AGENDA

PLANNING AND ZONING COMMISSION
CITY OF MANSFIELD, TEXAS
CITY HALL COUNCIL CHAMBERS
MONDAY, JUNE 5, 2017, 6:30 PM

1. **CALL TO ORDER**

2. **APPROVAL OF LAST MEETING MINUTES**

3. **CITIZEN COMMENTS:** Citizens wishing to address the Commission on non-public hearing agenda items and items not on the agenda may do so at this time. Once the business portion of the meeting begins, only comments related to public hearings will be heard. All comments are limited to 5 minutes. Please refrain from "personal criticisms"**.**

   In order to be recognized during the "Citizens Comments" **or** during a public hearing (applicants included), please complete a yellow "Appearance Card" located at the entry to the Chambers and present it to the Planning Secretary.

4. **CONSENT AGENDA:** All matters listed under the consent agenda are considered routine. If discussion is desired, then an item will be removed from the consent agenda and considered separately.

   A. SD#17-005: Final Plat of Manchester Heights Ph. 2

   B. SD#17-024: Final Plat of Lots 1-7, Block 1, Broad Street Marketplace

   C. SD#17-025: Final Plat of Lot 1, Block 1, Vistas of Walnut Ridge

END OF CONSENT AGENDA

5. **PUBLIC HEARINGS:**

   A. ZC#17-005: Public hearing for zoning change from PD, Planned Development District to PD, Planned Development District for Single-Family Residential Attached Townhomes on approximately 16.13 acres out of the TJ Hanks Survey, Abst #644, Tarrant County, TX, generally located east of S Main Street and Airport Drive

   B. ZC#17-007: Public hearing for zoning change from PD, Planned Development District to PD, Planned Development District for Retail on approximately 5.307 acres out of the James Grimsley Survey, Abst #578 Tarrant County, TX, generally located south of E. Debbie Lane and approximately 1,300 feet east of Matlock Road

6. **COMMISSION ANNOUNCEMENTS**

7. **STAFF ANNOUNCEMENTS**

8. **ADJOURNMENT OF MEETING**

9. **NEXT MEETING DATE: June 19, 2017**

I certify that the above agenda was posted on the bulletin board next to the main entrance of City Hall on **Thursday, June 1, 2017**, in accordance with Chapter 551 of the Texas Government Code.

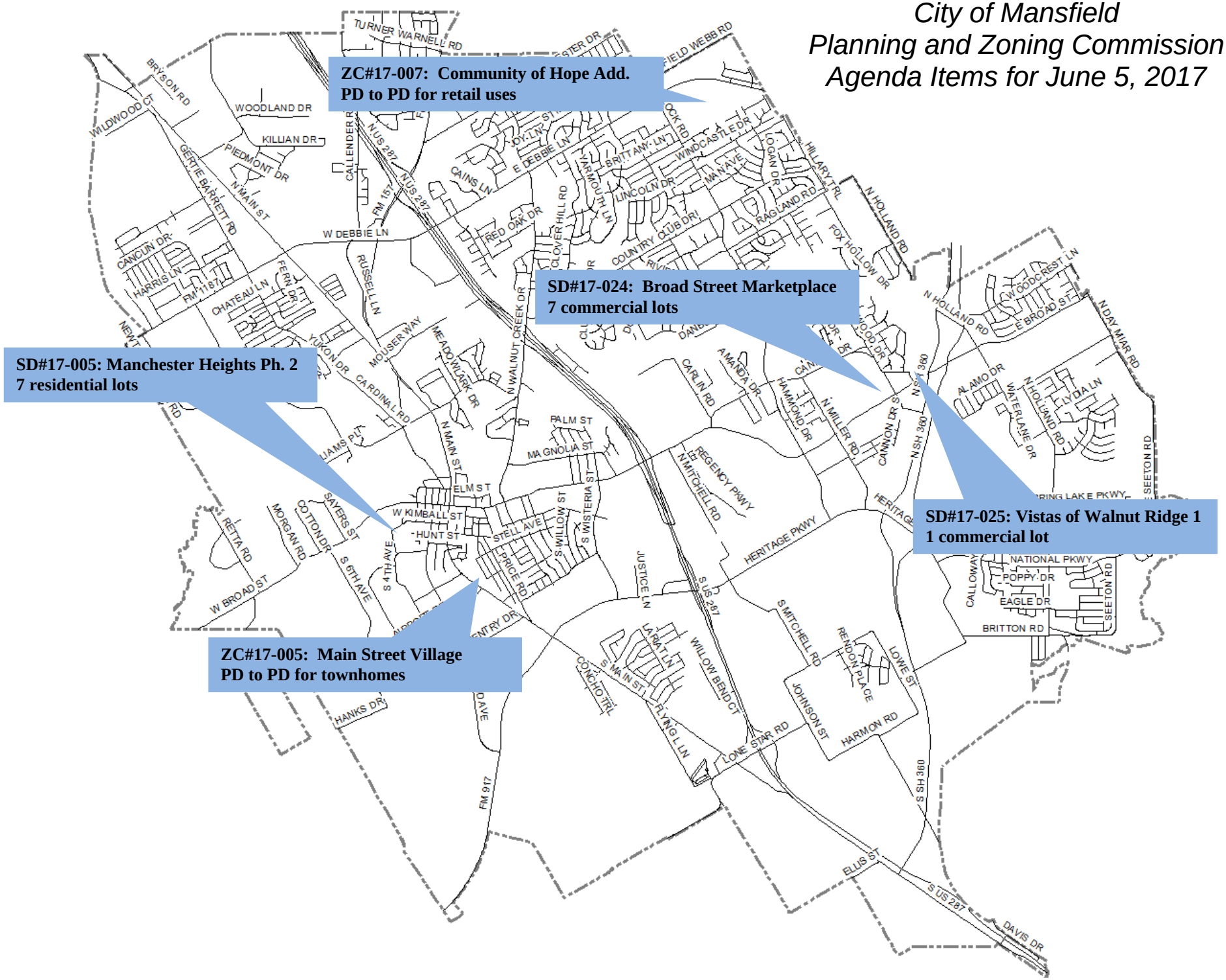
_____

Delia Jones, Planning and Zoning Secretary

- This building is wheelchair accessible. Disabled parking spaces are available. Request for sign interpreter services must be made 48 hours ahead of meeting to make arrangements. Call 817 473-0211 or TDD 1-800-RELAY TX, 1-800-735-2989.

- In deciding a zoning change application, the Planning & Zoning Commission and City Council are required to determine the highest and best use of the property in question. The Commission may recommend and the Council may approve a change in zoning to the category or district requested by the applicant or to any zoning category or district of lesser intensity. Notice is presumed sufficient for every District up to the intensity set forth in the zoning change application.

City of Mansfield
Planning and Zoning Commission
Agenda Items for June 5, 2017



PLANNING & ZONING COMMISSION MEETING
CITY OF MANSFIELD

May 15, 2017

Chairman Wilshire called the meeting to order at 6:30 p.m. in the Council Chambers of City Hall, 1200 East Broad Street, with the meeting being open to the public and notice of said meeting, giving date, place, and subject thereof, having been posted as prescribed by Chapter 551, Texas Government Code.

Present:		
	Wayne Wilshire	Chairman
	Cory Smithee	Vice-Chairman
	Mel Neuman	Commissioner
	Kent Knight	Commissioner
	Gary Mills	Commissioner
	Preston Horn	Commissioner
Absent:		
	Larry Hudson	Commissioner
Staff:		
	Lisa Sudbury	Assistant Director of Planning
	Art Wright	Planner
	Delia Jones	P&Z Secretary
	Clay Cawood	Fire Marshal

Call to Order

Chairman Wilshire called the meeting to order at 6:30 p.m.

Minutes

Chairman Wilshire called for approval of the May 1, 2017, minutes. Commissioner Neuman made a motion to approve the minutes as presented. Vice-Chairman seconded the motion, which carried by the following vote:

Ayes: **3** – Wilshire, Smithee and Neuman
Nays: **0**
Abstain: **3** – Knight, Mills and Horn

Citizen Comments

None

Consent Agenda

SD#17-014: Final Plat of Lot 1, Block 1, Day Miar Addition

Kim Helfenbein, representing the applicant, was available to answer questions.

Vice-Chairman Smithee made a motion to approve the plat. Commissioner Knight seconded the motion, which carried by the following vote:

Ayes: **6 –** Wilshire, Smithee, Neuman, Knight, Mills and Horn
Nays: **0**
Abstain: **0**

SD#16-041: Public hearing on a replat to create Lot 1R and Lot 2R, Block 1, Mansfield Utility Operations

Ms. Sudbury gave a brief overview of the request and was available to answer questions,

Chairman Wilshire opened the public hearing and called for anyone wishing to speak to come forward.

Seeing no one come forward to speak, Chairman Wilshire closed the public hearing.

Commissioner Neuman made a motion to approve the replat with the requested variance to the Subdivision Control Ordinance requiring that every lot must have frontage on a public street for Lot 2R. Commissioner Knight seconded the motion, which carried by the following vote:

Ayes: 6 – Wilshire, Smithee, Neuman, Knight, Mills and Horn
Nays: 0
Abstain: 0

Commission Announcements

None

Staff Announcements

Ms. Sudbury stated that OA#17-002 Subdivision Ordinance Amendments, is still being reviewed by the City Attorney and will come to the Commission when complete.

Adjournment

Commissioner Knight made a motion to adjourn the meeting. Commissioner Horn seconded the motion which carried by the following vote:

Ayes: 6 – Wilshire, Smithee, Neuman, Knight, Mills and Horn
Nays: 0
Abstain: 0

With no further business, Chairman Wilshire adjourned the meeting at 6:35 p.m.

_____
Wayne Wilshire, Chairman

_____
Delia Jones, Planning & Zoning Secretary

PLANNING AND ZONING COMMUNICATION

Agenda: June 5, 2017

Subject: SD#17-005: Final Plat of Manchester Heights, Phase 2

GENERAL INFORMATION

Applicant:	Manchester Development, LLC, owner Prospect Surveying, surveyor MAS Consultants, engineer
Location:	715 West Kimball Street
Proposed Use:	Single-Family Residential
Size:	1.548 acres
Total Number of Lots:	7
R.O.W. Dedication:	2694 square feet for West Kimball Street
Compliance with Ordinances:	Yes

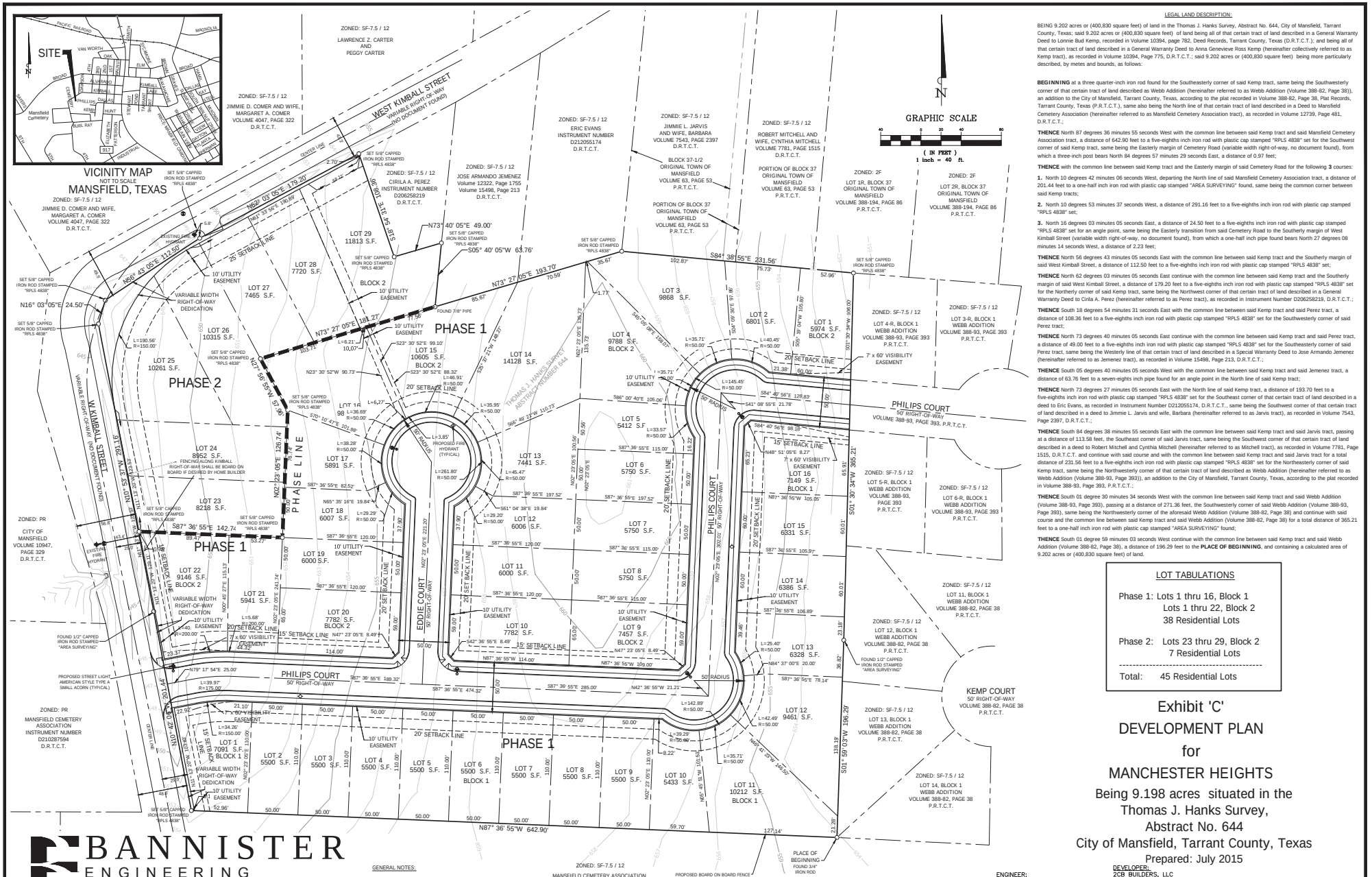
COMMENTS & CONSIDERATIONS

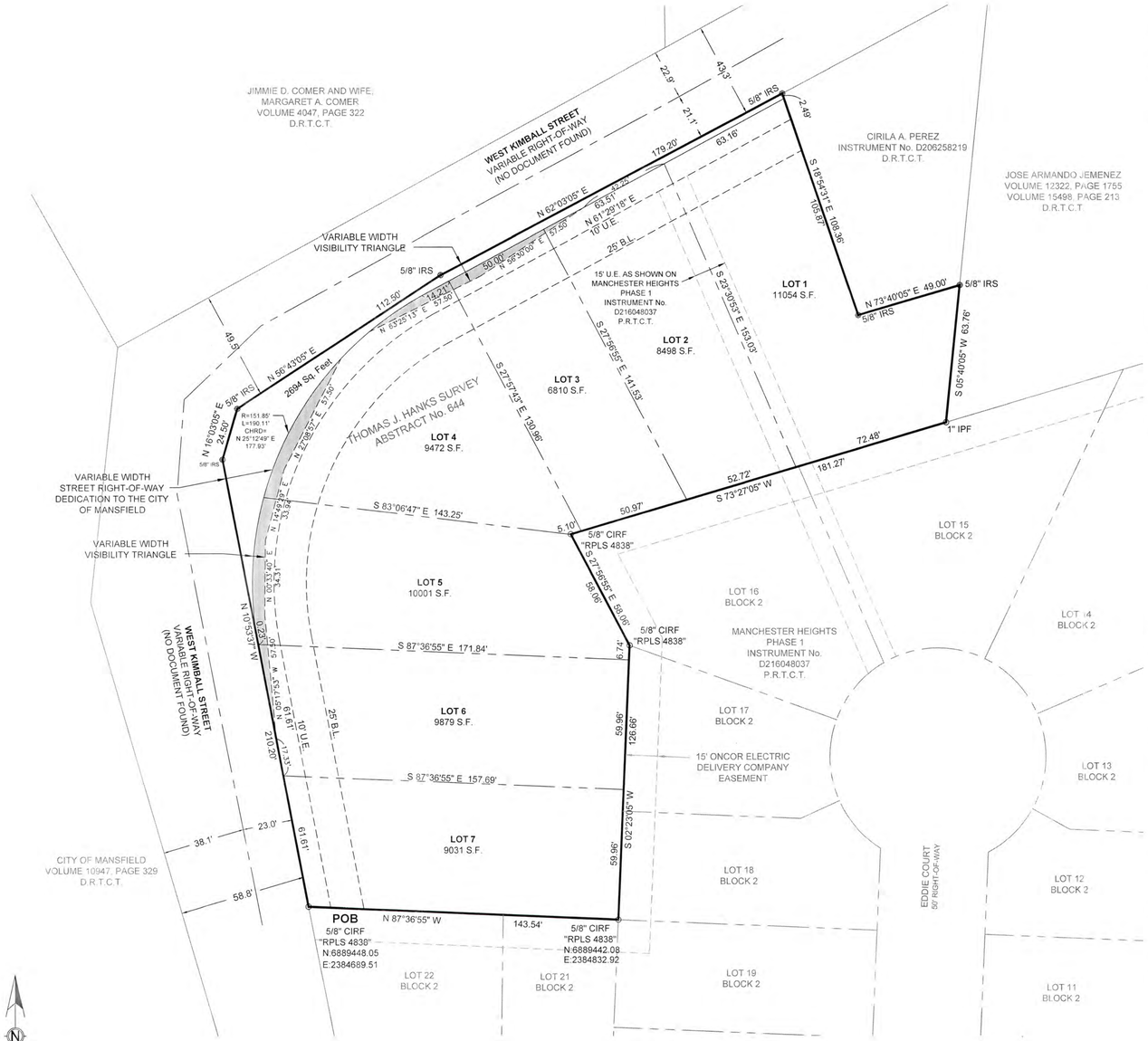
The purpose of this plat is to create 7 residential lots in Phase 2. This plat substantially conforms to the approved development plan. Some of the lot lines and easements have shifted to better accommodate home construction and utilities. All lots meet the required minimum lot area, lot width and lot depth.

Staff recommends approval.

Attachments:

Approved Development Plan


VICINITY MAP
NOT TO SCALE
MANSFIELD, TEXAS
GRAPHIC SCALE
(IN FEET)
1 inch = 40 ft.
WEST KIMBALL STREET
VARIABLE RIGHT-OF-WAY
(NO DOCUMENT FOUND)
PHASE 1
PHASE 2
PHILIPS COURT
50' RIGHT-OF-WAY
EDDIE COURT
50' RIGHT-OF-WAY
KEMP COURT
50' RIGHT-OF-WAY
VOLUME 388-82, PAGE 38
P.R.T.C.T.
PHILIPS COURT
VOLUME 388-93, PAGE 393, P.R.T.C.T.
KIMBALL STREET
VARIABLE RIGHT-OF-WAY (NO DOCUMENT FOUND)
THOMAS J. HANKS SURVEY
ABSTRACT NUMBER 644
BLOCK 2
BLOCK 1
ZONED: SF-7.5 / 12
ZONED: PR
ZONED: 2F
LOT 1 9868 S.F.
LOT 2 6801 S.F.
LOT 3 9868 S.F.
LOT 4 9788 S.F.
LOT 5 5412 S.F.
LOT 6 5750 S.F.
LOT 7 5750 S.F.
LOT 8 5750 S.F.
LOT 9 7457 S.F.
LOT 10 7782 S.F.
LOT 11 6000 S.F.
LOT 12 6006 S.F.
LOT 13 7441 S.F.
LOT 14 14128 S.F.
LOT 15 10605 S.F.
LOT 16 7149 S.F.
LOT 17 5891 S.F.
LOT 18 6007 S.F.
LOT 19 6000 S.F.
LOT 20 7782 S.F.
LOT 21 5941 S.F.
LOT 22 9146 S.F.
LOT 23 8218 S.F.
LOT 24 8952 S.F.
LOT 25 10261 S.F.
LOT 26 10315 S.F.
LOT 27 7465 S.F.
LOT 28 7720 S.F.
LOT 29 11813 S.F.
LOT 1 7091 S.F.
LOT 2 5500 S.F.
LOT 3 5500 S.F.
LOT 4 5500 S.F.
LOT 5 5500 S.F.
LOT 6 5500 S.F.
LOT 7 5500 S.F.
LOT 8 5500 S.F.
LOT 9 5500 S.F.
LOT 10 5433 S.F.
LOT 11 10212 S.F.
LOT 12 9461 S.F.
LOT 13 6328 S.F.
LOT 14 6386 S.F.
LOT 15 6331 S.F.
LOT 16 6331 S.F.
LOT 1 5974 S.F.
BLOCK 2
LOT 1R, BLOCK 37 ORIGINAL TOWN OF MANSFIELD VOLUME 388-194, PAGE 86 P.R.T.C.T.
LOT 2R, BLOCK 37 ORIGINAL TOWN OF MANSFIELD VOLUME 388-194, PAGE 86 P.R.T.C.T.
LOT 4-R, BLOCK 1 WEBB ADDITION VOLUME 388-93, PAGE 393 P.R.T.C.T.
LOT 3-R, BLOCK 1 WEBB ADDITION VOLUME 388-93, PAGE 393 P.R.T.C.T.
LOT 5-R, BLOCK 1 WEBB ADDITION VOLUME 388-93, PAGE 393 P.R.T.C.T.
LOT 6-R, BLOCK 1 WEBB ADDITION VOLUME 388-93, PAGE 393 P.R.T.C.T.
LOT 11, BLOCK 1 WEBB ADDITION VOLUME 388-82, PAGE 38 P.R.T.C.T.
LOT 12, BLOCK 1 WEBB ADDITION VOLUME 388-82, PAGE 38 P.R.T.C.T.
LOT 13, BLOCK 1 WEBB ADDITION VOLUME 388-82, PAGE 38 P.R.T.C.T.
LOT 14, BLOCK 1 WEBB ADDITION VOLUME 388-82, PAGE 38 P.R.T.C.T.
CITY OF MANSFIELD VOLUME 10947, PAGE 329 D.R.T.C.T.
MANSFIELD CEMETERY ASSOCIATION INSTRUMENT NUMBER D210287594 D.R.T.C.T.
MANSFIELD CEMETERY ASSOCIATION VOLUME 12739, PAGE 481 DESCRIBED IN VOLUME 3559, PAGE 137 D.R.T.C.T.
JIMMIE D. COMER AND WIFE, MARGARET A. COMER VOLUME 4047, PAGE 322 D.R.T.C.T.
LAWRENCE Z. CARTER AND PEGGY CARTER
JIMMIE D. COMER AND WIFE, MARGARET A. COMER VOLUME 4047, PAGE 322 D.R.T.C.T.
CIRILA A. PEREZ INSTRUMENT NUMBER D206258219 D.R.T.C.T.
JOSE ARMANDO JEMENEZ Volume 12322, Page 1755 Volume 15498, Page 213 D.R.T.C.T.
ERIC EVANS INSTRUMENT NUMBER D212055174 D.R.T.C.T.
JIMMIE L. JARVIS AND WIFE, BARBARA VOLUME 7543, PAGE 2397 D.R.T.C.T.
ROBERT MITCHELL AND WIFE, CYNTHIA MITCHELL VOLUME 7781, PAGE 1515 D.R.T.C.T.
BLOCK 37-1/2 ORIGINAL TOWN OF MANSFIELD VOLUME 63, PAGE 53 P.R.T.C.T.
PORTION OF BLOCK 37 ORIGINAL TOWN OF MANSFIELD VOLUME 63, PAGE 53 P.R.T.C.T.
PROPOSED FIRE HYDRANT (TYPICAL)
EXISTING FIRE HYDRANT
PROPOSED BOARD ON BOARD FENCE ADJACENT TO CEMETERY
PROPOSED STREET LIGHT, AMERICAN STYLE TYPE A SMALL ACORN (TYPICAL)
FENCING ALONG KIMBALL RIGHT-OF-WAY SHALL BE BOARD ON BOARD IF DESIRED BY HOME BUILDER
PLACE OF BEGINNING FOUND 3/4" IRON ROD
N87° 36' 55"W 642.90'
S87° 36' 55"E 142.74'
N16° 03' 05"E 24.50'
N66° 49' 05"E 179.20'
S23° 30' 52"E 99.10'
N73° 27' 05"E 193.70'
S84° 38' 55"E 231.56'
S05° 40' 05"W 63.76'
N73° 40' 05"E 49.00'
S16° 19' 54"E 100.00'
N66° 49' 05"E 112.50'
N73° 27' 05"E 181.27'
N23° 30' 52"W 90.73'
S87° 36' 55"E 120.00'
S87° 36' 55"E 115.00'
S87° 36' 55"E 197.52'
S87° 36' 55"E 105.97'
S87° 36' 55"E 106.89'
S87° 36' 55"E 78.14'
S87° 36' 55"E 474.32'
S87° 36' 55"E 285.00'
S87° 36' 55"E 189.32'
N42° 36' 55"W 21.21'
N87° 36' 55"W 109.00'
N87° 36' 55"W 114.00'
N47° 23' 05"E 8.49'
S42° 36' 55"E 8.49'
N79° 17' 54"E 25.00'
S01° 30' 34"W 365.21'
S01° 59' 03"W 196.29'
S01° 30' 34"W 301.44'
N01° 30' 34"E 301.44'
N02° 23' 05"E 126.74'
N02° 23' 05"E 221.20'
N02° 23' 05"E 302.07'
N02° 23' 05"E 115.79'
N02° 23' 05"E 90.56'
N02° 23' 05"E 60.00'
N02° 23' 05"E 10.00'
N02° 23' 05"E 110.00'
N02° 23' 05"E 59.00'
N02° 23' 05"E 69.89'
N02° 23' 05"E 244.74'
N00° 46' 27"E 115.13'
N00° 46' 27"E 91.82'
N00° 46' 27"E 91.82'
N00° 46' 27"E 91.82



FIELD NOTES

WHEREAS, MANCHESTER DEVELOPMENT, LLC, acting by and through the undersigned, its duly authorized agent, is the sole owner of an 1.548 acres or (67440 square feet) tract of land located in the THOMAS J. HANKS SURVEY, Abstract No. 644, City of Mansfield, Tarrant County, Texas; said 1.548 acres or (67440 square feet) of land being all of that certain tract of land described in General Warranty Deed to Manchester Development, LLC, (hereinafter referred to as Manchester tract), recorded in Instrument No. D216232275, Official Public Records, Tarrant County, Texas (O.P.R.T.C.T.), said Manchester tract being more particularly described by metes and bounds as follows:

BEGINNING at a 5/8 inch capped iron rod found marked "RPLS 4838" on the east right-of-way line of said West Kimball Street, for a northwesterly corner of a tract of land described as Manchester Heights, Phase 1, an addition to the City of Mansfield, Tarrant County, Texas, according to the plat recorded in Instrument No. D216048037, Plat Records, Tarrant County, Texas (P.R.T.C.T.), and for the southwest corner of said 1.548 acre tract;

THENCE along the common line of said 1.548 acre tract and said West Kimball street the following courses and distances:

North 10 deg. 53 min. 37 sec. West, a distance of 210.20 feet to a 5/8 inch iron rod set;

North 16 deg. 03 min. 05 sec. East, a distance of 24.50 feet to a 5/8 inch iron rod set for the northwest corner of said 1.548 acre tract;

North 56 deg. 03 min. 05 sec. East, a distance of 112.50 feet to a 5/8 inch iron rod set;

North 62 deg. 03 min. 05 sec. East, a distance of 179.20 feet to a 5/8 inch iron rod set for the most northerly northeast corner of said 1.548 acre tract and for the northwest corner of a tract of land described in deed to Cirila A. Perez recorded in Instrument No. D206258219, D.R.T.C.T.;

THENCE South 18 deg. 54 min. 31 sec. East along the common line of said 1.548 acre tract and said Perez tract, a distance of 108.36 feet to a 5/8 inch iron rod set for an interior corner of said 1.548 acre tract and for the southwest corner of said Perez tract;

THENCE North 73 deg. 40 min. 05 sec. East along the common line of said 1.548 acre tract and said Perez tract, a distance of 49.00 feet to a 5/8 inch iron rod set on the west line of a tract of land described in deed to Jose Armando Jemenez recorded in Volume 12322, Page 1755 and Volume 15498, Page 213, D.R.T.C.T., for the most easterly northeast corner of said 1.548 acre tract and for the southeast corner of said Perez tract;

THENCE South 05 deg. 40 min. 05 sec. West along the common line of said 1.548 acre tract and said Jemenez tract, a distance of 63.76 feet to a 1 inch iron pipe found on the north line of said Manchester Heights, Phase 1, for the most northerly southeast corner of said 1.548 acre tract and for the southwest corner of said Jemenez tract;

THENCE along the common line of said 1.548 acre tract and said Manchester Heights, Phase 1 the following courses and distances:

South 73 deg. 27 min. 05 Sec. West, a distance of 181.27 feet to a 5/8 inch capped iron rod found marked "RPLS 4838";

South 27 deg. 56 min. 55 sec. East, a distance of 58.06 feet to a 5/8 inch capped iron rod found marked "RPLS 4838";

South 02 deg. 23 min. 05 sec. West, a distance of 126.66 feet to a 5/8 inch capped iron rod found marked "RPLS 4838 for the most southerly southeast corner of said 1.548 acre tract;

North 87 deg. 36 min. 55 sec. West, a distance of 143.54 feet to the **POINT OF BEGINNING** and containing 1.548 acres of land more or less.

NOW THEREFORE KNOWN ALL MEN BY THESE PRESENTS:

That, **MANCHESTER DEVELOPMENT, LLC**, being the sole owner of the above described parcel, acting by and through the undersigned, its duly authorized agent, does hereby adopt the herein above described property as **MANCHESTER HEIGHTS**, an addition to the City of Mansfield, Tarrant County, Texas and does dedicate to the public use of the streets and easements as shown thereon.

By: _____

Printed Name: Sheri Bumgardner

Title: Managing Member

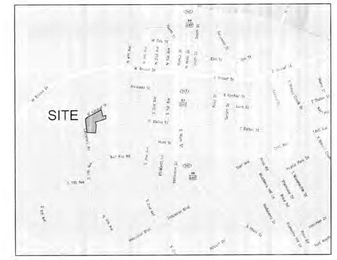
STATE OF TEXAS }
COUNTY OF TARRANT }

BEFORE ME, the undersigned authority, on this day personally appeared Sheri Bumgardner, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledge to me that he executed the same for the purposes and consideration therein expressed, in the capacity therein stated and as the act and deed of said Partnership.

GIVEN UNDER MY HAND AND SEAL OF OFFICE on this the 18 day of May, 2017.

_____
Notary Public, The State of Texas

JANE HALL
Notary Public, State of Texas
Notary ID 3493785
My Commission Exp. 02-08-2021



VICINITY MAP
NOT TO SCALE

GENERAL NOTES:

1. All bearings shown herein are based upon the Texas State Plane Coordinate System, Texas North Central Zone (4202), NAD83 (CORS), US SURVEY FEET.

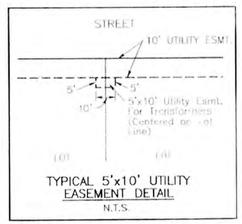
2. Notice: Selling a portion of any lot in this addition by metes and bounds is a violation of state law and City Ordinance and is subject to penalties imposed by law.

3. According to surveyor's interpretation of information shown on the National Flood Insurance Program (NFIP) "Flood Insurance Rate Map" (FIRM), Community Panel No. 48439C0470K, dated September 25, 2009. The Property appears to lie within Zone "X" and the entire property lies within a "Areas determined to be outside the 0.2% annual chance floodplain" zone as defined by the U.S. Department of Housing and Urban Development, Federal Insurance Administration, or the Federal Emergency Management Agency.

The above referenced "FIRM" map is for use in administering the "NFIP"; it does not necessarily show all areas subject to flooding, particularly from local sources of small size, which could be flooded by severe, concentrated rainfall coupled with inadequate local drainage systems. There may be other streams, creeks, low areas, drainage systems or other surface or subsurface conditions existing on or near the subject property which are not studied or addressed as a part of the "NFIP".

4. All iron rods set (IRS) are 5/8-inch rebar.

5. No trees, fences, walls or anything of 2' in height is allowed within the visibility easements.



TYPICAL 5'x10' UTILITY
EASEMENT DETAIL
N.T.S.

SURVEYOR'S CERTIFICATE:

I, Michael W. Myers, Registered Professional Land Surveyor, of the State of Texas, do hereby certify that I prepared this plat from an actual and accurate survey made on the ground in JANUARY, 2017, and that all corner monuments shown thereon were either found or set by me or under my personal direction and supervision, in accordance with the Subdivision Regulations of Tarrant County, Texas.

_____
Michael W. Myers, R.P.L.S.
Texas Registration No. 5803

STATE OF TEXAS
REGISTERED
MICHAEL W. MYERS
5803
PROFESSIONAL
LAND SURVEYOR

APPROVED BY THE CITY OF MANSFIELD

_____ 2017

_____
APPROVED BY: P&Z COMMISSION CHAIRMAN

_____ 2017

_____
ATTEST: PLANNING & ZONING SECRETARY

FINAL PLAT
MANCHESTER HEIGHTS

PHASE 2
LOTS 1 THRU 7, BLOCK 1

Being 1.548 acres situated in the
Thomas J. Hanks Survey, Abstract No. 644
City of Mansfield, Tarrant County, Texas
7 Lots

LEGEND:

○ (IRF) – IRON ROD FOUND	B.L. – BUILDING LINE
◉ (IRS) – IRON ROD SET	U.E. – UTILITY EASEMENT
○ (CIR) – CAPPED IRON ROD	D.E. – DRAINAGE EASEMENT
⚠ (C.M.) – CONTROL MONUMENT	

ALL IRON RODS SET ARE 5/8" REBAR WITH PLASTIC CAP STAMPED "MYERS 5803"

PROSPECT SURVEYING
100 KIMBRO CT. ALEDO TX 76008
PH: 817-999-7385 FIRM NO. 10194267

AFTER RECORDING, RETURN TO THE CITY OF MANSFIELD
1200 E. BROAD STREET, MANSFIELD, TX 76063

THIS PLAT FILED IN INSTRUMENT No. _____, Date _____

ENGINEER:
MAS CIVIL ENGINEERS & CONSTRUCTION
MATERIAL TESTING
2702 SE LOOP 820
FORT WORTH, TEXAS 76140
(817) 708-2422
CONTACT: ANGEL SANCHEZ
EMAIL:
ANGEL.SANCHEZ@MAS-CONSULTANTS.NET

SURVEYOR:
PROSPECT SURVEYING
100 KIMBRO CT.,
ALEDO, TEXAS 76008
(817) 999-7385
FIRM NO. 10194267
CONTACT: MICHAEL MYERS
EMAIL:
M.MYERS@PROSPECTLANDSURVEYING.COM

DEVELOPER:
MANCHESTER DEVELOPMENT, LLC
900 N. WALNUT CREEK DRIVE,
SUITE 100 - PBM 366
MANSFIELD, TEXAS 76063
(817) 300-7052
(817) 477-3397
CONTACT: SHERI BUMGARDNER

PREPARED PLAT: JANUARY, 2017 BY: SCD JOB No.: SD#17-005

PLANNING AND ZONING COMMUNICATION

Agenda: June 5, 2017

Subject: SD#17-024: Final Plat of Lots 1-7, Block 1, Broad Street Marketplace

GENERAL INFORMATION

Applicant:	LG Broad and Cannon LLC, owner/developer Kimley-Horn, engineer
Location:	3188 Cannon Dr.
Existing Zoning:	PD
Proposed Use:	Retail
Size:	19.337 acres
Total Number of Lots:	7
R.O.W. Dedication:	2,530 square feet for a right turn lane along E. Broad Street
Compliance with Ordinances:	Yes

COMMENTS & CONSIDERATIONS

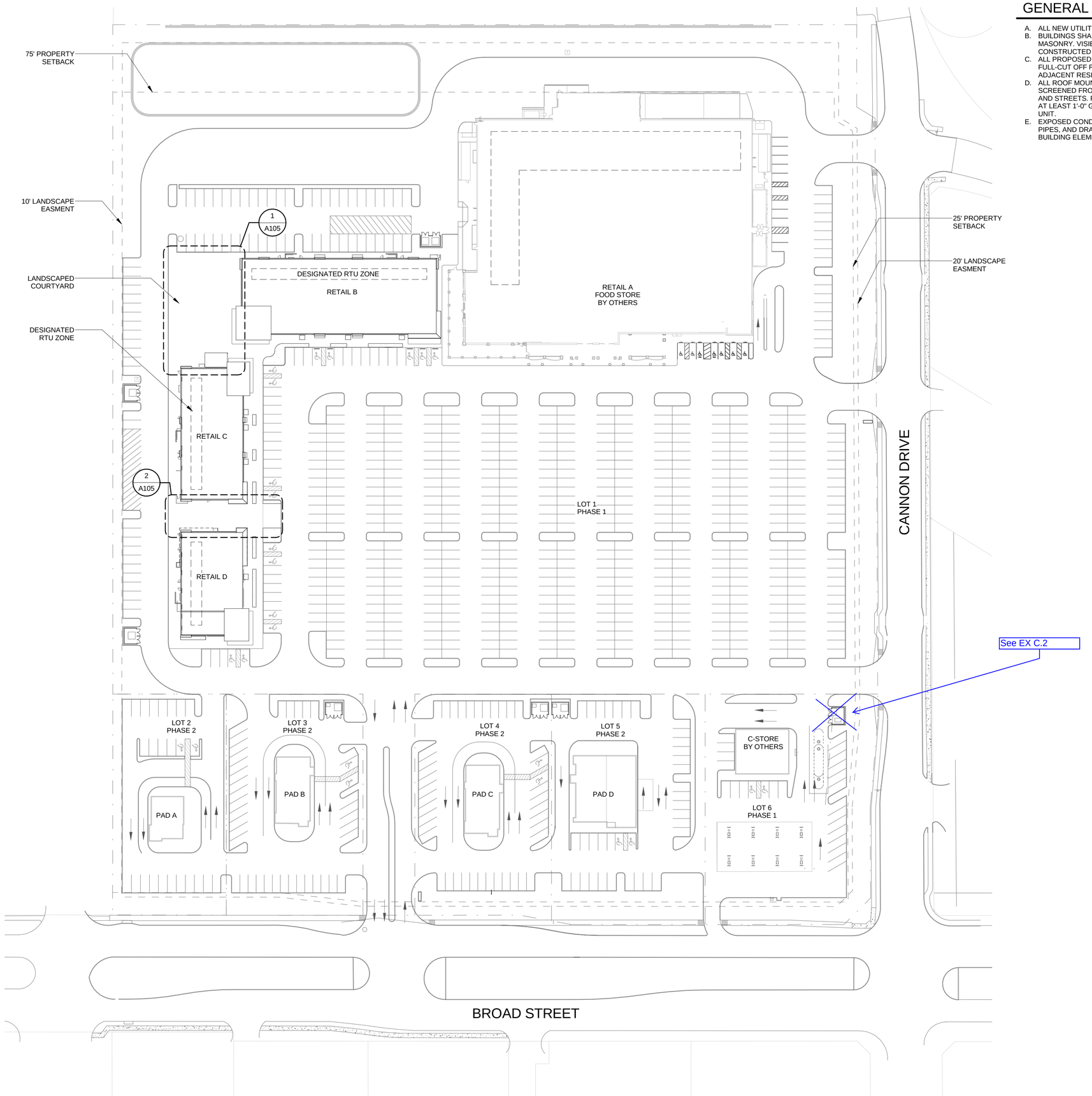
The purpose of this plat is to create 7 lots for retail development. The plat conforms to the approved development plan.

Although the copies of the plat in the Commission's packet do not have signatures, the developer will have a signed copy of the plat at the meeting.

Staff recommends approval.

Attachments:
Approved development plan

NOTE: DESIGN TO BE IN COMPLIANCE WITH BROAD STREET MARKETPLACE PLANNED DEVELOPMENT STANDARDS AND REGULATIONS AS APPROVED BY THE CITY OF MANSFIELD.



1 A100 OVERALL SITE PLAN

1" = 60'-0"

0 8 16

Scale in Feet

SCALE: 1/8" = 1'-0"

APPROVED DEVELOPMENT PLAN

GENERAL NOTES

A. ALL NEW UTILITIES SHALL BE PLACED UNDERGROUND.
B. BUILDINGS SHALL BE COMPRISED OF 60% MINIMUM MASONRY. VISIBLE ELEVATIONS SHALL BE CONSTRUCTED OF SIMILAR MATERIALS AND DETAILING.
C. ALL PROPOSED BUILDING AND SITE LIGHTING SHALL BE FULL-CUT OFF FIXTURES AND SHIELDED AWAY FROM ADJACENT RESIDENTIAL ZONING.
D. ALL ROOF MOUNTED EQUIPMENT MUST BE FULLY SCREENED FROM VIEW FROM ADJACENT PROPERTIES AND STREETS. PARAPET WALLS SHALL HAVE A HEIGHT AT LEAST 1'-0" GREATER THAN TALLEST MECHANICAL UNIT.
E. EXPOSED CONDUIT, LADDERS, UTILITY BOXES, STACK PIPES, AND DRAIN SPOUTS SHALL BE PAINTED TO MATCH BUILDING ELEMENTS.

CTA®
www.ctagroup.com
800.757.9522

NOT FOR CONSTRUCTION - PRELIMINARY DESIGN

BROAD STREET MARKETPLACE

LEON CAPITAL GROUP

ZC#16-023

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DETAILED SITE PLAN APPLICATION - NOT FOR CONSTRUCTION

01.30.2017
DRAWN BY | ONYEKANNE
CHECKED BY | TAIT
REVISIONS

EXHIBIT B

PLAN N

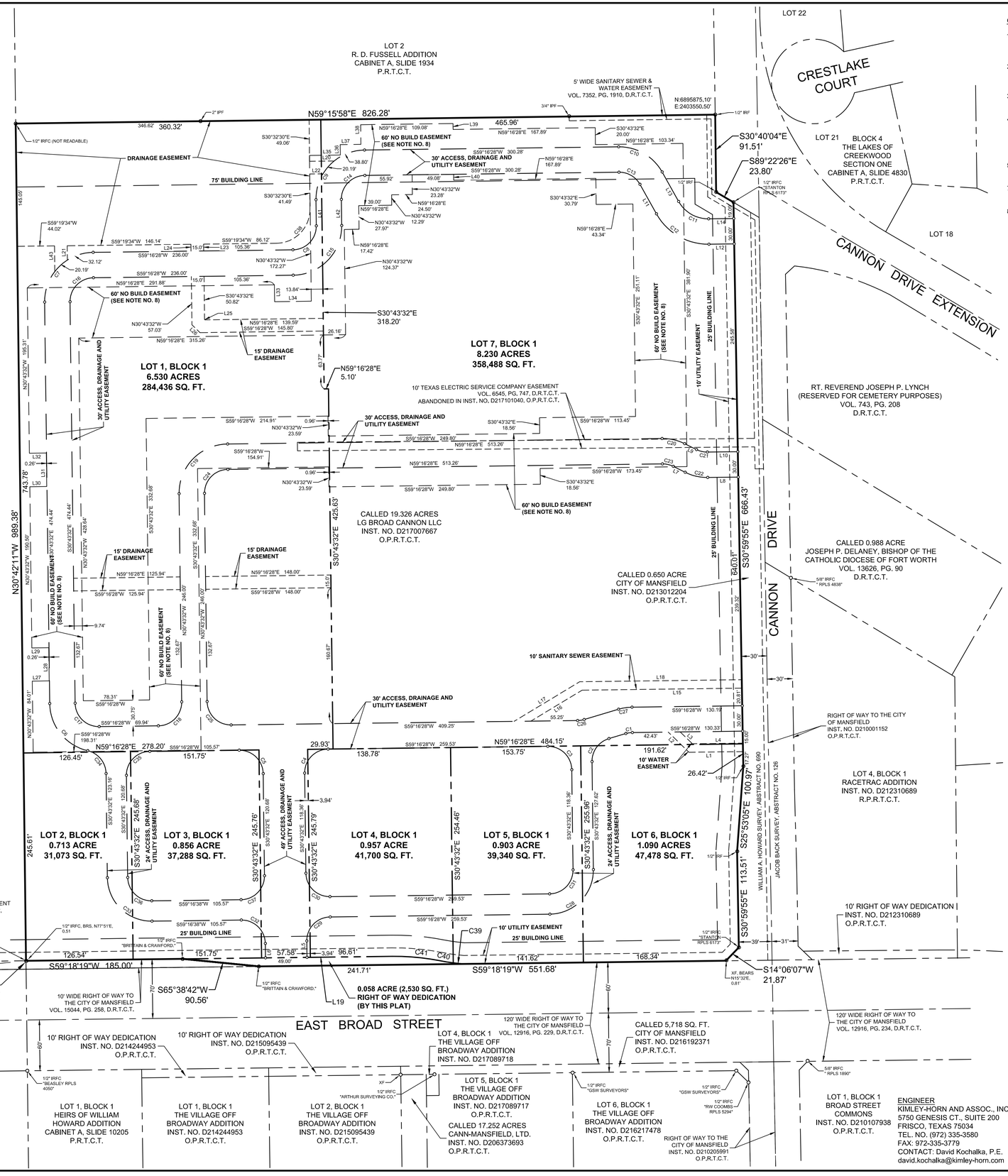
KEY PLAN
B
C
D

SITE PLAN - FOR REFERENCE ONLY

A100

NORTH

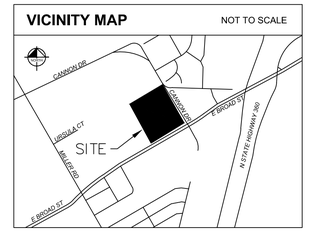
GRAPHIC SCALE IN FEET
60 0 30 60 120
1" = 60' @ 24X36



GENERAL NOTES:

1. NOTICE: SELLING A PORTION OF ANY LOT IN THIS ADDITION BY METES AND BOUNDS IS A VIOLATION OF STATE LAW AND CITY ORDINANCE AND IS SUBJECT TO PENALTIES IMPOSED BY LAW.
2. THE BEARINGS SHOWN HEREON ARE CREATED FROM OUR ACTUAL FIELD SURVEYS, RELATED TO THE TEXAS COORDINATE SYSTEM, NORTH CENTRAL ZONE (1983-2003 DATUM), GRID BEARINGS
3. LOT TO LOT DRAINAGE WILL NOT BE ALLOWED WITHOUT ENGINEERING SECTION APPROVAL.
4. THE ACCESS EASEMENTS ARE FOR THE USE OF ALL LOTS. NO VERTICAL IMPROVEMENTS SHALL BE MADE THAT IMPEDE INGRESS AND EGRESS WITHIN THE EASEMENT. THESE EASEMENTS ARE SUBJECT TO CHANGE AND WILL BE REFLECTED ON THE FINAL PLAT FOR EACH LOT.
5. THE ACCESS EASEMENTS SHALL BE MAINTAINED BY THE PROPERTY OWNERS
7. ALL EASEMENTS ARE BY THIS PLAT UNLESS OTHERWISE NOTED WITH RECORDING INFORMATION
8. THE "60' NO BUILD EASEMENT" TO COMPLY WITH UNLIMITED BUILDING AREA PER SECTION 402.1.1 OF THE INTERNATIONAL BUILDING CODE.

VICINITY MAP NOT TO SCALE



CURVE TABLE						CURVE TABLE					
NO.	DELTA	RADIUS	LENGTH	CHORD BEARING	CHORD	NO.	DELTA	RADIUS	LENGTH	CHORD BEARING	CHORD
C1	15°57'43"	28.00'	7.80'	S51°17'37"W	7.78'	C31	90°00'00"	28.00'	43.98'	N14°16'28"E	39.60'
C2	74°02'17"	28.00'	36.18'	S06°17'37"W	33.72'	C32	89°59'51"	28.00'	43.98'	N75°43'27"W	39.60'
C3	90°00'00"	28.00'	43.98'	N75°43'32"W	39.60'	C33	89°59'51"	52.00'	81.68'	S75°43'27"E	73.54'
C4	90°00'00"	28.00'	43.98'	S14°16'28"W	39.60'	C34	76°12'11"	28.00'	37.24'	N68°49'37"W	34.56'
C5	90°00'00"	28.00'	43.98'	N75°43'32"W	39.60'	C35	90°00'00"	28.00'	43.98'	S14°16'28"W	39.60'
C6	76°12'11"	58.00'	77.14'	S68°49'37"E	71.58'	C36	89°59'51"	28.00'	43.98'	S75°43'27"E	39.60'
C7	90°00'00"	58.00'	91.11'	S14°16'28"W	82.02'	C37	90°00'09"	28.00'	43.98'	N14°16'33"E	39.60'
C8	90°00'00"	28.00'	43.98'	N14°16'28"E	39.60'	C38	89°52'03"	40.00'	62.74'	N14°23'32"E	56.50'
C9	90°00'00"	58.00'	91.11'	S14°16'28"W	82.02'	C39	2°47'54"	250.00'	12.21'	N65°57'59"E	12.21'
C10	61°33'19"	58.00'	62.31'	N89°56'52"W	59.36'	C40	3°43'04"	250.00'	16.22'	N69°13'28"E	16.22'
C11	61°33'19"	40.00'	42.97'	S89°56'52"E	40.94'	C41	11°46'41"	275.00'	56.53'	S65°11'39"W	56.43'
C12	61°33'19"	70.00'	75.20'	S89°56'52"E	71.64'						
C13	61°33'19"	28.00'	30.08'	N89°56'52"W	28.66'						
C14	90°00'00"	28.00'	43.98'	S14°16'28"W	39.60'						
C15	90°00'00"	58.00'	91.11'	N14°16'28"E	82.02'						
C16	90°00'00"	28.00'	43.98'	S14°16'28"W	39.60'						
C17	90°00'00"	28.00'	43.98'	S75°43'32"E	39.60'						
C18	90°00'00"	28.00'	43.98'	N14°16'28"E	39.60'						
C19	90°00'00"	58.00'	91.11'	S14°16'28"W	82.02'						
C20	27°13'19"	58.00'	27.56'	S72°53'08"W	27.30'						
C21	27°13'19"	28.00'	13.30'	N72°53'08"E	13.18'						
C22	27°13'19"	58.00'	27.56'	N72°53'08"E	27.30'						
C23	27°13'19"	28.00'	13.30'	S72°53'08"W	13.18'						
C24	90°00'00"	28.00'	43.98'	S14°16'28"W	39.60'						
C25	90°00'00"	28.00'	43.98'	S75°43'32"E	39.60'						
C26	15°57'43"	28.00'	7.80'	N51°17'37"E	7.78'						
C27	15°57'43"	58.00'	16.16'	S51°17'37"W	16.11'						
C28	90°00'00"	52.00'	81.68'	N14°16'28"E	73.54'						
C29	90°00'00"	28.00'	43.98'	S14°16'28"W	39.60'						
C30	90°00'00"	28.00'	43.98'	S75°43'32"E	39.60'						

LINE TABLE			LINE TABLE		
NO.	BEARING	LENGTH	NO.	BEARING	LENGTH
L1	S59°16'28"W	63.87'	L23	N30°43'32"W	8.09'
L2	N75°43'32"W	34.15'	L24	N30°43'32"W	8.10'
L3	S75°43'32"E	20.00'	L25	S75°43'32"E	0.86'
L4	N59°16'28"E	59.70'	L26	N75°43'32"W	13.28'
L5	S30°43'32"E	19.42'	L27	N59°16'28"E	20.00'
L6	S30°43'32"E	17.08'	L28	N30°43'32"W	39.20'
L7	S86°29'47"W	15.69'	L29	S59°16'28"W	20.00'
L8	S59°16'28"W	36.09'	L30	N59°16'28"E	20.00'
L9	S86°29'47"W	15.69'	L31	N30°43'32"W	39.62'
L10	S59°16'28"W	35.95'	L32	S59°16'28"W	20.00'
L11	N59°10'13"W	39.93'	L33	S30°43'32"E	19.93'
L12	S59°16'28"W	29.80'	L34	N59°16'28"E	43.38'
L13	N59°10'13"W	39.93'	L35	N59°16'28"E	36.42'
L14	S59°16'28"W	29.66'	L36	N30°43'32"W	12.29'
L15	N59°16'28"E	188.80'	L37	N59°16'28"E	24.50'
L16	N28°52'24"E	70.77'	L38	N30°43'32"W	23.28'
L17	N28°52'24"E	90.53'	L39	S30°43'32"E	7.01'
L18	N59°16'28"E	191.47'	L40	S30°43'32"E	7.01'
L19	N59°18'19"E	247.48'	L41	S30°43'32"E	30.87'
L20	N59°16'28"E	29.06'	L42	S30°43'32"E	30.87'
L21	S30°43'32"E	16.90'	L43	N30°43'32"W	30.28'
L22	N59°16'28"E	15.74'			

LEGEND:

P.O.B. = POINT OF BEGINNING
IRF = IRON ROD FOUND
ESMT. = EASEMENT
DOC. NO. =DOCUMENT NUMBER
VOL. = VOLUME
PG. = PAGE
B&C = BRITTAIN AND CRAWFORD
R.O.W. = RIGHT-OF-WAY
D.R.T.C.T. = DEED RECORDS OF TARRANT COUNTY, TEXAS
P.R.T.C.T. = PLAT RECORDS OF TARRANT COUNTY, TEXAS
O.P.R.T.C.T. = OFFICIAL PUBLIC RECORDS, TARRANT COUNTY, TEXAS

FINAL PLAT
LOTS 1-7, BLOCK 1
BROAD STREET MARKETPLACE
19.337 ACRES
SITUATED IN THE
WILLIAM A. HOWARD SURVEY,
ABSTRACT NO. 690
CITY OF MANSFIELD, TARRANT COUNTY, TEXAS
7 LOTS
MAY 9, 2017

Kimley»Horn
5750 Genesis Court, Suite 200
Frisco, Texas 75034
FIRM # 10193822
Tel. No. (972) 335-3580
Fax No. (972) 335-3779

Scale	Drawn by	Checked by	Date	Project No.	Sheet No.
1" = 60'	MBM	KHA	05/24/2017	067786812	1 OF 2

ENGINEER
KIMLEY-HORN AND ASSOC., INC.
5750 GENESIS CT., SUITE 200
FRISCO, TEXAS 75034
TEL. NO. (972) 335-3580
FAX: 972-335-3779
CONTACT: David Kochalka, P.E.
david.kochalka@kimley-horn.com

OWNER
LG BROAD CANNON, LLC
2301 CEDAR SPRINGS, SUITE 200
DALLAS, TX 75201
TEL. NO. (214) 865-8090
FAX : NONE
CONTACT: WILL TOLLIVER
will@leoncapitalgroup.com

THIS PLAT FILED IN INSTRUMENT # _____ DATE _____,20__ CASE NUMBER: SD#17-024

DWG NAME: K:\FW_SURVEY\067786812\CG MANSFIELD\DWG\067786812 FINAL PLAT.DWG PLOTTED BY: MARK, MICHAEL 5/25/2017 4:21 PM LAST SAVED

OWNER'S CERTIFICATE

STATE OF TEXAS §

COUNTY OF TARRANT §

WHEREAS LG BROAD CANNON, LLC, acting by and through the undersigned, its duly authorized agent, is the owner of a 19.337-acre tract of land situated in the William A. Howard Survey, Abstract No. 690, City of Mansfield, Tarrant County, Texas, and being all of a called 19.326-acre tract of land, conveyed to said LG Broad Cannon, LLC, as evidenced in a Special Warranty Deed with Vendor's Lien, recorded in Instrument No. D217007667 of the Official Public Records of Tarrant County, Texas, and being more particularly described by metes and bounds as follows:

BEGINNING at a 1/2-inch iron rod found for the southwest corner of said 19.326-acre tract, and being the southeast corner of Lot 1, Block 1 of Mansfield High School Addition, an addition to the City of Mansfield, according to the Final Plat, recorded in Cabinet A, Slide 6072 of the Plat Records of Tarrant County, Texas, same being the northwest corner of a 10' wide Permanent Right of Way, conveyed to the City of Mansfield, recorded in Volume 15044, Page 258 of the Deed Records on Tarrant County, Texas, same also being on the northerly right of way line of East Broad Street, a variable width right of way, from said iron rod, a found 1/2-inch iron rod with an unreadable yellow plastic cap, bears North 77°51' East, 0.51 feet;

THENCE North 30°42'11" West, departing the northerly right of way line of said East Broad Street, along the westerly line of said 19.326-acre tract and the easterly line of said Mansfield High School Addition, a distance of 989.38 feet to a 1/2-inch iron rod with an unreadable yellow plastic cap found for the northwest corner of said 19.326-acre tract, same being the southwest corner of Lot 2 of R. D. Fussell Addition, an addition to the City of Mansfield, according to the Final Plat, recorded in Cabinet A, Slide 1934 of the Plat Records of Tarrant County, Texas;

THENCE North 59°15'58" East, departing the easterly line of said Mansfield High School Addition, along the northerly line of said 19.326-acre tract and the southerly line of said R. D. Fussell Addition, a distance of 826.28 feet to a 1/2-inch iron rod found for the northeast corner of said 19.326-acre tract and the southeast corner of said R. D. Fussell Addition, same being on the westerly right of way line of Cannon Drive, a variable width right of way;

THENCE South 30°40'04" East, along the easterly line of said 19.326-acre tract and the westerly right of way line of said Cannon Drive, a distance of 91.51 feet to a 1/2-inch iron rod found for a corner;

THENCE South 89°22'26" East, continuing along the easterly line of said 19.326-acre tract and the westerly right of way line of said Cannon Drive, a distance of 23.80 feet to a 1/2-inch iron rod with a purple plastic cap, stamped "STANTON RPLS 6173", found for a corner, same being the northwest corner of a called 0.650-acre tract of land, conveyed to the City of Mansfield, as evidenced in a Special Warranty Deed, recorded in Instrument No. D213012204 of the Official Public Records of Tarrant County, Texas;

THENCE in a southerly direction, continuing along the easterly line of said 19.326-acre tract and the westerly line of Cannon Drive as created in said 0.650-acre tract, the following:

South 30°59'55" East, a distance of 666.43 feet to a 1/2-inch iron rod found for a corner;

South 25°53'05" East, a distance of 100.97 feet to a 1/2-inch iron rod found for a corner;

South 30°59'55" East, a distance of 113.51 feet to a 1/2-inch iron rod with a purple plastic cap, stamped "STANTON RPLS 6173", found for a corner;

South 14°06'07" West, a distance of 21.87 feet to the southeast corner of said 19.326-acre tract, and the southwest corner of said 0.650-acre tract, same being the intersection of the westerly right of way line of said Cannon Drive with the northerly right of way line of said East Broad Street as created in a Permanent Right of Way to the City of Mansfield, recorded in Volume 12916, Page 229 of the Deed Records of Tarrant County, Texas, from said corner, a found "X" cut bears North 15°32' East, 0.81 feet;

THENCE South 59°18'19" West, along the southerly line of said 19.326-acre tract and the northerly right of way line of said East Broad Street as created in Volume 12916, Page 229, a distance of 551.68 feet to a 1/2-inch iron rod with a yellow plastic cap, stamped "BRITTAIN & CRAWFORD" found for the easterly corner of aforesaid Permanent Right of Way, conveyed to the City of Mansfield, recorded in Volume 15044, Page 258;

THENCE South 65°38'42" West, continuing along the southerly line of said 19.326-acre tract and the northerly right of way line of said East Broad Street as created in Volume 15044, Page 258, a distance of 90.56 feet to a 1/2-inch iron rod with a yellow plastic cap, stamped "BRITTAIN & CRAWFORD" found for a corner;

THENCE South 59°18'19" West, continuing along the southerly line of said 19.326-acre tract and the northerly right of way line of said East Broad Street as created in Volume 15044, Page 258, a distance of 185.00 feet to the **POINT OF BEGINNING** and containing 19.337 acres (842,334 square feet) of land, more or less.

THENCE South 59°18'19" West, continuing along the southerly line of said 19.326-acre tract and the northerly right of way line of said East Broad Street as created in Volume 15044, Page 258, a distance of 185.00 feet to the **POINT OF BEGINNING** and containing 19.337 acres (842,334 square feet) of land, more or less.

CONDITIONS OF ACCEPTANCE OF DRAINAGE AND FLOODWAY EASEMENTS

THIS PLAT IS PROPOSED BY THE OWNERS OF PROPERTIES DESCRIBED HEREIN (HEREINAFTER REFERRED TO AS "PROPERTY OWNERS) AND IS APPROVED BY THE CITY OF MANSFIELD SUBJECT TO THE FOLLOWING CONDITIONS WHICH SHALL BE BINDING UPON THE PROPERTY OWNERS, HIS HEIRS, GRANTEES, SUCCESSORS AND ASSIGNS.

NO OBSTRUCTION TO THE FLOW OF STORMWATER RUN-OFF SHALL BE PERMITTED BY FILLING OR BY CONSTRUCTION OF ANY TYPE OF DAM, BUILDING, BRIDGE, FENCE, OR ANY OTHER STRUCTURE WITHIN THE DRAINAGE EASEMENT SHOWN HEREIN ON THIS PLAT, UNLESS APPROVED BY THE CITY OF MANSFIELD. PROVIDED, HOWEVER, IT IS UNDERSTOOD THAT IN THE EVENT IT BECOMES NECESSARY FOR THE CITY OF MANSFIELD TO ERECT DRAINAGE FACILITIES IN ORDER TO IMPROVE THE STORM DRAINAGE THAT MAY BE OCCASIONED BY THE STREETS AND ALLEYS IN OR ADJACENT TO THE SUBDIVISION, THEN IN SUCH EVENT, THE CITY OF MANSFIELD SHALL HAVE THE RIGHT TO ENTER SAID DRAINAGE EASEMENT AT ANY POINT OR POINTS TO ERECT, CONSTRUCT AND MAINTAIN ANY FACILITY DEEMED NECESSARY FOR DRAINAGE PURPOSES.

THE PROPERTY OWNERS WILL BE RESPONSIBLE FOR MAINTAINING SAID DRAINAGE EASEMENT. THE PROPERTY OWNERS SHALL KEEP SAID DRAINAGE EASEMENT CLEAN AND FREE OF DEBRIS, SILT, HIGH WEEDS, AND ANY SUBSTANCE WHICH WOULD RESULT IN UNSANITARY OR UNDESIRABLE CONDITIONS. THE CITY OF MANSFIELD SHALL HAVE THE RIGHT OF INGRESS AND EGRESS FOR THE PURPOSE OF INSPECTING AND SUPERVISING MAINTENANCE WORK DONE BY THE PROPERTY OWNERS. IF AT ANY TIME THE PROPERTY OWNERS FAIL TO SATISFY ANY OF THEIR AFOREMENTIONED RESPONSIBILITIES OR OBLIGATIONS, THE CITY OF MANSFIELD, UPON TEN (10) DAYS PRIOR NOTICE TO THE OWNERS, MAY ENTER SAID DRAINAGE EASEMENT AT ANY POINT OR POINTS TO PERFORM MAINTENANCE OR CLEAN-UP, AND BILL THE PROPERTY OWNERS THE COST INCURRED, OR PLACE A LIEN ON SAID PROPERTIES IF THE BILL IS NOT PAID WITHIN THIRTY (30) DAYS OF ITS MAILING.

SAID DRAINAGE EASEMENT, AS IN THE CASE OF ALL DRAINAGE EASEMENTS, IS SUBJECT TO STORMWATER OVERFLOW AND EROSION TO AN EXTENT WHICH CANNOT BE SPECIFICALLY DEFINED. THE CITY OF MANSFIELD SHALL NOT BE HELD LIABLE FOR ANY DAMAGES RESULTING FROM THE OCCURRENCE OF THESE NATURAL PHENOMENA OR THE FAILURE OF ANY FACILITIES WITHIN SAID DRAINAGE EASEMENT. FURTHER, THE CITY OF MANSFIELD WILL NOT BE RESPONSIBLE FOR EROSION CONTROL OR ANY DAMAGE TO PRIVATE PROPERTIES OR PERSONS RESULTING FROM THE FLOW OF WATER WITHIN SAID DRAINAGE EASEMENT AND PROPERTIES.

AFTER RECORDING, RETURN TO CITY OF MANSFIELD
1200 E. BROAD STREET, MANSFIELD, TX76063

OWNER'S DEDICATION

STATE OF TEXAS §

COUNTY OF TARRANT §

NOW THERFORE KNOW ALL MEN BY THESE PRESENTS:

That, **LG BROAD CANNON, LLC**, being the owner of the above described parcel, acting by and through the undersigned, its duly authorized agent, does hereby adopt the herein above described property as **LOTS 1-7, BLOCK 1, BROAD STREET MARKETPLACE**, an addition to the City of Mansfield, Tarrant County, Texas and does dedicate to the public use the streets and easements as shown thereon.

By: **LG BROAD CANNON, LLC**, a Texas Limited Liability Company

By: LG Capital, LLC
a Texas limited liability company
Its Manager

By: _____
Name and Title

STATE OF _____ §

COUNTY OF _____ §

BEFORE ME, the undersigned authority, a Notary Public in and for said county and state, on this day personally appeared _____, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that they executed the same for the purpose and consideration therein expressed.

Given under my hand and seal of office this the _____ day of _____, 2017.

_____
Notary Public, State of Texas

_____
Printed Name

SURVEYORS CERTIFICATION:

This is to certify that I, Michael B. Marx, a Registered Professional Land Surveyor of the State of Texas, having platted the above subdivision from an actual survey on the ground, and that all lot corners, and angle points, and points of curve shall be properly marked on the ground, and that this plat correctly represents that survey made by me or under my direction and supervision.

_____
Michael B. Marx
Registered Professional Land Surveyor No. 5181
Kimley-Horn and Associates, Inc.
5750 Genisis Court, Suite 200
Frisco, Texas 75034
Ph. 972-335-3580
michael.marx@kimley-horn.com

PRELIMINARY
THIS DOCUMENT SHALL NOT BE RECORDED FOR ANY PURPOSE AND SHALL NOT BE USED OR VIEWED OR RELIED UPON AS A FINAL SURVEY DOCUMENT

STATE OF TEXAS §

COUNTY OF COLLIN §

BEFORE ME, the undersigned authority, a Notary Public in and for said county and state, on this day personally appeared Michael B. Marx, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that they executed the same for the purpose and consideration therein expressed.

Given under my hand and seal of office this the _____ day of _____, 2017.

_____
Notary Public, State of Texas

_____
Printed Name

APPROVED BY THE CITY OF MANSFIELD

APPROVED BY:

_____ _____
P & Z COMMISSION CHAIRMAN DATE

ATTEST:

_____ _____
P & Z COMMISSION SECRETARY DATE

FINAL PLAT
LOTS 1-7, BLOCK 1
BROAD STREET MARKETPLACE
19.337 ACRES
SITUATED IN THE
WILLIAM A. HOWARD SURVEY,
ABSTRACT NO. 690
CITY OF MANSFIELD, TARRANT COUNTY, TEXAS
7 LOTS
MAY 9, 2017

ENGINEER
KIMLEY-HORN AND ASSOC., INC.
5750 GENESIS CT., SUITE 200
FRISCO, TEXAS 75034
TEL. NO. (972) 335-3580
FAX: 972-335-3779
CONTACT: David Kochalka, P.E.
david.kochalka@kimley-horn.com

OWNER
LG BROAD CANNON, LLC
2301 CEDAR SPRINGS, SUITE 200
DALLAS, TX 75201
TEL. NO. (214) 865-8090
FAX : NONE
CONTACT: WILL TOLLIVER
will@leoncapitalgroup.com

Kimley»Horn
5750 Genesis Court, Suite 200
Frisco, Texas 75034
FIRM # 10193822
Tel. No. (972) 335-3580
Fax No. (972) 335-3779

Scale	Drawn by	Checked by	Date	Project No.	Sheet No.
N/A	MBM	KHA	05/24/2017	067786812	2 OF 2

THIS PLAT FILED IN INSTRUMENT # _____DATE _____,20__

CASE NUMBER: SD#17-024

DWG NAME: K:\FRI_SURVEY\067786812-CG MANSFIELD\DWG\067786812 FINAL PLAT.DWG PLOTTED BY: MARX, MICHAEL 5/24/2017 7:44 AM LAST SAVED 5/23/2017 3:00 PM

PLANNING AND ZONING COMMUNICATION

Agenda: June 5, 2017

Subject: SD#17-025: Final Plat of Lot 1, Block 1, Vistas of Walnut Ridge

GENERAL INFORMATION

Applicant:	CWA Vistas, LP, owner Equity Ventures Capital, developer ClayMoore Engineering, engineer
Location:	3216 Cannon Drive
Existing Zoning:	PD
Proposed Use:	Retail
Size:	1.485 acres
Total Number of Lots:	1
R.O.W. Dedication:	None required
Compliance with Ordinances:	Yes

COMMENTS & CONSIDERATIONS

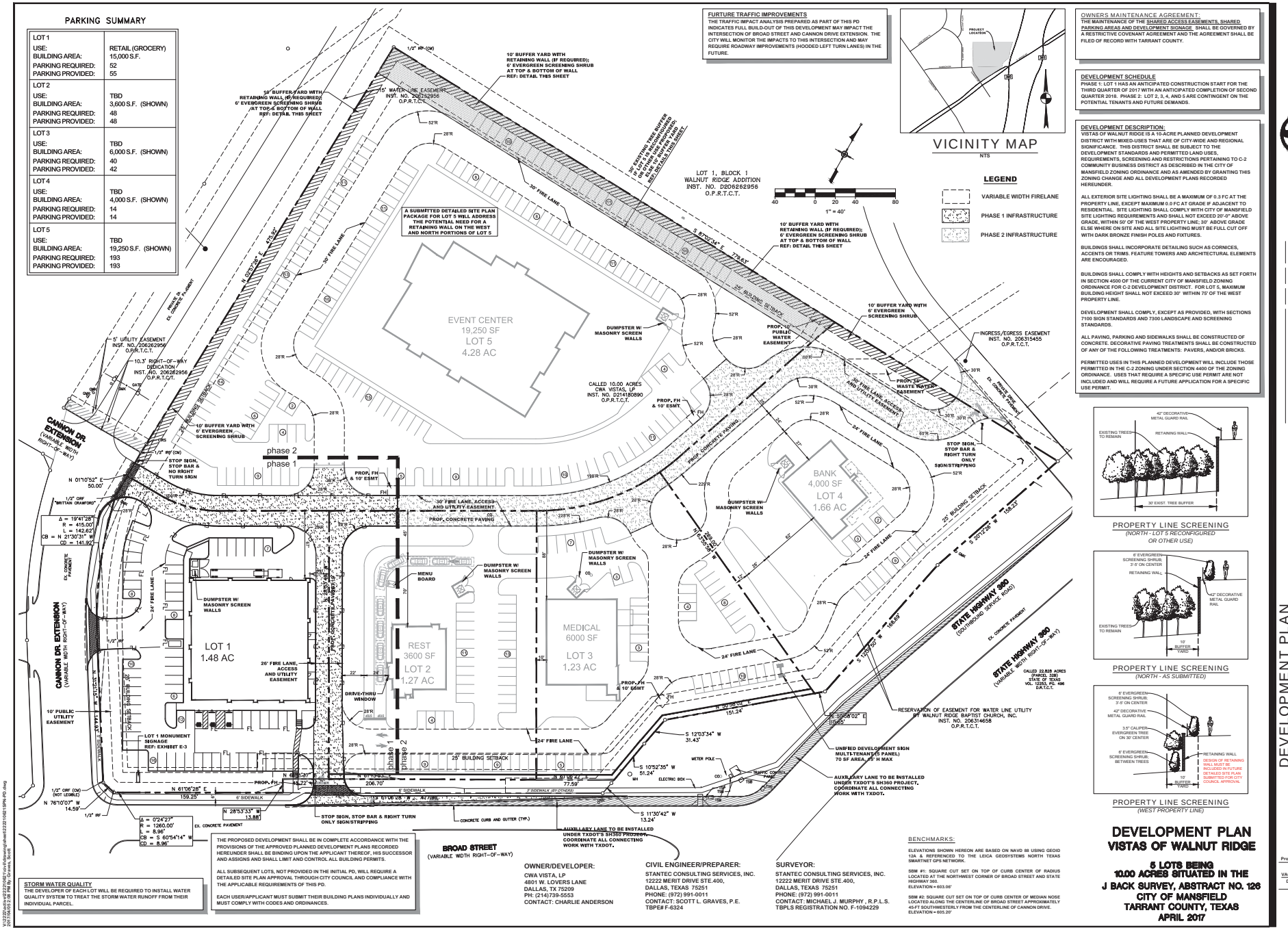
The purpose of this plat is to create a lot for a specialty grocery store on the property. This plat conforms to the approved development plan.

There are blank spaces on the plat for the instrument number of the easements. The plat cannot be filed at the County until the applicant provides this information on the plat.

Staff recommends approval.

Attachments:

Approved Development Plan



Stantec
12222 Merit Dr., Suite 400
Dallas, Texas 75251
www.stantec.com
TBPE#: F-6324
TBPLS#: F-10194229

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No.	Revision	By	Appd.	Date
	Issued			

DEVELOPMENT PLAN
VISTAS OF WALNUT RIDGE
Case No. ZC #16-024
CWA VISTAS LP
TARRANT COUNTY
CITY OF MANSFIELD, TEXAS
EXHIBIT B

FOR REVIEW ONLY
Not for Construction or Permit Purposes
Stantec
Scott L. Graves, PE 6324
Date: 6/9/2017

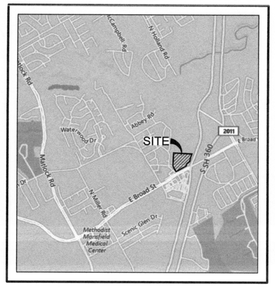
Project Number: 222210621

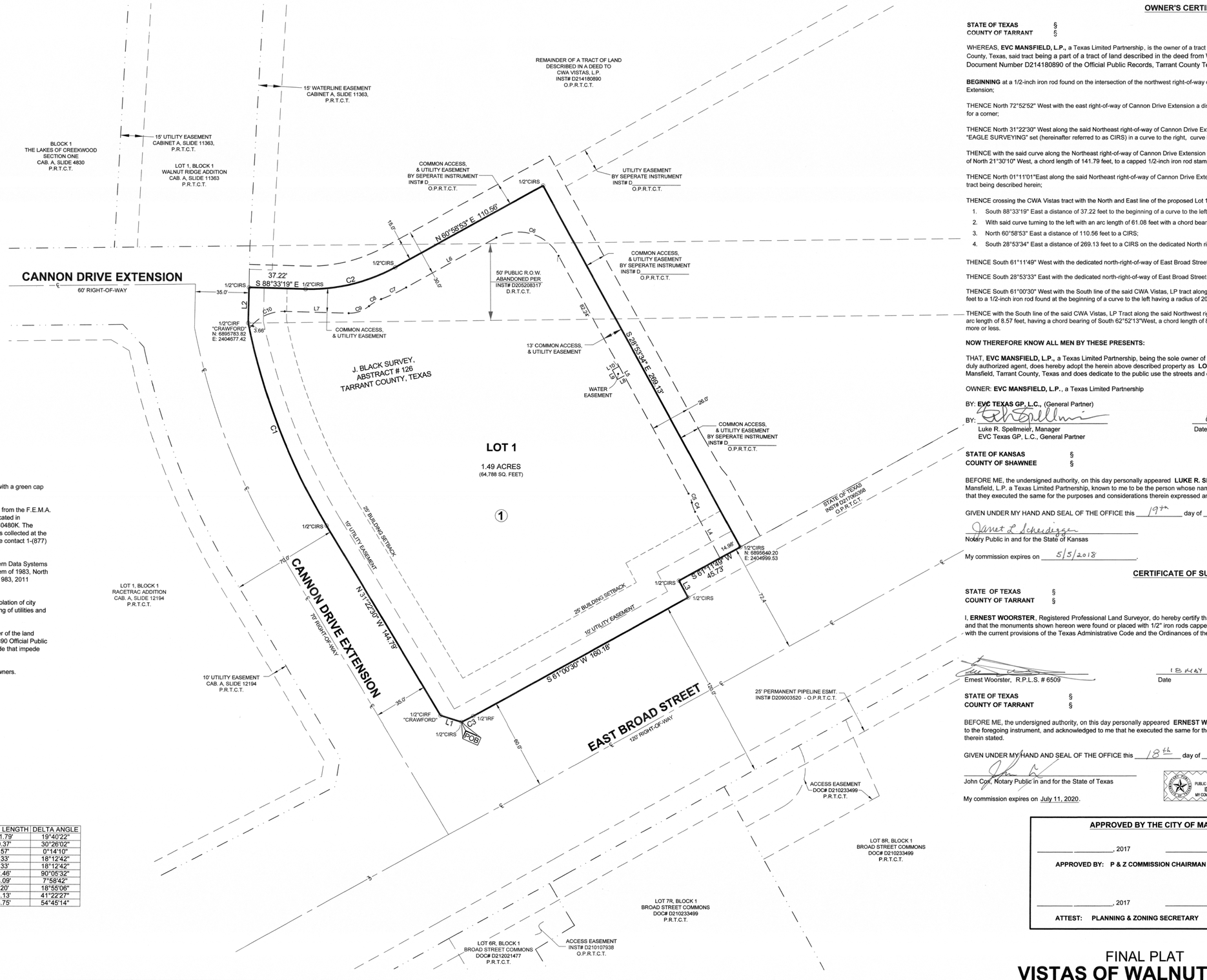
VAC/WCJ	SLG	SLG	04/05/2017
Dsn.	Chkd.	Dsgn.	Date

SHEET
PD-1

APPROVED DEVELOPMENT PLAN

VICINITY MAP
1" = 3000'





GENERAL PLAT NOTES

1.) All interior property corners are marked with a 1/2" iron rod with a green cap stamped "Eagle Surveying" unless otherwise noted.

2.) This property is located in "**Non-shaded Zone X**" as scaled from the F.E.M.A. Flood Insurance Rate Map dated September 25, 2009 and is located in Community Number 480606 as shown on Map Number 48439C0480K. The location of the Flood Zone is approximate, no vertical datum was collected at the time of the survey. For the exact Flood Zone designation, please contact 1-(877) FEMA MAP.

3.) The bearings shown on this survey were derived from Western Data Systems RTK Network and are referenced to the Texas Coordinate System of 1983, North Central Zone (4202) and are based on the American Datum of 1983, 2011 Adjustment.

4.) Selling a portion of this addition by metes and bounds is a violation of city ordinance and state law, and is subject to fines and/or withholding of utilities and building permits.

5.) The access easement is for the use of Lots 1 & the remainder of the land described in a deed to CWA Vistas, LP as recalled in D214180890 Official Public Records, Tarrant County, Texas. No improvements shall be made that impede ingress and egress along this easement.

6.) The access easement shall be maintained by the property owners.

LINE	BEARING	DISTANCE
L1	N 72°52'52" W	14.57'
L2	N 01°11'01" E	23.26'
L3	S 28°53'33" E	12.51'
L4	N 28°53'49" W	34.45'
L5	N 28°53'49" W	177.03'
L6	S 61°00'39" W	67.46'
L7	N 88°33'19" W	42.05'
L8	S 61°06'11" W	5.00'
L9	N 28°53'49" W	7.00'
L10	N 61°06'11" E	5.00'

CURVE	RADIUS	ARC LENGTH	CHORD BEARING	CHORD LENGTH	DELTA ANGLE
C1	415.00'	142.49'	N 21°30'10" W	141.79'	19°40'22"
C2	115.00'	61.08'	N 76°13'40" E	60.37'	30°26'02"
C3	2077.79'	8.57'	S 62°52'13" W	8.57'	0°14'10"
C4	20.00'	6.36'	N 19°47'28" W	6.33'	18°12'42"
C5	20.00'	6.36'	N 19°47'28" W	6.33'	18°12'42"
C6	30.00'	47.17'	N 73°56'35" W	42.46'	90°05'32"
C7	130.00'	18.10'	S 65°00'00" W	18.09'	7°58'42"
C8	28.00'	9.25'	S 59°31'46" W	9.20'	18°55'06"
C9	20.00'	14.44'	S 70°45'28" W	14.13'	41°22'27"
C10	28.00'	26.76'	S 64°04'05" W	25.75'	54°45'14"

AFTER RECORDING,
RETURN TO CITY OF MANSFIELD
1200 E. BROAD ST., MANSFIELD, TX 76063

OWNER'S CERTIFICATE

STATE OF TEXAS §
COUNTY OF TARRANT §

WHEREAS, **EVC MANSFIELD, L.P.,** a Texas Limited Partnership, is the owner of a tract of land situated in the J. Black Survey, Abstract Number 126, Tarrant County, Texas, said tract being a part of a tract of land described in the deed from Walnut Ridge Partners, LP to CWA Vistas, LP recorded under Document Number D214180890 of the Official Public Records, Tarrant County Texas , and being more particularly described as follows:

BEGINNING at a 1/2-inch iron rod found on the intersection of the northwest right-of-way of East Broad Street and the northwest right-of-way of Cannon Drive Extension;

THENCE North 72°52'52" West with the east right-of-way of Cannon Drive Extension a distance of 14.57 feet to a capped 1/2-inch iron rod stamped "Crawford" found for a corner;

THENCE North 31°22'30" West along the said Northeast right-of-way of Cannon Drive Extension a distance of 144.79 feet to a to a capped 1/2-inch iron rod stamped "EAGLE SURVEYING" set (hereinafter referred to as CIRS) in a curve to the right, curve having a radius of 415.00 feet at an angle point therein;

THENCE with the said curve along the Northeast right-of-way of Cannon Drive Extension with a curve to the right with an arc length of 142.49 feet, a Chord Bearing of North 21°30'10" West, a chord length of 141.79 feet, to a capped 1/2-inch iron rod stamped "Crawford" found at an angle point therein;

THENCE North 01°11'01"East along the said Northeast right-of-way of Cannon Drive Extension a distance of 23.26 feet to a CIRS for the Northwest corner of the tract being described herein;

THENCE crossing the CWA Vistas tract with the North and East line of the proposed Lot 1, Block 1 of Vistas of Walnut Ridge the following **4** calls;

1. South 88°33'19" East a distance of 37.22 feet to the beginning of a curve to the left having a radius of 115.00 feet;
2. With said curve turning to the left with an arc length of 61.08 feet with a chord bearing of North 76°13'40" East, with a chord length of 60.37 feet to a CIRS;
3. North 60°58'53" East a distance of 110.56 feet to a CIRS;
4. South 28°53'34" East a distance of 269.13 feet to a CIRS on the dedicated North right-of-way of East Broad Street;

THENCE South 61°11'49" West with the dedicated north-right-of-way of East Broad Street a distance of 45.73 feet to a CIRS;

THENCE South 28°53'33" East with the dedicated north-right-of-way of East Broad Street a distance of 12.51 feet to a CIRS;

THENCE South 61°00'30" West with the South line of the said CWA Vistas, LP tract along the said northwest right-of-way of east Broad Street a distance of 160.18 feet to a 1/2-inch iron rod found at the beginning of a curve to the left having a radius of 2077.79 feet;

THENCE with the South line of the said CWA Vistas, LP Tract along the said Northwest right-of-way of East Broad Street with said curve turning to the left with an arc length of 8.57 feet, having a chord bearing of South 62°52'13"West, a chord length of 8.57 feet to the **POINT OF BEGINNING** and enclosing 1.49 acres of land, more or less.

NOW THEREFORE KNOW ALL MEN BY THESE PRESENTS:

THAT, **EVC MANSFIELD, L.P.,** a Texas Limited Partnership, being the sole owner of the above described parcel, acting by and through the undersigned, its duly authorized agent, does heresy adopt the herein above described property as **LOT 1, BLOCK 1, VISTAS OF WALNUT RIDGE** , an addition to the City of Mansfield, Tarrant County, Texas and does dedicate to the public use the streets and easements as shown thereon.

OWNER: **EVC MANSFIELD, L.P.**, a Texas Limited Partnership

BY: **EVC TEXAS GP, L.C.,** (General Partner)

BY: _____ 05/19/2017
Luke R. Spellmeier, Manager — Date
EVC Texas GP, L.C., General Partner

STATE OF KANSAS §
COUNTY OF SHAWNEE §

BEFORE ME, the undersigned authority, on this day personally appeared **LUKE R. SPELLMEIER**, Manager of EVC Texas GP, L.C., General Partner of EVC Mansfield, L.P. a Texas Limited Partnership, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that they executed the same for the purposes and considerations therein expressed and in the capacity therein stated.

GIVEN UNDER MY HAND AND SEAL OF THE OFFICE this 17th day of May, 2017.

Janet L. Scheidegger
Notary Public in and for the State of Kansas

My commission expires on 5/5/2018.

JANET L. SCHEIDEGGER — NOTARY PUBLIC — STATE OF KANSAS

CERTIFICATE OF SURVEYOR

STATE OF TEXAS §
COUNTY OF TARRANT §

I, **ERNEST WOORSTER**, Registered Professional Land Surveyor, do hereby certify that this plat was prepared from and actual survey made on the ground and that the monuments shown hereon were found or placed with 1/2" iron rods capped "Eagle Surveying" under my direction and supervision in accordance with the current provisions of the Texas Administrative Code and the Ordinances of the City of Mansfield, Tarrant County, Texas.

_____
Ernest Woorster, R.P.L.S. # 6509

18 MAY 2017
Date

STATE OF TEXAS — REGISTERED — ERNEST WOORSTER — 6509 — PROFESSIONAL LAND SURVEYOR

STATE OF TEXAS §
COUNTY OF TARRANT §

BEFORE ME, the undersigned authority, on this day personally appeared **ERNEST WOORSTER**, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purposes and considerations therein expressed and in the capacity therein stated.

GIVEN UNDER MY HAND AND SEAL OF THE OFFICE this 18th day of May, 2017.

_____
John Cox, Notary Public in and for the State of Texas

My commission expires on July 11, 2020.

JOHN COX — PUBLIC NOTARY, STATE OF TEXAS — ID# 13073409-9 — MY COMM. EXPIRES JULY 11, 2020

APPROVED BY THE CITY OF MANSFIELD

_____, _____, 2017

APPROVED BY: P & Z COMMISSION CHAIRMAN

_____, _____, 2017

ATTEST: PLANNING & ZONING SECRETARY

CITY PROJECT NO.
SD#17-025

LEGEND

①	= BLOCK	B.S.	= BUILDING SETBACK
IRF	= IRON ROD FOUND	CIRF	= CAPPED IRON ROD FOUND
CIRS	= CAPPED IRON ROD SET	POB	= POINT OF BEGINNING
CIRS	= CAPPED IRON ROD SET	℄	= CENTERLINE OF ROAD
U.E.	= UTILITY EASEMENT	℄	= SURVEY ABSTRACT

SURVEYOR
EAGLE SURVEYING, LLC
210 SOUTH ELM STREET
SUITE: 104
DENTON, TX 76201
940.222.3009
JOHN@EAGLESURVEYING.COM

ENGINEER
CLAYMOORE ENGINEERING
1903 CENTRAL DRIVE
SUITE: 406
BEDFORD, TX 76021
817.281.0572
CLAY@CLAYMOOREENG.COM

OWNER
EVC MANSFIELD, L.P.
3501 SW FAIRLAWN ROAD
SUITE: 200
TOPEKA, KANSAS 66614
KBECK@EQUITYVENTURESCD.COM

JOB #: 16-11-50 FP
DATE: 5/18/2017
DRAWN BY: JDC

EAGLE SURVEYING
EAGLE SURVEYING, LLC
210 SOUTH ELM STREET
SUITE: 104
DENTON, TX 76201
940.222.3009
TX FIRM # 10194177

FINAL PLAT
VISTAS OF WALNUT RIDGE
LOT 1, BLOCK 1

BEING 1.49 ACRES OF LAND SITUATED IN THE J. BLACK SURVEY, ABSTRACT NO. 126, AN ADDITION TO THE CITY OF MANSFIELD, TARRANT COUNTY, TEXAS

NUMBER OF LOTS = 1 DATE OF PREPARATION: 4/20/2017

THIS PLAT FILED IN INSTRUMENT NO. _____ DATE: _____

PLANNING AND ZONING COMMUNICATION

Agenda: June 5, 2017

Subject: ZC#17-005: Public hearing for zoning change from PD, Planned Development District to PD, Planned Development District for Single-Family Residential Attached Townhomes on approximately 16.13 acres out of the TJ Hanks Survey, Abst# 644, Tarrant Co., TX, generally located east of S Main St and Airport Drive

GENERAL INFORMATION

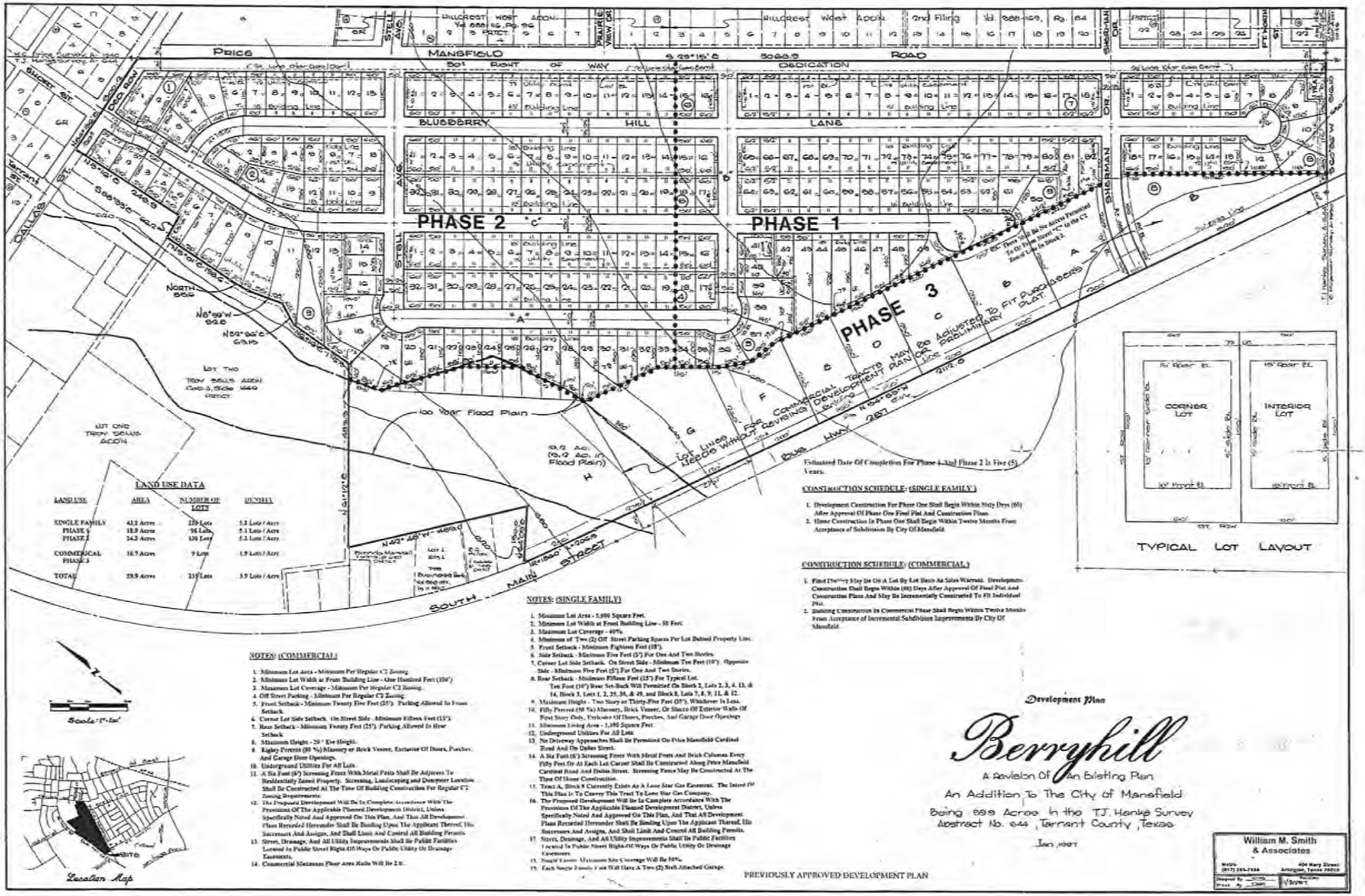
Applicant:	Prairie Vista Corp - Property Owner Skorburg Co - Developer Macatee Engineering - Engineer
Size:	16.13 acres
Proposed Use:	Attached Single Family Townhouses
Existing Land Use:	Vacant
Surrounding Land Use & Zoning:	North - MF-2, Multi-Family South - C-2, Single Family East - PD for Single Family West - I-1, Vacant and Boat & RV Storage
Thoroughfare Plan Specification:	Main Street – Minor Arterial Sherman – Major Collector

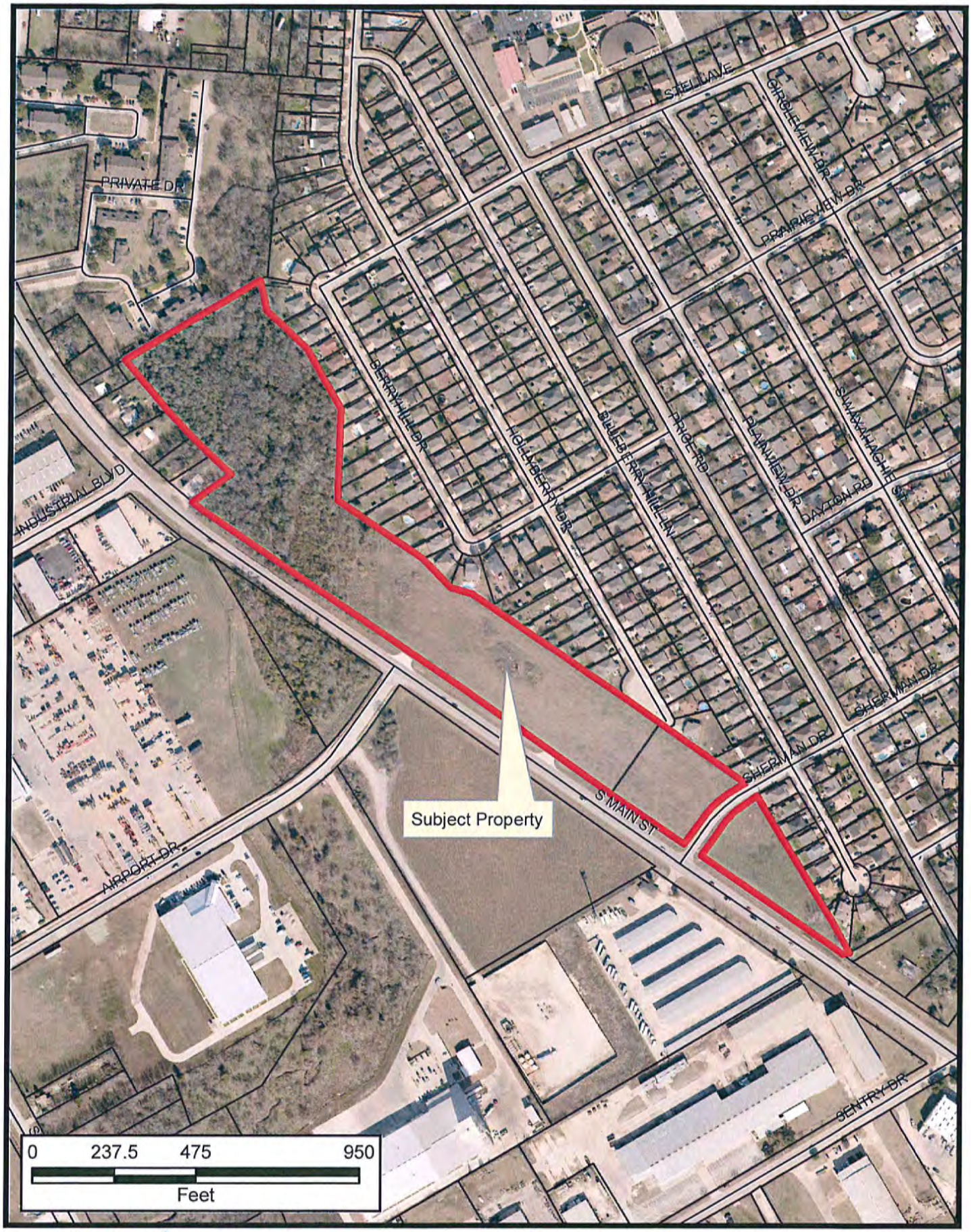
COMMENTS AND CONSIDERATIONS

The applicant proposes 77 townhouse lots on 16 acres with several open space lots, a dog park and additional parking for guest traffic. As noted on the plans, they indicate they will comply with Section 4600 Architectural Attributes for residential development. Staff will verify that homes that back to Main Street will differ in elevations to within 3 designs when they submit their designs for review.

The land use is a good transition from single family homes to industrial. The proposed landscaping along the Berryhill single family residences helps to buffer the townhomes along the east side. The proposed landscaping along Main Street helps buffer the townhomes from the industrial on the west side of Main Street. Staff recommends approval.

Attachments:
Maps and supporting information
Previously Approved Development Plan


PHASE 2
PHASE 1
PHASE 3
MANSFIELD
BLUEBERRY HILL LANE
PRICE ROAD
SOUTH MAIN STREET
STELL AVE.
SHERMAN DR.
DALLAS ST.
Hillcrest West Addn.
2nd Filing
Troy Sells Addn.
100 Year Flood Plain
9.2 Ac. (10.2 Ac. in Flood Plain)
Lot Lines Adjusted To Fit Purchasers Preliminary Plat.
Tracts May Be Developed Individually Without Replatting
Commercial Development
Lot Lines Need Not Be Adjusted To Fit Purchasers Preliminary Plat.
Lot One Troy Sells Addn.
Lot Two Troy Sells Addn.
Cab. A, Side 449 Plat Rec.
N 89°59'15" E 3088.9
S 89°59'15" E 2449.9
N 89°59'15" W 926
N 89°59'15" W 1980.0
N 89°59'15" W 1980.0
N 89°59'15" W 1980.0

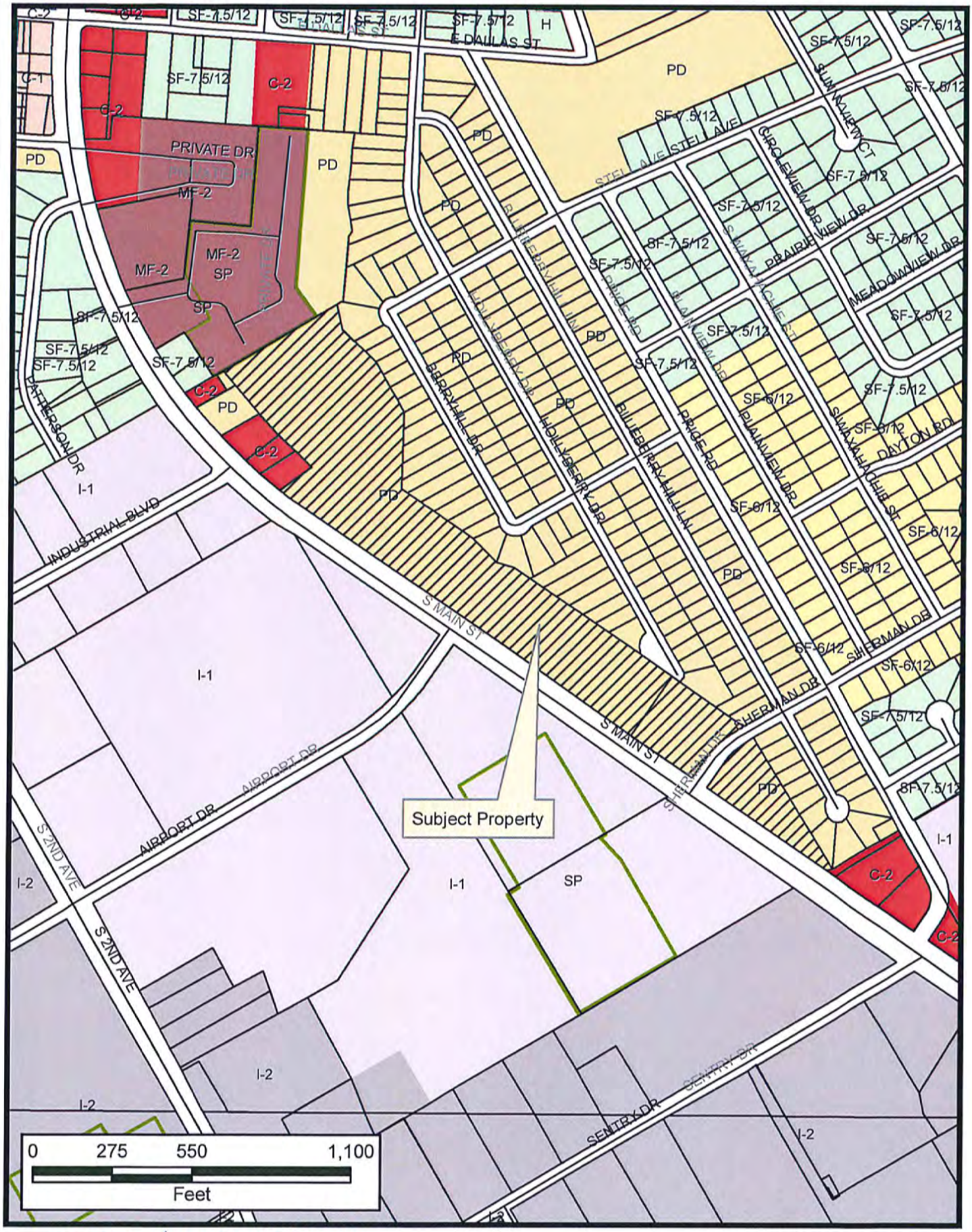


MANSFIELD TEXAS

ZC#17-005

This information is for illustrative purposes only. Not for design or development purposes. Site-specific studies may be required to obtain accurate feature locations. Every effort is made to ensure the information displayed here is accurate; however, the City of Mansfield makes no claims to its accuracy or completeness.

5/11/2017



MANSFIELD TEXAS

ZC#17-005

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5/11/2017

Property Owner Notification for ZC#17-005

LEGAL DESC 1	LEGAL DESC 2	OWNER NAME	OWNER ADDRESS	CITY	ZIP
			*** NO ADDRESS ***	*** NO CITY ***	* NO ZIP *
799 BUSINESS PARK ADDITION	BLK 1	JACKSON, DANIEL	6805 WOODED CT	MANSFIELD, TX	76063
B & B INDUSTRIAL PARK	BLK 1	XTC LAND CO LLC	PO BOX 581807	TULSA, OK	74158-1807
BERRYHILL ADDITION	BLK 3	FREEMAN, TRINA	422 HOLLYBERRY DR	MANSFIELD, TX	76063-3180
BERRYHILL ADDITION	BLK 3	FRANCIS, LETICIAH	424 HOLLYBERRY DR	MANSFIELD, TX	76063
BERRYHILL ADDITION	BLK 3	ARP 2014-1 BORROWER LLC	PO BOX 95997	LAS VEGAS, NV	89193
BERRYHILL ADDITION	BLK 3	KERR, TREVER L	3921 SHILOH TR	MIDLOTHIAN, TX	76065
BERRYHILL ADDITION	BLK 3	DENAM, JASON	303 STELL AVE	MANSFIELD, TX	76063
BERRYHILL ADDITION	BLK 3	WOOD, ERIC	301 STELL AVE	MANSFIELD, TX	76063-3178
BERRYHILL ADDITION	BLK 3	NEWPORT INVESTMENTS LLC	2117 BAY COVE CT	ARLINGTON, TX	76013
BERRYHILL ADDITION	BLK 3	PRILL, DAVID R	502 BERRYHILL DR	MANSFIELD, TX	76063-3627
BERRYHILL ADDITION	BLK 3	JIMENEZ, ADAN	504 BERRYHILL DR	MANSFIELD, TX	76063-3627
BERRYHILL ADDITION	BLK 3	ONVANI FAMILY TRUST	2810 ST MARK DR	MANSFIELD, TX	76063
BERRYHILL ADDITION	BLK 3	DOWTHITT, GEORGE H	508 BERRYHILL DR	MANSFIELD, TX	76063-3627
BERRYHILL ADDITION	BLK 3	SUBLETT, ALAN KEITH	510 BERRYHILL DR	MANSFIELD, TX	76063-3627
BERRYHILL ADDITION	BLK 3	ANCHONDO, JULIO CESAR	512 BERRYHILL DR	MANSFIELD, TX	76063-3627
BERRYHILL ADDITION	BLK 3	HOOKER, STEVEN C	514 BERRYHILL DR	MANSFIELD, TX	76063
BERRYHILL ADDITION	BLK 3	CALDERON, JULIO	2617 WILD IVY TR	MANSFIELD, TX	76063-3468
BERRYHILL ADDITION	BLK 3	VALLADARES, DESIREE	518 BERRYHILL DR	MANSFIELD, TX	76063-3627

Property Owner Notification for ZC#17-005

LEGAL DESC 1	LEGAL DESC 2	OWNER NAME	OWNER ADDRESS	CITY	ZIP
BERRYHILL ADDITION	BLK 3	MANN, KELLY	520 BERRYHILL DR	MANSFIELD, TX	76063-3627
BERRYHILL ADDITION	BLK 3	MULLINS, JARED S	522 BERRYHILL DR	MANSFIELD, TX	76063-3627
BERRYHILL ADDITION	BLK 3	SHELMAN, LORI	524 BERRYHILL DR	MANSFIELD, TX	76063-3627
BERRYHILL ADDITION	BLK 3	PROGRESS RESIDENTIAL 2015-1 BO	PO BOX 4090	SCOTTSDALE, AZ	85261
BERRYHILL ADDITION	BLK 3	AALBERS, SHELBY	528 BERRYHILL DR	MANSFIELD, TX	76063-3627
BERRYHILL ADDITION	BLK 3	VA BENE HOLDINGS RENTALS LLC	1485 HERITAGE PKWY	MANSFIELD, TX	76063-3627
BERRYHILL ADDITION	BLK 3	HUYCK, JOSHUA	540 BERRYHILL DR	MANSFIELD, TX	76063-3627
BERRYHILL ADDITION	BLK 3	2013B PROPERTY OWNER LLC	5025 N CENTRAL EXPRESSWAY STE	DALLAS, TX	75205
BERRYHILL ADDITION	BLK 3	COLEMAN, DIANNA	538 BERRYHILL DR	MANSFIELD, TX	76063-3627
BERRYHILL ADDITION	BLK 3	WAITS, TANNA A	536 BERRYHILL DR	MANSFIELD, TX	76063-3627
BERRYHILL ADDITION	BLK 3	BRISSON, TIM	532 BERRYHILL DR	MANSFIELD, TX	76063-3627
BERRYHILL ADDITION	BLK 3	GAMEZ, VENTURA	604 HOLLYBERRY DR	MANSFIELD, TX	76063-3620
BERRYHILL ADDITION	BLK 3	BRIDGES, MONTY LLOYD	534 BERRYHILL DR	MANSFIELD, TX	76063-3627
BERRYHILL ADDITION	BLK 3	SEVERANCE, SCOTT	PO BOX 183	MANSFIELD, TX	76063-0183
BERRYHILL ADDITION	BLK 3	ROBINIUS, JACQULYN	608 HOLLYBERRY DR	MANSFIELD, TX	76063
BERRYHILL ADDITION	BLK 3	LUNA, CYNTHIA L	613 HOLLYBERRY DR	MANSFIELD, TX	76063-3621
BERRYHILL ADDITION	BLK 3	WRAY, TAMMY L	610 HOLLYBERRY DR	MANSFIELD, TX	76063-3620
BERRYHILL ADDITION	BLK 3	DEAN SPARTAN PROPERTIES LLC	PO BOX 1749	CEDAR HILL, TX	75106
BERRYHILL ADDITION	BLK 3	ROBERTSON, MYRIAM	612 HOLLYBERRY DR	MANSFIELD, TX	76063-3620

Property Owner Notification for ZC#17-005

LEGAL DESC 1	LEGAL DESC 2	OWNER NAME	OWNER ADDRESS	CITY	ZIP
BERRYHILL ADDITION	BLK 3	TONG, QUAN	617 HOLLYBERRY DR	MANSFIELD, TX	76063
BERRYHILL ADDITION	BLK 3	JAQUEZ, KEVIN	614 HOLLYBERRY DR	MANSFIELD, TX	76063-3622
BERRYHILL ADDITION	BLK 3	BRADLEY, JAMES	620 BLUEBERRY HILL LN	MANSFIELD, TX	76063-3635
BERRYHILL ADDITION	BLK 3	MARTIN, REAGAN L	619 HOLLYBERRY DR	MANSFIELD, TX	76063-3623
BERRYHILL ADDITION	BLK 3	HULL, JANET W	PO BOX 1563	FRISCO, TX	75034-0027
BERRYHILL ADDITION	BLK 3	DEHNERT, LLOYD A	622 BLUEBERRY HILL LN	MANSFIELD, TX	76063-3635
BERRYHILL ADDITION	BLK 3	GONZALES-FISCHER, MARGOT	621 HOLLYBERRY DR	MANSFIELD, TX	76063-3623
BERRYHILL ADDITION	BLK 3	CHRISTIAN, JEANNIE P	618 HOLLYBERRY DR	MANSFIELD, TX	76063-3622
BERRYHILL ADDITION	BLK 3	WILLIAMS, MICHAEL J	504 SIERRA AVE	MANSFIELD, TX	76063
BERRYHILL ADDITION	BLK 3	ZAPATA, JUAN	623 HOLLYBERRY DR	MANSFIELD, TX	76063
BERRYHILL ADDITION	BLK 3	THOMAS, BRENDA	626 BLUEBERRY HILL LN	MANSFIELD, TX	76063-3631
BERRYHILL ADDITION	BLK 3	REJCEK, JEREMY C	625 HOLLYBERRY DR	MANSFIELD, TX	76063-3623
BERRYHILL ADDITION	BLK 3	RINLEE, MATTHEW	628 BLUEBERRY HILL LN	MANSFIELD, TX	76063-3631
BERRYHILL ADDITION	BLK 3	MUNOZ, SALVADOR	627 HOLLYBERRY DR	MANSFIELD, TX	76063-3623
BERRYHILL ADDITION	BLK 3	ENRIQUEZ, OMAR	630 BLUEBERRY HILL LN	MANSFIELD, TX	76063-3631
BERRYHILL ADDITION	BLK 3	ROTHERMUND, REY	629 HOLLYBERRY DR	MANSFIELD, TX	76063-3623
BERRYHILL ADDITION	BLK 3	QUILES, TORN	632 BLUEBERRY HILL LN	MANSFIELD, TX	76063-3631
BERRYHILL ADDITION	BLK 3	APONTE, FRANCISCO J	634 BLUEBERRY HILL LN	MANSFIELD, TX	76063-3631
BERRYHILL ADDITION	BLK 3	AMH 2014-3 BORROWER LLC	30601 AGOURA RD STE 200	AGOURA HILLS, CA	91301

Property Owner Notification for ZC#17-005

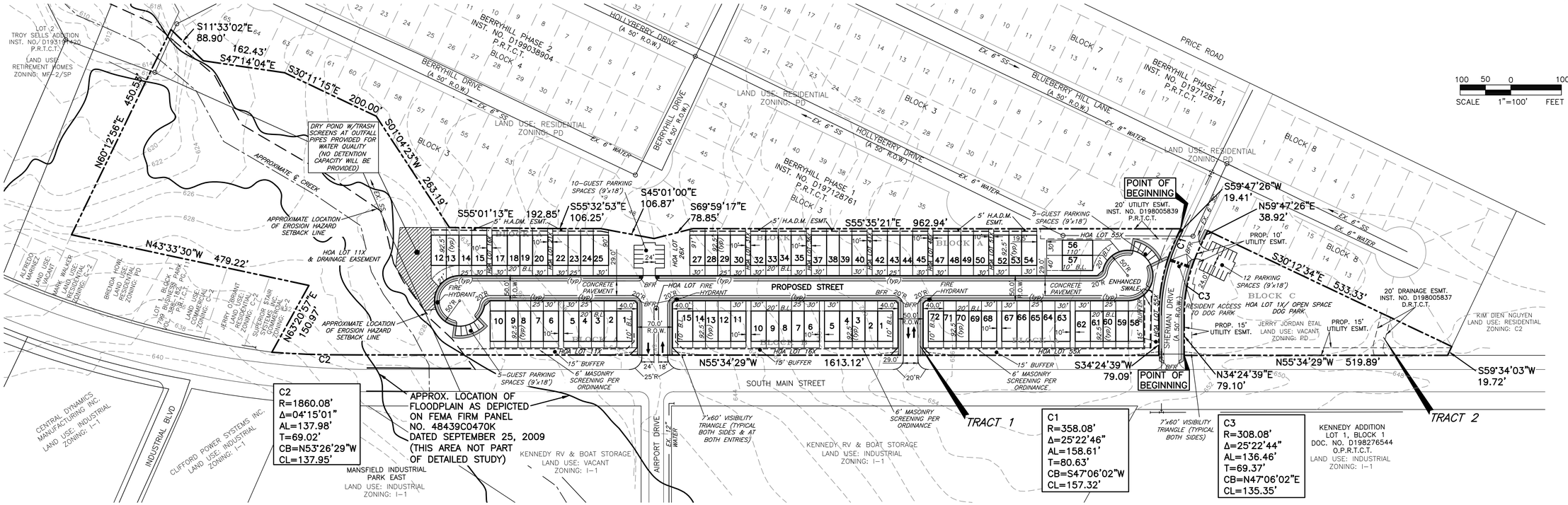
LEGAL DESC 1	LEGAL DESC 2	OWNER NAME	OWNER ADDRESS	CITY	ZIP
BERRYHILL ADDITION	BLK 4	ALKHAZSHVILLY, ANDREW	501 BERRYHILL DR	MANSFIELD, TX	76063
BERRYHILL ADDITION	BLK 4	BROOKS, MARY	503 BERRYHILL DR	MANSFIELD, TX	76063-3626
BERRYHILL ADDITION	BLK 4	WARD, CHARLES F	505 BERRYHILL DR	MANSFIELD, TX	76063-3626
BERRYHILL ADDITION	BLK 4	LMB SERIES LLC	1118 SHADY OAK TRL	MANSFIELD, TX	76063
BERRYHILL ADDITION	BLK 4	LOUDERMILK, ERIKA	1411 CHASE TR	MANSFIELD, TX	76063-5738
BERRYHILL ADDITION	BLK 4	FORRAY, PAMELA	511 BERRYHILL DR	MANSFIELD, TX	76063-3626
BERRYHILL ADDITION	BLK 4	DUFFIN, SIDNEY	7790 BERRY RD	BURLESON, TX	76028
BERRYHILL ADDITION	BLK 4	RICHARDS, EUGENE D	515 BERRYHILL DR	MANSFIELD, TX	76063-3626
BERRYHILL ADDITION	BLK 4	ROBINSON, BRINKLUND	517 BERRYHILL DR	MANSFIELD, TX	76063-3626
BERRYHILL ADDITION	BLK 4	ESCOBEDO, LILIANA VERONICA	527 BERRYHILL DR	MANSFIELD, TX	76063-3626
BERRYHILL ADDITION	BLK 4	PROGRESS RESIDENTIAL 2015-3 BO	PO BOX 4090	SCOTTSDALE, AZ	85261
BERRYHILL ADDITION	BLK 4	STROOPE, WILLIAM	531 BERRYHILL DR	MANSFIELD, TX	76063-3626
BERRYHILL ADDITION	BLK 7	MORRISON, ROY F	633 BLUEBERRY HILL LN	MANSFIELD, TX	76063-3630
BERRYHILL ADDITION	BLK 7	LOPEZ, AUGUSTINE	635 BLUEBERRY HILL LN	MANSFIELD, TX	76063-3630
BERRYHILL ADDITION	BLK 7	ORSINI, JOSE	637 BLUEBERRY HILL LN	MANSFIELD, TX	76063-3630
BERRYHILL ADDITION	BLK 8	SWAY 2014-1 BORROWER LLC	8665 E HARTFORD DR STE 200	SCOTTSDALE, AZ	85255
BERRYHILL ADDITION	BLK 8	GUARDADO, DAWN H	641 BLUEBERRY HILL LN	MANSFIELD, TX	76063-3629
BERRYHILL ADDITION	BLK 8	DELGADO, RAYMUNDO	638 BLUEBERRY HILL LN	MANSFIELD, TX	76063-3628
BERRYHILL ADDITION	BLK 8	BURNS, LAWRENCE R	643 BLUEBERRY HILL LN	MANSFIELD, TX	76063-3629

Property Owner Notification for ZC#17-005

LEGAL DESC 1	LEGAL DESC 2	OWNER NAME	OWNER ADDRESS	CITY	ZIP
BERRYHILL ADDITION	BLK 8	ROBERTS, KAYLA	640 BLUEBERRY HILL LN	MANSFIELD, TX	76063-3628
BERRYHILL ADDITION	BLK 8	RICO, AGUSTIN C	645 BLUEBERRY HILL LN	MANSFIELD, TX	76063-3629
BERRYHILL ADDITION	BLK 8	PORTILLO, JAIRZINO	642 BLUEBERRY HILL LN	MANSFIELD, TX	76063-3628
BERRYHILL ADDITION	BLK 8	KEEN, MICHAEL D	647 BLUEBERRY HILL LN	MANSFIELD, TX	76063-3619
BERRYHILL ADDITION	BLK 8	TREVINO, LILIANA G	644 BLUEBERRY HILL LN	MANSFIELD, TX	76063-3628
BERRYHILL ADDITION	BLK 8	SILBAUGH, ROBERT S	649 BLUEBERRY HILL LN	MANSFIELD, TX	76063-3619
BERRYHILL ADDITION	BLK 8	AMERICAN HOMES 4 RENT PROPERTI	30601 AGOURA RD STE 200	AGOURA HILLS, CA	91301
BERRYHILL ADDITION	BLK 8	ALVARADO, FRANCISCO	651 BLUEBERRY HILL LN	MANSFIELD, TX	76063-3619
BERRYHILL ADDITION	BLK 8	LEE, CHRISTOPHER M	PO BOX 199	LILLIAN, TX	76061-0199
BERRYHILL ADDITION	BLK 8	STALLINGS, JAMES E	653 BLUEBERRY HILL LN	MANSFIELD, TX	76063-3619
BERRYHILL ADDITION	BLK 8	PLEVRITIS, PETER J	650 BLUEBERRY HILL LN	MANSFIELD, TX	76063-3600
BERRYHILL ADDITION	BLK 8	RADZWION, ALVIN E	25083 RONALD ST	ROSEVILLE, MI	48066-4446
BERRYHILL ADDITION	BLK 8	GREEVER, PAMELA	652 BLUEBERRY HILL LN	MANSFIELD, TX	76063-3600
BERRYHILL ADDITION	BLK 8	TXU GAS COMPANY	PO BOX 650205	DALLAS, TX	75265-0205
BERRYHILL ADDITION	BLK 8	WRIGHT, AMY	654 BLUEBERRY HILL LN	MANSFIELD, TX	76063-3600
HANKS, THOMAS J SURVEY	A 644	JORDAN, JERRY ETAL	PO BOX 993	ARLINGTON, TX	76004-0993
HANKS, THOMAS J SURVEY	A 644	STEWART, BRANDY	PO BOX 974	CROWLEY, TX	76036
HANKS, THOMAS J SURVEY	A 644	MARTINEZ, ALFREDO P	800 QUAIL TERR	MANSFIELD, TX	76063-1528
HANKS, THOMAS J SURVEY	A 644	HOWL, BRENDA	1908 CHERYL LN	ARLINGTON, TX	76013-4921

Property Owner Notification for ZC#17-005

LEGAL DESC 1	LEGAL DESC 2	OWNER NAME	OWNER ADDRESS	CITY	ZIP
HANKS, THOMAS J SURVEY	A 644	WALKER, MARK	305 W BROAD ST	MANSFIELD, TX	76063-1610
HANKS, THOMAS J SURVEY	A 644	O'BRIANT, JERRY	505 NORWOOD CIR W	ARLINGTON, TX	76013
HANKS, THOMAS J SURVEY	A 644	MORGAN, W R	603 SUNSET DR	CLEBURNE, TX	76033
HANKS, THOMAS J SURVEY	A 644	KENNEDY RV & BOAT STORAGE INC	12312 COUNTY ROAD 528	MANSFIELD, TX	76063-7036
HANKS, THOMAS J SURVEY	A 644	JORDAN, JERRY ETAL	PO BOX 993	ARLINGTON, TX	76004-0993
HANKS, THOMAS J SURVEY	A 644	JORDAN, JERRY ETAL	PO BOX 993	ARLINGTON, TX	76004-0993
HANKS, THOMAS J SURVEY	A 644	KENNEDY RV & BOAT STORAGE INC	12312 COUNTY ROAD 528	MANSFIELD, TX	76063-7036
HANKS, THOMAS J SURVEY	A 644	HOWL, BRENDA	1908 CHERYL LN	ARLINGTON, TX	76013-4921
KENNEDY ADDITION-MANSFIELD	BLK 1	KENNEDY RV & BOAT STORAGE INC	12312 COUNTY ROAD 528	MANSFIELD, TX	76063-7036
MANSFIELD INDUSTRIAL PARK EAST	BLK 1	US PROPERTIES INC	7135 DORSEY RUN RD	ELKRIDGE, MD	21075-6884
MCANIER, ELIZABETH SURVEY	A 1990	NGUYEN, KIM DIEN	605 CARSWELL TERR	ARLINGTON, TX	76010-4442
SELLS, TROY	LOT 2	MANSFIELD RETIREMENT LTD	PO BOX 3144	BRYAN, TX	77805-3144
SENTRY INDUSTRIAL PARK SUB	BLK A	ASH JOINT VENTURE LTD	1703 PEYCO DR N	ARLINGTON, TX	76001-6701



LEGEND

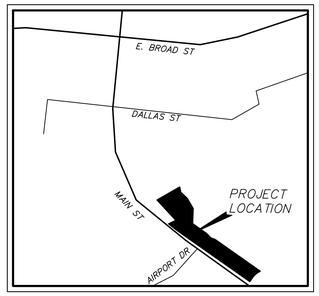
— — — —	SETBACK
———	PROPERTY LINE
R.O.W.	RIGHT-OF-WAY
(typ)	TYPICAL
R	RADIUS
B.L.	BUILDING LINE
H.A.D.M.	HOA ACCESS, DRAINAGE & MAINTENANCE EASEMENT
HOA	HOME OWNER'S ASSOCIATION
═══	PROP. 5' SIDEWALK
▭	MINIMUM HOUSE PAD (25'x60')

SITE SUMMARY

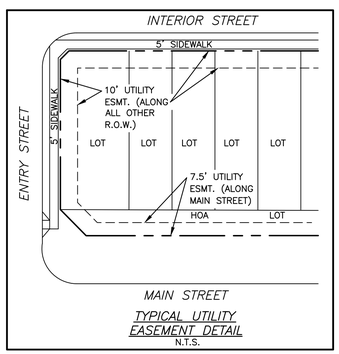
PROPOSED LAND USE:	RESIDENTIAL
TOTAL NUMBER OF LOTS:	77 RESIDENTIAL 11 HOA LOTS
TYPICAL LOT SIZE:	25'x92.5'
MINIMUM HOUSE SIZE:	25'x60'
MAXIMUM HEIGHT:	36'
MINIMUM FLOOR AREA:	1618 Sq. Ft.
MINIMUM WIDTH:	25'
MINIMUM DEPTH:	90'
STREETS:	50' R.O.W.
PAVEMENT:	29' B-B
GROSS AREA (ACRES):	14.4
AREA NET FLOODPLAIN (ACRES):	8.3
OPEN SPACE (ACRES):	7.6
FRONT SETBACK:	20'
REAR SETBACK: (SEE NOTE 1)	10'
SIDE SETBACK:	0'
DENSITY (GROSS):	4.77 lots/acre

-EACH FACADE WILL HAVE MINIMUM OF 85% MASONRY

-ALL HOUSE FACADES SHALL COMPLY WITH SECTION 4600 OF THE CITY OF MANSFIELD ZONING ORDINANCE.



LOCATION MAP
N.T.S.



TYPICAL UTILITY EASEMENT DETAIL
N.T.S.

NOTES:

1) H.O.A. ACCESS, DRAINAGE & MAINTENANCE EASEMENT (H.A.D.M.): FOR LOTS 12-54, BLOCK A, THE REAR SETBACK FROM THE PROPERTY LINE SHALL BE 12 FEET. WITHIN THE SETBACK, THE FIRST 5 FEET FROM THE PROPERTY LINE SHALL BE AN H.O.A. ACCESS AND MAINTENANCE EASEMENT.

A BOARD ON BOARD FENCE SHALL BE CONSTRUCTED ON THE PROPERTY LINE PER CITY OF MANSFIELD ORDINANCE WITH PLANTINGS THAT INCLUDE 1 TREE EVERY 25 LINEAR FEET, WITHIN 15 FEET OF THE PROPERTY LINE.

2) THIS DEVELOPMENT WILL NOT BE GATED.

3) SPRINKLER SYSTEMS AND FIRE ALARMS WILL BE REQUIRED.

4) A MANDATORY HOMEOWNERS ASSOCIATION WILL BE RESPONSIBLE FOR THE MAINTENANCE OF THE 6' MASONRY WALL ALONG SOUTH MAIN STREET; THE HOA LOTS; AND THE ENHANCED ENTRYWAY FEATURES, INCLUDING BUT NOT LIMITED TO THE MEDIAN AND MONUMENT SIGN, LANDSCAPING, ANY NON-STANDARD PAVEMENT, AND THE ENHANCED MASONRY WALL WITH SIGNAGE.

5) THE HOME OWNER'S ASSOCIATION AND ASSOCIATED DOCUMENTS SHALL BE FILED IN ACCORDANCE WITH THE CITY OF MANSFIELD POLICIES. THESE DOCUMENTS MUST BE REVIEWED BY THE CITY ATTORNEY PRIOR TO FILING THE FINAL PLAT. THE DOCUMENTS SHALL BE FILED WITH THE FINAL PLAT AT TARRANT COUNTY WHEN DEEMED NECESSARY BY THE ATTORNEY. THE DOCUMENTS SHALL BE SUBMITTED IN A TIMELY MANNER TO ALLOW FOR A MINIMUM OF 60 DAYS FOR REVIEW. FAILURE TO SUBMIT THE DOCUMENTS OR INCOMPLETE DOCUMENTS MAY RESULT IN DELAY OF CONSTRUCTION, ACCEPTANCE OF THE SUBDIVISION OR DELAY IN APPROVAL OF A BUILDING PERMIT. THE CITY DOES NOT ACCEPT THE RESPONSIBILITY FOR ANY DELAYS IN CONSTRUCTION, APPROVAL OR ACCEPTANCE OF THE SUBDIVISION CAUSED BY THE FAILURE TO SUBMIT THE ASSOCIATION DOCUMENTS OR THE INACCURACY OF THE DOCUMENTS.

6) THIS PROPOSED DEVELOPMENT WILL BE IN COMPLETE ACCORDANCE WITH THE PROVISIONS OF THE APPROVED PLANNED DEVELOPMENT DISTRICT AND ALL DEVELOPMENT PLANS RECORDED HEREUNDER SHALL BE BINDING UPON THE APPLICANT THEREOF, HIS SUCCESSORS AND ASSIGNS, AND SHALL LIMIT AND CONTROL ALL BUILDING PERMITS.

7) THIS DEVELOPMENT WILL BE DEVELOPED IN ONE PHASE.

8) ALL STREETS, PARKING AREAS AND DRIVEWAYS WILL BE CONCRETE PAVEMENT CONSTRUCTED TO MEET CITY OF MANSFIELD STANDARD DRAWINGS AND SPECIFICATIONS.

ALL DRIVEWAYS WILL BE CONSTRUCTED OF CONCRETE PAVEMENT

EXHIBIT B
CASE NO. ZC#17-005
DEVELOPMENT PLAN

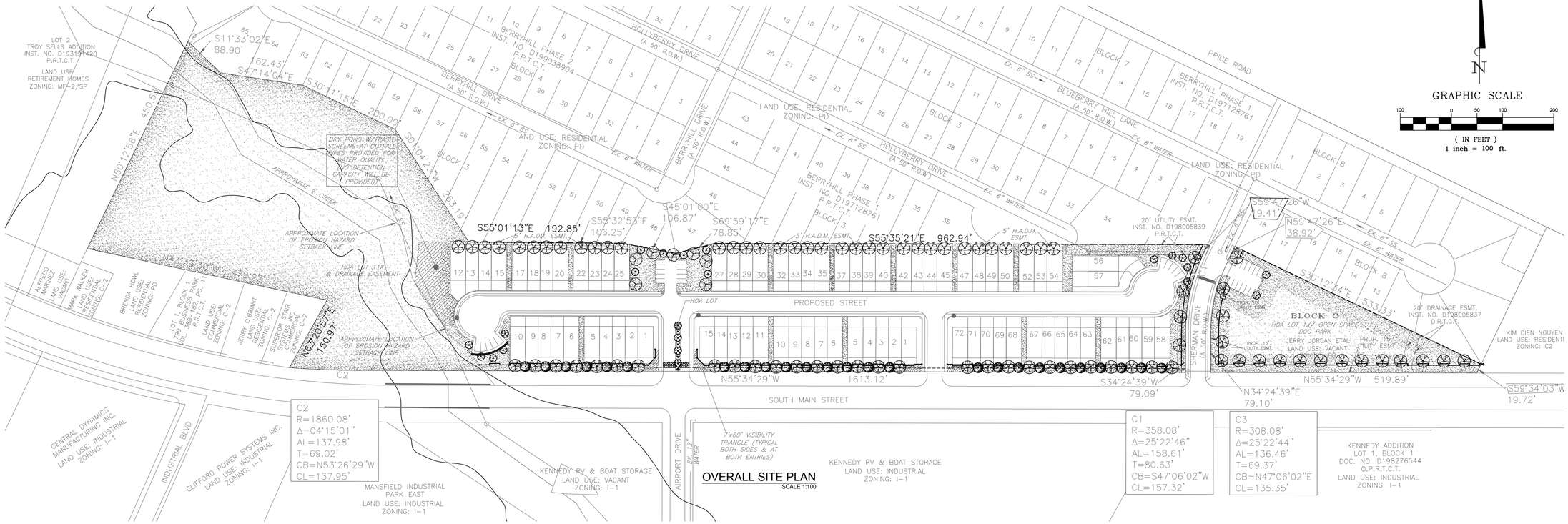
MAIN STREET VILLAGE

16.130 ACRES
77 TOWNHOUSE LOTS
OUT OF THE
T.J. HANKS SURVEY, ABSTRACT NO. 644
CITY OF MANSFIELD, TARRANT COUNTY, TEXAS
MAY 2017

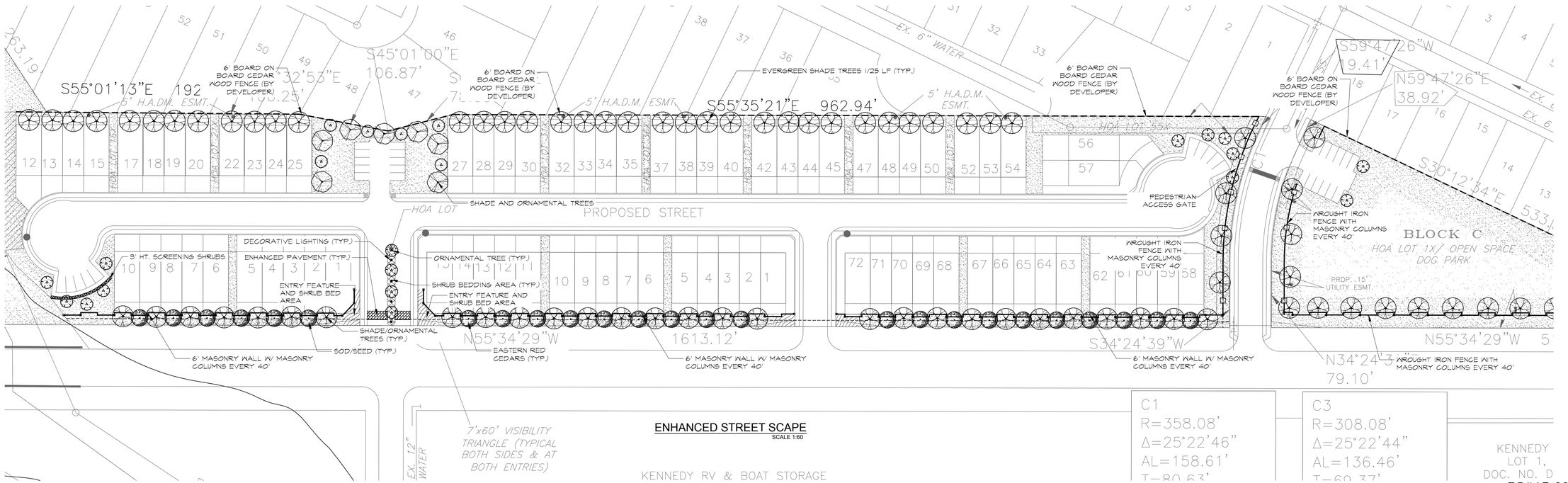
DEVELOPER:
SKORBURG COMPANY
8214 WESTCHESTER DRIVE #710
DALLAS, TEXAS 75225
CONTACT: NOAH FLABIANO
(214) 212-7025

OWNER:
PRAIRIE VISTA CORP.
C/O: SKORBURG COMPANY
8214 WESTCHESTER DRIVE #710
DALLAS, TEXAS 75225
CONTACT: NOAH FLABIANO
(214) 212-7025

PREPARED BY:
MACATEE ENGINEERING, LLC
3519 MILES STREET
DALLAS, TEXAS 75209
CONTACT: PHILLIP FISHER
(214) 373-1180



OVERALL SITE PLAN
SCALE 1:100



ENHANCED STREET SCAPE
SCALE 1:60

ZC#17-005

INFORMATION ON THIS SHEET IS PERTINENT TO ALL OTHER DESIGN SHEETS IN THIS SET OF DRAWINGS. THE CONTRACTOR SHALL NOT SEPARATE DRAWINGS FROM THE SET FOR DISTRIBUTION TO SPECIFIC DISCIPLINES. EACH SUBCONTRACTOR SHALL BE PROVIDED WITH ALL SHEETS WITHIN THIS PLAN SET.

BANNISTER ENGINEERING
240 N. Mitchell Road | Mansfield, TX 76063 | 817.842.2094 | 817.842.2095 fax
REGISTRATION # F-10599 (TEXAS)

MAIN STREET VILLAGES
MANSFIELD, TEXAS

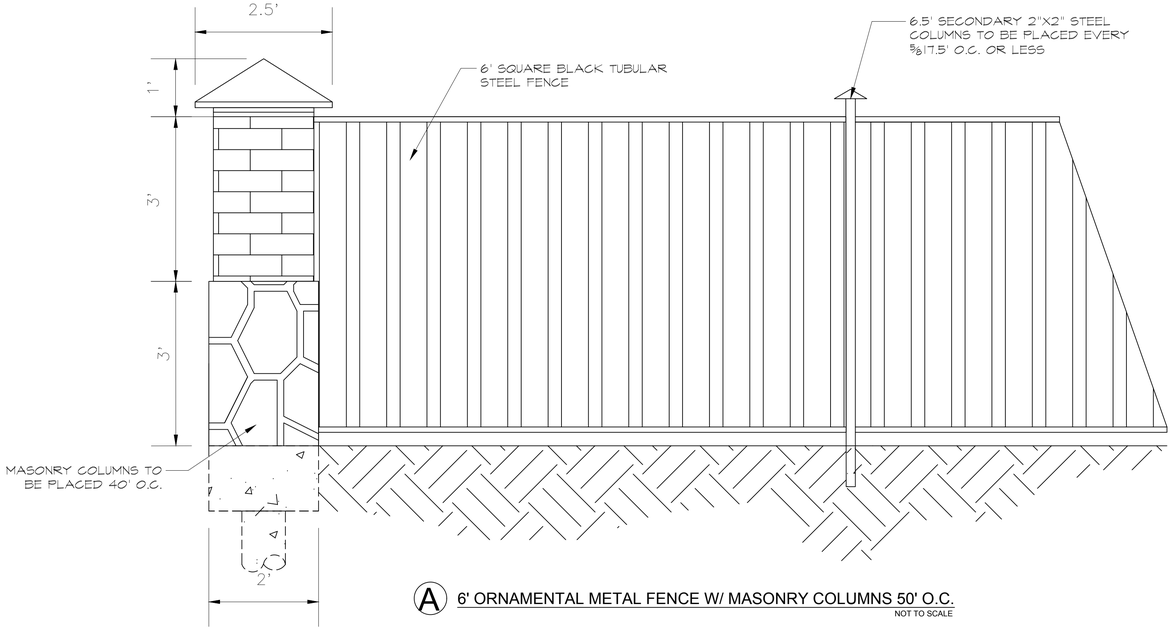
EXHIBIT 'C' LANDSCAPE PLAN

No.	Date	Revision Description

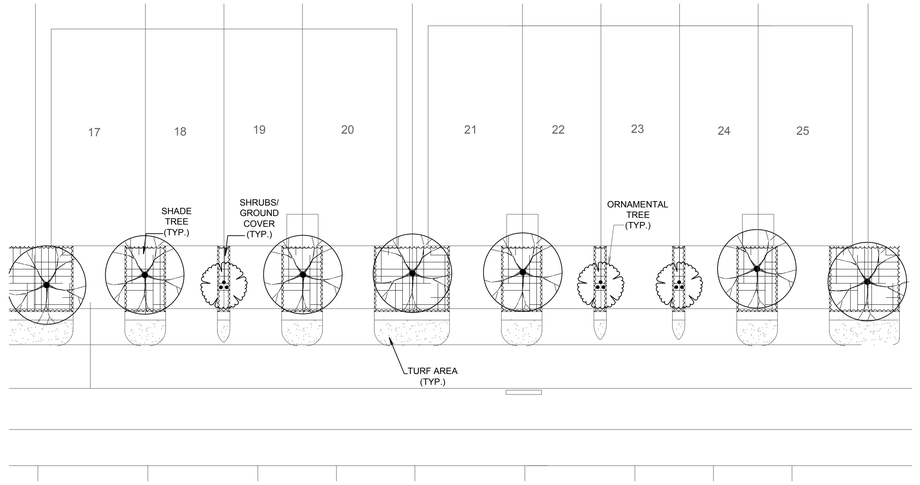
PROJECT NO.: 090-17-07

PRELIMINARY
FOR REVIEW ONLY
THESE DOCUMENTS ARE FOR REVIEW ONLY AND NOT INTENDED FOR CONSTRUCTION, BIDDING, OR PERMITTING. THEY HAVE BEEN PREPARED BY OR UNDER THE SUPERVISION OF:
Architect DREW J. DUBOCQ
L.A. No. 3141 Date 05/25/2017

SHEET NO.
EXH-C.1



A 6' ORNAMENTAL METAL FENCE W/ MASONRY COLUMNS 50' O.C.
NOT TO SCALE

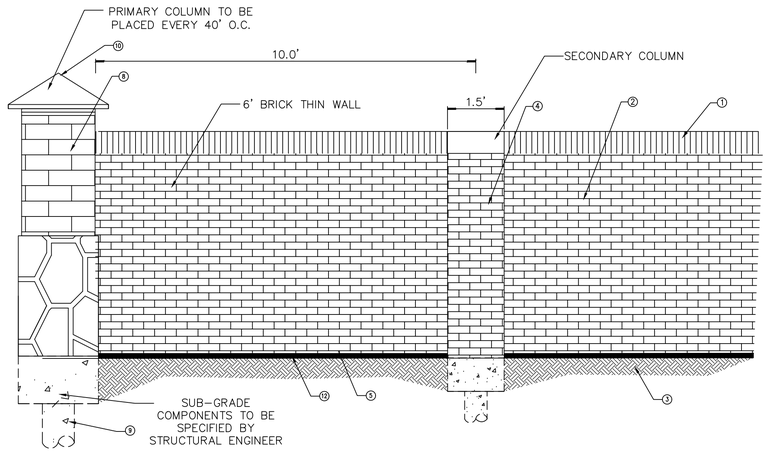


C TYPICAL LANDSCAPE FOR TOWNHOMES
NOT TO SCALE

PLANT_SCHEDULE

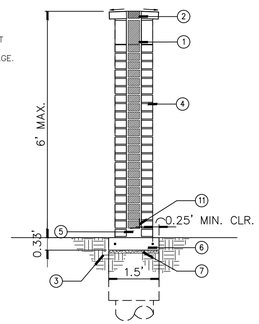
TREES	BOTANICAL NAME / COMMON NAME	CONT	CAL	SIZE
	EASTERN RED CEDAR	65 GAL.	3.5"	10'-12'
	ORNAMENTAL TREE	30 GAL	3"	6'-8'
	DECIDUOUS SHADE TREE	65 GAL.	3.5"	10'-12'
	EVERGREEN SHADE TREE	65 GAL.	3.5"	10'-12'
	ORNAMENTAL TREE	30 GAL	3"	6'-8'
SHRUB AREAS	BOTANICAL NAME / COMMON NAME			
	VEHICLE SCREENING SHRUB BED WITH SHRUBS 3' HT.			
	SHRUB BEDDING AREA			
	ENTRY BEDDING AREAS, PLANTS NOT TO EXCEED 2' HT. WITHIN VISIBILITY TRIANGLE.			
GROUND COVERS	BOTANICAL NAME / COMMON NAME			
	Bermuda Grass	SOD OR SEED		

NOTE: RESIDENTIAL TREE REQUIREMENTS PER 7300.Z.2 OF THE ZONING ORDINANCE ARE REQUIRED.



B SCREEN WALL ENDS & ACCENT COLUMNS
NOT TO SCALE

1. SOLDIER COURSE @ TOP OF WALL (SEE ELEVATION).
2. STANDARD RUNNING BOND BRICK FACING W/STANDARD MASONRY H-REINFORCING. BRICK SELECTION BY OWNER. REINFORCED W/ 1-NO. 9 GAUGE WIRE HORIZONTAL AT EACH COURSE. PROVIDE SLIGHT SLOPE @ TOP AS SHOWN TO FACILITATE DRAINAGE.
3. COMPACTED SUBGRADE TO 95% OF AASHTO T-99 DENSITY.
4. STANDARD 16" WIDE BRICK SUPPORT @ 12' OR 10' O.C.
5. BOTTOM COURSE WITH WEEP OPENINGS
6. CONCRETE MOW-STRIP W/ (2) #4 BARS CONTINUOUS , 8" o.c. MIN.
7. 1" SAND SETTING BED.
8. STANDARD 24"x24" COLUMN @ 60' OR 20' O.C.
9. 12"~ PIER x DEPTH TO 8' MIN. BELOW EXISTING GRADE @ 12' O.C. MAX. (O.C. TO MATCH COLUMNS & BRICK SUPPORTS)
10. CAST STONE COLUMN CAP
11. 3"x3"x¼" GALVANIZED ANGLE IRON
12. 4" OPENING



MAIN STREET VILLAGE
Deviation Summary Table

Landscaping

- 7300.O.7 - The buffer yard for a Townhouse adjacent to a SF Lot shall be 5 feet; there will be plantings along the rear fences, but will leave openings for entries into backyards.
- 7300.O.7 – No screen wall shall be required along the SF Lots
- There shall be a 15-foot-wide landscape setback along the entire boundary that abuts a public street.
- 7300.AA – Since the lots are 25-feet-wide and the driveway is 20-feet-wide, there shall not be Residential Foundation Plantings on the FRONT of the buildings. Otherwise, we will comply.

ZC#17-005

INFORMATION ON THIS SHEET IS PERTINENT TO ALL OTHER DESIGN SHEETS IN THIS SET OF DRAWINGS. THE CONTRACTOR SHALL NOT SEPARATE DRAWINGS FROM THE SET FOR DISTRIBUTION TO SPECIFIC DISCIPLINES. EACH SUBCONTRACTOR SHALL BE PROVIDED WITH ALL SHEETS WITHIN THIS PLAN SET.

BANNISTER ENGINEERING
240 N. Mitchell Road | Mansfield, TX 76063 | 817.842.2094 | 817.842.2095 fax
REGISTRATION # F-10599 (TEXAS)

MAIN STREET VILLAGES
MANSFIELD, TEXAS

EXHIBIT 'C' LANDSCAPE DETAILS

No.	Date	Revision Description

PROJECT NO.: 090-17-07

PRELIMINARY
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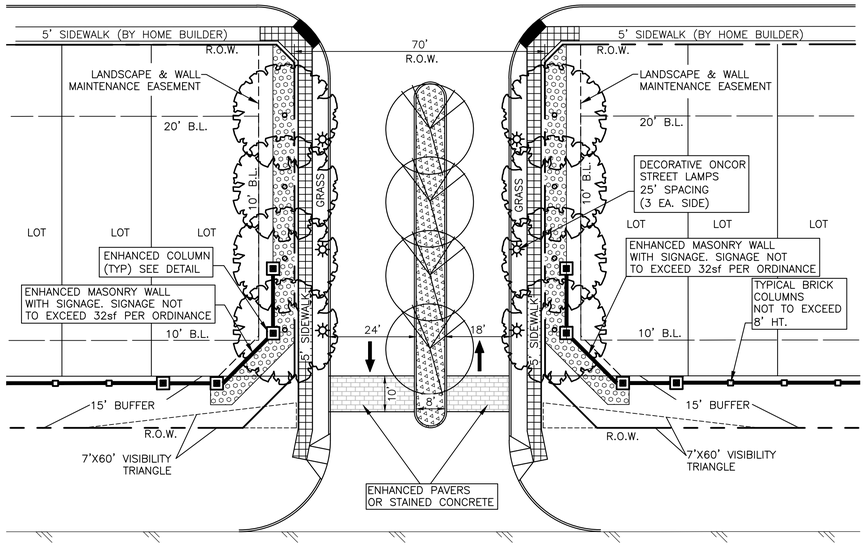
Architect _____ DREW J. DUBOCQ
L.A. No. 3141 Date 05/25/2017

SHEET NO.
EXH-C-.2

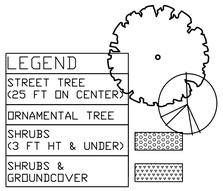
RESIDENTIAL STREET

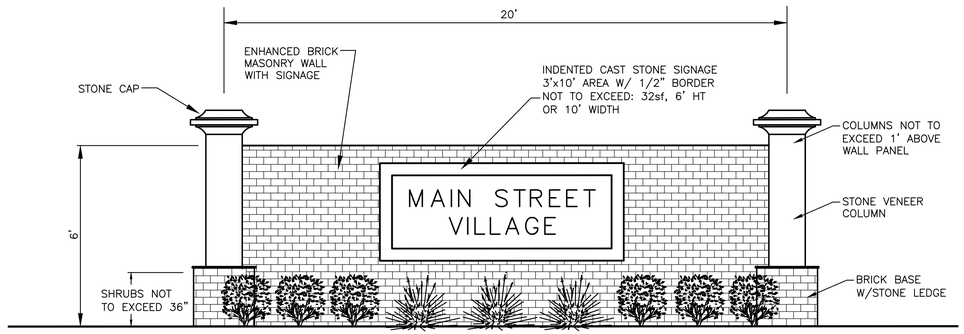


MAIN STREET

ENHANCED ENTRY FEATURE PLAN

SCALE: 1"=20'





ENHANCED ARCHITECTURAL SIGNAGE WALL

EXHIBIT C.3
CASE NO. ZC#17-005
ENHANCED ENTRYWAY PLAN
MAIN STREET VILLAGE
16.130 ACRES
77 LOTS
OUT OF THE
T.J. HANKS SURVEY, ABSTRACT NO. 644
CITY OF MANSFIELD, TARRANT COUNTY, TEXAS
MAY 2017

DEVELOPER:
SKORBURG COMPANY
8214 WESTCHESTER DRIVE #710
DALLAS, TEXAS 75225
CONTACT: NOAH FLABIANO
(214) 212-7025

OWNER:
PRAIRIE VISTA CORP.
C/O: SKORBURG COMPANY
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PREPARED BY:
MACATEE ENGINEERING, LLC
3519 MILES STREET
DALLAS, TEXAS 75209
CONTACT: PHILLIP FISHER
(214) 373-1180

Exhibit D.1

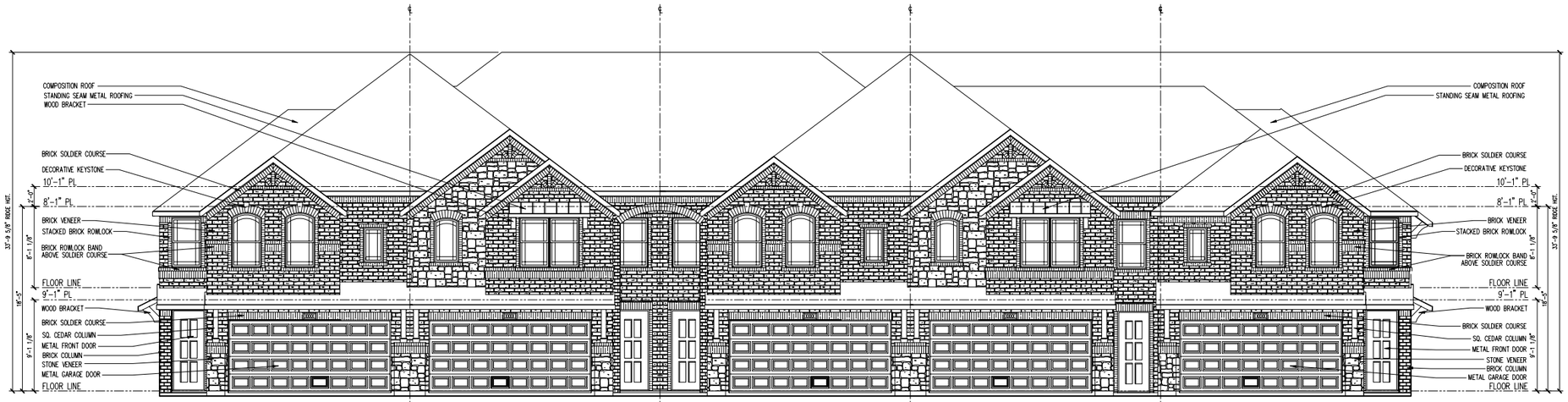
Exhibit D.2

Exhibit D.3

Exhibit D.4

Exhibit D.5

Exhibit D.6



ELEVATION "A" ELEVATION "B" ELEVATION "A" ELEVATION "B" ELEVATION "A"

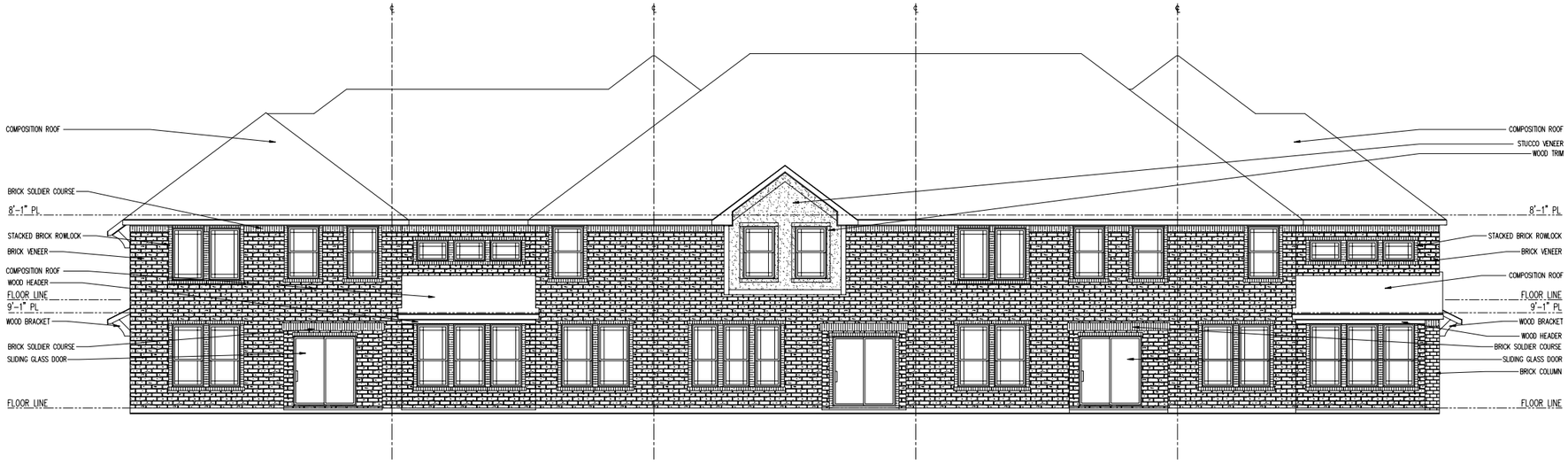
FRONT ELEVATION

SCALE 5/64" = 1'-0" (NOTE: SCALE 5/32" = 1'-0" ON 22x34 PAPER)

MASONRY PERCENTAGE CALCULATIONS

	FRONT	REAR	LEFT	RIGHT	TOTAL
TOTAL WALL (TW)	2517	2203	960	960	6640
TOTAL OPENINGS (TO)	994	513	94	54	1655
TOTAL ROOF OMMISION (TRO)	90	100	10	10	210
NET WALL (NW=TW-TO-TRO)	1433	1590	856	896	4775
TOTAL STUCCO BOARD (TSB)	0	82	21	10	113
TOTAL MASONRY (TM=NW-TSB)	1433	1508	835	886	4662
MASONRY PERCENTAGE (M%=TM/NW)	100%	95%	98%	99%	**98%**

THESE CALCULATIONS PER CITY REQUIREMENTS AS VIEWED FROM THE STREET BELOW THE FASCIA BOARD. THEY DO NOT INCLUDE SURFACES BEYOND NOT SEEN. NOT INTENDED FOR ESTIMATING PURPOSES.



REAR ELEVATION

SCALE 5/64" = 1'-0" (NOTE: SCALE 5/32" = 1'-0" ON 22x34 PAPER)

EXHIBIT D.7

XXXX-XX

No.	DATE
1	5-19-17
2	
3	
4	

ZONING PROPOSAL
BUILDING 1

TERRACES
BY
WINDSOR, LLC.

McLaughlin Design Studio — Residential Exterior & Interior Since 1985

EXTERIOR ELEVATIONS

DESIGN: MM | DRAWN: NB

PLAN No:

SHEET
A3.2

22x34 - 5/32" = 1'-0"
11x17 - 5/64" = 1'-0"

LEFT ELEVATION

SCALE 5/64" = 1'-0" (NOTE: SCALE 5/32" = 1'-0" ON 22x34 PAPER)

RIGHT ELEVATION

SCALE 5/64" = 1'-0" (NOTE: SCALE 5/32" = 1'-0" ON 22x34 PAPER)

EXHIBIT D.8

XXXX-XX

No.	DATE
1	6-19-17
2	
3	
4	

ZONING PROPOSAL
BUILDING 1

TERRACES
BY
WINDSOR, LLC.

McLaughlin
Design Studio
Residential Engineering & Design Since 1956

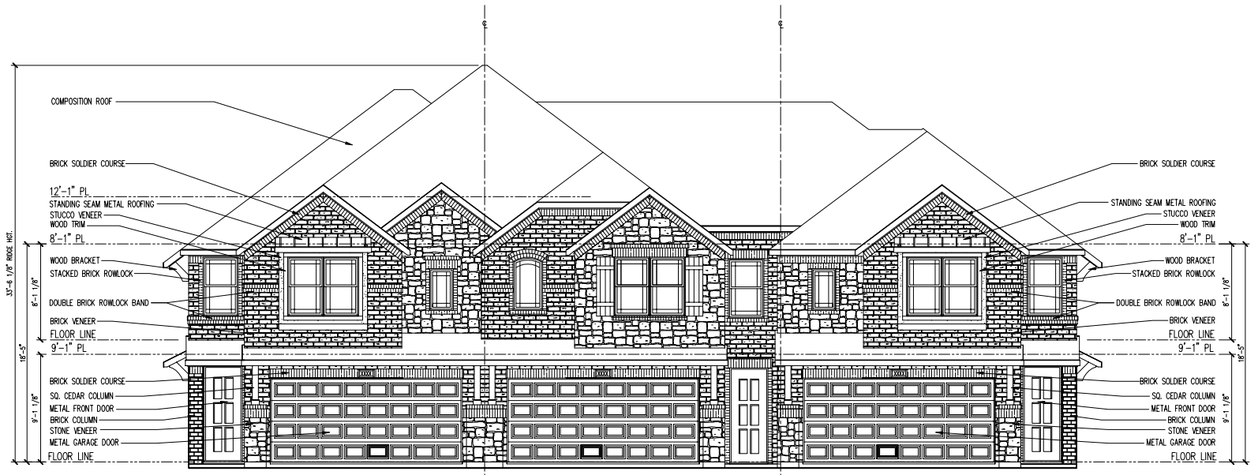
EXTERIOR
ELEVATIONS

DESIGN:	DRAWN:
MM	NB

PLAN No:

SHEET
A3.3

22x34 - 5/32" = 1'-0"
11x17 - 5/64" = 1'-0"



FRONT ELEVATION

SCALE 5/64" = 1'-0" (NOTE: SCALE 5/32" = 1'-0" ON 22x34 PAPER)

MASONRY PERCENTAGE CALCULATIONS

	FRONT	REAR	LEFT	RIGHT	TOTAL
TOTAL WALL (TW)	1482	1337	960	960	4739
TOTAL OPENINGS (TO)	592	374	36	66	1068
TOTAL ROOF OMMISION (TRO)	61	50	10	10	131
NET WALL (NW=TW-TO-TRO)	829	913	914	884	3540
TOTAL STUCCO BOARD (TSB)	38	82	12	12	144
TOTAL MASONRY (TM=NW-TSB)	791	831	902	872	3396
MASONRY PERCENTAGE (M%=TM/NW)	95%	91%	99%	99%	**96%**

THESE CALCULATIONS PER CITY REQUIREMENTS AS VIEWED FROM THE STREET BELOW THE FASCIA BOARD. THEY DO NOT INCLUDE SURFACES BEYOND NOT SEEN. NOT INTENDED FOR ESTIMATING PURPOSES.

REAR ELEVATION

SCALE 5/64" = 1'-0" (NOTE: SCALE 5/32" = 1'-0" ON 22x34 PAPER)

EXHIBIT D.9

XXXX-XX

No.	DATE
1	5-19-17
2	
3	
4	

ZONING PROPOSAL
BUILDING 2

TERRACES
BY
WINDSOR, LLC.

McLaughlin Design Studio
Residential Architecture & Interior Since 1985

EXTERIOR ELEVATIONS

DESIGN: MM | DRAWN: NB

PLAN No:

SHEET
A3.2

22x34 - 5/32" = 1'-0"
11x17 - 5/64" = 1'-0"

LEFT ELEVATION

SCALE 5/64" = 1'-0" (NOTE: SCALE 5/32" = 1'-0" ON 22x34 PAPER)

RIGHT ELEVATION

SCALE 5/64" = 1'-0" (NOTE: SCALE 5/32" = 1'-0" ON 22x34 PAPER)

EXHIBIT D.10

XXXX-XX

No.	DATE
1	6-19-17
2	
3	
4	

ZONING PROPOSAL
BUILDING 2

TERRACES
BY
WINDSOR, LLC.

McLaughlin
Design Studio
Residential Engineering & Design Since 1958

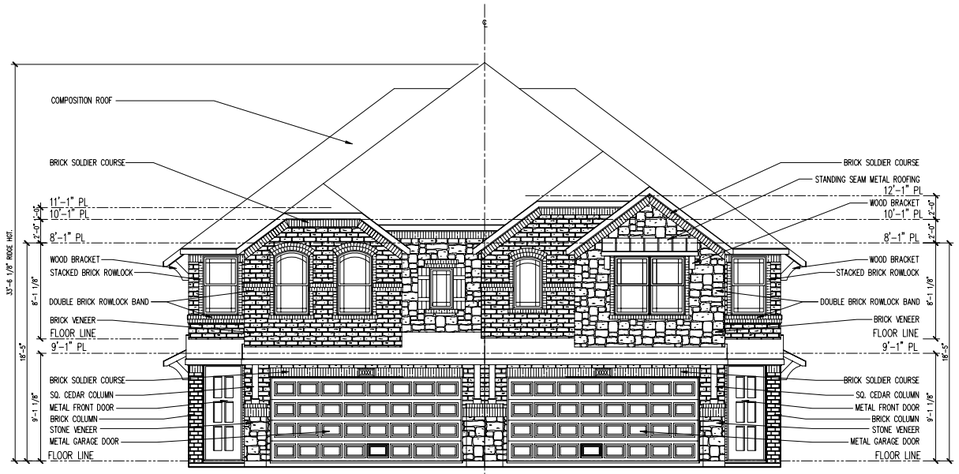
EXTERIOR
ELEVATIONS

DESIGN:	DRAWN:
MM	NB

PLAN No:

SHEET
A3.3

22x34 - 5/32" = 1'-0"
11x17 - 5/64" = 1'-0"



ELEVATION "E" ELEVATION "F"

FRONT ELEVATION

SCALE 5/64" = 1'-0" (NOTE: SCALE 5/32" = 1'-0" ON 22x34 PAPER)

REAR ELEVATION

SCALE 5/64" = 1'-0" (NOTE: SCALE 5/32" = 1'-0" ON 22x34 PAPER)

MASONRY PERCENTAGE CALCULATIONS

	FRONT	REAR	LEFT	RIGHT	TOTAL
TOTAL WALL (TW)	976	902	960	960	3798
TOTAL OPENINGS (TO)	398	171	66	36	671
TOTAL ROOF OMMISION (TRO)	38	0	10	10	58
NET WALL (NW=TW-TO-TRO)	540	731	884	914	3069
TOTAL STUCCO BOARD (TSB)	0	82	12	12	106
TOTAL MASONRY (TM=NW-TSB)	540	649	872	902	2963
MASONRY PERCENTAGE (M%=TM/NW)	100%	89%	99%	99%	**97%**

THESE CALCULATIONS PER CITY REQUIREMENTS AS VIEWED FROM THE STREET BELOW THE FASCIA BOARD. THEY DO NOT INCLUDE SURFACES BEYOND NOT SEEN. NOT INTENDED FOR ESTIMATING PURPOSES.

EXHIBIT D.11

XXXX-XX

No.	DATE
1	5-19-17
2	
3	
4	

ZONING PROPOSAL
BUILDING 3

TERRACES
BY
WINDSOR, LLC.

McLaughlin Design Studio – Residential Carefully & Lovingly Since 1965

EXTERIOR ELEVATIONS

DESIGN: MM | DRAWN: MB

PLAN No:

SHEET
A3.2

22x34 - 5/32" = 1'-0"
11x17 - 5/64" = 1'-0"

LEFT ELEVATION

SCALE 5/64" = 1'-0" (NOTE: SCALE 5/32" = 1'-0" ON 22x34 PAPER)

RIGHT ELEVATION

SCALE 5/64" = 1'-0" (NOTE: SCALE 5/32" = 1'-0" ON 22x34 PAPER)

EXHIBIT D.12

XXXX-XX

No.	DATE
1	6-19-17
2	
3	
4	

ZONING PROPOSAL
BUILDING 3

TERRACES
BY
WINDSOR, LLC.

McLaughlin
Design Studio
Residential Engineering & Design Since 1958

EXTERIOR
ELEVATIONS

DESIGN: MM | DRAWN: NB

PLAN No:

SHEET
A3.3

22x34 - 5/32" = 1'-0"
11x17 - 5/64" = 1'-0"

PLANNING AND ZONING COMMUNICATION

Agenda: June 5, 2017

Subject: ZC#17-007: Public hearing for zoning change from PD, Planned Development District to PD, Planned Development District for Retail on approximately 5.307 acres out of the James Grimsley Survey, Abstract # 578 Tarrant Co., TX, generally located south of E Debbie Lane and approx. 1300 feet east of Matlock Rd.

GENERAL INFORMATION

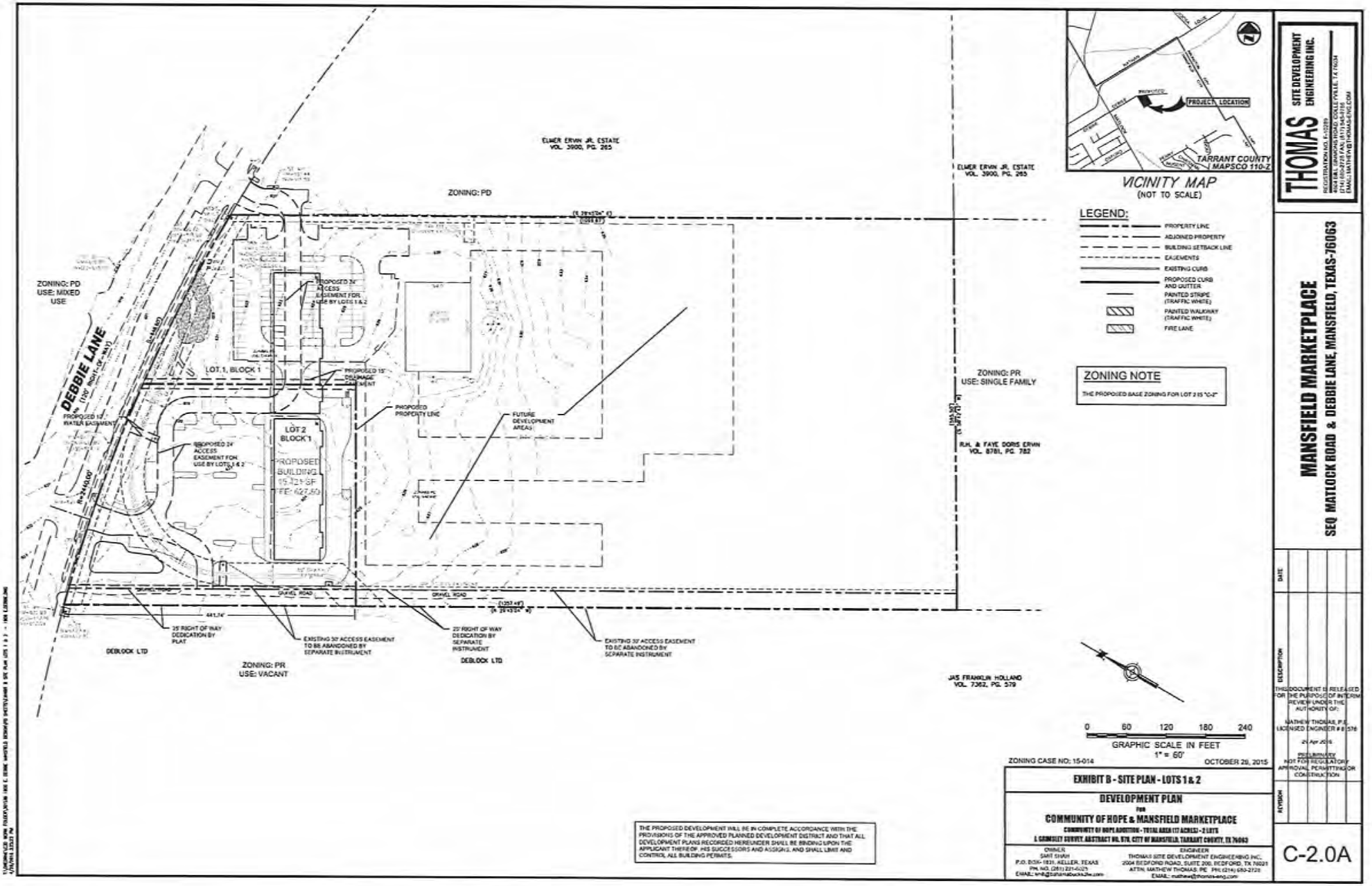
Applicant:	Community of Hope - Property Owner Kimley Horn - Engineer RHA Architects - Architect
Size:	5.307 acres
Proposed Use:	Grocer
Existing Land Use:	Vacant & church
Surrounding Land Use & Zoning:	North - PD, Apartments South - PD, Church East - PD, Church West - C-2, Vacant
Thoroughfare Plan Specification:	Debbie Lane – Principal Arterial

COMMENTS AND CONSIDERATIONS

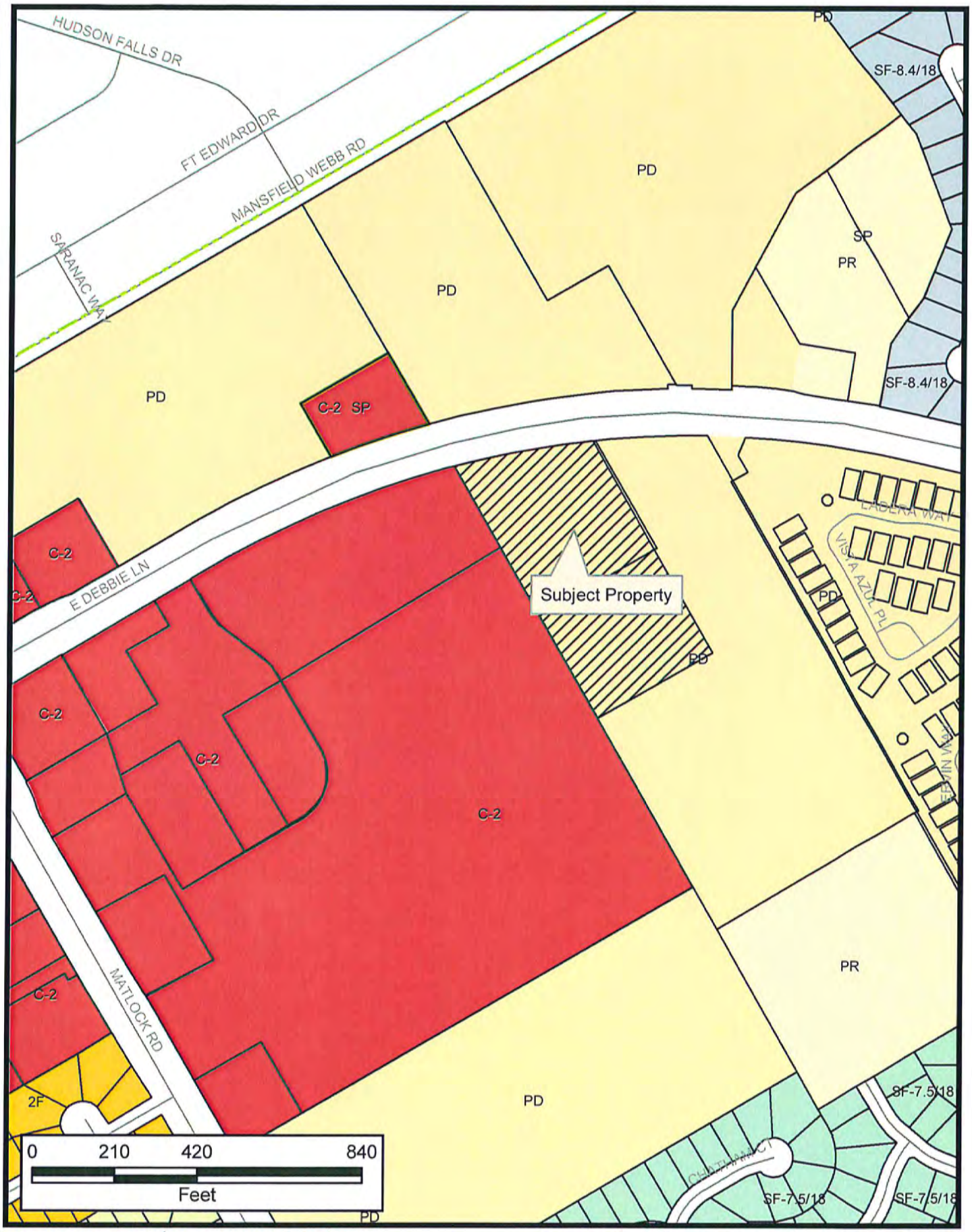
The applicant is proposing a specialty grocery store at this location in front and west of the existing church building. They are asking for deviations to the articulation requirements in Section 4600 of the Zoning Ordinance; additional signage; and to provide a living screen between the church and the rear of the grocer where a 6 foot masonry wall is required. Details for the living screen have not been provided and the notes indicate a masonry wall is proposed. This needs to be clarified.

Staff recommends approval.

Attachments:
Maps and supporting information
Previously approved PD



PREVIOUSLY APPROVED DEVELOPMENT PLAN

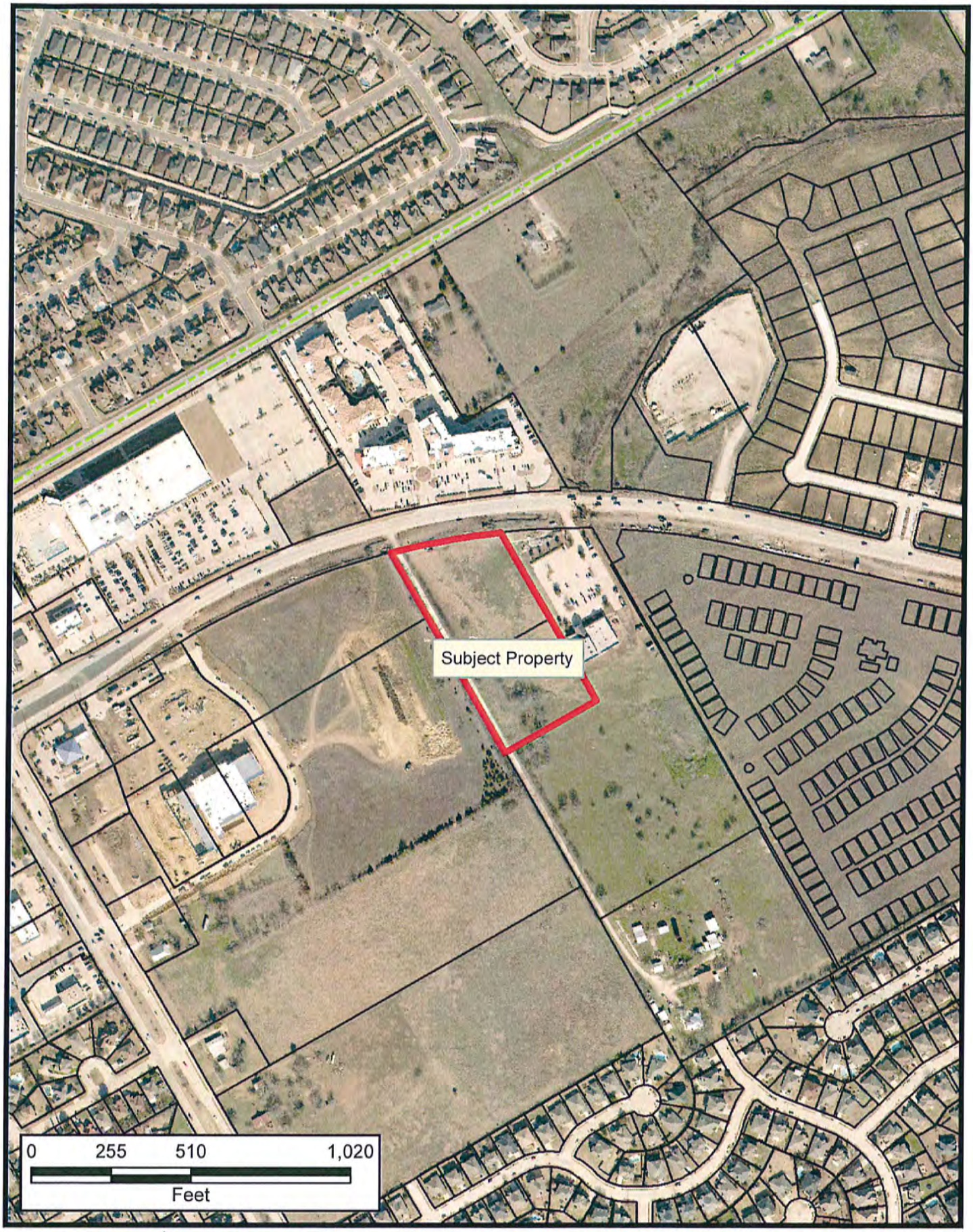


MANSFIELD TEXAS

ZC#17-007

This information is for illustrative purposes only. Not for design or development purposes. Site-specific studies may be required to obtain accurate feature locations. Every effort is made to ensure the information displayed here is accurate; however, the City of Mansfield makes no claims to its accuracy or completeness.

5/15/2017



MANSFIELD
TEXAS

ZC#17-007

This information is for illustrative purposes only. Not for design or development purposes. Site-specific studies may be required to obtain accurate feature locations.
Every effort is made to ensure the information displayed here is accurate; however, the City of Mansfield makes no claims to its accuracy or completeness.

5/15/2017

Property Owner Notification for ZC#17-007

LEGAL DESC 1	LEGAL DESC 2	OWNER NAME	OWNER ADDRESS	CITY	ZIP
			*** NO ADDRESS ***	*** NO CITY ***	* NO ZIP *
CARLETON MANSFIELD MASTR CONDO COMMON AREA		T VILLAS DI LUCCA TX LLC	16600 DALLAS PKWY STE 300	DALLAS, TX	75248
COMMUNITY OF HOPE	BLK 1	COMMUNITY OF HOPE UMC INC	PO BOX 2078	MANSFIELD, TX	76063-0019
COMMUNITY OF HOPE	BLK 1	SP COMMERCIAL REAL ESTATE LLC	5744 DUNRAVEN TRL	FORT WORTH, TX	76244
GRIMSLEY, JAMES SURVEY	A 578	DEBLOCK LTD	4704 BARKRIDGE TR	FORT WORTH, TX	76109-3210
GRIMSLEY, JAMES SURVEY	A A	DEBLOCK LTD	4704 BARKRIDGE TR	FORT WORTH, TX	76109-3210
LIFETIME MANSFIELD	LOT 1	MANSFIELD PROJECT LLC	13520 EVENING CREEK DR N STE 4	SAN DIEGO, CA	92128

LEGAL DESCRIPTION

BEING a tract of land situated in the James Grimsley Survey, Abstract No. 578, City of Mansfield , Tarrant County, Texas and being part of Lot 1, Block 1, Community of Hope Addition, an addition to the City of Mansfield according to the plat recorded in Cabinet A, Slide 10362 of the Plat Records of Tarrant County, Texas; and being part of those tracts of land described in Warranty Deeds with Vendor's Lien to Community of Hope United Methodist Church, Inc. recorded in Instrument Nos. D202074278 and D202074279 of the Official Public Records of Dallas county, Texas; and being and being part of a 3.000 acre tract of land described in General Warranty Deed with Vendor's Lien to SP Commercial Real Estate, LLC recorded in Instrument No. D215281141 of said Official Public Records; and being more particularly described as follows:

BEGINNING at a 5/8-inch iron rod with "KHA" cap set for the west corner of said Lot 1 and being in the southeast right-of-way line of Debbie Lane (a variable width right-of-way, 120-foot wide at this point) and being the beginning of a curve to the right having a central angle of 8°24'11", a radius of 2440.00 feet, a chord bearing and distance of North 79°35'00" East, 357.54 feet;

THENCE in a northeasterly direction, with said southeast right-of-way line of Debbie Lane and said curve to the right, an arc distance of 357.86 feet to a 5/8-inch iron rod with "KHA" cap set for the north corner of said 3.000 acre tract;

THENCE departing said southeast right-of-way line of Debbie Lane and with the northeast line of said 3.000 acre tract, South 29°55'48" East, passing at a distance of 323.52 feet the east corner of said 3.000 acre tract, continuing in all a total distance of 621.61 feet to a 5/8-inch iron rod with "KHA" cap set for corner;

THENCE South 60°04'12" West, a distance of 337.00 feet to a 5/8-inch iron rod with "KHA" cap set for corner in the southwest line of said Lot 1; from said point a 3/4-inch iron pipe found for the south corner of said Lot 1 bears South 29°55'48" East, a distance of a distance of 616.45 feet;

THENCE with said southwest line of Lot 1, North 29°55'48" West, passing at a distance of 298.08 feet the south corner of said 3.000 acre tract, passing at a combined distance of 548.15 feet a 1/2-inch iron rod found, continuing in all a total distance of 741.03 feet to the **POINT OF BEGINNING** and containing 5.307 acres or 231,168 square feet of land.

Bearing system based on the Texas Coordinate System of 1983, North Central Zone (4202), North American Datum of 1983.

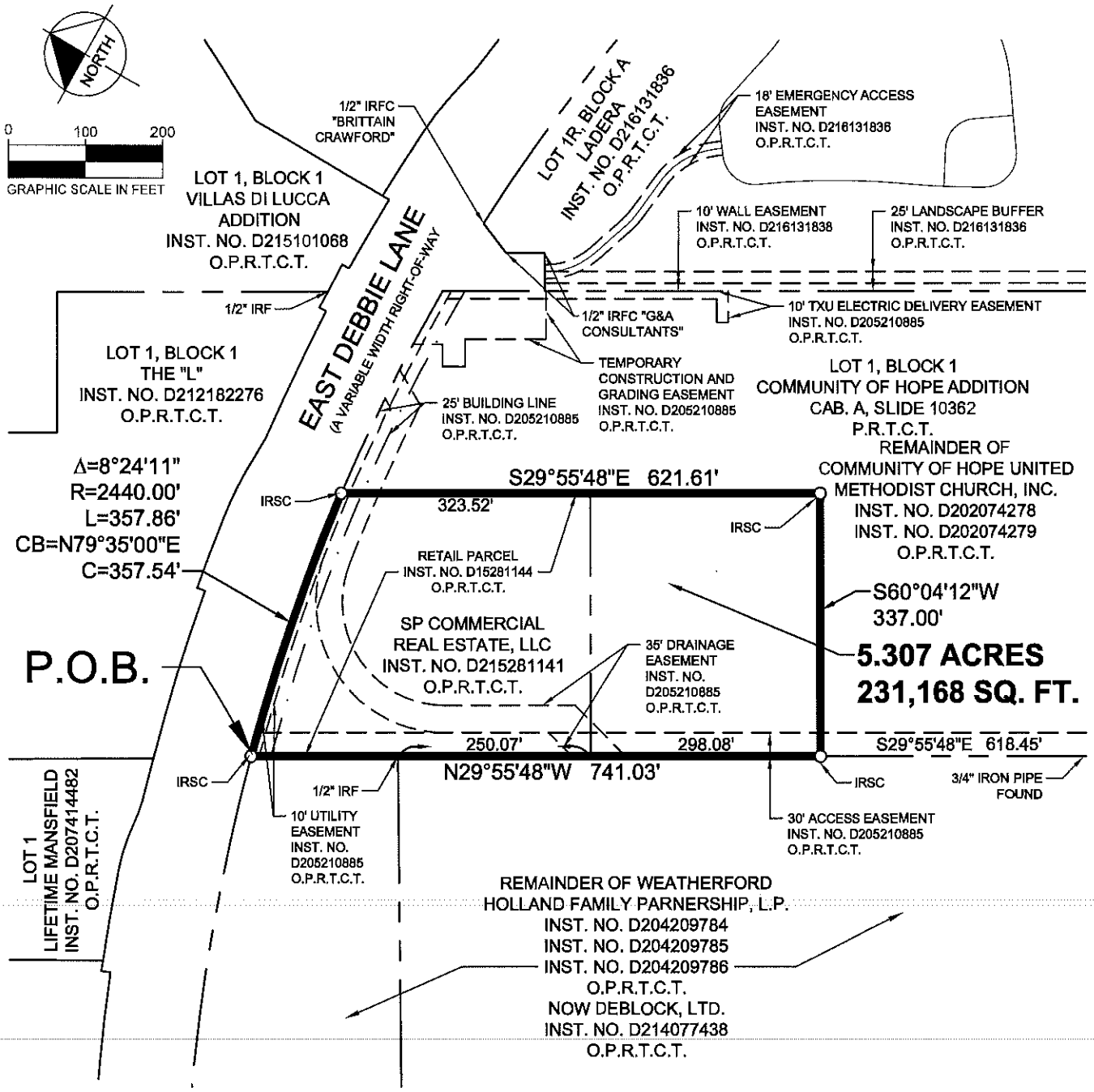
EXHIBIT A
METES & BOUNDS DESCRIPTION
5.307 ACRES
PART OF LOT 1, BLOCK 1
COMMUNITY OF HOPE ADDITION
JAMES GRIMSLEY SURVEY, ABSTRACT NO. 578
CITY OF MANSFIELD, TARRANT COUNTY, TEXAS

5.16.17

DANA BROWN
REGISTERED PROFESSIONAL
LAND SURVEYOR NO. 5336
12750 MERIT DRIVE, SUITE 1000
DALLAS, TEXAS 75251
PH. 972-770-1300
dana.brown@kimley-horn.com

Kimley»Horn
12750 Merit Drive, Suite 1000
Dallas, Texas 75251
FIRM # 10115500
Tel. No. (972) 770-1300
Fax No. (972) 239-3820

Scale	Drawn by	Checked by	Date	Project No.	Sheet No.
N/A	JBH	JAD	APRIL 2017	064500132	1 OF 2



LEGEND

Δ = CENTRAL ANGLE
P.O.B. = POINT OF BEGINNING
IRSC = 5/8" IRON ROD W/ "KHA" CAP SET
IRFC = IRON ROD W/CAP FOUND
IRF = IRON ROD FOUND
D.R.T.C.T. = DEED RECORDS OF TARRANT COUNTY, TEXAS
O.P.R.T.C.T. = OFFICIAL PUBLIC RECORDS, TARRANT COUNTY, TEXAS

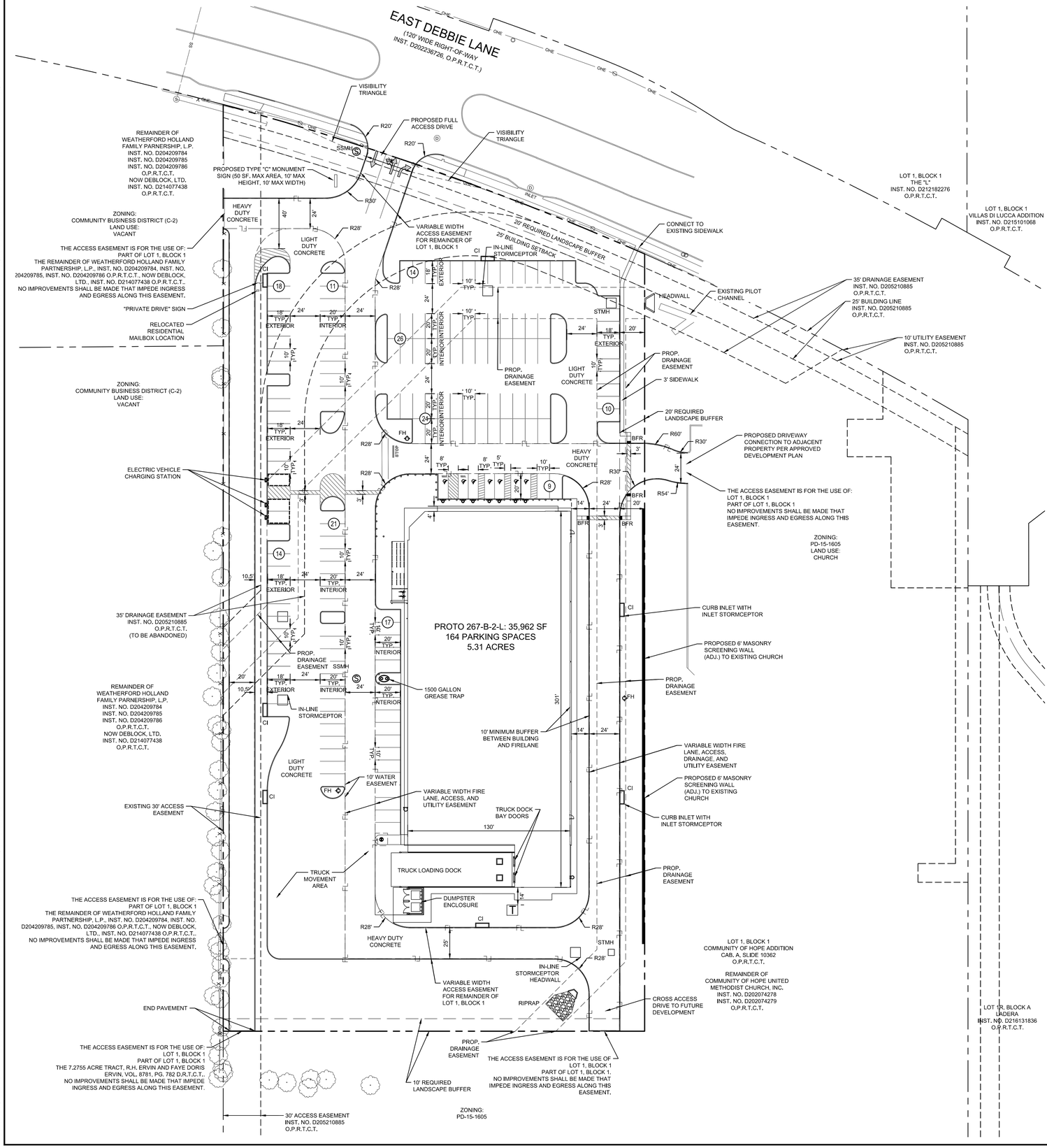
NOTES

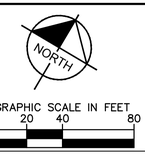
Bearing system based on the Texas Coordinate System of 1983, North Central Zone (4202), North American Datum of 1983.

EXHIBIT A
METES & BOUNDS DESCRIPTION
5.307 ACRES
PART OF LOT 1, BLOCK 1
COMMUNITY OF HOPE ADDITION
JAMES GRIMSLEY SURVEY, ABSTRACT NO. 578
CITY OF MANSFIELD, TARRANT COUNTY, TEXAS

Kimley»Horn
12750 Merit Drive, Suite 1000
Dallas, Texas 75251
FIRM # 10115500
Tel. No. (972) 770-1300
Fax No. (972) 239-3820

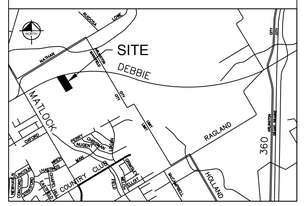
Scale	Drawn by	Checked by	Date	Project No.	Sheet No.
1" = 200'	JBH	JAD	APRIL 2017	064500132	2 OF 2





VICINITY MAP

N.T.S.



SITE LEGEND

PROPERTY LINE	
FL FL	PROPOSED FIRE LANE
20	PARKING COUNT
FH	FIRE HYDRANT
FDC	FIRE DEPARTMENT CONNECTION
SSMH	SANITARY SEWER MANHOLE
STMH	STORM MANHOLE
CI	CURB INLET
GI	GRATE INLET
T	TRANSFORMER
BFR	BARRIER FREE RAMP

SITE NOTES

1. ALL DIMENSIONS ARE TO FACE OF CURB OR FACE OF BUILDING UNLESS OTHERWISE NOTED. ALL CURB RADII DIMENSIONS ARE TO FACE OF CURB. ALL CURB RADII TO BE 2' OR 10' UNLESS OTHERWISE NOTED.
2. PROPOSED DEVELOPMENT WILL BE IN COMPLETE ACCORDANCE WITH THE PROVISIONS OF THE APPROVED PLANNED DEVELOPMENT DISTRICT AND THAT ALL DEVELOPMENT PLANS RECORDED HEREUNDER SHALL BE BINDING UPON THE APPLICANT THEREOF, HIS SUCCESSORS AND ASSIGNS, AND SHALL LIMIT AND CONTROL ALL BUILDING PERMITS
3. THE ACCESS EASEMENT IS FOR LOT 1, BLOCK 1 OF THE COMMUNITY OF HOPE ADDITION, PART OF LOT 1, BLOCK 1, THE REMAINDER OF WEATHERFORD HOLLAND FAMILY PARTNERSHIP, L.P., INST. NO. D204209784, INST. NO. D204209785, INST. NO. D204209786 O.P.R.T.C.T., NOW DEBLOCK, LTD., INST. NO. D214077438 O.P.R.T.C.T., AND THE 7.2755 ACRE TRACT, R.H. ERVIN AND FAYE DORIS ERVIN, VOL. 8781, PG. 782 D.R.T.C.T..

SITE DATA

SITE SIZE & COVERAGES	
LOT AREA (GROSS AND NET):	231,168 SF /5.31 ACRES
BUILDING AREA (GROSS SQUARE FOOTAGE):	35,962 SF
LOT COVERAGE:	81.7%
BUILDING HEIGHT:	28 ' - 3 1/4"
FLOOR AREA RATIO:	0.17
IMPERVIOUS AREA:	174,797 SF
LANDSCAPED AREA:	18.3%
ZONING	
EXISTING ZONING:	PD-15-1605
PROPOSED ZONING:	PD-17-XXXX, BASE ZONING: C-2
EXISTING USE:	VACANT
PROPOSED USE:	GROCER
	ELECTRIC VEHICLE CHARGING STATION
OFF-STREET PARKING	
REQUIRED PARKING:	1 SPACE/250 SF FOR FIRST 3,000 SF, 1/3000 SF THEREAFTER TOTAL = 122 SPACES
PROVIDED PARKING:	164 SPACES (INCLUDING 7 HANDICAPPED ACCESSIBLE SPACES)
OFF-STREET LOADING	
LOADING/UNLOADING SPACES REQUIRED:	1
LOADING/UNLOADING SPACES PROVIDED:	2

DEVIATIONS TABLE

REQUIREMENTS PER C-2 BASE ZONING	VARIANCES PER PD
1. SW6: MINIMUM SIX (6) AND MAXIMUM (8) FOOT TALL SCREENING WALL REQUIRED BETWEEN C-2 ZONING AND CHURCH USE.	1. A LIVING SCREEN WALL SHALL BE PROVIDED ADJACENT TO THE EXISTING CHURCH BEGINNING AT THE NORTHERN FACE OF THE CHURCH BUILDING TO THE SOUTH. A MASONRY SCREEN WALL IS NOT REQUIRED ADJACENT TO THE CHURCH PROPERTY.
2. BUILDING SETBACK (NW): 25' BUILDING SETBACK (NE): N/A BUILDING SETBACK (SW): N/A BUILDING SETBACK (SE): N/A — LANDSCAPE SETBACK (NW): 10' LANDSCAPE SETBACK (NE): 20' LANDSCAPE SETBACK (SW): 10' LANDSCAPE SETBACK (SE): 10'	2. SETBACKS ARE AS SHOWN ON THE PD PLAN SUBMITTED WITH THE APPLICATION.
3. ONE BUILDING SIGN ALLOWED PER STREET FRONTAGE.	3. BUILDING SIGNAGE WILL BE ALLOWED ON THE NORTH AND WESTERN SIDES OF THE BUILDING. ONE BUILDING SIGN ON THE NORTH SIDE AND ONE BUILDING SIGN ON THE WESTERN SIDE.
4. ALL NON-RESIDENTIAL BUILDINGS WITH FACADES GREATER THAN ONE HUNDRED (100') FEET IN LENGTH SHALL INCORPORATE WALL PLANE ROJECTIONS OR RECESSES THAT ARE AT LEAST FOUR (4') FEET DEEP. PROJECTIONS/RECESSES MUST BE AT LEAST FOUR (4') FEET IN LENGTH. NO UNINTERRUPTED LENGTH OF FAÇADE MAY EXCEED FIFTY (50') FEET IN LENGTH.	4. ALL NON-RESIDENTIAL BUILDINGS WITH FACADES GREATER THAN ONE HUNDRED (100') FEET IN LENGTH SHALL INCORPORATE WALL PLANE ROJECTIONS OR RECESSES THAT ARE AT LEAST EIGHT (8") INCHES DEEP. PROJECTIONS/RECESSES MUST BE AT LEAST FOUR (4') FEET IN LENGTH. NO UNINTERRUPTED LENGTH OF FAÇADE MAY EXCEED FIFTY (50') FEET IN LENGTH.
5. ALL NON-RESIDENTIAL BUILDINGS WITH FLAT ROOF PLANES GREATER THAN ONE HUNDRED (100') FEET IN LENGTH SHALL INCORPORATE VARIATIONS IN THE HEIGHT OF THE ROOF PLANE THAT DIFFER BY AT LEAST TWO (2') FEET IN HEIGHT. VARIATIONS TO FLAT ROOF PLANES MAY INCLUDE PILASTERS AND PROJECTED OR RAISED ENTRY FEATURES. NO UNINTERRUPTED LENGTH OF ANY FLAT ROOF PLANE MAY EXCEED FIFTY (50') FEET IN LENGTH..	5. ALL NON-RESIDENTIAL BUILDINGS WITH FLAT ROOF PLANES GREATER THAN ONE HUNDRED AND FIFTY(150') FEET IN LENGTH SHALL INCORPORATE VARIATIONS IN THE HEIGHT OF THE ROOF PLANE THAT DIFFER BY AT LEAST EIGHT (8") INCHES IN HEIGHT. VARIATIONS TO FLAT ROOF PLANES MAY INCLUDE PILASTERS AND PROJECTED OR RAISED ENTRY OR OTHER ARCHITECTURAL FEATURES. NO UNINTERRUPTED LENGTH OF ANY FLAT ROOF PLANE MAY EXCEED ONE HUNDRED AND FIFTY (150') FEET IN LENGTH..

BENCHMARKS

BM#1 CITY OF MANSFIELD GEODETIC CONTROL MONUMENT NO. TNP-MANSFIELD "L" BEING A BERNTSEN TOP SECURITY MONUMENT WITH ACCESS COVER LOCATED AT THE SOUTHEAST CORNER OF THE INTERSECTION OF LAURA ELIZABETH COURT AND LOGAN DRIVE IN MANSFIELD, TEXAS. THE MONUMENT IS LOCATED 0.5' SOUTH OF THE SOUTH CURB LINE OF LAURA ELIZABETH COURT, AND 1.5' WEST FROM WEST END OF A 10' CURB INLET ON THE SOUTH CURB LINE OF LAURA ELIZABETH COURT. FROTH WORTH MAPSCO PAGE 111 - SECTOR W.
ELEV=610.90

BM#2 BEING A SQUARE CUT SET ON NORTHEAST CORNER OF STORM DRAIN DROP INLET ON THE SOUTH SIDE OF DEBBIE LANE, ±1350 FEET NORTHEAST OF THE INTERSECTION OF DEBBIE LANE AND MATLOCK ROAD.
ELEV=623.38

BM#3 BEING A SQUARE CUT SET ON POINT OF TANGENT OF CURB LINE AT THE MOST SOUTHWEST PARKING LOT ISLAND CLOSEST TO THE COMMUNITY OF HOPE METHODIST CHURCH BUILDING, ±250 FEET SOUTH OF THE SOUTH RIGHT-OF-WAY LINE OF DEBBIE LANE, ±9 FEET NORTHWEST OF A LIGHT POLE.
ELEV=625.55

DEVELOPMENT PLAN
GROCER
5.307 Acres of Land
Part of Lot 1, Block 1
Community of Hope Addition
City of Mansfield, Tarrant County, Texas
City Project No. ZC#17-007
Submitted April 17, 2017
Resubmitted May 26, 2017

No.	REVISIONS	DATE	BY

Kimley»Horn
12750 MERIT DRIVE, SUITE 1000, DALLAS, TEXAS
PHONE: 972-770-1300 FAX: 972-239-3820
TEXAS REGISTERED ENGINEERING FIRM F-928

PROJECT No. 064507000
DATE: 05/30/17
SCALE: AS SHOWN
DESIGNED BY: SBW
DRAWN BY: AWB
CHECKED BY: KSG

EXHIBIT B
DEVELOPMENT PLAN

GROCER
EAST DEBBIE LANE
CITY OF MANSFIELD, TX
(S1304)

SHEET NUMBER
SP-1

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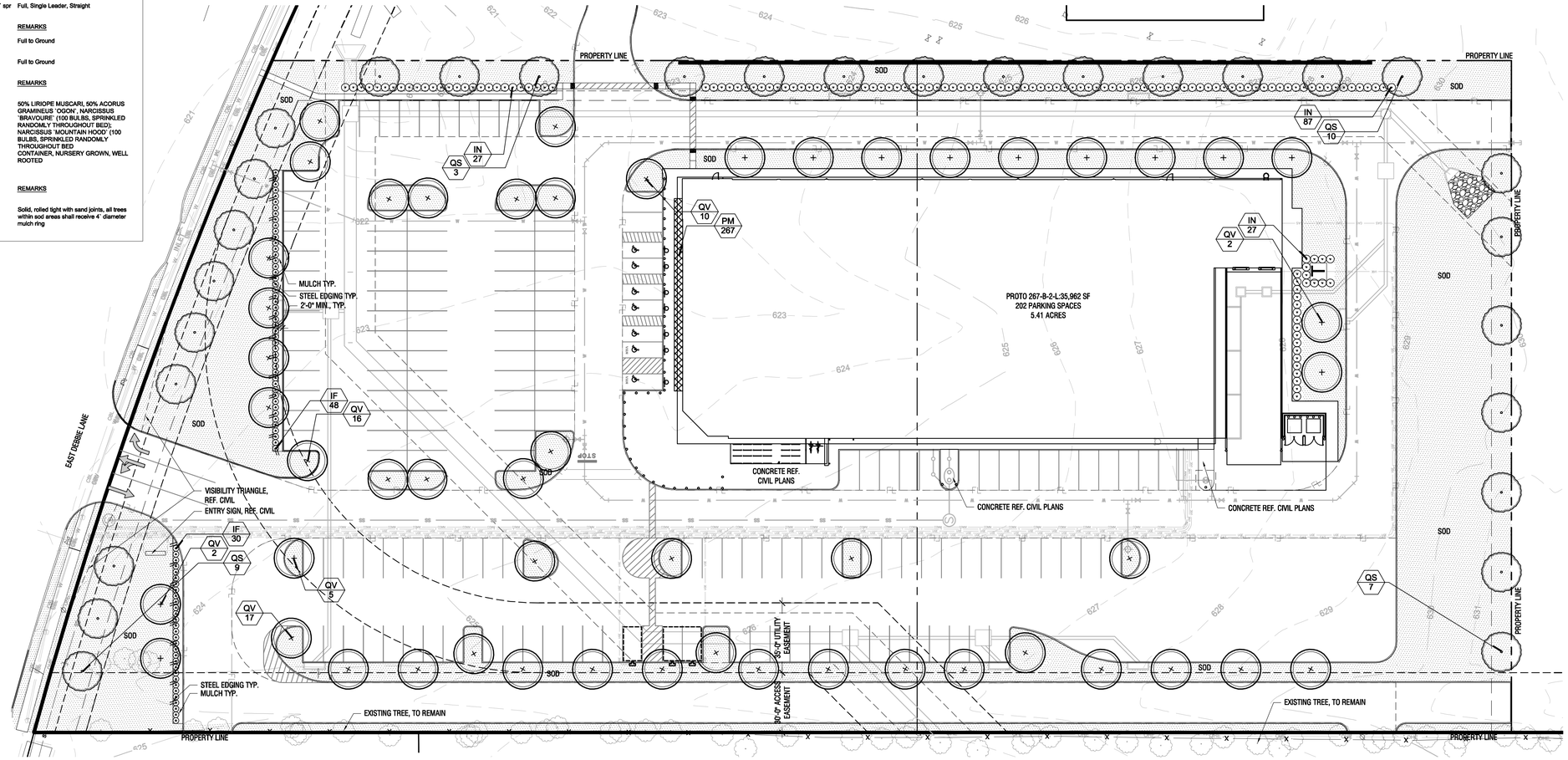
IMAGES
XREFS
PLOTTED BY
DWG NAME
LAST SAVED
PLOT DATE
LAST SAVED
XREF dbnd - XREF c4186 - XREF Survey - XREF xStorm - XREF xUtil
M:\DAL_CIVIL\064507000\ENG\MANSFIELD - DEBBIE LANE\DWG\PLAN SHEETS\PDC - SITE PLAN.DWG
5/30/2017 3:53 PM
KATIA DUNCAN
5/30/2017 3:53 PM
5/30/2017 3:53 PM

PLANT SCHEDULE

TREES	CODE	QTY	BOTANICAL NAME / COMMON NAME	SPECIFICATIONS	REMARKS
	QS	29	Quercus shumardii / Shumard Red Oak	3.5" cal, 12'-14' ht, 6'-8' spr	Full, Single Leader, Straight
	QV	52	Quercus virginiana / Southern Live Oak	3.5" cal, 12'-14' ht, 6'-8' spr	Full, Single Leader, Straight
SHRUBS	**CODE**	**QTY**	**BOTANICAL NAME / COMMON NAME**	**SPECIFICATIONS**	**REMARKS**
	IF	78	Ilex x attenuata 'Fosteri' / Foster's Holly	36" ht, 30" spr., 36" oc	Full to Ground
	IN	141	Ilex x 'Nellie R Stevens' / Nellie Stevens Holly	72" ht, 48" spr, 48" oc	Full to Ground
GROUND COVERS	**CODE**	**QTY**	**BOTANICAL NAME / COMMON NAME**	**SPECIFICATIONS**	**REMARKS**
	PM	267	Perennial Mix / Perennial Mix	1 gal., 18"h x 12"w	50% LIRIOPE MUSCARI, 50% ACORUS GRAMINEUS 'OGON', NARCISSUS 'BRAVOURE' (100 BULBS, SPRINKLED RANDOMLY THROUGHOUT BED); NARCISSUS 'MOUNTAIN HOOD' (100 BULBS, SPRINKLED RANDOMLY THROUGHOUT BED CONTAINER, NURSERY GROWN, WELL ROOTED
SOD/SEED	**CODE**	**QTY**	**BOTANICAL NAME / COMMON NAME**	**SPECIFICATIONS**	**REMARKS**
	CB	5,520	Cynodon dactylon / Bermuda Grass	SOD	Solid, rolled tight with sand joints, all trees within sod areas shall receive 4' diameter mulch ring

NOTE: PLANT QUANTITIES ARE PROVIDED FOR CONVENIENCE ONLY. IN THE CASE OF A DISCREPANCY, THE DRAWING SHALL TAKE PRECEDENCE.

NOTE: PLANTS ARE SPECIFIED BY HEIGHT AND SPREAD, NOT CONTAINER SIZE. ALL PLANTINGS ARE EXPECTED TO MEET ALL SPECIFICATIONS PROVIDED.



SITE DATA TABLE

ZONING/PROPOSED USE	C-2 COMMERCIAL
TOTAL ACREAGE	4.91 ACRES
BUILDING AREA (GROSS SQUARE FOOTAGE)	35,962 SF
BUILDING HEIGHT	36'-0"
FLOOR AREA RATIO	0.15
TOTAL PARKING REQUIRED	**122**
TOTAL PARKING PROVIEDED	**165**
TOTAL ADA STALLS REQ'D	7
TOTAL ADA STALLS PROVIDED	7
BUILDING SETBACKS - EXTERIOR OVERALL PROPERTY BOUNDARY	
FRONT	25
SIDE	0
REAR	0
LANDSCAPE BUFFER - EXTERIOR OVERALL PROPERTY BOUNDARY	
FRONT	20
SIDE	20
REAR	10

SUMMARY CHART - INTERIOR PARKING LOT LANDSCAPING

		REQUIRED TREES	PROVIDED TREES
# OF REQUIRED PARKING SPACES	122		
# OF PROVIDED PARKING SPACES	165	52	52
PARKING LOT ISLANDS		22	22
*TOTAL TREES		52	52
	(1 TREE / 10 SPACES)	*17*	*17*
	(1-2 TREES / ISLAND)	*22*	*22*
	(1 TREE / 40 LF OF MEDIAN)	*13*	*13*

***TOTAL TREES PROVIDED INCLUDES THE FOLLOWING:**
-PARKING SPACE TREES (1 TREE / 10 SPACES)
-PARKING ISLAND/MEDIAN TREES (1-2 TREES / ISLAND, 1 TREE / 40 lf. OF MEDIAN)
-TREES LOCATED THROUGHOUT SITE DUE TO UTILITY CONFLICTS WITHIN PARKING LOT

SUMMARY CHART - BUFFERYARDS / SETBACKS

LOCATION OF BUFFER YARD OR SETBACK	REQUIRED/ PROVIDED	LENGTH	WIDTH/TYPE	CANOPY TREES	ORNAMENTAL TREES	SHRUBS	SCREEN WALL HT. & MATERIAL
NORTH	REQUIRED	358	20' Street Setback *(358 / 40 = 9)*	9	N/A	N/A	N/A
	PROVIDED		20'-0" min.	9	N/A	N/A	N/A
SOUTH	REQUIRED	337	BY-10 *(337 / 50 = 7)*	7	N/A	N/A	N/A
	PROVIDED		10'-6"	7	N/A	N/A	N/A
EAST	REQUIRED	571	BY-10 & SW-6 *(635 / 50 = 26)*	13	N/A	N/A	6' - 8' HT. VEGETATED SCREEN
	PROVIDED		19'-8"	13	N/A	N/A	PROVIDED
WEST	REQUIRED	690	BY-10 *(754 / 25 = 31)/2*	0	N/A	N/A	N/A
	PROVIDED		4'-6"	N/A *NOTE: 43 EXISTING TREES TO REMAIN	N/A	N/A	N/A

NOTES:
1. LANDSCAPING MAINTENANCE: THE PROPERTY OWNER, TENANT OR AGENT, SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL REQUIRED LANDSCAPING IN A HEALTHY, NEAT, ORDERLY AND LIVE-GROWING CONDITION A ALL TIMES. THIS SHALL INCLUDE MOWING, EDGING, PRUNING, FERTILIZING, IRRIGATION, WEEDING, AND OTHER SUCH ACTIVITIES COMMON TO MAINTENANCE OF LANDSCAPING. LANDSCAPED AREAS SHALL BE KEPT FREE OF TRASH, LITTER, WEEDS, AND OTHER MATERIALS NOT A PART OF THE LANDSCAPING. PLANT MATERIALS THAT DIE SHALL BE REPLACED WITH PLANT MATERIALS OF SIMILAR VARIETY AND SIZE.
2. NO TREES, SHRUBS,WALLS, FENCES, OR ANYTHING OVER 2' IN HEIGHT IS ALLOWED WITHIN THE VISIBILITY TRIANGLES.

SUMMARY CHART - PARKING LOT PERIMETER LANDSCAPING

REQUIRED	SCREENING OF ALL VEHICULAR USE AREAS FROM PUBLIC STREETS SHALL BE A MIN. HT. OF 3'-0" AT MATURITY
PROVIDED	SCREENING OF ALL VEHICULAR USE AREAS FROM PUBLIC STREETS SHALL BE A MIN. HT. OF 3'-0" AT MATURITY

PLANTING NOTES

1. ALL PLANT MATERIAL SHALL BE INSTALLED ACCORDING TO SOUND NURSERY PRACTICES AND SHALL MEET ALL STANDARDS AS STATED IN THE LATEST EDITION OF "AMERICAN STANDARD FOR NURSERY STOCK" BY THE AMERICAN ASSOCIATION OF NURSERYMEN.
2. NO SUBSTITUTIONS IN PLANT MATERIALS SHALL BE MADE WITHOUT WRITTEN AUTHORIZATION FROM OWNER OR LANDSCAPE ARCHITECT. IN THE EVENT OF DISCREPANCIES BETWEEN THE DRAWING AND THE PLANT LIST, THE DRAWING SHALL PREVAIL.
3. LOCATE ALL UTILITIES PRIOR TO ANY DIGGING OPERATIONS. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DAMAGES TO EXISTING UTILITIES INCURRED BY HIS WORK.
4. REFERENCE IRRIGATION PLAN FOR BED IRRIGATION INFORMATION.
5. STAKING AND GUYING ALTERNATIVES: METHODS INDICATED IN DRAWING DETAILS ARE PREFERRED. CONTRACTOR MAY SUGGEST ALTERNATE METHODS, ASSUMING FULL RESPONSIBILITY FOR THEIR IMPLEMENTATION. CONTRACTOR SHALL REPLACE, PLANT, OR UPRIGHT ANY TREES BLOWN OVER OR DAMAGED DUE TO INADEQUATE STAKING AT NO ADDITIONAL COST TO THE OWNER.
6. PLANTS MASSED IN BEDS SHALL BE ARRANGED USING TRIANGULAR SPACING.
7. PROVIDE A STEEL EDGE OR CONCRETE MOW STRIP BETWEEN ALL PLANTING BEDS AND LAWN AREAS. REFERENCE SITE PLAN.
8. ALL PLANTING BEDS TO BE TOP DRESSED WITH A MINIMUM OF 3" SHREDDED HARDWOOD MULCH.
9. PROVIDE GRASS SEEDING OR LAY BERMUDA SOD FOR PROPOSED LAWN AREAS TO ALL EDGES OF PAVEMENT AND/ OR LIMITS OF DISTURBANCE OUTSIDE R.O.W. OR PROPOSED LANDSCAPE EASEMENT.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL LANDSCAPING UNTIL FINAL ACCEPTANCE. ALL REQUIRED LANDSCAPING SHALL BE MAINTAINED IN A NEAT AND ORDERLY MANNER AT ALL TIMES. THE WORK SHALL INCLUDE, BUT NOT TO BE LIMITED TO, MOWING, EDGING, PRUNING, FERTILIZING, WATERING, WEEDING, AND OTHER SUCH ACTIVITIES COMMON TO THE MAINTENANCE OF LANDSCAPING. ALL PLANT MATERIALS SHALL BE MAINTAINED IN A HEALTHY AND GROWING CONDITION AS IS APPROPRIATE FOR THE SEASON OF THE YEAR. PLANT MATERIAL THAT DIES SHALL BE REPLACED WITH THE PLANT MATERIAL OF SIMILAR SIZE AND VARIETY.
11. CONTRACTOR SHALL WARRANTY PLANT MATERIAL TO REMAIN ALIVE AND HEALTHY FOR A PERIOD OF ONE YEAR AFTER FINAL ACCEPTANCE. WARRANTY SHALL NOT INCLUDE DAMAGE FOR LOSS OF PLANT MATERIAL DUE TO NATURAL CAUSES, ACTS OF VANDALISM OR NEGLIGENCE ON THE PART OF THE OWNER.
12. ALL DISTURBED AREAS WITHIN LIMITS OF CONSTRUCTION NOT CALLED TO BE SODDED, SHALL BE REESTABLISHED WITH BERMUDA SOD.
13. ALL LANDSCAPE BED AREAS TO BE PREPARED USING "READY TO PLANT BEDDING MIX" BY SOIL BUILDING SOLUTIONS (OR APPROVED EQUAL). INSTALL TO DEPTHS, PER PLANTING DETAILS (12" DEPTH MIN.) FINISHED GRADES OF PLANTING BEDS TO BE 2" BELOW FINISHED GRADE OF ADJACENT PAVING OR AS SHOWN ON GRADING PLAN.
14. ALL SOD AREAS TO RECEIVE 4" DEPTH (MIN) TOPSOIL PRIOR TO INSTALLATION. ALL PLANTING AREAS TO RECEIVE 24" DEPTH (MIN) OF TOPSOIL. TOPSOIL SHALL BE NATURAL, FRIABLE, FERTILE, pH RANGE OF 6.0-6.5, AND FREE OF TRASH, DEBRIS, STONES, WEEDS, AND TWIGS/BRANCHES.

NORTH
0' 30' 60'
Scale: 1" = 30'-0"

DEVELOPMENT PLAN
GROCER
5.307 Acres of Land
Part of Lot 1, Block 1
Community of Hope Addition
City of Mansfield, Tarrant County, Texas
City Project No. ZC#17-007
Submitted April 17, 2017
Resubmitted May 30, 2017

No.	REVISIONS	DATE	BY

Kimley»Horn
12750 MERIT DRIVE, SUITE 1000, DALLAS, TEXAS
PHONE: 972-770-1300 FAX: 972-239-3820
TEXAS REGISTERED ENGINEERING FIRM F-928

PROJECT No. 064507000
DATE: 04/17/17
SCALE: AS SHOWN
DESIGNED BY: CS
DRAWN BY: KB
CHECKED BY: PDF

EXHIBIT C
LANDSCAPE PLAN

GROCER
EAST DEBBIE LANE
CITY OF MANSFIELD, TX
(S1304)

SHEET NUMBER
LP 1.01

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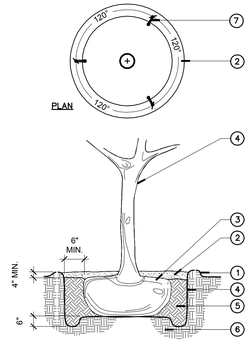
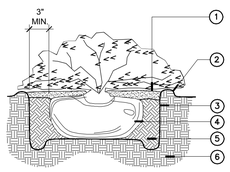


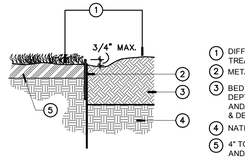
1. 3" EARTH SAUCER
2. 3" MULCH PER SPECIFICATIONS
3. ROOT BALL: REMOVE BURLAP, BURLAP TIES, AND WIRE BASKET FROM TOP 1/3 OF ROOTBALL. REMOVE ALL NYLON STRINGS, PLASTIC LINERS, AND OTHER SYNTHETIC MATERIALS FROM THE ENTIRE ROOTBALL.
4. PLANTING PIT EXCAVATED 12" LARGER (MIN.) THAN WIDTH OF ROOTBALL. PIT DEPTH AS NEEDED TO SET ROOTBALL COLLAR AT PROPOSED FINISHED GRADE. PLACE ROOTBALL ON SOLID SOIL AND NOT LOOSE BACKFILL.
5. PIT BACKFILL SOIL PER SPECIFICATIONS
6. UNDISTURBED EARTH
7. SECURE TREES WITH TREE STAPLES, PROVIDE 3 PER TREE, TOP OF STAPLE TO BE BELOW TOP OF MULCH.

A TREE PLANTING
N.T.S.



1. 3" MULCH PER SPECIFICATIONS
2. 3" HIGH EARTH SAUCER
3. PLANTING PIT: EXCAVATE 6" LARGER (MIN.) THAN WIDTH OF ROOTBALL, W/ PIT DEPTH AS NEEDED TO SET ROOTBALL @ PROPOSED FINISHED GRADE. PLACE ROOTBALL ON SOLID SOIL AND NOT LOOSE BACKFILL. SCARIFY SIDES OF PIT. PROVIDE CONTINUOUS PIT FOR MASSED BED PLANTINGS.
4. ROOT BALL: REMOVE FROM CONTAINER. GENTLY SCARIFY GIRDERED ROOTS AS NEEDED. REMOVE ALL TAGS & TWINE.
5. PIT BACKFILL W/ PREPARED SOIL BED MIX PER SPECIFICATIONS. PROVIDE CONTINUOUS SOIL BED MIX IN MASS PLANTINGS.
6. UNDISTURBED EARTH

B SHRUB PLANTING
N.T.S.



1. DIFFERENT PLANTING TREATMENTS.
2. METAL EDGING
3. BED SOIL. 12" MINIMUM DEPTH. REF: NOTES AND/OR SPECS FOR MIX. & DEPTH.
4. NATIVE SOIL
5. 4" TOPSOIL. REF: NOTES AND/OR SPECS FOR MIX. & DEPTH.

C STEEL EDGING
N.T.S.

GENERAL LANDSCAPE SPECIFICATIONS AND NOTES

A. SCOPE OF WORK

1. THE WORK CONSISTS OF FURNISHING ALL LABOR, MATERIALS, EQUIPMENT, TOOLS, TRANSPORTATION, AND ANY OTHER APPURTENANCES NECESSARY FOR THE COMPLETION OF THIS PROJECT AS SHOWN ON THE DRAWINGS, AS INCLUDED IN THE PLANT LIST, AND AS HEREIN SPECIFIED.

2. WORK SHALL INCLUDE MAINTENANCE AND WATERING OF ALL PLANTING AREAS OF THIS CONTRACT UNTIL CERTIFICATION OF ACCEPTABILITY BY THE OWNER.

B. PROTECTION OF EXISTING STRUCTURES

ALL EXISTING BUILDINGS, WALKS, WALLS, PAVING, PIPING, AND OTHER ITEMS OF CONSTRUCTION AND PLANTING ALREADY COMPLETED OR ESTABLISHED SHALL BE PROTECTED FROM DAMAGE BY THIS CONTRACTOR UNLESS OTHERWISE SPECIFIED. ALL DAMAGE RESULTING FROM NEGLIGENCE SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF THE OWNER.

C. PROTECTION OF EXISTING PLANT MATERIALS OUTSIDE LIMIT OF WORK

THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL UNAUTHORIZED CUTTING OR DAMAGE TO TREES AND SHRUBS EXISTING OR OTHERWISE, CAUSED BY CARELESS OPERATION OF EQUIPMENT, STOCKPILING OF MATERIALS, ETC. THIS SHALL INCLUDE COMPACTION BY DRIVING OR PARKING INSIDE THE DRIP-LINE OR THE SPILLING OF OIL, GASOLINE, OR OTHER DELETEROUS MATERIALS WITHIN THE DRIP-LINE. NO MATERIALS SHALL BE BURNED WHERE THE HEAT WILL DAMAGE ANY PLANT. TREES KILLED OR DAMAGED SO THAT THEY ARE MISSHAPEN AND/ OR UNSIGHTLY SHALL BE REPLACED AT THE COST TO THE CONTRACTOR OF ONE HUNDRED DOLLARS ($100) PER CALIPER INCH ON AN ESCALATING SCALE WHICH ADDS AN ADDITIONAL TWENTY (20) PER CENT PER INCH OVER FOUR (4) INCHES CALIPER AS FIXED AND AGREED LIQUIDATED DAMAGES. CALIPER SHALL BE MEASURED SIX (6) INCHES ABOVE GROUND LEVEL FOR TREES UP TO AND INCLUDING FOUR (4) INCHES IN CALIPER AND TWELVE (12) INCHES ABOVE GROUND LEVEL FOR TREES OVER FOUR (4) INCHES IN CALIPER.

D. MATERIALS

1. GENERAL

SAMPLES OF MATERIALS AS LISTED BELOW SHALL BE SUBMITTED FOR APPROVAL, ON THE SITE OR AS OTHERWISE DETERMINED BY THE OWNER. UPON APPROVAL OF SAMPLES, DELIVERY OF MATERIALS MAY BEGIN.

MATERIALS	SAMPLES
MULCH	ONE (1) CUBIC FOOT
TOPSOIL	ONE (1) CUBIC YARD
PLANTS	ONE (1) OF EACH VARIETY

2. PLANT MATERIALS

A. PLANT SPECIES AND SIZE SHALL CONFORM TO THOSE INDICATED ON THE DRAWINGS. NOMENCLATURE SHALL CONFORM TO STANDARDIZED PLANT NAMES, 1942 EDITION. ALL NURSERY STOCK SHALL BE IN ACCORDANCE WITH GRADES AND STANDARDS AS STATED IN THE LATEST EDITION OF "AMERICAN STANDARD FOR NURSERY STOCK" BY THE AMERICAN ASSOCIATION OF NURSERYMEN. ALL PLANTS SHALL BE FREE, VIGOROUS, WELL-BRANCHED AND FREE OF DISEASE AND INSECTS, INSECT EGGS AND LARVAE AND SHALL HAVE ADEQUATE ROOT SYSTEMS. TREES FOR PLANTING IN ROWS SHALL BE UNIFORM IN SIZE AND SHAPE. ALL MATERIALS SHALL BE SUBJECT TO APPROVAL BY THE OWNER. WHERE ANY REQUIREMENTS ARE OMITTED FROM THE PLANT LIST, THE PLANTS FURNISHED SHALL BE NORMAL FOR THE VARIETY. PLANTS SHALL BE PRUNED PRIOR TO DELIVERY ONLY UPON THE APPROVAL OF THE OWNER.

B. MEASUREMENTS: THE HEIGHT AND/OR WIDTH OF TREES SHALL BE MEASURED FROM THE GROUND OR ACROSS THE NORMAL SPREAD OF BRANCHES WITH THE PLANTS IN THEIR NORMAL POSITION. THIS MEASUREMENT SHALL NOT INCLUDE THE IMMEDIATE TERMINAL GROWTH. PLANTS LARGER IN SIZE THAN THOSE SPECIFIED IN THE PLANT LIST MAY BE USED IF APPROVED BY THE OWNER. IF THE USE OF LARGER PLANTS IS APPROVED, THE BALL OF EARTH OR SPREAD OF ROOTS SHALL BE INCREASED IN PROPORTION TO THE SIZE OF THE PLANT.

C. INSPECTION: PLANTS SHALL BE SUBJECT TO INSPECTION AND APPROVAL AT THE PLACE OF GROWTH OR DELIVERY TO THE SITE, AS DETERMINED BY THE OWNER FOR QUALITY, SIZE, AND VARIETY; SUCH APPROVAL SHALL NOT IMPAIR THE RIGHT OF INSPECTION AND REJECTION AT THE SITE DURING PROGRESS OF THE WORK OR AFTER COMPLETION FOR SIZE AND CONDITION OF BALLS OR ROOTS, LATENT DEFECTS OR INJURIES. REJECTED PLANTS SHALL BE REMOVED IMMEDIATELY FROM THE SITE. NOTICE REQUESTING INSPECTION SHALL BE SUBMITTED IN WRITING BY THE CONTRACTOR AT LEAST ONE (1) WEEK PRIOR TO ANTICIPATED DATE.

E. TOPSOIL

1. ASTM D5268, NATURAL, FRIABLE, FERTILE, FINE LOAMY SOIL POSSESSING CHARACTERISTICS OF REPRESENTATIVE TOPSOIL IN THE VICINITY THAT PRODUCES HEAVY GROWTH. TOPSOIL SHALL HAVE A PH RANGE OF 5.5 TO 7.4 PERCENT, FREE FROM SUBSOIL, OBJECTIONABLE WEEDS, LITTER, SODS, STIFF CLAY, STONES LARGER THAN 1 INCH IN DIAMETER, STUMPS, ROOTS, TRASH, HERBICIDES, TOXIC SUBSTANCES, OR ANY OTHER MATERIAL WHICH MAY BE HARMFUL TO PLANT GROWTH OR HINDER PLANTING OPERATIONS. TOP SOIL SHALL CONTAIN A MINIMUM OF THREE PERCENT ORGANIC MATERIAL.
2. SALVAGED OR EXISTING TOPSOIL: REUSE SUITABLE TOPSOIL STOCKPILED ON-SITE OR EXISTING TOPSOIL UNDISTURBED BY GRADING OR EXCAVATION OPERATIONS. CLEAN TOPSOIL OF ROOTS, PLANTS, SOD, STONES, CLAY LUMPS, AND OTHER EXTRANEOUS MATERIALS HARMFUL TO PLANT GROWTH.
3. VERIFY AMOUNT OF SUITABLE TOPSOIL STOCKPILED IF ANY, AND SUPPLY ADDITIONAL IMPORTED TOPSOIL AS NEEDED. FOUR (4) INCHES OF TOPSOIL TO BE PROVIDED FOR ALL TURF AREAS. TWENTY FOUR (24) INCHES OF TOPSOIL TO BE PROVIDED FOR ALL PLANTING BEDS.
4. IMPORTED TOPSOIL: SUPPLEMENT SALVAGED TOPSOIL WITH IMPORTED TOPSOIL FROM OFF-SITE SOURCES WHEN EXISTING QUANTITIES ARE INSUFFICIENT.
1. OBTAIN TOPSOIL DISPLACED FROM NATURALLY WELL-DRAINED SITES WHERE TOPSOIL OCCURS AT LEAST 6 INCHES DEEP; DO NOT OBTAIN FROM AGRICULTURAL LAND, BOGS, OR MARSHES.
2. VERIFY BORROW AND DISPOSAL SITES ARE PERMITTED AS REQUIRED BY STATE AND LOCAL REGULATIONS. OBTAIN WRITTEN CONFIRMATION THAT PERMITS ARE CURRENT AND ACTIVE.
3. OBTAIN PERMITS REQUIRED BY STATE AND LOCAL REGULATIONS FOR TRANSPORTING TOPSOIL. PERMITS SHALL BE CURRENT AND ACTIVE.
5. AMEND EXISTING AND IMPORTED TOPSOIL AS INDICATED BELOW.

F. ORGANIC SOIL AMENDMENTS

1. MANURE: WELL-ROTTED, UNLEACHED, STABLE OR CATTLE MANURE CONTAINING NOT MORE THAN 25 PERCENT BY VOLUME OF STRAW, SAWDUST, OR OTHER BEDDING MATERIALS; FREE OF TOXIC SUBSTANCES, STONES, STICKS, SOIL, WEED SEED, AND MATERIAL HARMFUL TO PLANT GROWTH.
2. BACK TO NATURE COTTON BURR COMPOST OR APPROVED EQUIVALENT.
3. COMPOST: DECOMPOSED ORGANIC MATERIAL INCLUDING LEAF LITTER, MANURE, SAWDUST, PLANT TRIMMINGS AND/OR HAY, MIXED WITH SOIL.
4. PECAN HULLS: COMPOSTED PECAN HULLS FOR LOCAL SOURCE.
5. BIOSOLIDS: USE GRADE 1 CONTAINING LOWER PATHOGEN LEVELS.
6. WORM CASTINGS: EARTHWORMS.

G. INORGANIC SOIL AMENDMENTS

1. LIME: ASTM C602, CLASS O AGRICULTURAL LIMESTONE CONTAINING A MINIMUM OF 80 PERCENT CALCIUM CARBONATE EQUIVALENT WITH A MINIMUM OF 95 PERCENT PASSING NO. 8 SIEVE AND MINIMUM OF 55 PERCENT PASSING NO. 60 SIEVE.
2. SULFUR: GRANULAR, BIODEGRADABLE, CONTAINING A MINIMUM OF 90 PERCENT SULFUR, WITH A MINIMUM OF 99 PERCENT PASSING NO. 6 SIEVE AND A MAXIMUM OF 10 PERCENT PASSING NO. 40 SIEVE.
3. IRON SULFATE: GRANULATED FERROUS SULFATE CONTAINING A MINIMUM OF 20 PERCENT IRON AND 10 PERCENT SULFUR.
4. AGRICULTURAL GYPSUM: FINELY GROUND, CONTAINING A MINIMUM OF 90 PERCENT CALCIUM SULFATE.
5. SAND: CLEAN, WASHED, NATURAL OR MANUFACTURED, FREE OF TOXIC MATERIALS.

H. PLANTING SOIL MIX

1. PLANTING MEDIUM CONTAINING 75 PERCENT SPECIFIED TOPSOIL MIXED WITH 15 PERCENT ORGANIC SOIL AMENDMENTS AND 10 PERCENT SHARP WASHED SAND. INSTALL TO DEPTHS, PER PLANTING DETAILS (12" MIN.) FINISHED GRADES OF PLANTING BEDS TO BE 2" BELOW FINISHED GRADE OF ADJACENT PAVING OR AS SHOWN ON GRADING PLAN.

2. SOD/SEED AREA TOPSOIL
ALL SOD AREAS TO RECEIVE 4" DEPTH (MIN) TOPSOIL PRIOR TO INSTALLATION. TOPSOIL SHALL BE NATURAL, FRIABLE, FERTILE, PH RANGE OF 6.0-6.5 WITH 25% (MIN.) ORGANIC MATERIAL, AND FREE OF TRASH, DEBRIS, STONES, WEEDS, AND TWIGS/BRANCHES. THE PARTICLE SIZES SHALL BE SUCH THAT 98.5% OF THE TOPSOIL WILL PASS THROUGH A 1/2 INCH SCREEN, AND 95% MORE SHALL PASS THROUGH A 3/4 INCH SCREEN. TOPSOIL SHALL BE REVIEWED/APPROVED BY OWNER/LANDSCAPE ARCHITECT PRIOR TO INSTALLATION. CONTRACTOR TO SUBMIT SAMPLES IN 1 GAL (MIN.) CONTAINER.

I. WATER

WATER NECESSARY FOR PLANTING AND MAINTENANCE SHALL BE OF SATISFACTORY QUALITY TO SUSTAIN AN ADEQUATE GROWTH OF PLANTS AND SHALL NOT CONTAIN HARMFUL, NATURAL OR MAN-MADE ELEMENTS DETRIMENTAL TO PLANTS. WATER MEETING THE ABOVE STANDARD SHALL BE OBTAINED ON THE SITE FROM THE OWNER, IF AVAILABLE, AND THE CONTRACTOR SHALL BE RESPONSIBLE TO MAKE ARRANGEMENTS FOR ITS USE BY HIS TANKS, HOSES, SPRINKLERS, ETC. IF SUCH WATER IS NOT AVAILABLE AT THE SITE, THE CONTRACTOR SHALL PROVIDE SUCH SATISFACTORY WATER FROM SOURCES OFF THE SITE AT NO ADDITIONAL COST TO THE OWNER.

J. COMMERCIAL FERTILIZER

COMMERCIAL FERTILIZER SHALL BE A COMPLETE FORMULA; IT SHALL BE UNIFORM IN COMPOSITION, DRY AND FREE FLOWING. THIS FERTILIZER SHALL BE DELIVERED TO THE SITE IN THE ORIGINAL UNOPENED CONTAINERS, EACH BEARING THE MANUFACTURER'S GUARANTEED STATEMENT OF ANALYSIS.

FIFTY PERCENT (50%) OF THE NITROGEN SHALL BE DERIVED FROM NATURAL ORGANIC SOURCES. THE FOLLOWING FERTILIZERS SHALL BE USED AND APPLIED AT RATES AS SUGGESTED BY MANUFACTURER'S SPECIFICATIONS:

1. SHRUBS AND TREES - MILORGANITE, OR APPROVED EQUAL
2. ANNUALS AND GROUNDCOVERS - OSMOCOTE/SIERRA BLEND 14-14-14
3. SOD - 8-8-8 FERTILIZER

IN ADDITION TO SURFACE APPLIED FERTILIZERS, ALL CONTAINER GROWN AND FIELD GROWN PLANT MATERIAL SHALL RECEIVE "AGRIFORM" PLANTING TABLETS 24-10-5 FORMULA, 21 GRAM OR EQUAL. THESE TABLETS SHALL BE PLACED AT A DEPTH OF ROOT BALL AT THE RATE AS SPECIFIED BY MANUFACTURER.

K. MULCH

MULCH MATERIAL SHALL BE MOISTENED AT THE TIME OF APPLICATION TO PREVENT WIND DISPLACEMENT, AND APPLIED AT A DEPTH OF 3 INCHES. SEE PLANT LIST FOR TYPE OF MATERIAL AND GRADE.

L. DIGGING AND HANDLING

1. PROTECT ROOTS OR BALLS OF PLANTS AT ALL TIMES FROM SUN AND DRYING WINDS, WATER AND FREEZING, AS NECESSARY UNTIL PLANTING. PLANT MATERIALS SHALL BE ADEQUATELY PACKED TO PREVENT BREAKAGE AND DRYING OUT DURING TRANSIT. TREES TRANSPORTED MORE THAN TEN (10) MILES OR WHICH ARE NOT PLANTED WITHIN THREE (3) DAYS OF DELIVERY TO SITE SHALL BE SPRAYED WITH AN ANTI-TRANSPIRANT PRODUCT ("WILTPRUF" OR EQUAL) TO MINIMIZE TRANSPIRATIONAL WATER LOSS.

2. BALLED AND BURLAPPED PLANTS (B&B) SHALL BE DUG WITH FIRM, NATURAL BALLS OF SOIL OF SUFFICIENT SIZE TO ENCOMPASS THE FIBROUS AND FEEDING ROOTS OF THE PLANTS. NO PLANTS MOVED WITH A BALL SHALL BE PLANTED IF THE BALL IS CRACKED OR BROKEN. PLANTS BALLED AND BURLAPPED OR CONTAINER GROWN SHALL NOT BE HANDLED BY STEMS.

3. PLANTS MARKED "BR" IN THE PLANT LIST SHALL BE DUG WITH BARE ROOTS. THE ROOTS SHALL NOT BE CUT WITHIN THE MINIMUM SPREAD SPECIFIED IN THE PLANT LIST. CARE SHALL BE EXERCISED THAT THE ROOTS DO NOT DRY OUT IN MOVING AND PRIOR TO PLANTING.

4. PROTECTION OF PALMS (IF APPLICABLE): ONLY A MINIMUM OF FRONDS SHALL BE REMOVED FROM THE CROWN OF THE PALM TREES TO FACILITATE MOVING AND HANDLING. CLEAR TRUNK (CT) SHALL BE AS SPECIFIED AFTER THE MINIMUM OF FRONDS HAVE BEEN REMOVED. ALL PALMS SHALL BE BRACED PER DETAIL.

5. EXCAVATION OF TREE PITS SHALL BE DONE USING EXTREME CARE TO AVOID DAMAGE TO SURFACE AND SUBSURFACE ELEMENTS SUCH AS UTILITIES OR HARDSCAPE ELEMENTS, FOOTERS AND PREPARED SUB- BASES.

M. CONTAINER GROWN STOCK

1. ALL CONTAINER GROWN MATERIAL SHALL BE HEALTHY, VIGOROUS, WELL-ROOTED PLANTS AND ESTABLISHED IN THE CONTAINER IN WHICH THEY ARE SOLD. THE PLANTS SHALL HAVE TOPS WHICH ARE OF GOOD QUALITY AND ARE IN A HEALTHY GROWING CONDITION.

2. AN ESTABLISHED CONTAINER GROWN PLANT SHALL BE TRANSPLANTED INTO A CONTAINER AND GROWN IN THAT CONTAINER SUFFICIENTLY LONG FOR THE NEW FIBROUS ROOTS TO HAVE DEVELOPED SO THAT THE ROOT MASS WILL RETAIN ITS SHAPE AND HOLD TOGETHER WHEN REMOVED FROM THE CONTAINER. CONTAINER GROWN STOCK SHALL NOT BE HANDLED BY THEIR STEMS.

3. PLANT ROOTS BOUND IN CONTAINERS SHALL NOT BE ACCEPTABLE.

4. SUBSTITUTION OF NON-CONTAINER GROWN MATERIAL FOR MATERIAL EXPLICITLY SPECIFIED TO BE CONTAINER GROWN WILL NOT BE PERMITTED UNLESS WRITTEN APPROVAL IS OBTAINED FROM THE OWNER AND LANDSCAPE ARCHITECT.

N. COLLECTED STOCK

WHEN THE USE OF COLLECTED STOCK IS PERMITTED AS INDICATED ON THE PLANT LIST SCHEDULE, THE MINIMUM SIZES OF ROOTBALLS SHALL BE EQUAL TO THAT SPECIFIED FOR THE NEXT LARGER SIZE OF NURSERY GROWN STOCK OF THE SAME VARIETY.

O. NATIVE STOCK

PLANTS COLLECTED FROM WILD OR NATIVE STANDS SHALL BE CONSIDERED NURSERY GROWN WHEN THEY HAVE BEEN SUCCESSFULLY REESTABLISHED IN A NURSERY ROW AND GROWN UNDER REGULAR NURSERY CULTURAL PRACTICES FOR A MINIMUM OF TWO (2) GROWING SEASONS AND HAVE ATTAINED ADEQUATE ROOT AND TOP GROWTH TO INDICATE FULL RECOVERY FROM TRANSPLANTING INTO THE NURSERY ROW.

P. MATERIALS LIST

QUANTITIES NECESSARY TO COMPLETE THE WORK ON THE DRAWINGS SHALL BE FURNISHED BY THE CONTRACTOR. QUANTITY ESTIMATES HAVE BEEN MADE CAREFULLY, BUT THE LANDSCAPE ARCHITECT OR OWNER ASSUMES NO LIABILITY FOR OMISSIONS OR ERRORS. SHOULD A DISCREPANCY OCCUR BETWEEN THE BIDDERS TAKE OFF AND THE PLANT LIST QUANTITY, THE LANDSCAPE ARCHITECT SHALL BE NOTIFIED FOR CLARIFICATION PRIOR TO THE SUBMISSIONS OF BIDS. ALL DIMENSIONS AND/OR SIZES SPECIFIED SHALL BE THE MINIMUM ACCEPTABLE SIZE

Q. FINE GRADING

1. FINE GRADING UNDER THIS CONTRACT SHALL CONSIST OF FINAL FINISHED GRADING OF LAWN AND PLANTING AREAS THAT HAVE BEEN ROUGH GRADED BY OTHERS. BERMING AS SHOWN ON THE DRAWINGS SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR, UNLESS OTHERWISE NOTED.

2. THE LANDSCAPE CONTRACTOR SHALL FINE GRADE THE LAWN AND PLANTING AREAS TO BRING THE ROUGH GRADE UP TO FINAL FINISHED GRADE ALLOWING FOR THICKNESS OF SOD AND/OR MULCH DEPTH. THIS CONTRACTOR SHALL FINE GRADE BY HAND AND/OR WITH ALL EQUIPMENT NECESSARY INCLUDING A GRADING TRACTOR WITH FRONT-END LOADER FOR TRANSPORTING SOIL WITHIN THE SITE.

3. ALL PLANTING AREAS SHALL BE GRADED AND MAINTAINED TO ALLOW FREE FLOW OF SURFACE WATER. AREAS ADJACENT TO BUILDINGS SHALL SLOPE AWAY FROM THE BUILDINGS.

R. PLANTING PROCEDURES

1. CLEANING UP BEFORE COMMENCING WORK: THE CONTRACTOR SHALL CLEAN UP WORK AND SURROUNDING AREAS OF ALL RUBBISH OR OBJECTIONABLE MATTER. ALL MORTAR, CEMENT, AND TOXIC MATERIAL SHALL BE REMOVED FROM THE SURFACE OF ALL PLANT BEDS. THESE MATERIALS SHALL NOT BE MIXED WITH THE SOIL. SHOULD THE CONTRACTOR SUCH SOIL CONDITIONS BENEATH THE SOIL WHICH WILL IN ANY WAY ADVERSELY AFFECT THE PLANT GROWTH, HE SHALL IMMEDIATELY CALL IT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT OR OWNER. FAILURE TO DO SO BEFORE PLANTING SHALL MAKE THE CORRECTIVE MEASURES THE RESPONSIBILITY OF THE CONTRACTOR.

2. VERIFY LOCATIONS OF ALL UTILITIES, CONDUITS, SUPPLY LINES AND CABLES, INCLUDING BUT NOT LIMITED TO: ELECTRIC, GAS (LINES AND TANKS), WATER, SANITARY SEWER, STORMWATER LINES, CABLE AND TELEPHONE. PROPERLY MAINTAIN AND PROTECT EXISTING UTILITIES.

3. SUBGRADE EXCAVATION: SITE CONTRACTOR IS RESPONSIBLE TO REMOVE ALL EXISTING AND IMPORTED LIMEROCK AND LIMEROCK SUB-BASE FROM ALL LANDSCAPE PLANTING AREAS TO A MINIMUM DEPTH OF 36". SITE CONTRACTOR IS RESPONSIBLE TO BACKFILL THESE PLANTING AREAS TO ROUGH FINISHED GRADE WITH CLEAN TOPSOIL FROM AN ON-SITE SOURCE OR AN IMPORTED SOURCE. IF LIMEROCK OR OTHER ADVERSE CONDITIONS OCCUR IN PLANTED AREAS AFTER 36" DEEP EXCAVATION BY SITE CONTRACTOR, AND POSITIVE DRAINAGE CAN NOT BE ACHIEVED, LANDSCAPE CONTRACTOR SHALL CONTACT LANDSCAPE ARCHITECT OR OWNER.

4. FURNISH NURSERY'S CERTIFICATE OF COMPLIANCE WITH ALL REQUIREMENTS AS HEREIN SPECIFIED AND REQUIRED. INSPECT AND SELECT PLANT MATERIALS BEFORE PLANTS ARE DUG AT NURSERY OR GROWING SITE.

5. GENERAL: COMPLY WITH APPLICABLE FEDERAL, STATE, COUNTY, AND LOCAL REGULATIONS GOVERNING LANDSCAPE MATERIALS AND WORK. CONFORM TO ACCEPTED HORTICULTURAL PRACTICES AS USED IN THE TRADE. PLANTS SHALL BE PROTECTED UPON ARRIVAL AT THE SITE BY BEING THOROUGHLY WATERED AND PROPERLY MAINTAINED UNTIL PLANTED. PLANTS SHALL NOT REMAIN UNPROTECTED FOR A PERIOD EXCEEDING TWENTY-FOUR (24) HOURS. AT ALL TIMES WORKMANLIKE METHODS CUSTOMARY IN GOOD HORTICULTURAL PRACTICES SHALL BE EXERCISED.

6. THE WORK SHALL BE COORDINATED WITH OTHER TRADES TO PREVENT CONFLICTS. COORDINATE THE PLANTING WITH THE IRRIGATION WORK TO ASSURE AVAILABILITY OF WATER AND PROPER LOCATION OF IRRIGATION ITEMS AND PLANTS.

7. ALL PLANTING PITS SHALL BE EXCAVATED TO SIZE AND DEPTH IN ACCORDANCE WITH THE USA STANDARD FOR NURSERY STOCK 260.1, UNLESS SHOWN OTHERWISE ON THE DRAWINGS, AND BACKFILLED WITH THE PREPARED PLANTING SOIL AS SPECIFIED HEREIN AND AS DIRECTED BY OWNER'S REPRESENTATIVE (I). TEST ALL TREE PITS WITH WATER BEFORE PLANTING TO ASSURE PROPER DRAINAGE PERCOLATION IS AVAILABLE. NO ALLOWANCE WILL BE MADE FOR LOST PLANTS DUE TO IMPROPER DRAINAGE. IF POOR DRAINAGE EXISTS, UTILIZE PLANTING DETAIL THAT ADDRESSES THIS CONDITION. TREES SHALL BE SET PLUMB AND HELD IN POSITION UNTIL THE PLANTING MIXTURE HAS BEEN FLUSHED INTO PLACE WITH A SLOW, FULL HOSE STREAM. ALL PLANTING SHALL BE PERFORMED BY PERSONNEL FAMILIAR WITH PLANTING PROCEDURE AND UNDER THE SUPERVISION OF A QUALIFIED PLANTING FOREMAN. PROPER "JETTING IN" SHALL BE ASSURED TO ELIMINATE AIR POCKETS AROUND THE ROOTS. "JET STICK" OR EQUAL IS RECOMMENDED.

8. TAKE ALL NECESSARY PRECAUTIONS TO AVOID DAMAGE TO BUILDINGS AND BUILDING STRUCTURES WHILE INSTALLING TREES.

9. SOIL MIXTURE SHALL BE AS SPECIFIED IN SECTION E OF THESE SPECIFICATIONS. IN ADDITION, EACH PLANTING PIT SHALL RECEIVE 21-GRAM "AGRIFORM" PLANTING TABLETS PER MANUFACTURER'S SPECIFICATIONS OR AS FOLLOWS:

- **TWO (2) TABLETS PER 1 GAL. PLANT**
- **THREE (3) TABLETS PER 3 GAL. PLANT**
- **FOUR (4) TABLETS PER 10 GAL. PLANT**
- **LARGER MATERIAL - TWO (2) TABLETS PER 1/2" OF TRUNK CALIPER**

10. TREES AND SHRUBS SHALL BE SET STRAIGHT AND AT SUCH A LEVEL THAT AFTER SETTLEMENT, THE PLANT CROWN WILL STAND ONE (1) TO TWO (2) INCHES ABOVE GRADE. EACH PLANT SHALL BE SET IN THE CENTER OF THE PIT. PLANTING SOIL MIXTURE SHALL BE BACKFILLED AND THOROUGHLY TAMPED AROUND THE BALL AND SHALL BE SETTLED BY WATER AFTER TAMPING.

11. FILL HOLE WITH SOIL MIXTURE, MAKING CERTAIN ALL SOIL IS SATURATED. TO DO THIS, FILL HOLE WITH WATER AND ALLOW TO SOAK MINIMUM TWENTY (20) MINUTES, STIRRING IF NECESSARY TO GET SOIL THOROUGHLY WET. PACK LIGHTLY WITH FEET. ADD MORE WET SOIL MIXTURE. DO NOT COVER TOP OF BALL WITH SOIL MIXTURE, ONLY WITH MULCH. ALL BURLAP, ROPE, WIRES, ETC., SHALL BE REMOVED FROM THE SIDES AND TOPS OF BALLS, BUT NO BURLAP SHALL BE PULLED FROM UNDERNEATH.

12. PRUNING: EACH TREE SHALL BE PRUNED TO PRESERVE THE NATURAL CHARACTER OF THE PLANT AS SHOWN ON THE DRAWINGS. ALL SOFT WOOD OR SUCKER GROWTH AND ALL BROKEN OR BADLY DAMAGED BRANCHES SHALL BE REMOVED WITH A CLEAN CUT.

13. SHRUBS AND GROUND COVER PLANTS SHALL BE EVENLY SPACED IN ACCORDANCE WITH THE DRAWINGS AND AS INDICATED ON THE PLANT LIST. CULTIVATE ALL PLANTING AREAS TO A MINIMUM DEPTH OF 6", REMOVE AND DISPOSE ALL DEBRIS. TILL INTO TOP 4" THE PLANTING SOIL MIX AS SPECIFIED IN SECTION E. THOROUGHLY WATER ALL PLANTS AFTER INSTALLATION.

14. TREE GUYING AND BRACING SHALL BE INSTALLED BY THE LANDSCAPE CONTRACTOR IN ACCORDANCE WITH THE PLANS TO INSURE STABILITY AND MAINTAIN TREES IN AN UPRIGHT POSITION. IF THE LANDSCAPE CONTRACTOR AND OWNER DECIDE TO WAIVE THE TREE GUYING AND BRACING, THE OWNER SHALL NOTIFY THE LANDSCAPE ARCHITECT IN WRITING OF THEIR INTENTIONS AND AGREE TO HOLD HARMLESS THE LANDSCAPE ARCHITECT IN THE EVENT ANY TREES FALL DOWN AND DAMAGE PERSON OR PROPERTY.

15. MULCHING: PROVIDE A THREE (3) INCH MINIMUM LAYER OF SPECIFIED MULCH OVER THE ENTIRE AREA OF EACH SHRUB BED, GROUND COVER AND VINE BED AND TREE PIT.

16. HERBICIDE WEED CONTROL: ALL PLANT BEDS SHALL BE KEPT FREE OF NOXIOUS WEEDS UNTIL FINAL ACCEPTANCE OF WORK. IF DIRECTED BY THE OWNER, "ROUND-UP" SHALL BE APPLIED FOR WEED CONTROL BY QUALIFIED PERSONNEL TO ALL PLANTING AREAS IN SPOT APPLICATIONS PER MANUFACTURER'S PRECAUTIONS AND SPECIFICATIONS. PRIOR TO FINAL INSPECTION, TREAT ALL PLANTING BEDS WITH AN APPROVED PRE-EMERGENT HERBICIDE AT AN APPLICATION RATE RECOMMENDED BY THE MANUFACTURER.

S. LAWN SODDING

1. THE WORK CONSISTS OF LAWN BED PREPARATION, SOIL PREPARATION, AND SODDING COMPLETE, IN STRICT ACCORDANCE WITH THE SPECIFICATIONS AND THE APPLICABLE DRAWINGS TO PRODUCE A GRASS LAWN ACCEPTABLE TO THE OWNER.

2. LAWN BED PREPARATION: ALL AREAS THAT ARE TO BE SODDED SHALL BE CLEARED OF ANY ROUGH GRASS, WEEDS, AND DEBRIS, AND THE GROUND BROUGHT TO AN EVEN GRADE. THE WHOLE SURFACE SHALL BE ROLLED WITH A ROLLER WEIGHING NOT MORE THAN ONE-HUNDRED (100) POUNDS PER FOOT OF WIDTH. DURING THE ROLLING, ALL DEPRESSIONS CAUSED BY SETTLEMENT OF ROLLING SHALL BE FILLED WITH ADDITIONAL SOIL, AND THE SURFACE SHALL BE REGRADED AND ROLLED UNTIL PRESENTING A SMOOTH AND EVEN FINISH THAT IS UP TO THE REQUIRED GRADE.

3. SOIL PREPARATION: PREPARE LOOSE BED FOUR (4) INCHES DEEP. APPLY FERTILIZER AT RATE OF TWENTY (20) POUNDS PER ONE THOUSAND (1000) SQUARE FEET. APPLICATION SHALL BE UNIFORM, UTILIZING APPROVED MECHANICAL SPREADERS. MIX FERTILIZER THOROUGHLY WITH THE SOIL TO A DEPTH OF THREE (3) INCHES. HAND RAKE UNTIL ALL BUMPS AND DEPRESSIONS ARE REMOVED. WET PREPARED AREA THOROUGHLY.

4. SODDING

A. THE CONTRACTOR SHALL SOD ALL AREAS THAT ARE NOT PAVED OR PLANTED AS DESIGNATED ON THE DRAWINGS WITHIN THE CONTRACT LIMITS, UNLESS SPECIFICALLY NOTED OTHERWISE.

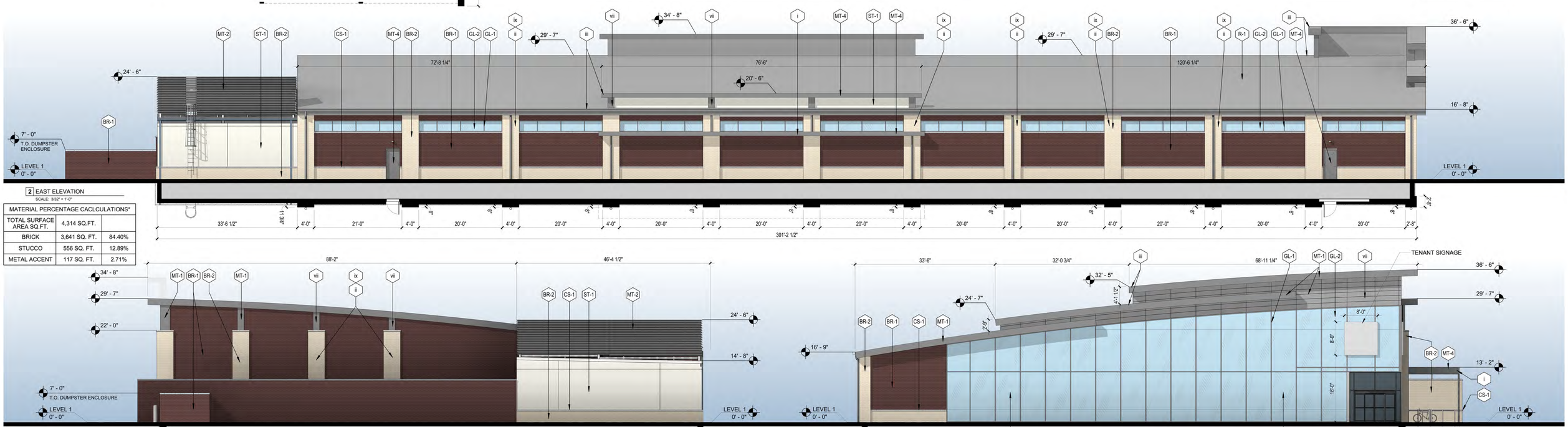
B. THE SOD SHALL BE CERTIFIED TO MEET THE STATE PLANT BOARD SPECIFICATIONS, ABSOLUTELY TRUE TO VARIETAL TYPE, AND FREE FROM WEEDS, FUNGUS, INSECTS AND DISEASE OF ANY KIND.

C. SOD PANELS SHALL BE LAID TIGHTLY TOGETHER SO AS TO MAKE A SOLID SODDED LAWN AREA. SOD SHALL BE LAID UNIFORMLY AGAINST THE EDGES OF ALL CURBS AND OTHER HARDSCAPE ELEMENTS, PAVED AND PLANTED AREAS. ADJACENT TO BUILDINGS; A FOUR INCH MUCH STRIP SHALL BE PROVIDED. IMMEDIATELY FOLLOWING SOD LAYING, THE LAWN AREAS SHALL BE ROLLED WITH A LAWN ROLLER CUSTOMARILY USED FOR SUCH PURPOSES, AND THEN THOROUGHLY IRRIGATED. IF, IN THE OPINION OF THE OWNER, TOP-DRESSING IS NECESSARY AFTER ROLLING TO FILL THE VOIDS BETWEEN THE SOD PANELS AND TO EVEN OUT INCONSISTENCIES IN THE SOD, CLEAN SAND AS APPROVED BY THE LANDSCAPE ARCHITECT OR OWNER SHALL BE UNIFORMLY SPREAD OVER THE ENTIRE SURFACE OF THE SOD AND THOROUGHLY WATERED IN.

D. DURING DELIVERY, PRIOR TO AND DURING THE PLANTING OF THE LAWN AREAS, THE SOD PANELS SHAL

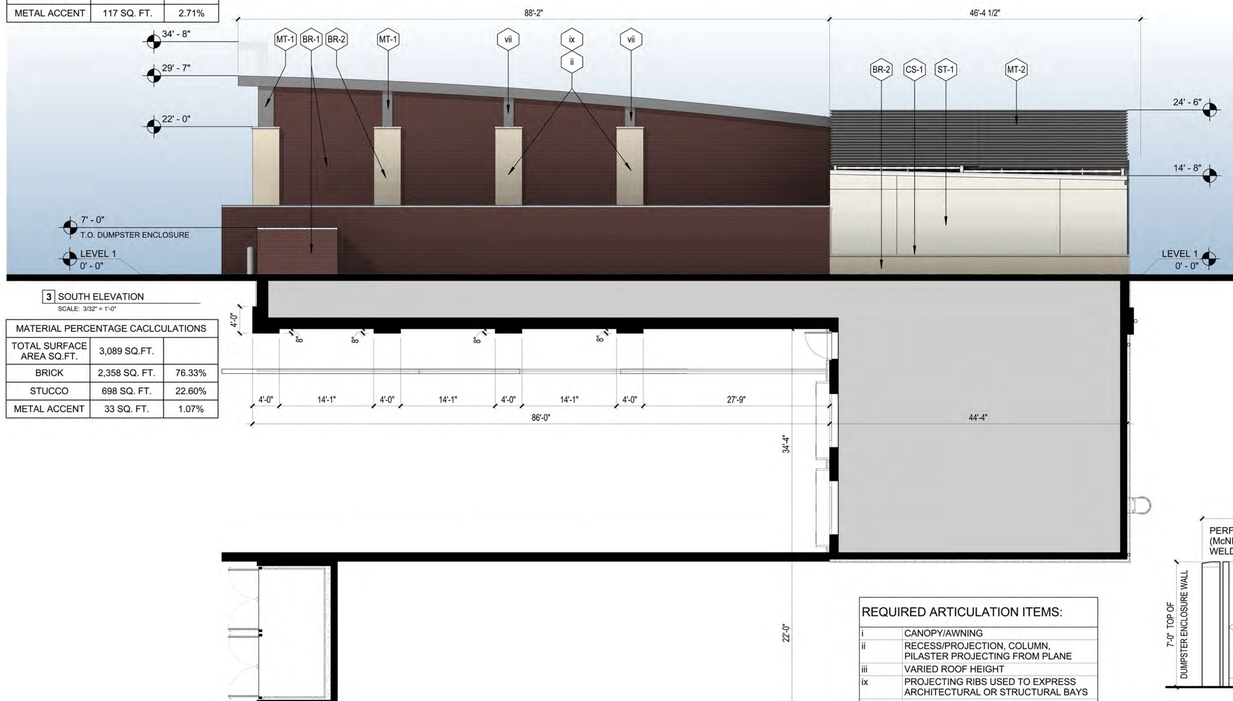
1 WEST ELEVATION
SCALE: 3/32" = 1'-0"

MATERIAL PERCENTAGE CACLCULATIONS*		
TOTAL SURFACE AREA SQ.FT.	6,340 SQ.FT.	
BRICK	5,295 SQ. FT.	83.52%
STUCCO	627 SQ. FT.	9.89%
METAL ACCENT	418 SQ. FT.	6.59%



2 EAST ELEVATION
SCALE: 3/32" = 1'-0"

MATERIAL PERCENTAGE CACLCULATIONS*		
TOTAL SURFACE AREA SQ.FT.	4,314 SQ.FT.	
BRICK	3,641 SQ. FT.	84.40%
STUCCO	556 SQ. FT.	12.89%
METAL ACCENT	117 SQ. FT.	2.71%



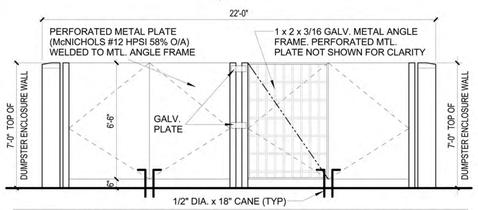
3 SOUTH ELEVATION
SCALE: 3/32" = 1'-0"

MATERIAL PERCENTAGE CACLCULATIONS		
TOTAL SURFACE AREA SQ.FT.	3,089 SQ.FT.	
BRICK	2,358 SQ. FT.	76.33%
STUCCO	698 SQ. FT.	22.60%
METAL ACCENT	33 SQ. FT.	1.07%

4 NORTH ELEVATION (FRONT)
SCALE: 3/32" = 1'-0"

MATERIAL PERCENTAGE CACLCULATIONS*		
TOTAL SURFACE AREA SQ.FT.	793 SQ.FT.	
BRICK	357 SQ. FT.	45.02%
STUCCO	0 SQ. FT.	0%
METAL ACCENT	436 SQ. FT.	54.98%

REQUIRED ARTICULATION ITEMS:	
i	CANOPY/AWNING
ii	RECESS/PROJECTION, COLUMN, PILASTER PROJECTING FROM PLANE
iii	VARIED ROOF HEIGHT
ix	PROJECTING RIBS USED TO EXPRESS ARCHITECTURAL OR STRUCTURAL BAYS
vi	DISPLAY WINDOWS
vii	ACCENT MATERIALS



5 DUMPSTER ELEVATION
SCALE: 1/4" = 1'-0"

MATERIAL	DESCRIPTION				
BR-1	BRICK TYPE A	MT-1	PREFINISHED METAL FASCIA	GL-1	ALUMINUM STOREFRONT & CURTAINWALL SYSTEMS
	MANUFACTURER: ACME BRICK PRODUCT: BROWNWOOD MILL LOCATION: PRIMARY BRICK		MANUFACTURER: BERRIDGE PRODUCT: PREWEATHERED GALVALUME LOCATION: FASCIA & ACCENTS		MANUFACTURER: KAWNEER PRODUCT: CLEAR ANODIZED LOCATION: CLERESTORY / MAIN ENTRY
BR-2	BRICK TYPE B	MT-2	METAL LOUVERS	GL-2	GLASS
	MANUFACTURER: ACME BRICK PRODUCT: DOVE GRAY LOCATION: WAINSCOT		MANUFACTURER: TBD COLOR: SHERWIN WILLIAMS SW#7067 "CITYSCAPE" LOCATION: MECHANICAL UNIT SCREEN		MANUFACTURER: PPG PRODUCT: SOLARBAN 70XL, CLEAR LOCATION: STOREFRONT / CURTAINWALL
CS-1	CAST STONE	MT-3	METAL GUTTER	R-1	TPO ROOF
	MANUFACTURER: ALLIANCE PRODUCT: CREAM LOCATION: ABOVE WAINSCOT		MANUFACTURER: TBD COLOR: SHERWIN WILLIAMS SW#7067 "CITYSCAPE" LOCATION: REAR ELEVATION		MANUFACTURER: TBD PRODUCT: LIGHT GRAY LOCATION: ROOF
ST-1	STUCCO - 3 COAT SYSTEM	MT-4	PAINTED STEEL CANOPY & MISC.		
	MANUFACTURER: MEMBER OF TEXAS LATH & PLASTERING CONTRACTORS ASSOCIATION COLOR: SHERWIN WILLIAMS SW#7004 "SNOWBOUND" LOCATION: LOADING DOCK & ACCENT		MANUFACTURER: TBD COLOR: SHERWIN WILLIAMS SW#7067 "CITYSCAPE" LOCATION: CART RETURN / CANOPY		

*DOORS AND WINDOWS EXCLUDED FROM MATERIAL PERCENTAGE CALCULATIONS

GROCER
MANSFIELD, TEXAS
SEQ OF DEBBIE LANE AND MATLOCK ROAD

EXHIBIT D - COLOR ELEVATIONS

Case No.: ZC#17-007
Issued: 05-18-2017

RHA ARCHITECTS

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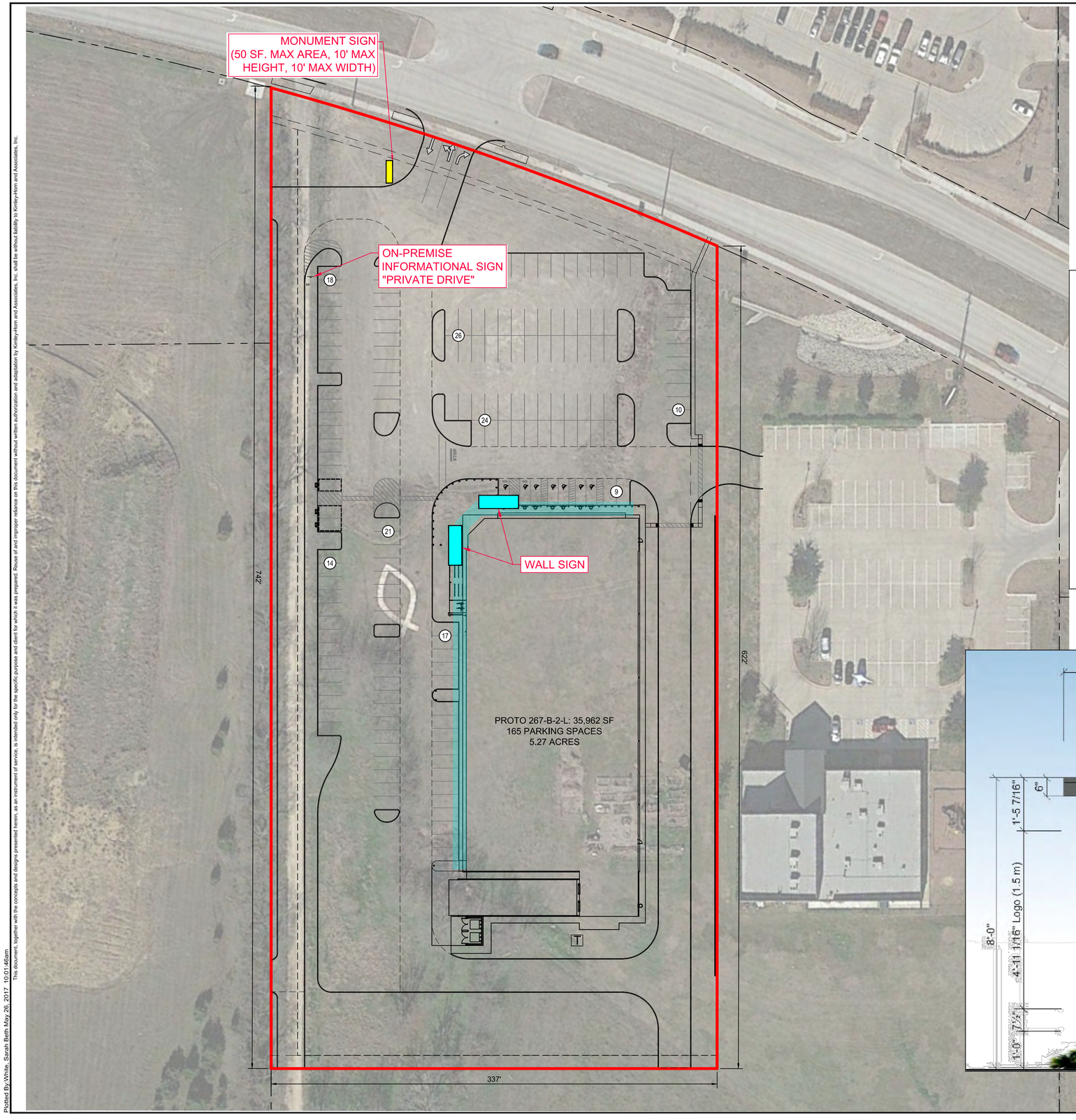

GRAPHIC SCALE IN FEET
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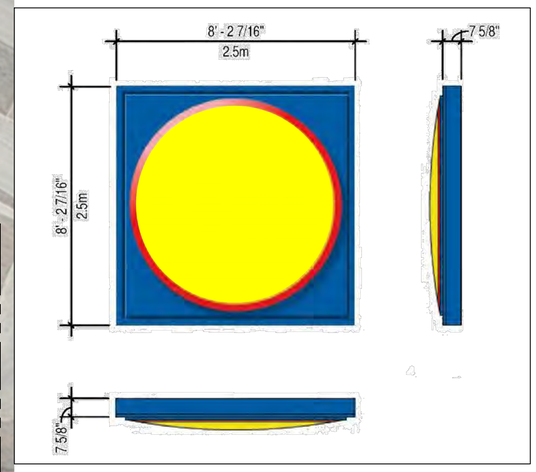
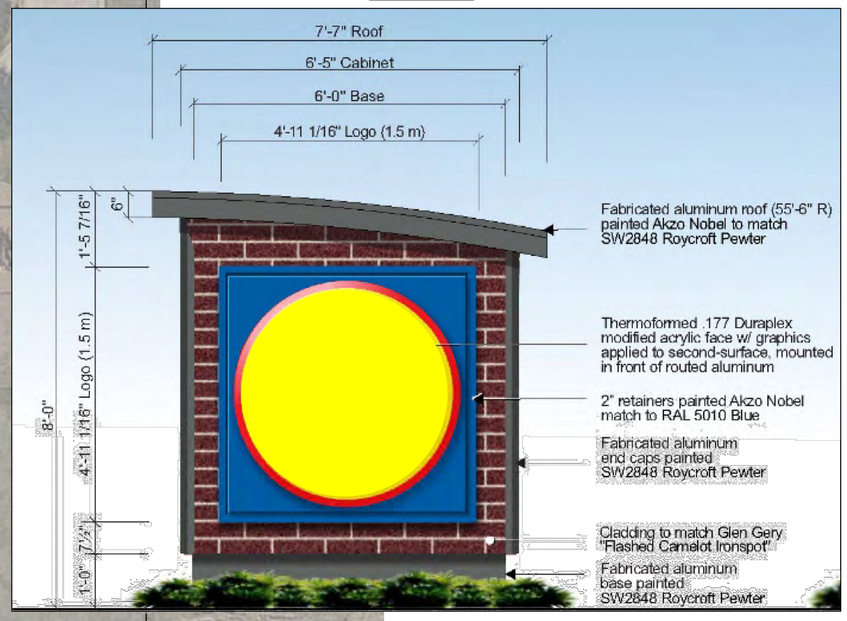
WALL SIGN



MONUMENT C



No.	REVISIONS	DATE	BY

Kimley»Horn
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FOR REVIEW ONLY

KHA PROJECT	064507000
DATE	05/26/2017
SCALE	AS SHOWN
DRAWN BY	WDS
CHECKED BY	KSG

EXHIBIT E SIGN ELEVATIONS

GROCER
SEC OF DEBBIE LANE AND MATLOACK ROAD CITY OF MANSFIELD, TX (S1325)

SHEET NUMBER
SE-1

Plotted By:White, Sarah Beth May 26, 2017 10:01:46am
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Summary of City Council Actions

May 22, 2017

Public Hearing and First Reading on an Ordinance to amend Section 7100, "Sign Standards", of the Zoning Ordinance to establish new regulations for Temporary Realtor Open House Directional Signs and Human Signs (OA#17-001)

Approved 6 – 0 (Hoffman abstained)

Consideration of a request for a minor modification of the Planned Development located at the SW corner of Day Miar Road and Grand Meadows Blvd; Darren McDougald (ZC#16-013A)

Approved 7 – 0