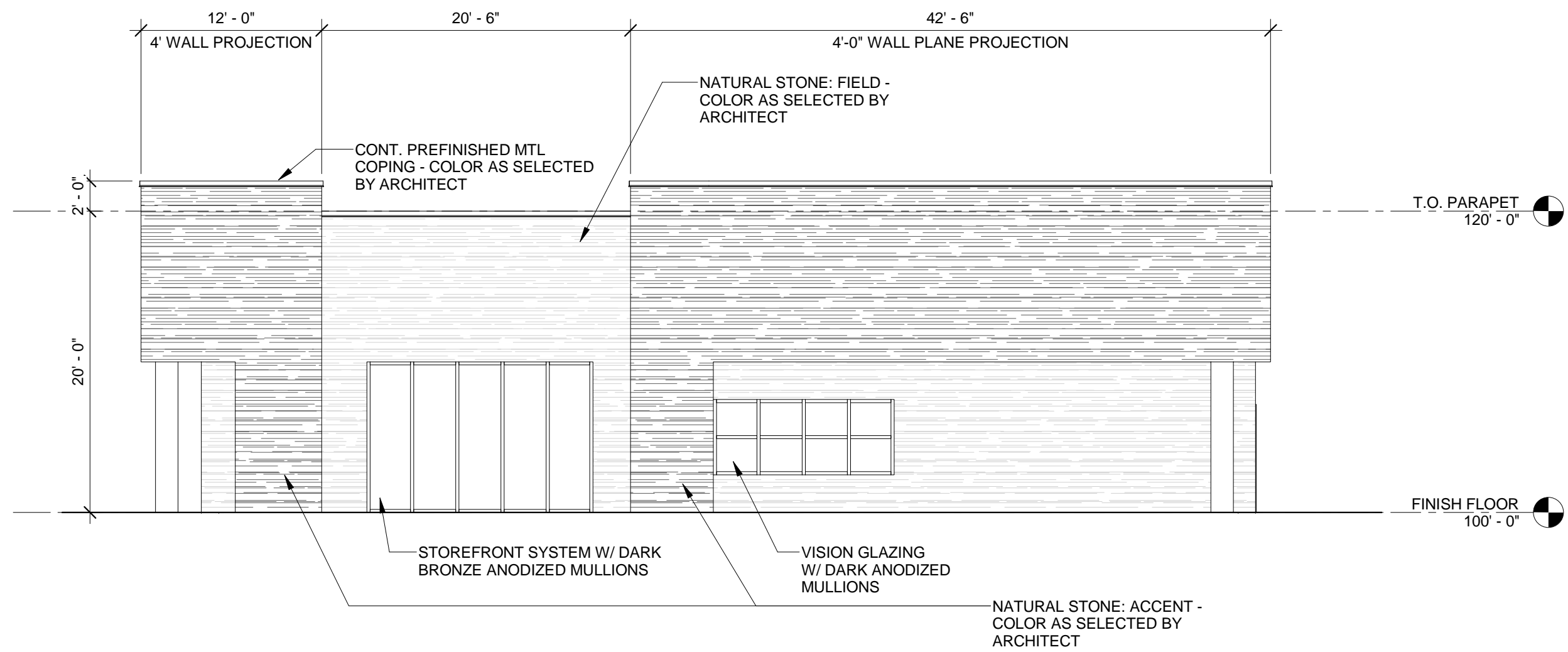
5 SECTION - SCREEN WALL
1" = 1'-0"



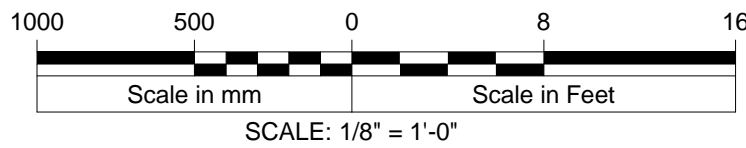
3 ELEVATION - RETAIL D - EAST
1/8" = 1'-0"



2 ELEVATION - RETAIL D - SOUTH
1/8" = 1'-0"



1 ELEVATION - RETAIL D - NORTH
1/8" = 1'-0"



NOT FOR CONSTRUCTION - PRELIMINARY DESIGN

ZC#16-023
LEON CAPITAL GROUP
BROAD STREET MARKETPLACE

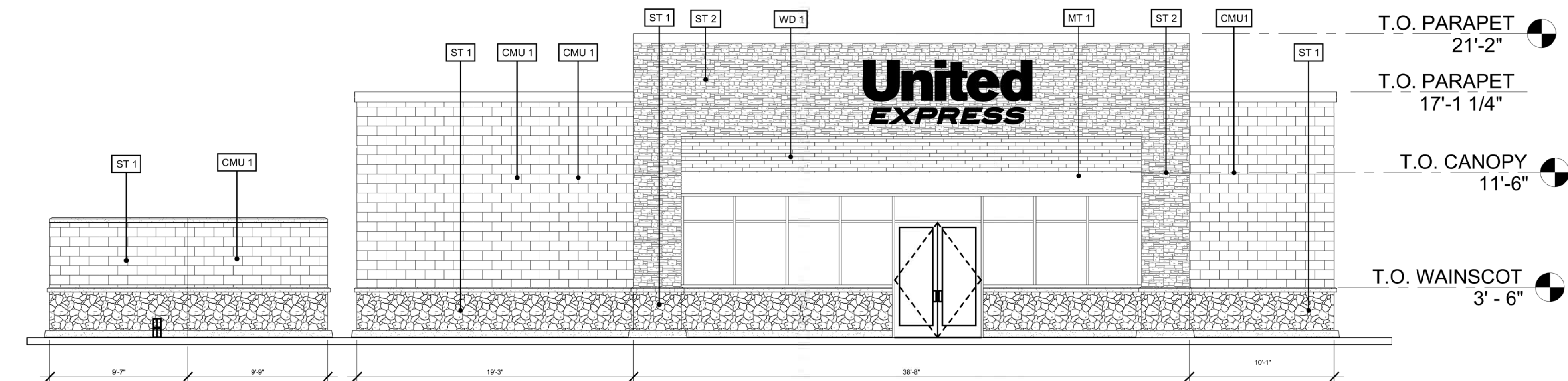
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DETAILED SITE PLAN
APPLICATION - NOT
FOR CONSTRUCTION

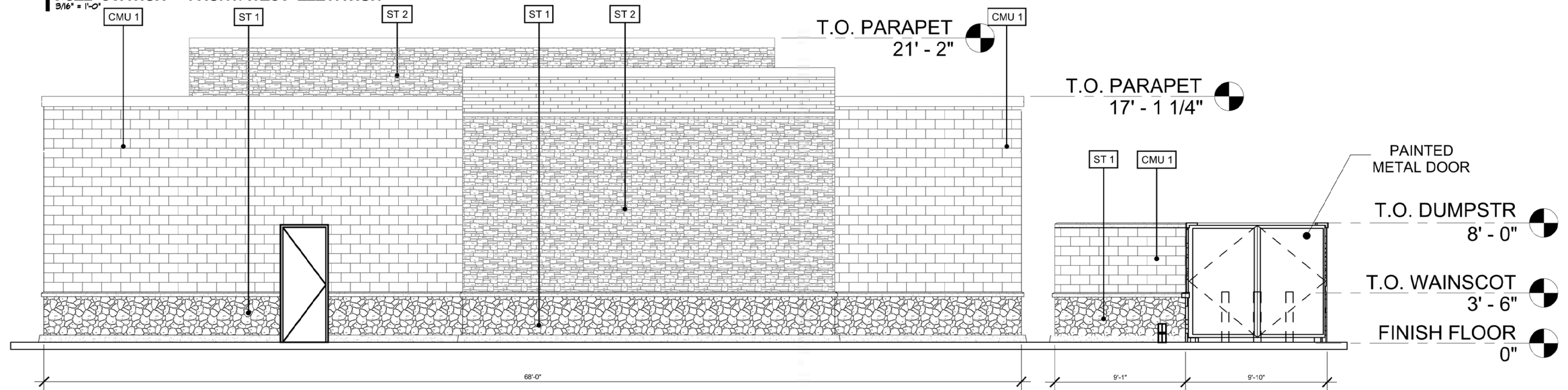
12.20.2016
DRAWN BY | BO
CHECKED BY | CT
REVISIONS

EXHIBIT E.4 -
EXTERIOR
ELEVATIONS -
BUILDING D

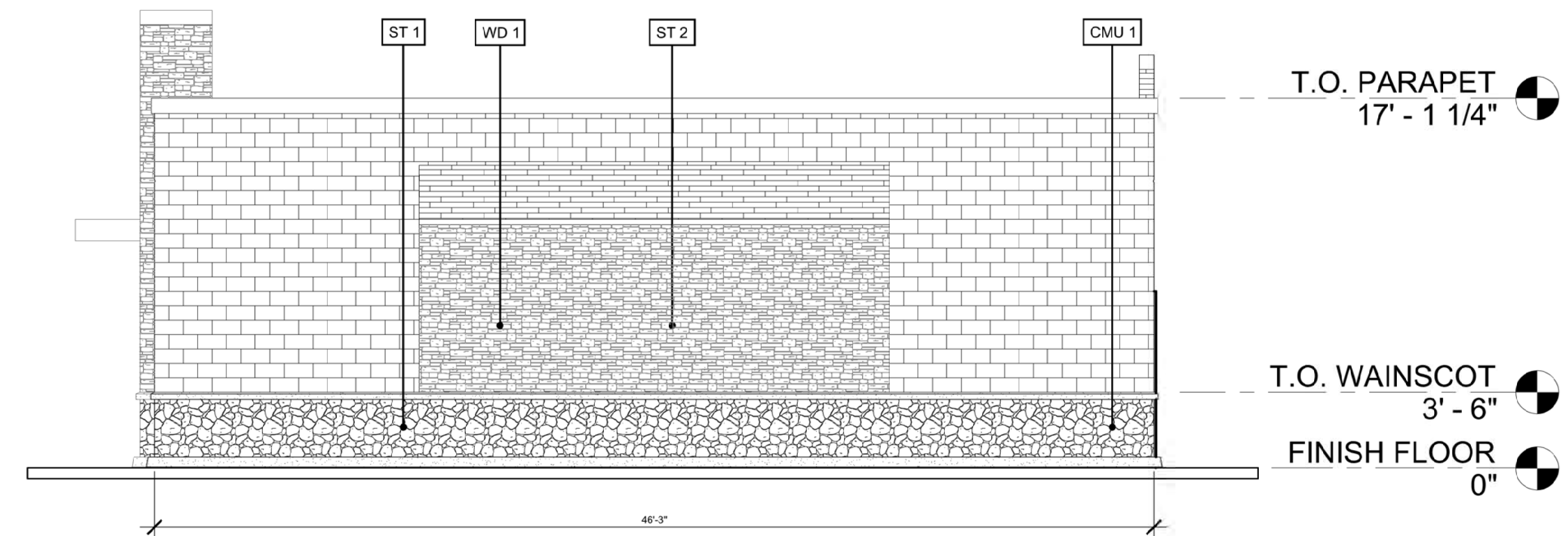
A204



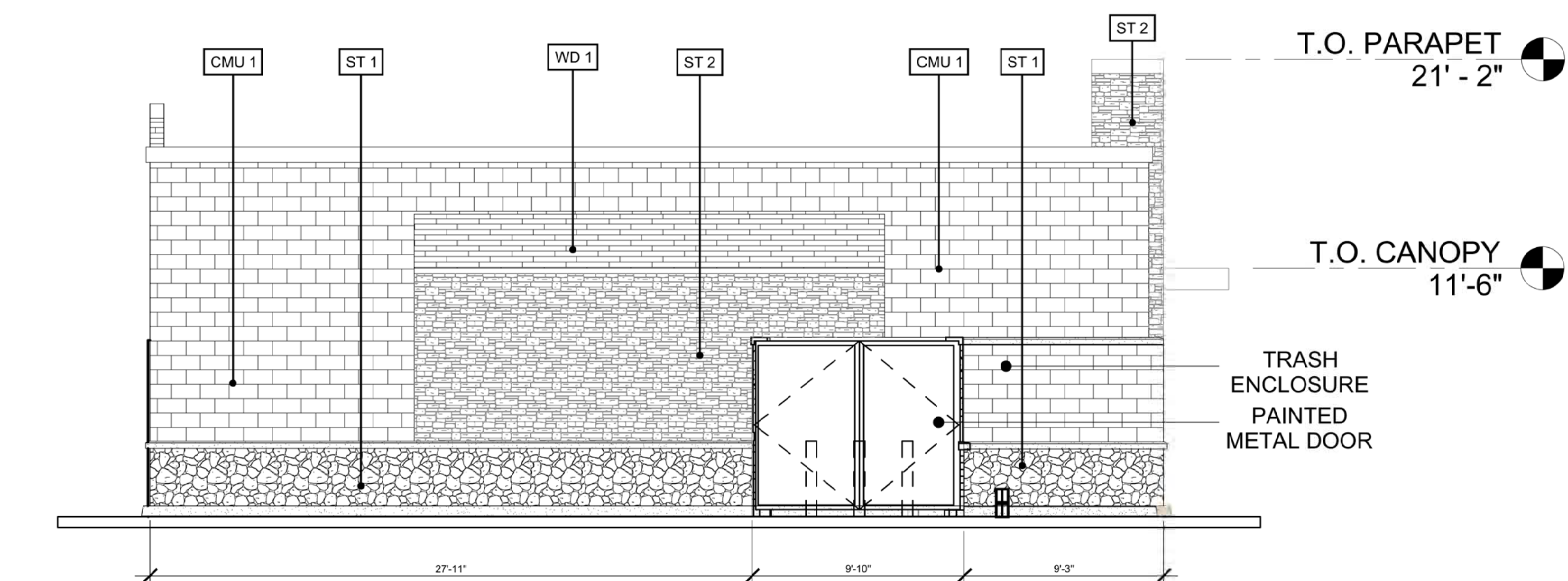
1 FUEL STATION - FRONT/WEST ELEVATION
3/16" = 1'-0"



2 FUEL STATION - REAR/EAST ELEVATION
3/16" = 1'-0"



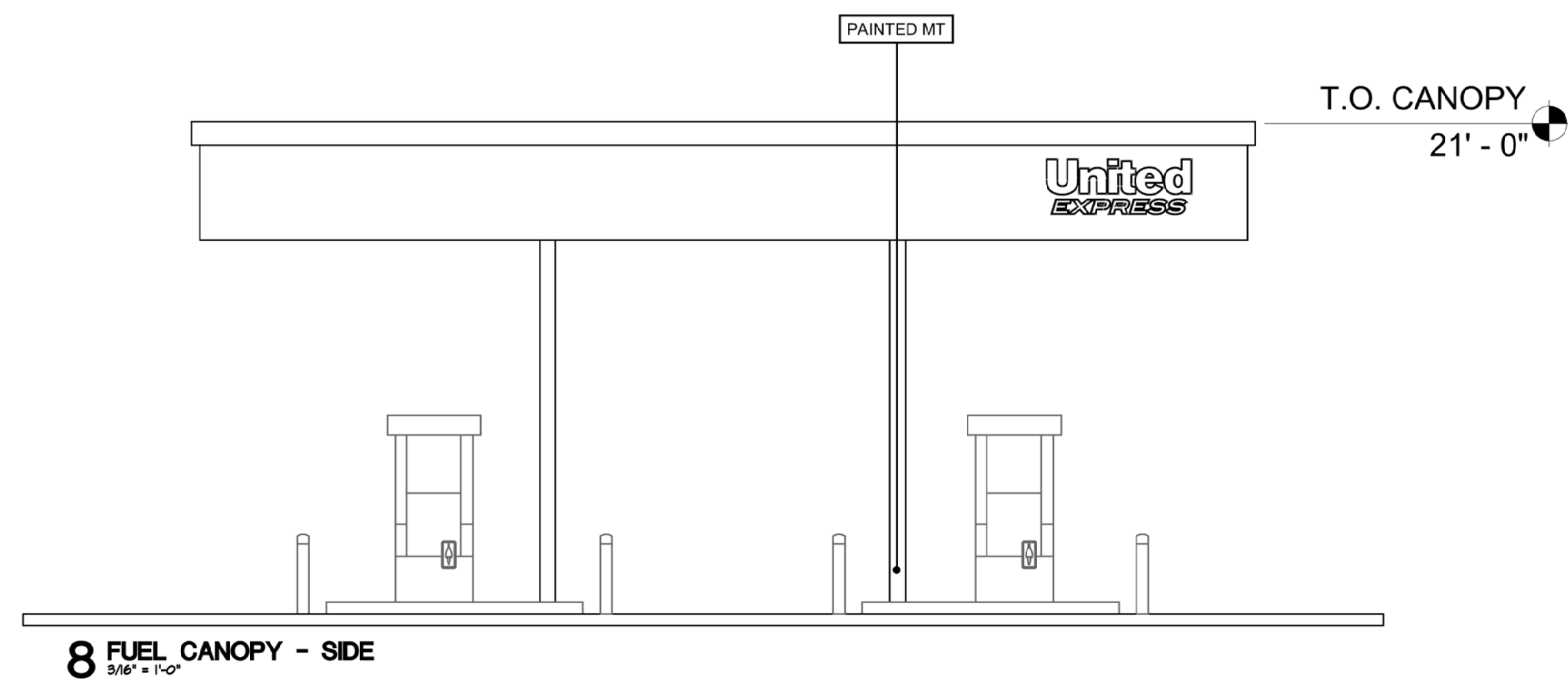
3 FUEL STATION - RIGHT/SOUTH ELEVATION
3/16" = 1'-0"



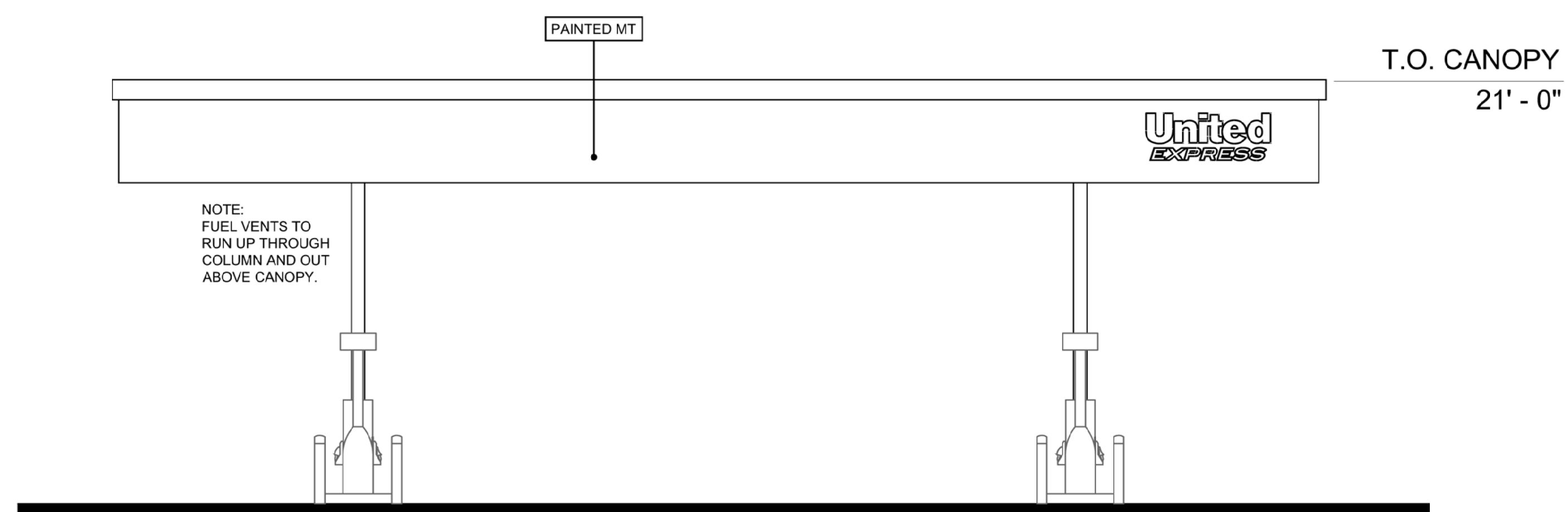
4 FUEL STATION - LEFT/NORTH ELEVATION
3/16" = 1'-0"

MATERIAL COVERAGE CALCULATIONS									
		FUEL STATION							
		FRONT/WEST		REAR/EAST		LEFT/NORTH		RIGHT/SOUTH	
		SQ FT	%	SQ FT	%	SQ FT	%	SQ FT	%
METAL	MT 1	94	7.3	102	7.8	33	4.3	33	4.3
SPLIT FACE BLOCK	CMU1	378	29	527	40	368	47.9	368	47.9
NATURAL STONE	ST 1	185	15	194	15.0	139	18.0	139	18.0
NATURAL STONE	ST 2	319	25	411	32	169	22.0	169	22.0
COMPOSITE WOOD	WD 1	80	6	71	5	60	7.8	60	7.8
GLASS		230	18.0000	0	0.0	0	-0.1	0	0.0
	TOTAL	1286	100	1305	100	769	100	769	100
		TOTAL MASONRY: 3,647sf / 3,976sf = 91.7% TOTAL EIFS: 329sf / 3,976sf = 8.3%							

Issue Dates:	
	DETAILED SITE PLAN APP. 11.21.16



8 FUEL CANOPY - SIDE
3/16" = 1'-0"



9 FUEL CANOPY - AISLE
3/16" = 1'-0"

Heights Venture
ARCHITECTURE • DESIGN
HOUSTON: 1111 North Loop West, Suite 800
Houston, Texas 77008
713 669 1103 V
DALLAS: 5717 Legacy Drive, Suite 240
Piano, Texas 75024
972 490 7292 V

Robert R. Holton, AIA
TX Registration #14938
Not for Regulatory Approval,
Permit, or Construction.

**BROAD STREET
MARKETPLACE
ZC #16-023**

MANSFIELD

Project Number:
16126-001
Date Plotted:
NOVEMBER 21, 2016
Drawn By:
FL
Checked By:
FL
File Name:
11.21.16 MARKET STREET

A210-B
EXTERIOR ELEVATIONS

EXHIBIT S-1

Broad Street Market Place Planned Development - ZC#16-023 - Unified Sign Plan Site Entrance Signs:

There are two entrances proposed. One will be located on Broad Street and one will be located on Cannon Drive as depicted in the site plan in Attachment C. The proposed entrance signs will be multi-tenant monument signs. The multi-tenant monument signs that will not exceed 75 square feet or 11 feet high by 7 feet wide.

The multi-tenant monument signs will include the following
Lot 1 - buildings / tenants:

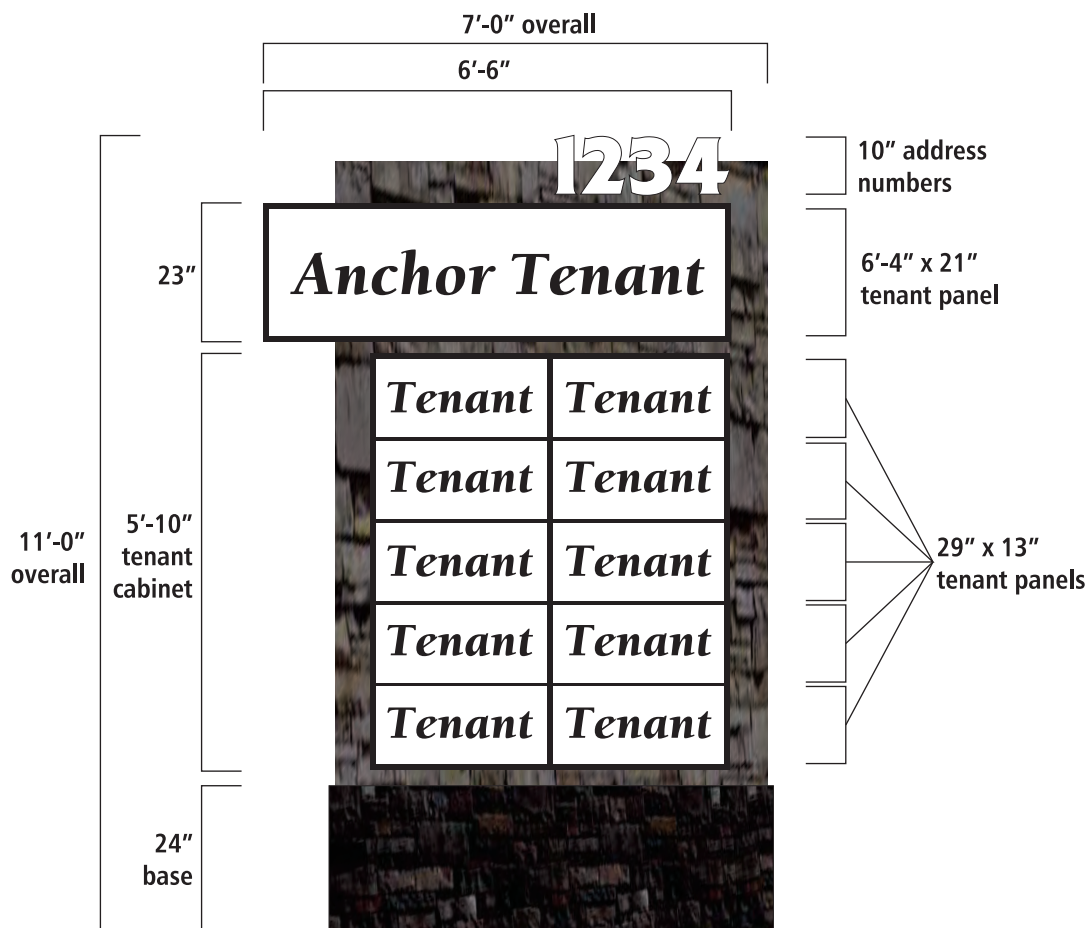
Retail A (Grocery Store): 80,775 SF

Retail B: 18,492 SF

Retail C: 10,250 SF

Retail D: 8,100 SF

- Materials to match building.
- 11'-0" maximum height
- 7'-0" maximum width
- 50 square feet maximum "advertised" area.
(Variance has been applied for to increase to 75 square feet)
- 24" high required base.



SCALE 3/8" = 1'

Individual Lot (2, 3, 4, 5 & 6) Tenant Signs:

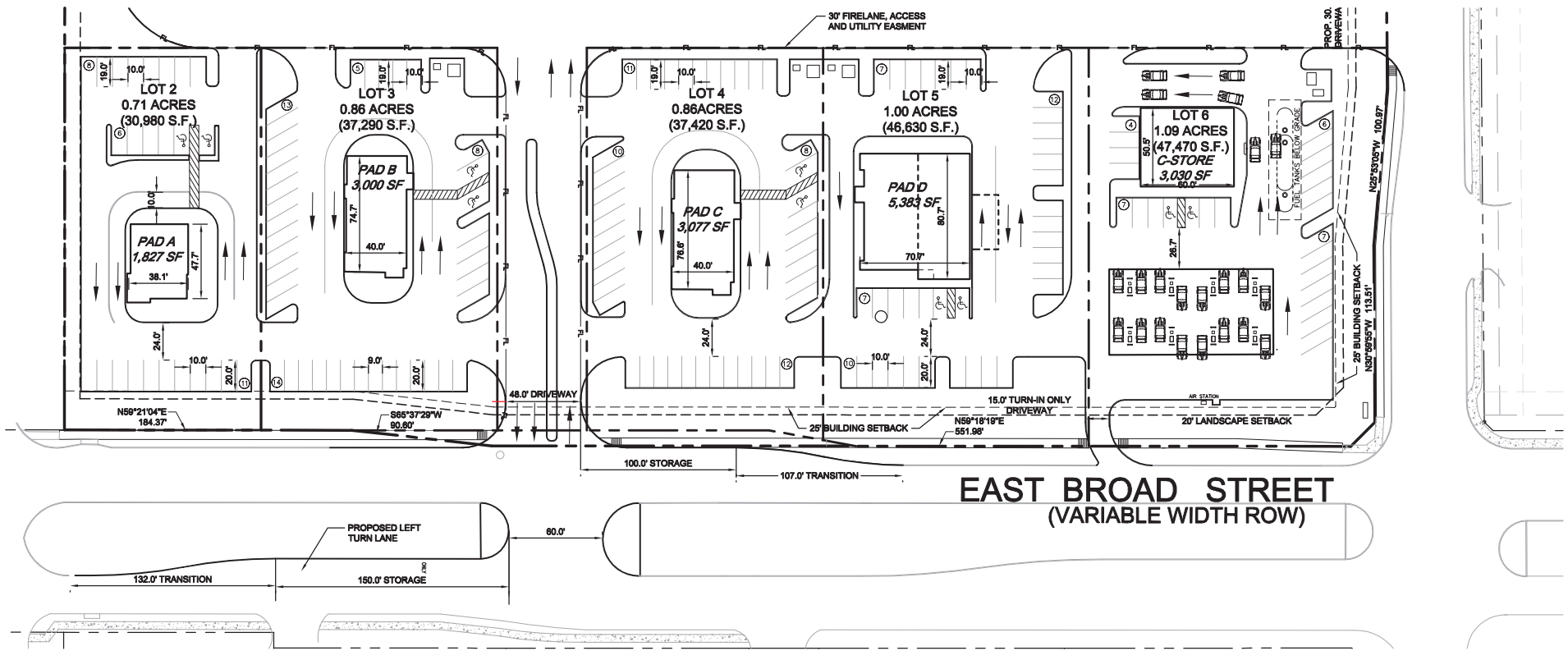
Monument sign

- Materials to match building.
- 10'-0" maximum height and/or width.
- 50 square feet maximum "advertised" area.
- 24" high required base.



Wall Sign / Channel Letters

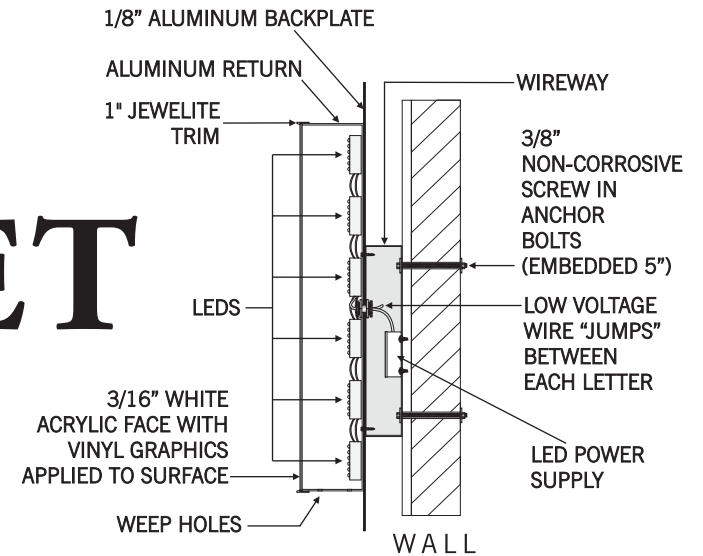
- Each individual pad tenant is allowed 75% of their linear space per elevation for wall signs.



LOT 1 - RETAIL A:

Sample Channel Letters:

MARKET STREET

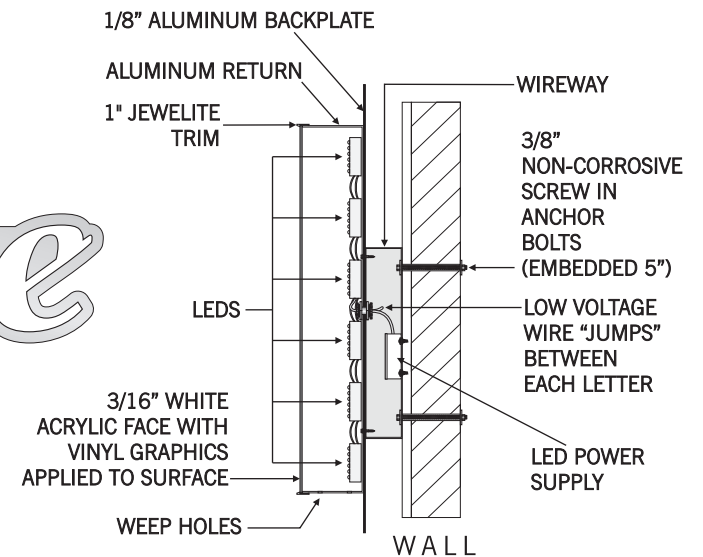


- Tenant is a corner space therefore eligible for signs on (2) two walls.
- Each individual tenant is allowed 75% of their space linear frontage for wall sign.

LOT 1 - RETAIL B:

Sample Channel Letters:

Tenant Space

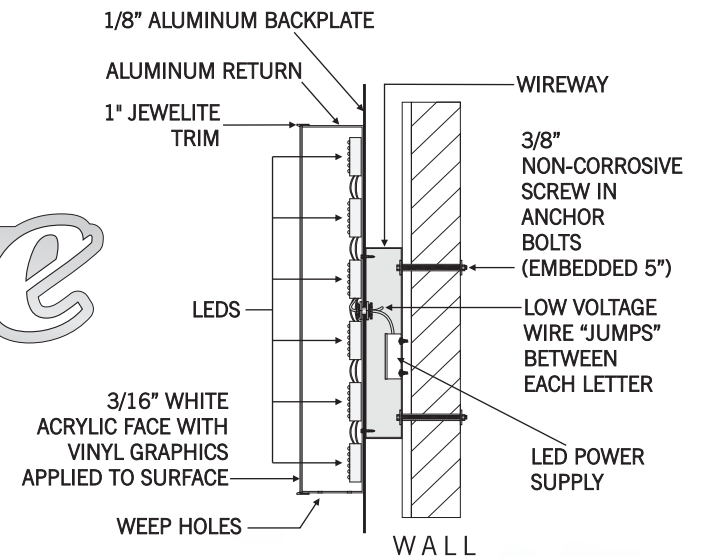


- Each individual tenant is allowed 75% of their space linear frontage for wall sign. Corner tenants are eligible for signs on (2) two walls.

LOT 1 - RETAIL C:

Sample Channel Letters:

Tenant Space

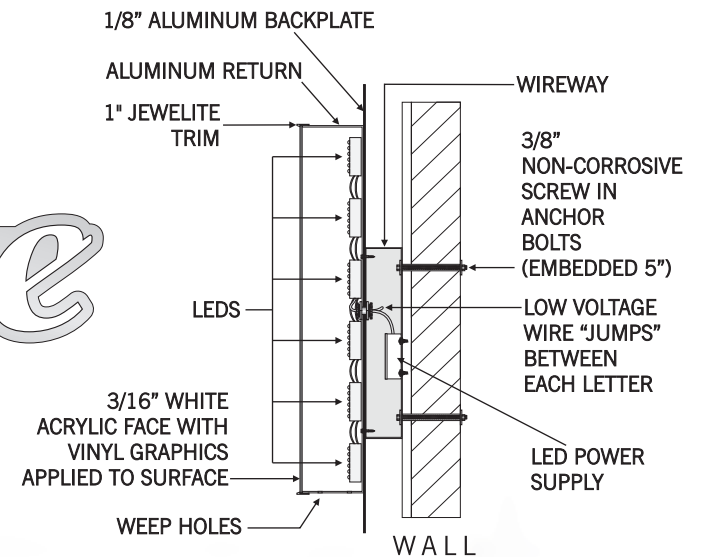


- Each individual tenant is allowed 75% of their space linear frontage for wall sign. Corner tenants are eligible for signs on (2) two walls.

LOT 1 - RETAIL D:

Sample Channel Letters:

Tenant Space



- Each individual tenant is allowed 75% of their space linear frontage for wall sign. Corner tenants are eligible for signs on (2) two walls.



BROAD STREET MARKETPLACE | RENDERING FROM BROAD STREET & CANNON DRIVE | EXHIBIT F.1

12.27.2016





BROAD STREET MARKETPLACE | RENDERING OF PROPERTY EDGE FROM BROAD STREET | EXHIBIT F.3

12.27.2016







BROAD STREET MARKETPLACE | RENDERING OF COURTYARD BETWEEN BUILDINGS B & C | EXHIBIT F.6

12.27.2016





BROAD STREET MARKETPLACE | RENDERING FROM CANNON DRIVE | EXHIBIT F.8

12.27.2016





PLANNING AND ZONING COMMUNICATION

Agenda: 17 January 2017

Subject: ZC#16-027: Public hearing for zoning change from PR to C-2 for general retail & office uses by Reilly Brothers Property on approximately 1.43 acres, generally located east of Matlock Rd and approx. 1,181 feet south of the intersection of Matlock Rd and E Debbie Ln

GENERAL INFORMATION

Applicant:	Mary J Holland - Property Owner Reilly Brothers Property - Developer
Size:	1.43 acres
Proposed Use:	C-2 for general retail and office
Existing Land Use:	Vacant
Surrounding Land Use & Zoning:	North - Vacant; PR (Pending PD Zone Change for S-F Residential) South - Single-Family Residential; SF-7.5/18 East - Vacant; PR (Pending PD Zone Change for S-F Residential) West - SF-7.5/16; Single-Family Residential
Thoroughfare Plan Specification:	Matlock Rd – Principal Arterial

COMMENTS AND CONSIDERATIONS

The applicant is requesting a zone change on 1.43 acres from PR to C-2. Currently before City Council, the land to the north and east is being considered for a PD zone change for single-family residential. Final reading is scheduled for 23 January 2017.

Staff recommends PD zoning instead of the requested C-2, as a PD will ensure site design and limited uses. Although there are Community Design Standards in place with C-2, there is nothing to require the building has a residential architectural appearance, which would help with the transition to a commercial use from the surrounding residential.

Attachments:

Maps and Supporting Information



This information is for illustrative purposes only. Not for design or development purposes. Site-specific studies may be required to obtain accurate feature locations. Every effort is made to ensure the information displayed here is accurate; however, the City of Mansfield makes no claims to its accuracy or completeness.

ZC# 16-027

01/04/2017



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ZC# 16-027

01/04/2017

Property Owner Notification for ZC# 16-027

LEGAL DESC 1	LEGAL DESC 2	OWNER NAME	OWNER ADDRESS	CITY	ZIP
COUNTRY HILL PARK ADDITION	BLK B	WILLIAMS, RONNIE J	1721 OXFORD DR	MANSFIELD, TX	76063-3372
GRIMSLEY, JAMES SURVEY	A 578	HOLLAND, JAS FRANKLIN	2804 MATLOCK RD	MANSFIELD, TX	76063-5003
WALNUT CREEK VALLEY ADDITION	BLK 46	TARBERT LLC	8665 E HARTFORD DR SUITE 200	SCOTTSDALE, AZ	85255
WALNUT CREEK VALLEY ADDITION	BLK 46	HELMICK, JOHNNY L	1651 CHURCHILL LN	MANSFIELD, TX	76063-7907
WALNUT CREEK VALLEY ADDITION	BLK 46	SCOTT, CLARENCE L	1653 CHURCHILL LN	MANSFIELD, TX	76063-7907
WALNUT CREEK VALLEY ADDITION	BLK 46	AMERICAN HOMES 4 RENT PROPERTI	30601 AGOURA RD SUITE 200	AGOURA HILLS, CA	91301
WALNUT CREEK VALLEY ADDITION	BLK 46	ADELEKE, KOLA	1657 CHURCHILL LN	MANSFIELD, TX	76063-7907
WALNUT CREEK VALLEY ADDITION	BLK 49	PAUL, SHINDER	1718 BRITTANY LN	MANSFIELD, TX	76063-7902
WALNUT CREEK VALLEY ADDITION	BLK 49	GEIGER, REBECCA	1716 BRITTANY LN	MANSFIELD, TX	76063
WALNUT HILLS ADDITION	BLK 1	TARBERT LLC	8665 E HARTFORD DR STE 200	SCOTTSDALE, AZ	85255
WALNUT HILLS ADDITION	BLK 1	YATES, HUBERT	1807 WALNUT HILLS LN	MANSFIELD, TX	76063-5029
WALNUT HILLS ADDITION	BLK 1	POST, LADONNA K	1805 WALNUT HILLS LN	MANSFIELD, TX	76063-5029
WALNUT HILLS ADDITION	BLK 1	REDFIELD, GARY L	1803 WALNUT HILLS LN	MANSFIELD, TX	76063-5029
WALNUT HILLS ADDITION	BLK 1	LINO, SOANE F	1801 WALNUT HILLS LN	MANSFIELD, TX	76063-5029
WALNUT HILLS ADDITION	BLK 2	ALIGWEKWE, MATTHEW	2619 RIDGEOAK TR	MANSFIELD, TX	76063-5035
WALNUT HILLS ADDITION	BLK 2	MAKINDE, FUMMILAYO	1917 SANTA ANNA DR	ARLINGTON, TX	76001-5612
WALNUT HILLS ADDITION	BLK 2	RAMIREZ, JOSE O	1804 WALNUT HILLS LN	MANSFIELD, TX	76063-5028
WALNUT HILLS ADDITION	BLK 2	BROWN, JOY E	1802 WALNUT HILLS LN	MANSFIELD, TX	76063-5028
WALNUT HILLS ADDITION	BLK 2	BALDWIN, CARL G	1800 WALNUT HILLS LN	MANSFIELD, TX	76063

Property Owner Notification for ZC# 16-027

LEGAL DESC 1	LEGAL DESC 2	OWNER NAME	OWNER ADDRESS	CITY	ZIP
WALNUT HILLS ADDITION	BLK 4	SMITH, DENNIS	1901 WALNUT HILLS	ARLINGTON, TX	76063

Summary of City Council Actions

December 12, 2016

Public Hearing Continuation and Second Reading of an Ordinance for a zoning change from PR to SF-7.5/18, SF-9.6/20 and SF-12/22 on approximately 187.65 acres generally located west of Gertie Barrett Road and the end of Cancun Drive, north of Country Meadow Drive and Chimney Hill Circle; Alluvium Development (ZC#16-001)

Tabled

Third and Final Reading on an Ordinance approving a zoning change from PR, Pre-Development District to C-2, Community Business District on approximately 30 acres, generally located at the southeast corner of East Debbie Lane and N. Matlock Road; Reilly Brothers (ZC#16-015)

Approved 7 – 0

Public Hearing Continuation and Third and Final Reading on an Ordinance approving a Historic Landmark Overlay District for the property located at 114 N. Main Street; City Staff (ZC#16-020)

Approved 7 – 0

Third and Final Reading on an Ordinance approving a Specific Use Permit for retail and service establishments not elsewhere listed (Brewery) in the existing building at 117 N. Main Street; Dirty Job Brewing (ZC#16-019)

Approved 7 – 0

Public Hearing Continuation and Second Reading on an Ordinance approving a zoning change from PR, Pre-Development to Planned Development for Office/Retail uses on approximately 3.95 acres located at 1209 N. Day Miar Road; HCC Contracting, Inc. (ZC#16-013)

Approved 7 – 0

Public Hearing and First Reading on an Ordinance approving a zoning change from PR, Pre-Development to I-1, Light Industrial District on approximately 14.5 acres, generally located west of S. 7th Avenue and north of Hanks Drive; Mansfield Economic Development Corporation (ZC#16-021)

Approved 7 – 0

Public Hearing and First Reading on an Ordinance approving a zoning change from PR, Pre-Development to PD, Planned Development for single-family residential use on approximately 15.5 acres, generally located east of Newt Patterson Road and south of Sabine Trail, Peycos Court and Columbia Court; Bloomfield Homes (ZC#16-022)

Tabled

Public Hearing and First Reading on an Ordinance approving a zoning change from PR, Pre-Development to PD, Planned Development for single-family residential use on approximately 15.46 acres, generally located about 1,300 feet south of the southeast corner of N. Matlock Road and E. Debbie Lane; Skorburg Company (ZC#16-017)

Approved 7 – 0

Consideration of a Detailed Site Plan for an apartment development named The Julian at Southpointe on approximately 18.8 acres, generally located at the northwest corner of Lowe Road and Harmon Road; Mansfield Multifamily Land, LLC (DS#16-005)

Approved 7 – 0

Summary of City Council Actions

January 9, 2017

Third and Final Reading on an Ordinance approving a zoning change from PR, Pre-Development to Planned Development for Office/Retail uses on approximately 3.95 acres located at 1209 N. Day Miar Road; HCC Contracting, Inc. (ZC#16-013)

Approved 7 – 0

Public Hearing Continuation and Second Reading on an Ordinance approving a zoning change from PR, Pre-Development to I-1, Light Industrial District on approximately 14.5 acres, generally located west of S. 7th Avenue and north of Hanks Drive; Mansfield Economic Development Corporation (ZC#16-021)

Approved 7 – 0

Public Hearing Continuation and Second Reading on an Ordinance approving a zoning change from PR, Pre-Development to PD, Planned Development for single-family residential use on approximately 15.46 acres, generally located about 1,300 feet south of the southeast corner of N. Matlock Road and E. Debbie Lane; Skorburg Company (ZC#16-017)

Approved 6 – 1 (Newsom)

Public Hearing and Consideration of a request for an alternate location for a roof-mounted Solar Panel System under Section 7800.B.37 of the Zoning Ordinance to allow solar panels on the front roof slope of the house facing a public street at 405 Forestridge Drive; Steve Owusu-Ansah (SP#17-001)

Denied 3 – 4 (Burgess, Cook, Hoffman and Newsom)

Public Hearing and First Reading on an Ordinance approving a zoning change from PR, Pre-Development to PD, Planned Development for office, retail and service uses on approximately 3.296 acres generally located south of Mansfield-Webb Road and approximately 470 feet west of the city limits; Mansfield-Webb, LLC (ZC#16-016)

Approved 6 – 1 (Cook)

Public Hearing Continuation and Second Reading of an Ordinance for a zoning change from PR to SF-7.5/18, SF-9.6/20 and SF-12/22 on approximately 187.65 acres generally located west of Gertie Barrett Road and the end of Cancun Drive, north of Country Meadow Drive and Chimney Hill Circle; Alluvium Development (ZC#16-001)

Remains Tabled

Public Hearing and First Reading on an Ordinance approving a zoning change from PR, Pre-Development to PD, Planned Development for single-family residential use on approximately 15.5 acres, generally located east of Newt Patterson Road and south of Sabine Trail, Peycos Court and Columbia Court; Bloomfield Homes (ZC#16-022)

Remains Tabled