

AGENDA

PLANNING AND ZONING COMMISSION CITY OF MANSFIELD, TEXAS CITY HALL COUNCIL CHAMBERS MONDAY, JUNE 18, 2018, 6:30 PM

1. CALL TO ORDER

2. APPROVAL OF LAST MEETING MINUTES

3. **CITIZEN COMMENTS:** Citizens wishing to address the Commission on non-public hearing agenda items and items not on the agenda may do so at this time. Once the business portion of the meeting begins, only comments related to public hearings will be heard. All comments are limited to 5 minutes. Please refrain from “personal criticisms”.

In order to be recognized during the “Citizens Comments” **or** during a public hearing (applicants included), please complete a yellow “Appearance Card” located at the entry to the Chambers and present it to the Planning Secretary.

4. **CONSENT AGENDA:** All matters listed under the consent agenda are considered routine. If discussion is desired, then an item will be removed from the consent agenda and considered separately.

A. SD#18-020: Final Plat of Lot 1, Block 1, Reinoehl Addition

END OF CONSENT AGENDA

5. PUBLIC HEARINGS:

- A. ZC#18-016: Public hearing for a change of zoning from I-1 Light Industrial District to PD Planned Development District for office and mini-warehouse uses on approximately 4.36 acres situated in the Samuel C. Neill Survey, Abstract No. 1159, generally located at 4101 Britton Road

6. COMMISSION ANNOUNCEMENTS

7. STAFF ANNOUNCEMENTS

8. ADJOURNMENT OF MEETING

9. NEXT MEETING DATE: July 2, 2018

I certify that the above agenda was posted on the bulletin board next to the main entrance of City Hall on **Thursday, June 14, 2018**, in accordance with Chapter 551 of the Texas Government Code.

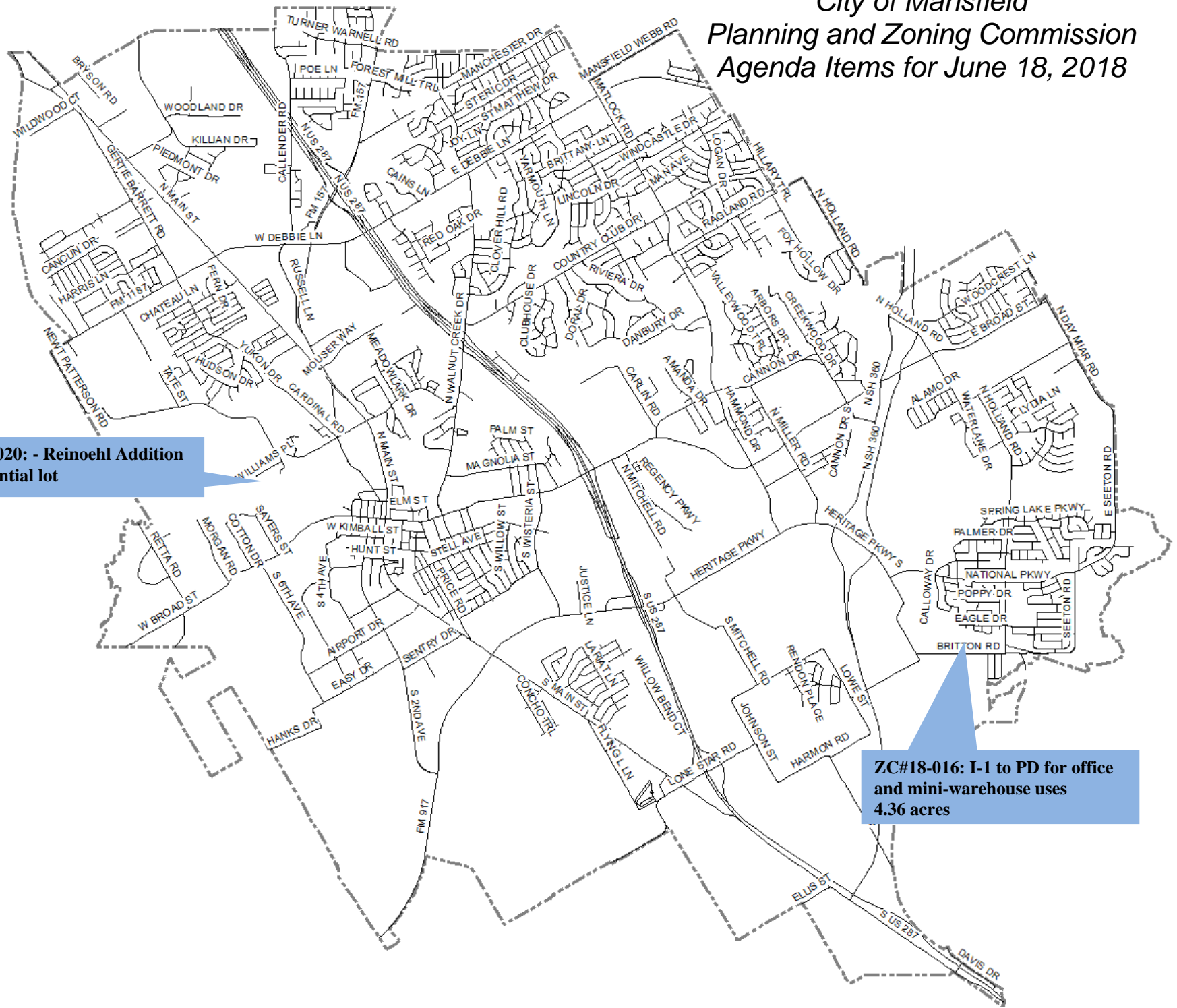
Delia Jones, Planning and Zoning Secretary

- This building is wheelchair accessible. Disabled parking spaces are available. Request for sign interpreter services must be made 48 hours ahead of meeting to make arrangements. Call 817 473-0211 or TDD 1-800-RELAY TX, 1-800-735-2989.
- In deciding a zoning change application, the Planning & Zoning Commission and City Council are required to determine the highest and best use of the property in question. The Commission may recommend and the Council may approve a change in zoning to the category or district requested by the applicant or to any zoning category or district of lesser intensity. Notice is presumed sufficient for every District up to the intensity set forth in the zoning change application.

*City of Mansfield
Planning and Zoning Commission
Agenda Items for June 18, 2018*

**SD#18-020: - Reinoehl Addition
1 residential lot**

**ZC#18-016: I-1 to PD for office
and mini-warehouse uses
4.36 acres**



**PLANNING & ZONING COMMISSION MEETING
CITY OF MANSFIELD**

June 4, 2018

Chairman Wilshire called the meeting to order at 6:30 p.m. in the Council Chambers of City Hall, 1200 East Broad Street, with the meeting being open to the public and notice of said meeting, giving date, place, and subject thereof, having been posted as prescribed by Chapter 551, Texas Government Code.

Present:

Wayne Wilshire	Chairman
Larry Hudson	Commissioner
Kent Knight	Commissioner
Mel Neuman	Commissioner
Gary Mills	Commissioner
Robert Klenzendorf	Commissioner

Absent:

Cory Smithee	Vice-Chairman
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Staff:

Lisa Sudbury	Interim Director of Planning
Shirley Emerson	Planner
Delia Jones	Planning & Zoning Secretary
Clay Cawood	Fire Marshal

Call to Order

Chairman Wilshire called the meeting to order at 6:30 p.m.

Minutes

Chairman Wilshire called for approval of the May 21, 2018, minutes. Commissioner Knight made a motion to approve the minutes. Commissioner Mills seconded the motion, which carried by the following vote:

Ayes: 4 - Wilshire, Neuman, Knight and Mills

Nays: 0

Abstain: 2 – Hudson and Klenzendorf

Citizen Comments

None

DS#18-003: Review and consideration of the Detailed Site Plan for Texas Health Resources Hospital at SouthPointe by Texas Health Resources on approximately 38.236 acres, generally located east of US Hwy 287 and south of Lone Star Road

Levi Schmidt, Sr. Project Manager for Texas Health Resources and Derik Hernandez and Jennifer Cull, Beck Architecture, representing the applicant, gave an overview of the request, power point presentation and were available for questions.

Chairman Wilshire opened the public hearing and called for anyone wishing to speak to come forward.

Seeing no one come forward to speak, Chairman Wilshire closed the public hearing.

After discussion, Commissioner Neuman made a motion to approve the request subject to staff approval of a future sign plan consistent with C-2 zoning, directional signage and State-mandated emergency signage. Commissioner Hudson seconded the motion which carried by the following vote:

Ayes: 6 – Wilshire, Hudson, Neuman, Knight, Mills and Klenzendorf

Nays: 0

Abstain: 0

ZC#18-007: Public Hearing for a change of zoning from C-2 Community Business District to PD Planned Development District for mobile food unit sales, outdoor dining, outdoor stage/live entertainment, bar, special event and office uses on approximately 0.7495 acres located at 107 Walnut Street

Shane Farrar, the applicant and Brad Russell, contractor, gave an overview of the request and were available for questions.

Chairman Wilshire opened the public hearing and called for anyone wishing to speak to come forward.

Seeing no one come forward to speak, Chairman Wilshire closed the public hearing.

Commissioners expressed concerns relating to the following; not providing a masonry wall adjacent to single-family occupied homes, the distance from the church on First Street; the lack of parking; felt outdoor entertainment was unrealistic; does not meet the fire lane, fire hydrant or access requirements; lack of clarification on the plan as detailed in the staff report; thought it was a cool idea but lack of information and ambiguity; need a mobile ordinance in place before we try to approve one site; is it safe; and most concerned about sound and stage and lack of parking.

After discussion, Commissioner Mills made a motion to deny the request. Commissioner Knight seconded the motion which carried by the following vote:

Ayes: 6 – Wilshire, Hudson, Neuman, Knight, Mills and Klenzendorf

Nays: 0

Abstain: 0

ZC#18-013: Public Hearing for a change of zoning from PR, Pre-Development District to PD, Planned Development for Single-Family Attached Townhomes on approximately 3.56 acres situated in the James Grimsley Survey, Abstract No. 578, generally located at 1802 Mansfield Webb Road

Felix Wong, representing the applicant, gave an overview of the request, power point presentation and was available for questions.

Chairman Wilshire opened the public hearing and called for anyone wishing to speak to come forward.

James Johnston, Dayton Macatee and Terrance Jobe spoke in support of the request. Tamera Bounds registered in support.

Seeing no one else come forward to speak, Chairman Wilshire closed the public hearing.

Commissioners expressed the following concerns: was it rental property; why less than 80% masonry; frustrated with deviations; parking will be a problem; do owners maintain their own backyards; did not think the 1,800 square foot minimum was doable; concerned about size of lots; good looking product; all agreed that the issues could be remediated.

After discussion, Commissioner Neuman made a motion to deny the request. Commissioner Klenzendorf seconded the motion which carried by the following vote:

Ayes: 4 – Wilshire, Hudson, Neuman and Klenzendorf

Nays: 2 – Knight and Mills

Abstain: 0

Commissioner Announcements

Commissioners agreed that the city has tough standards and they should be followed.

Staff Announcements

None

Adjournment

Commissioner Knight made a motion to adjourn the meeting. Commissioner Hudson seconded the motion which carried by the following vote:

Ayes: 6 – Wilshire, Hudson, Neuman, Knight, Mills and Klenzendorf

Nays: 0

Abstain: 0

With no further business, Chairman Wilshire adjourned the meeting at 7:53 p.m.

Wayne Wilshire, Chairman

Delia Jones, Planning & Zoning Secretary

PLANNING AND ZONING COMMUNICATION

Agenda: June 18, 2018

Subject: SD#18-020: Final Plat of Lot 1, Block 1, Reinoehl Addition

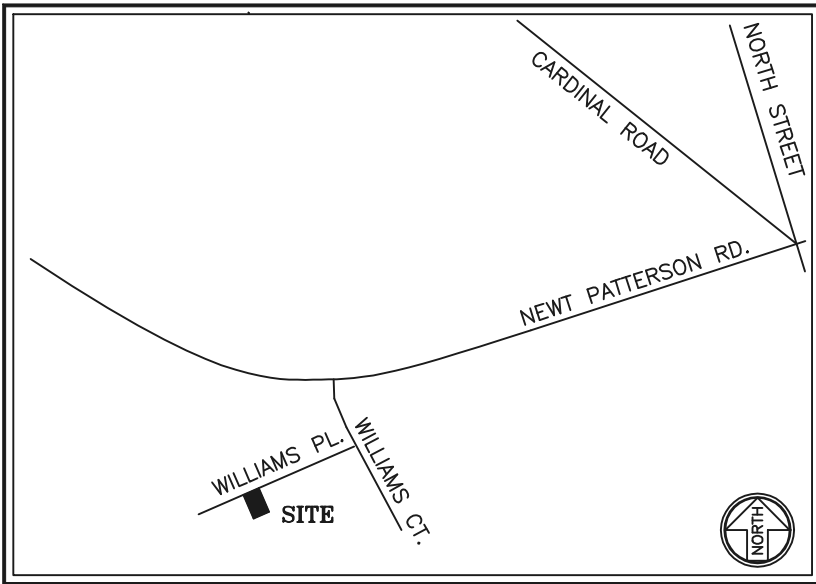
GENERAL INFORMATION

Applicant:	Coombs Land Surveying, surveyor Paul and Jeanine Reinoehl, owners
Location:	849 Williams Pl.
Existing Zoning:	PR
Proposed Use:	Single-family residential
Size:	0.994 acres
Total Number of Lots:	1
R.O.W. Dedication:	2,945 square feet for Williams Pl.
Compliance with Ordinances:	Yes

COMMENTS & CONSIDERATIONS

The purpose of this plat is to create one single-family residential lot.

Staff recommends approval.



VICINITY MAP
NOT TO SCALE

*** LEGEND ***

IRF IRON ROD FOUND
IRS IRON ROD SET w/ORANGE PLASTIC CAP
STAMPED "R. W. COOMBS RPLS 5294"
C.M. CONTROLLING MONUMENT
R.O.W. RIGHT-OF-WAY
E.S.M.T. EASEMENT
VOL. VOLUME
PG. PAGE
AC. ACRE
S.F. SQUARE FEET

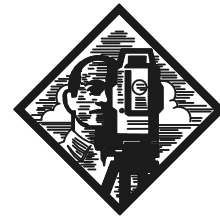
D.R.T.C.T. DEED RECORDS TARRANT COUNTY, TEXAS
P.R.T.C.T. PLAT RECORDS TARRANT COUNTY, TEXAS
O.P.R.T.C.T. OFFICIAL PUBLIC RECORDS
TARRANT COUNTY, TEXAS

*** NOTES ***

1. NOTICE: SELLING A PORTION OF ANY LOT IN THIS ADDITION BY METES AND BOUNDS IS A VIOLATION OF STATE LAW AND CITY ORDINANCE AND IS SUBJECT TO PENALTIES IMPOSED BY LAW.

2. BEARINGS SHOWN HEREON ARE GRID BEARINGS BASED ON THE TEXAS STATE PLANE COORDINATE SYSTEM, NORTH CENTRAL TEXAS ZONE (NAD 83) AS DERIVED FROM CITY OF MANSFIELD G.P.S. MONUMENTS BC6 AND BC7.

3. NO PORTION OF THE SUBJECT PROPERTY LIES WITHIN A 100-YEAR FLOOD HAZARD AREA ACCORDING TO THE NATIONAL FLOOD INSURANCE RATE MAP FOR TARRANT COUNTY, TEXAS. COMMUNITY PANEL No. 48438C0460 K, MAP REVISED SEPTEMBER 25, 2009.



Coombs Land Surveying, Inc.
P.O. Box 6160 Fort Worth Texas 76115
(817) 920-7600
T.B.P.L.S. FIRM No. 10111800
CLS JOB No. 18-0060

STATE OF TEXAS
COUNTY OF TARRANT

WHEREAS, PAUL D. REINOEHL and JEANINE REINOEHL are the sole owners of all that certain tract of land located in the MARGARET ROCKERFELLOW SURVEY, ABSTRACT No. 1267, City of Mansfield, Tarrant County, Texas according to the deed recorded in Clerk's File No. 0214126234 of the Official Public Records of Tarrant County, Texas and more particularly described by metes and bounds as follows:

BEGINNING at a 5/8-inch iron rod found at the most Northerly corner of said Reinoehl Tract, being the most Westerly corner of that certain tract of land described in deed to Joseph W. Boston, Jr. recorded in Clerk's File No. D216027644 of the Official Public Records of Tarrant County, Texas and lying in the Southeast line of Williams Place (a 25-foot wide unrecorded private road);

THENCE S 26° 35' 53" E, 257.51 feet along the common boundary line between said Reinoehl Tract and said Boston Tract to a 1/2-inch iron rod set with orange plastic cap stamped "R. W. COOMBS RPLS 5294" at the most Easterly corner of said Reinoehl Tract, lying in the Northwest boundary line of that certain tract of land described in deed to Gavin H. MacKenzie and wife, Patricia A. MacKenzie recorded in Clerk's File No. D198199949 of the Official Public Records of Tarrant County, Texas;

THENCE S 59° 59' 09" W, 168.28 feet along the common boundary line between said Reinoehl Tract and said MacKenzie Tract to a 1/2-inch iron rod found at the most Southerly corner of said Reinoehl Tract, being the most Southerly corner of that certain tract of land described in deed to Richard Lynn Wilson recorded in Volume 8072, Page 246 of the Deed Records of Tarrant County, Texas;

THENCE N 26° 36' 18" W, 257.67 feet along the common boundary line between said Reinoehl Tract and said Wilson Tract to a 5/8-inch iron rod found at the most Westerly corner of said Reinoehl Tract, lying in the aforesaid Southeast line of Williams Place and lying N 60° 02' 25" E, 168.41 feet from a 5/8-inch iron rod found at the most Easterly corner of Lot 2, Wilson Estates, an addition to the City of Mansfield, Texas according to the plat recorded in Volume 388-207, Page 50 of the Plat Records of Tarrant County, Texas;

THENCE N 60° 02' 25" E, 168.30 feet along the said Southeast line of Williams Place with the Northwest boundary line of said Reinoehl Tract to the PLACE OF BEGINNING, containing 0.994 acre (43,275 square feet) of land.

STATE OF TEXAS
COUNTY OF TARRANT

NOW THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

THAT PAUL D. REINOEHL and JEANINE REINOEHL, being the sole owners of the above described parcel, does hereby adopt the herein above described property as LOT 1, BLOCK 1, REINOEHL ADDITION, an addition to the City of Mansfield, Tarrant County, Texas and do hereby dedicate to the public's use the streets and easements shown hereon.

WITNESS MY HAND at Arlington, Tarrant County, Texas this the _____ day of _____, 2018.

PAUL D. REINOEHL
JEANINE REINOEHL

STATE OF TEXAS
COUNTY OF TARRANT

BEFORE ME, the undersigned authority, on this day personally appeared PAUL D. REINOEHL and JEANINE REINOEHL, known to me to be the persons whose names are subscribed to the foregoing instrument and acknowledged to me that they executed the same for purposes and considerations therein expressed.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, this the _____ day of _____, 2018.

NOTARY PUBLIC
STATE OF TEXAS

SURVEYOR'S CERTIFICATE

THIS is to certify that I, RONALD W. COOMBS, a Registered Professional Land Surveyor of the State of Texas, have plotted the above subdivision from an actual survey on the ground and that all lot corners, angle points and points of curve shall be properly marked on the ground, and that this plat correctly represents that survey made by me or under my direction and supervision.

RONALD W. COOMBS, R.P.L.S.
Texas Registration No. 5294

APPROVED BY THE CITY OF MANSFIELD

APPROVED BY: _____ 2018 P & Z COMMISSION CHAIRMAN

ATTEST: _____ 2018 PLANNING & ZONING SECRETARY

FINAL PLAT
**LOT 1, BLOCK 1
REINOEHL ADDITION**
0.994 ACRES OUT OF THE
MARGARET ROCKERFELLOW SURVEY,
ABSTRACT No. 1267,
CITY OF MANSFIELD, TARRANT COUNTY, TEXAS
1 LOT

OWNER:
PAUL D. & JEANINE REINOEHL
1112 HAVENBROOK
ARLINGTON, TEXAS 76001
PHONE (817) 999-8068
email: shammer57@prodigy.net

SURVEYOR:
COOMBS LAND SURVEYING, INC.
P. O. BOX 6160
FORT WORTH, TEXAS 76115
CONTACT: RON COOMBS
PHONE (817) 920-7600
email: ron.coombs@sbcglobal.net

THIS PLAT FILED IN INSTRUMENT No. _____, DATE _____ JUNE 7, 2018 SD# 18-020

AFTER RECORDING RETURN TO THE CITY OF
MANSFIELD 1200 E. BROAD STREET, MANSFIELD,
TEXAS 76063

40 0 40 80 120
GRAPHIC SCALE - FEET
SCALE: 1" = 40'

PLANNING AND ZONING COMMUNICATION

Agenda: June 18, 2018

Subject: ZC#18-016: Public hearing for a change of zoning from I-1 Light Industrial District to PD Planned Development District for office and mini-warehouse uses on approximately 4.36 acres situated in the Samuel C. Neill Survey, Abstract No. 1159, generally located at 4101 Britton Road

GENERAL INFORMATION

Applicant:	Steven R. Homeyer of Homeyer Engineering Inc. (engineering consultant) Kevin Butler of Butler & Butler Construction (owner) Trent Clark of A Plus Design Group (architect) Kenneth D. Bates of Evergreen Design Group (landscape architect)
Size:	4.36 acres
Proposed Use:	Office and mini-warehouses
Existing Land Use:	Vacant land
Surrounding Land Use & Zoning:	North - Southern Pacific Railroad and adjacent right-of-way (vacant land) South - Britton Road; vacant land (PR), manufacturing/warehouse (I-1), and church (SF-7.5/12) across the street East - Vacant land (PR) West - Vacant land (PR)
Thoroughfare Plan Specification:	Britton Road (future Lone Star Parkway extension) – Major Collector (four-lane undivided)

COMMENTS AND CONSIDERATIONS

The subject property consists of 4.36 acres of vacant land located on the north side of Britton Road and the south side of the Southern Pacific Railroad, less than a quarter-mile west of Holland Road.

The applicant is requesting to re-zone the entire property from I-1 Light Industrial District to PD Planned Development District for office and mini-warehouse uses. In the front half of the property (closest to Britton Road), the applicant plans to develop four 4,875 sq. ft. office buildings, for a total of 19,500 sq. ft. In the rear half of the development (closest to the railroad), the applicant plans to develop a gated mini-warehouse/self-storage facility with 37,790 sq. ft. spread across eight buildings, plus a 920 sq. ft. manager's office.

Access into the development will be provided via two access points on Britton Road. 65 parking spaces will be provided for the office portion of the development and 4 parking spaces will be provided for the mini-warehouse manager's office; the provided parking meets the Zoning Ordinance requirements for the uses. Access into the mini-warehouse portion of the development will be gated. Loading zones will be provided in front of each mini-warehouse garage door to allow users to temporarily park their vehicles for loading and unloading. Man gates will also be provided between buildings to allow for emergency access.

The development will be constructed in two phases. Phase 1 will include the mini-warehouses, the manager's office, and one of the 4,875 sq. ft. office buildings (Office Building 2). Phase 2 will include the three other 4,875 sq. ft. office buildings (Office Buildings 1, 3, and 4). The expected project schedule is noted on the Development Plan.

Gated detention ponds will be provided in the office portion of the development. In addition, the applicant will provide two trash enclosures in the office portion of the development and one in the mini-warehouse portion of the development. The applicant notes that the trash enclosures and all other equipment will be screened in accordance with the Zoning Ordinance regulations. The applicant also notes there will be no outside storage in the development.

A monument sign will be located in front of the development and it will adhere to the sign regulations for I-1 zoned property as noted in the Zoning Ordinance.

The elevations show primarily a mix of brick and CMU materials for the office buildings, with metal included as accent materials on all of the front elevations, with tile as an accent material on Office Building 3 as well. The office buildings will be 15' in height, with accent features that rise 17' - 24' in height. The office buildings will include various colors including white, black, brown, and several shades of gray.

For the mini-warehouse buildings, the interior-facing elevations and garage doors will include metal, while the elevations facing the surrounding property to the north, west, and east, as well as elevations facing the office component to the south will include brick construction. The main Mini-Warehouse Building 1 (which includes the attached manager's office) will be accented by brick, CMU, metal, and tile and will rise 30'-6" at the main entrance. The remaining storage buildings will only be about 9' - 10' tall. The mini-warehouse portion of the development will primarily include a gray color scheme.

The Landscape Plan indicates that the applicant will provide trees along the street-facing setback except in front of Office Building 1 where the detention element will prohibit this. Trees will also be provided in the parking lot peninsulas. In addition, shrubs will be planted along the street-facing portions of the parking lot and along the portions of the detention ponds that face adjacent property or the street. No foundation plantings will be provided, however grass will be planted around the buildings. Using I-1 as the base zoning district, the development deviates from the Zoning Ordinance as it relates to landscape buffers adjacent to vacant PR, as a 30' buffer is typically required.

The property makes productive use of a property currently zoned for industrial uses. Staff notes that the proposed office and mini-warehouse uses are less intensive from many of the uses than what would ordinarily be allowed in I-1 zoned property, and the masonry construction planned for the office buildings and the mini-warehouse buildings facing surrounding properties exceeds the typical requirements for I-1 zoned property.

The Engineering Department notes the following outstanding staff review comment: The call box location for the east gate is positioned for exiting traffic. If this gate is going to be “exit only”, please label it on the plan. If the intent is for entrance and exit, please relocate the call box.

Staff recommends approval with the condition that the above staff comment is addressed.

Attachments:

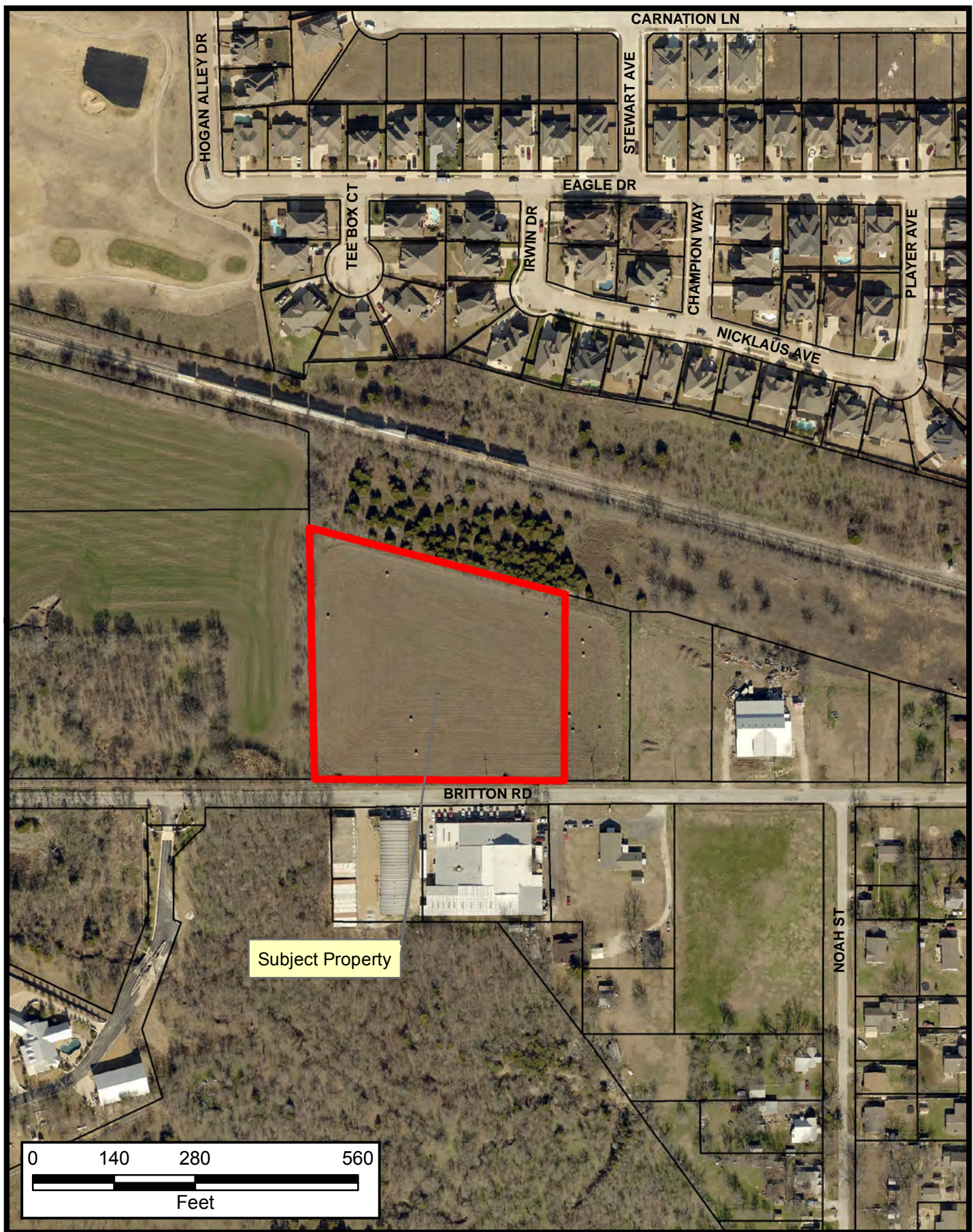
Maps and Supporting Information

Exhibit A – Property Description

Exhibit B – Development Plan

Exhibit C – Elevations

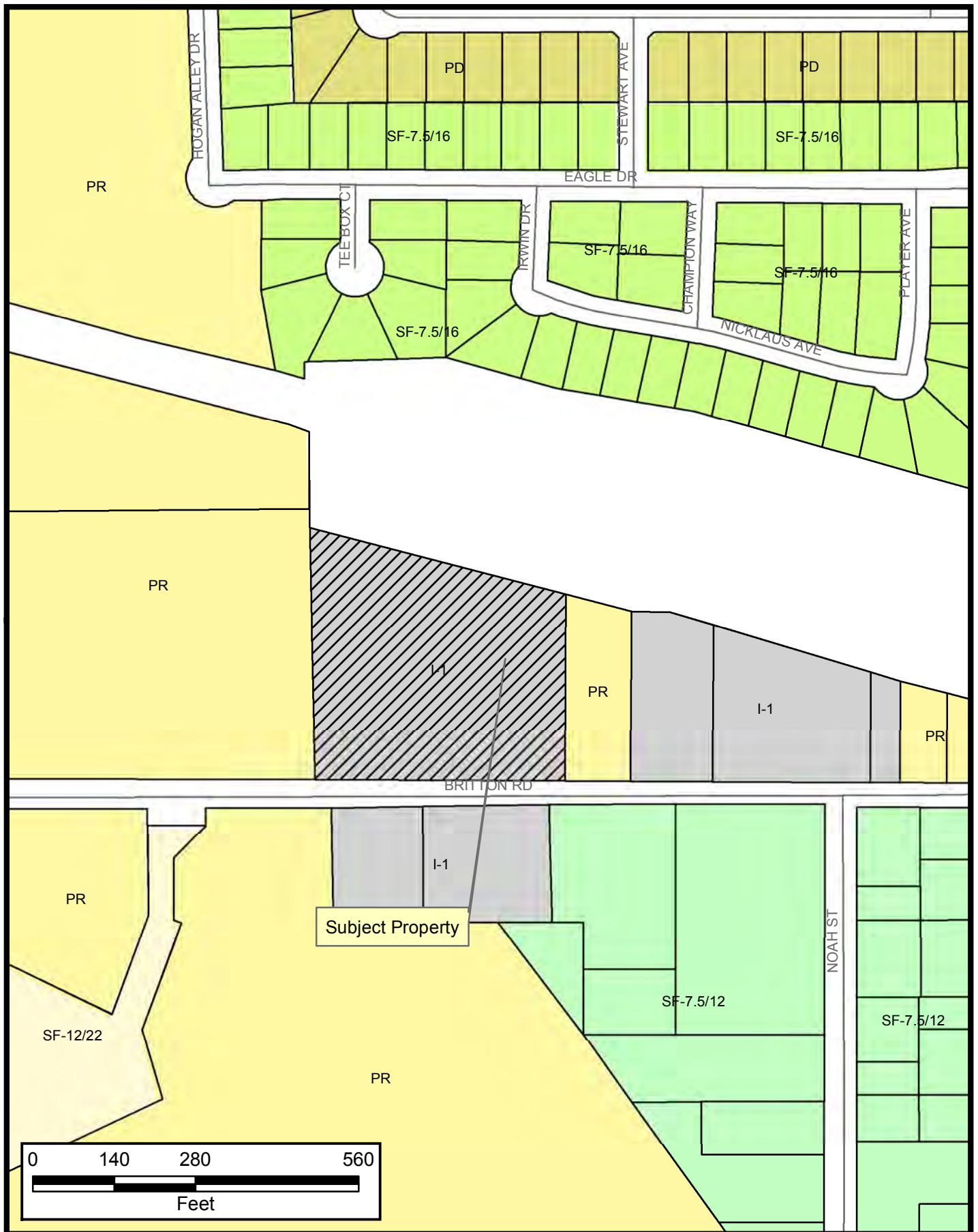
Exhibit D – Landscape Plan



ZC#18-016

This information is for illustrative purposes only. Not for design or development purposes. Site-specific studies may be required to obtain accurate feature locations. Every effort is made to ensure the information displayed here is accurate; however, the City of Mansfield makes no claims to its accuracy or completeness.

6/5/2018



Property Owner Notification for ZC#18-016

LEGAL DESC 1	LEGAL DESC 2	OWNER NAME	OWNER ADDRESS	CITY	ZIP
2;PT3 I O T BRITTON		BRITTON UNITED METHODIST CHURCH	4510 BRITTON RD	MIDLOTHIAN, TX	76065
4;PT3& 5;6 I O T BRITTON 2.388 ACRES		MARTIN J W & MARIA	932 COOK ST	MIDLOTHIAN, TX	76065
432 H HENDERSON 65.603 ACRES		ABRAMS MYRNA P	2315 MEADOW DR SOUTH	WILMETTE, IL	60091
E 225 OF I I O T BRITTON 1.031 ACRES		MASSEY DANIEL J	4150 BRITTON RD	MANSFIELD, TX	76063
MASSEY INDUSTRIAL PARK	BLK 1	RHIMCO INDUSTRIES INC	4150 BRITTON RD	MANSFIELD, TX	76063-8796
NEILL, SAMUEL C SURVEY	A 1159	PRIEST, BETTY R EST	2316 CASTLE CREEK DR	MANSFIELD, TX	76063-5326
NEILL, SAMUEL C SURVEY	A 1159	BUTLER & BUTLER CONSTRUCTION LLC	PO BOX 297	LANCASTER, TX	75146
NEILL, SAMUEL C SURVEY	A 1159	MASSEY, DANIEL J	4150 BRITTON RD	MANSFIELD, TX	76063-8719
NEILL, SAMUEL C SURVEY	A 1159	SOUTHERN PACIFIC RR CO	1400 DOUGLAS STOP 1640 ST	OMAHA, NE	68179-1001
NEILL, SAMUEL C SURVEY	A 1159	PRIEST, BETTY R EST	2316 CASTLE CREEK DR	MANSFIELD, TX	76063-5326
W 150 OF I I O T BRITTON 0.689 ACRES		MASSEY FRANK A	3953 BETTY LN	CLEBURNE, TX	76031

Exhibit A
ZC#18-016

LEGAL DESCRIPTION

A tract of land situated in the **SAMUEL C. NEILL SURVEY, ABSTRACT NUMBER 1159**, Tarrant County, Texas, being that tract of land described in a deed to Butler and Butler Construction LLC, and recorded as Document Number 2016-19171, Official Public Records, Tarrant County, Texas.

The exterior boundary of said tract of land is further described as follows:

Commencing at a ½" iron rod found being the Southeast corner of a tract of land described in a deed to D.W. Cope, recorded in Volume 7458, Page 1367, Deed Records, Tarrant County, Texas, being on or near the centerline of Britton Road, the South line of the **NEILL SURVEY**, the North line of the **HENDERSON SURVEY** and the Tarrant County Ellis County common line;

Thence S 89°59'47" W along or near the centerline of Britton Road and the Tarrant / Ellis County common line, and the Neill / Henderson common line 82.38 feet to a Point being the **POINT OF BEGINNING**;

Thence continuing S 89°59'47" W along said common line a distance of 480.15 feet to a point being the Southeast corner of a tract of land described in a deed to Betty Priest, recorded in Volume 216, Page 6887, Official Public Records, Tarrant County, Texas;

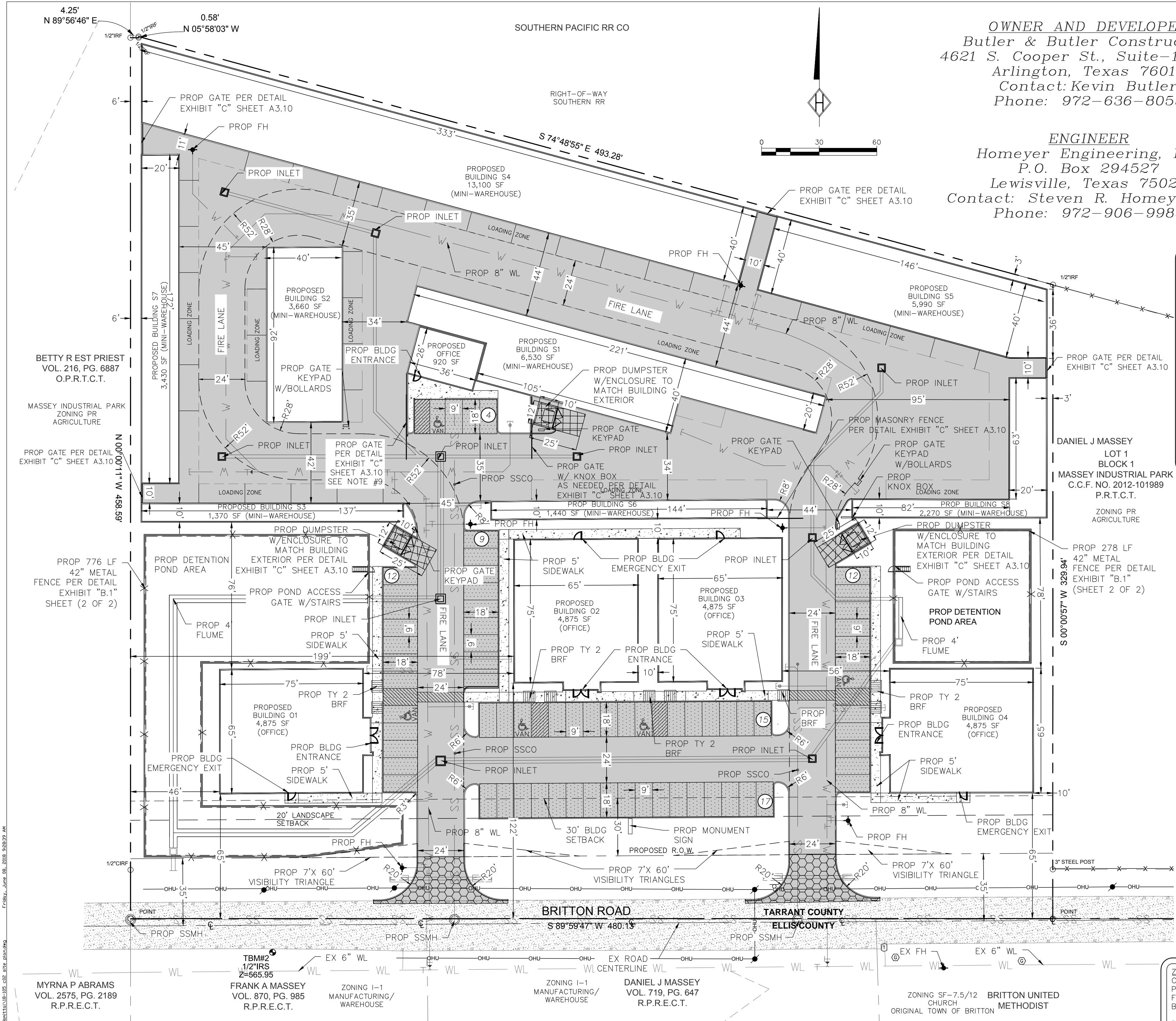
Thence N 00°00'11" W along the Priest / Butler common line, passing ½" iron rod found at a distance of 25.35 feet and continuing for a total distance of 458.59 feet to an ell in said tract and marked by a ½" iron rod found;

Thence N 89°56'46" E along said common line a distance of 4.25 feet to an ell in said tract and marked by a ½" iron rod found;

Thence N 05°58'03" W along said common line a distance of 0.58 feet to the South right of way of the Southern Pacific Railroad Company and marked by a ½" iron rod found;

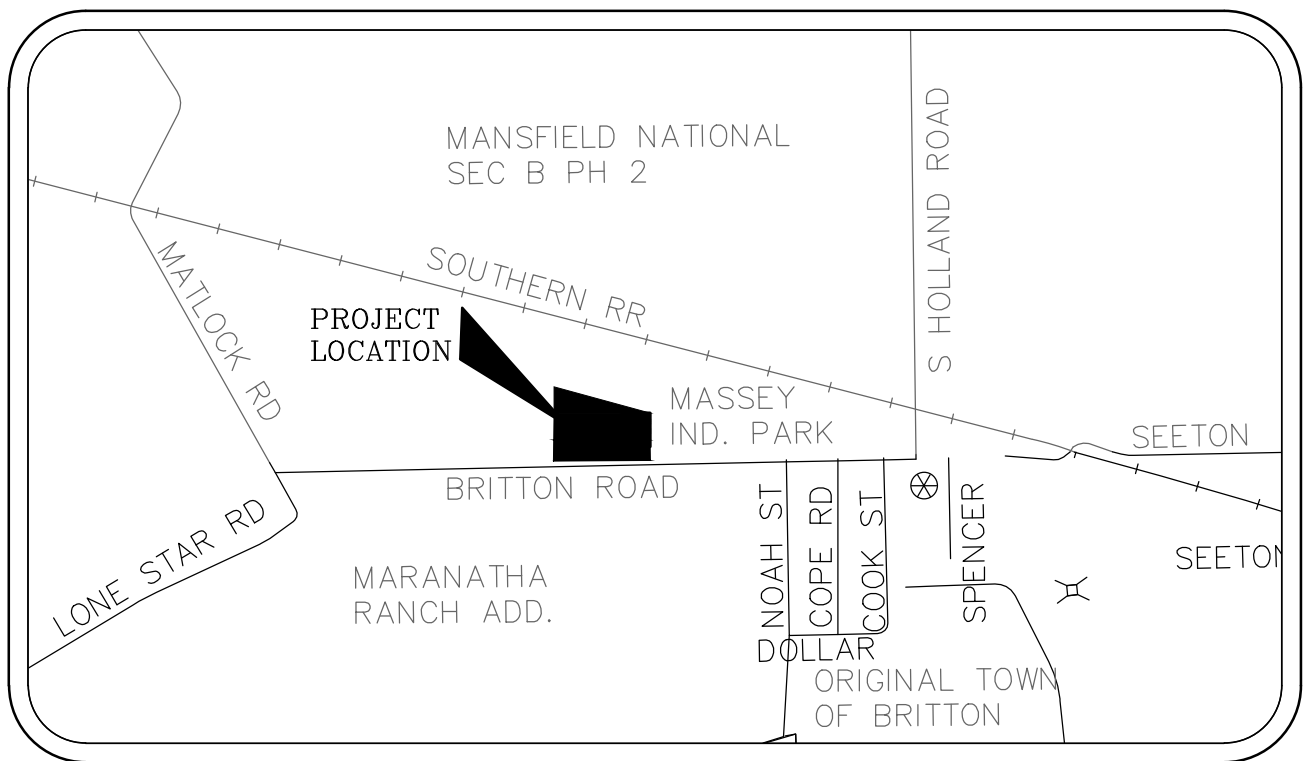
Thence S 74°48'55" E along said right of way a distance of 493.28 feet to the Northwest corner of the Daniel J. Massey tract and marked by a ½" iron rod found;

Thence S 00°00'57" W along the Butler / Massey common line, passing a 3" metal fence post at a distance of 304.37 feet and continuing for a total distance of 329.94 feet to the POINT OF BEGINNING, and containing 4.36 acres more or less.



OWNER AND DEVELOPER
Butler & Butler Construction
4621 S. Cooper St., Suite 131-729
Arlington, Texas 76017
Contact: Kevin Butler
Phone: 972-636-8053

ENGINEER
Homeyer Engineering, Inc.
P.O. Box 294527
Lewisville, Texas 75029
Contact: Steven R. Homeyer, PE
Phone: 972-906-9985



PROJECT SCHEDULE
PHASE 1:
3 MONTHS - FINALIZE PD (9-1-18)
3 MONTHS - COMPLETE PHASE 1 CD'S & SUBMIT FOR PERMIT (12-1-18)
2 MONTHS - PULL PHASE 1 PERMIT AND BEGIN CONSTRUCTION (2-1-19)
6 MONTHS - COMPLETE PHASE 1 CONSTRUCTION AND PULL CERTIFICATE OF OCCUPANCY (8-1-19)
PHASE 2:
SUBMIT PHASE 2 FOR PERMIT (1-1-19)
2 MONTHS - PULL PHASE 2 PERMIT BEGIN CONSTRUCTION (3-1-19)
6 MONTHS - COMPLETE PHASE 2 CONSTRUCTION AND PULL CERTIFICATE OF OCCUPANCY (9-1-19)

SITE INFORMATION
PROPOSED BUILDING AREA: 58,800 SF
LOT AREA: 174,240 SF (4.00 AC)
PROPOSED FLOOR AREA RATIO: 0.34
IMPERVIOUS AREA: 132,735SF (76.18%)
PERVIOUS AREA: 41,505 SF (23.82%)
PARKING REQUIRED:
920 SF OFFICE @ 1 SPACE / 300 SF = 4 SPACES
19,500 SF OFFICE @ 1 SPACE / 300 SF = 65 SPACES
PARKING REQUIRED: 69 SPACES
PARKING PROVIDED: 69 SPACES
HANDICAP PARKING REQUIRED: 4 SPACES
HANDICAP PARKING PROVIDED: 5 SPACES

GENERAL NOTES:
1. LOADING ZONES SHOWN INDICATE LOCATION OF PROPOSED STORAGE EXTERIOR DOORS
2. ALL SIGNAGE WILL COMPLY WITH THE REGULATIONS FOR I-1 ZONED PROPERTY AS OUTLINED IN SECTION 7100 OF THE ZONING ORDINANCE.
3. ALL EQUIPMENT SHALL BE DESIGNED AND SCREENED IN ACCORDANCE WITH THE REGULATIONS OUTLINED IN SECTION 7301.A OF THE ZONING ORDINANCE.
4. THE TRASH ENCLOSURES WILL BE SCREENED IN ACCORDANCE WITH THE REGULATIONS OUTLINED IN SECTION 7301.B OF THE ZONING ORDINANCE.
5. THERE WILL BE NO OUTSIDE STORAGE ON THE PROPERTY.
6. THE PROPOSED DEVELOPMENT WILL BE IN COMPLETE ACCORDANCE WITH THE PROVISIONS OF THE APPROVED PLANNED DEVELOPMENT DISTRICT AND THAT ALL DEVELOPMENT PLANS RECORDED HEREUNDER SHALL BE BINDING UPON THE APPLICANT THEREOF, HIS SUCCESSORS AND ASSIGNS, AND SHALL LIMIT AND CONTROL ALL BUILDING PERMITS.
7. A MILL & OVERLAY ON BRITTON ROAD WILL BE REQUIRED AFTER UTILITY IMPROVEMENTS ARE CONSTRUCTED
8. NO TREES, FENCES OR ANYTHING OVER 2' IN HEIGHT IS ALLOWED WITHIN THE VISIBILITY TRIANGLES
9. ALL GATES SHALL BE INSTALLED WITH FULL EIS SYSTEM

PAVEMENT LEGEND
HEAVY DUTY PAVEMENT (DRIVE AISLES)
PROPOSED 7" 3,600 PSI CONC. @ 28 DAYS WITH #3 BARS @ 18" O.C.E.W.
LIGHT DUTY PAVEMENT (PARKING)
PROPOSED 6" 3,600 PSI CONC. @ 28 DAYS WITH #3 BARS @ 18" O.C.E.W.
SIDEWALK PAVEMENT
PROPOSED 4" 3,000 PSI CONC. @ 28 DAYS WITH #3 BARS @ 18" O.C.E.W.
DUMPSTER PAVEMENT
PROPOSED 8" 4,000 PSI CONC. @ 28 DAYS WITH #4 BARS @ 12" O.C.E.W. (DOUBLE MAT)
DRIVE APPROACH
PROPOSED 8" 4,000 PSI CONC. @ 28 DAYS WITH #4 BARS @ 12" O.C.E.W.

PAVEMENT NOTES:
1. ALL PAVEMENT SUBGRADE SHALL BE SCARIFIED TO A MINIMUM DEPTH OF 6" AND COMPACTED TO A MINIMUM 95% STANDARD PROCTOR DENSITY AT OR ABOVE OPTIMUM MOISTURE.
2. ALL PROPOSED PAVEMENT SHALL BE INSTALLED ON 6" OF FLEX BASE COMPACTED TO 95% STANDARD PROCTOR DENSITY
3. THE CONTRACTOR SHALL DOWEL & EPOXY #4 X 24" SMOOTH BARS @ 24" CENTERS ALONG ALL PROPOSED TO EXISTING CONCRETE EDGES W/ 3/4" EXPANSION JOINT & SELF LEVELING JOINT SEALING COMPOUND.
4. THE CONTRACTOR SHALL PROVIDE A 1/2" EXPANSION JOINT W/ SELF LEVELING JOINT SEALING COMPOUND BETWEEN THE PROPOSED CONCRETE PAVEMENT AND THE PROPOSED BUILDING.

ZONING REQUIREMENTS
CURRENT ZONING = I-1
PROPOSED ZONING = PLANNED DEVELOPMENT FOR OFFICE AND MINI-WAREHOUSE USES.
BASE ZONING DISTRICT = I-1
REQUIREMENTS
LOT DIMENSION = NONE
MAXIMUM FLOOR AREA = 2
SET BACKS
STREET ROW = 30'
NON RESIDENTIAL = NONE
RESIDENTIAL = 30'
TRASH ENCLOSURES = 50'
MAXIMUM HEIGHT = NONE
DEVIATION:
REQUIRED: 50-FOOT SETBACK FROM RAILROAD RIGHT-OF-WAY. (SECTION 4500-C-1)
PROVIDED: 3 FEET
REQUIRED: 30-FOOT LANDSCAPE BUFFER FOR I-1 ADJACENT TO VACANT FR. (SECTION 7300-0-7)
PROVIDED: NONE

PROJECT PHASING
PHASE 1:
OFFICE BUILDING 2
MINI-WAREHOUSE OFFICE BUILDING S1
MINI-WAREHOUSE BUILDING S1
MINI-WAREHOUSE BUILDING S2
MINI-WAREHOUSE BUILDING S3
MINI-WAREHOUSE BUILDING S4
MINI-WAREHOUSE BUILDING S5
MINI-WAREHOUSE BUILDING S6
MINI-WAREHOUSE BUILDING S7
MINI-WAREHOUSE BUILDING S8
PHASE 2:
OFFICE BUILDING 1
OFFICE BUILDING 3
OFFICE BUILDING 4

LEGEND
I.R.F. IRON ROD FOUND
I.R.S. IRON ROD SET
"X" CUT X IN CONCRETE
F.C.P. FENCE CORNER POST
/// ASPHALT
① TELEPHONE MANHOLE
⊗ POWER POLE
⊙ LIGHT POLE
⊕ WATER VALVE
⊙ SSMH SANITARY SEWER MANHOLE
⊕ FIRE HYDRANT
⊗ WM WATER METER

THE CONTRACTOR SHALL CONTACT DIG-TESS AT 1-800-344-8377 A MINIMUM OF 48 HOURS PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES



MYRNA P ABRAMS
VOL. 2575, PG. 985
R.P.R.E.C.T.

FRANK A MASSEY
VOL. 870, PG. 985
R.P.R.E.C.T.

ZONING I-1
MANUFACTURING/
WAREHOUSE

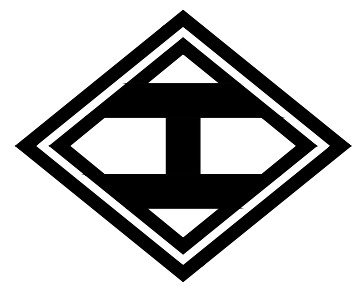
ZONING I-1
MANUFACTURING/
WAREHOUSE

DANIEL J MASSEY
VOL. 719, PG. 647
R.P.R.E.C.T.

ZONING SF-7.5/12
CHURCH
ORIGINAL TOWN OF BRITTON

BRITTON UNITED
METHODIST

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BUTLER DEVELOPMENT
SAMUEL C. NEILL SURVEY
ABSTRACT 1159, TRACT 23
4.00 ACRES
CITY OF MANSFIELD
TARRANT COUNTY, TEXAS

EXHIBIT B
DEVELOPMENT PLAN

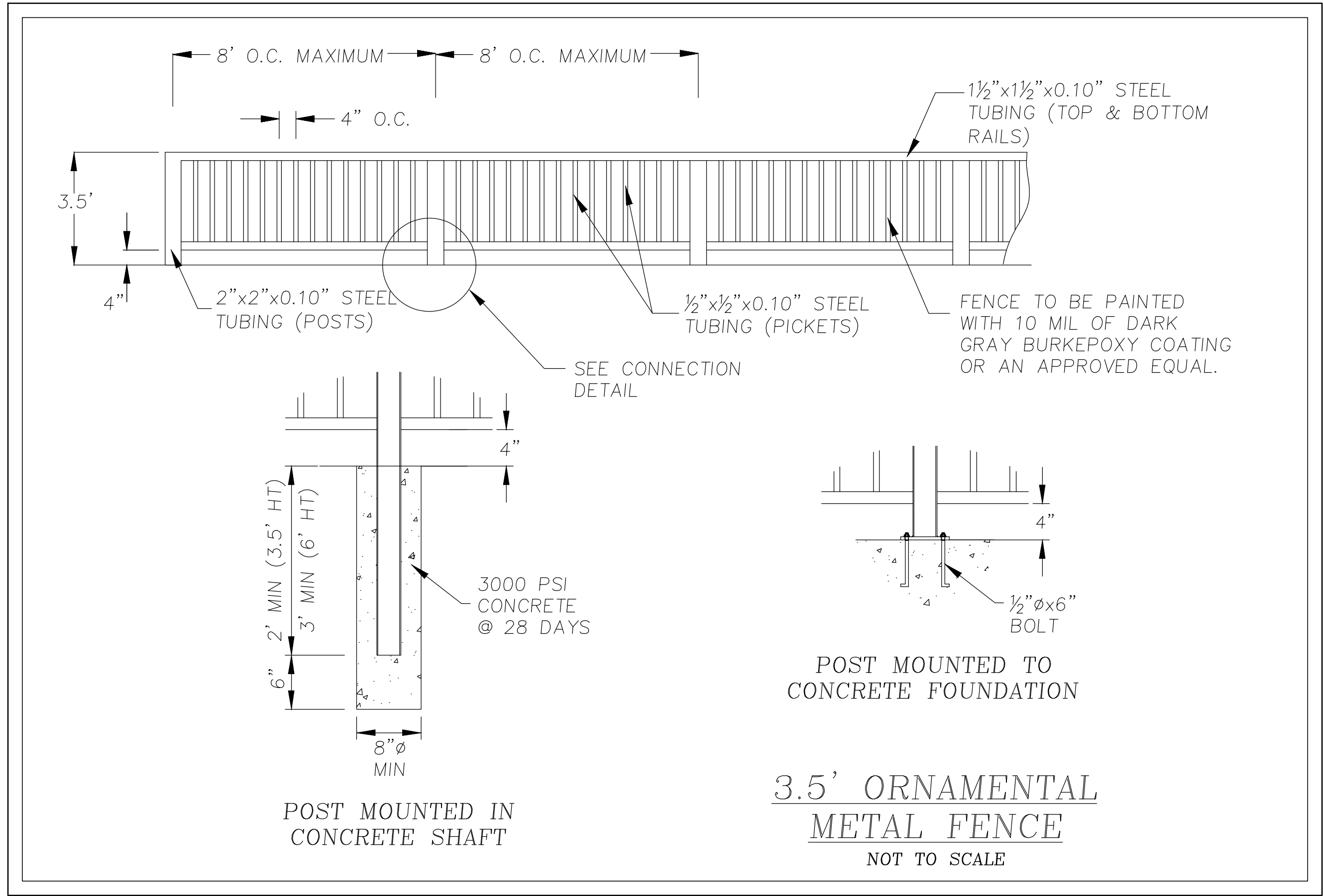
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DATE: 04/23/2018

HEI #: 18-105

SHEET NO:
C2

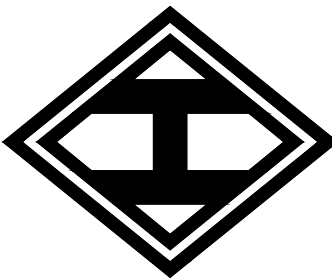
(1 OF 2)
ZC#18-016



PRELIMINARY PLANS

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PURPOSES.
STEVEN R. HOMEYER, PE # 86942
DATE: 06/08/2018

(2 OF 2)
ZC#18-016



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BUTLER DEVELOPMENT
SAMUEL C. NEILL SURVEY
ABSTRACT 1159, TRACT 23
4.00 ACRES
CITY OF MANSFIELD
TARRANT COUNTY, TEXAS

EXHIBIT B.1
DEVELOPMENT PLAN
DETAIL

DRAWN: JAA

DATE: 04/23/2018

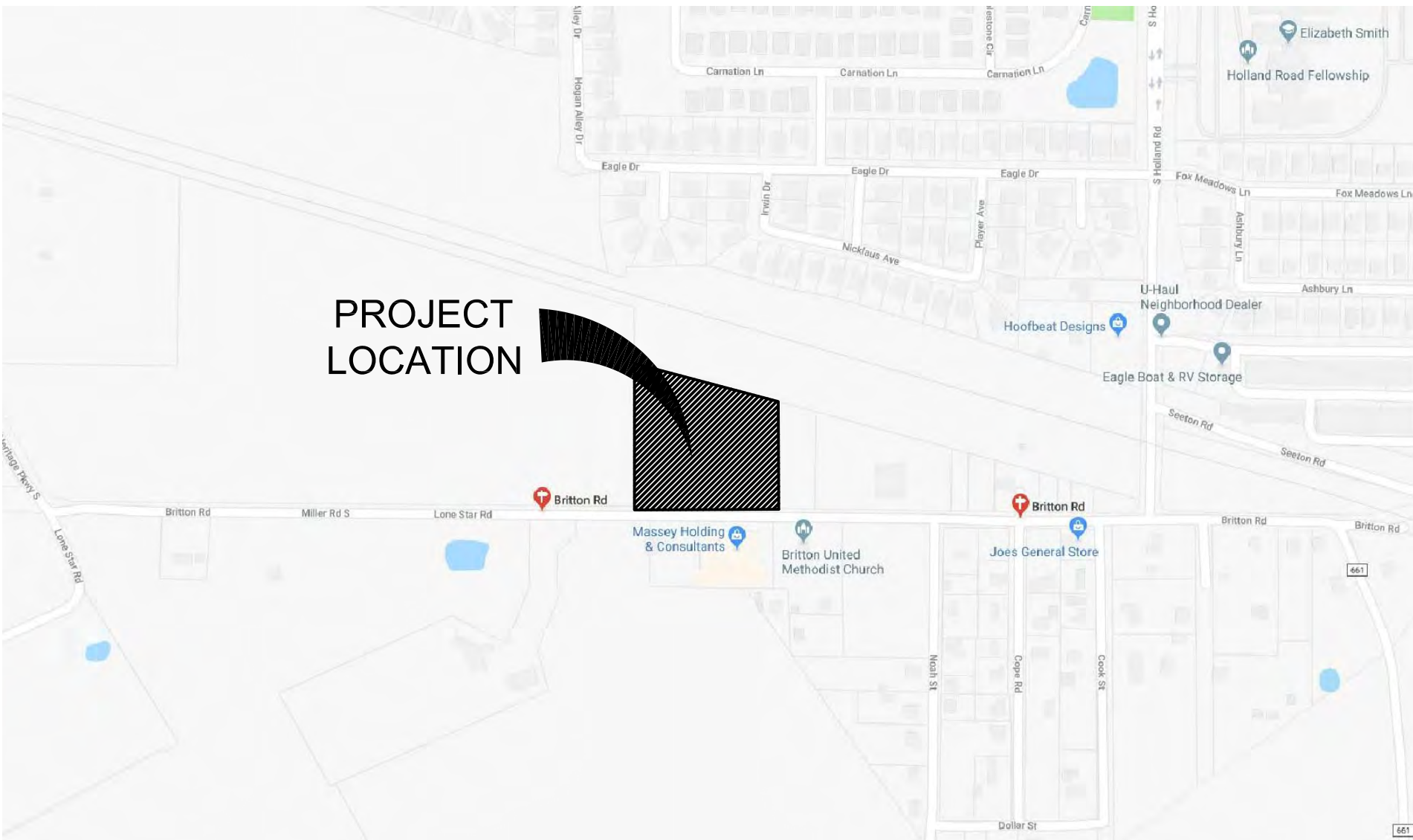
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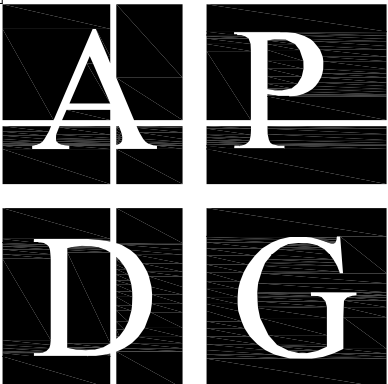
BUTLER MASONRY
SELF-STORAGE AND
OFFICE COMPLEX



MANSFIELD, TEXAS 76063



VICINITY MAP
N.T.S.



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SHEET INDEX

G1.1 GENERAL INFORMATION

A1.1 SITE PLAN

A3.1 OFFICE BUILDING 1 EXTERIOR ELEVATIONS
A3.2 OFFICE BUILDING 2 EXTERIOR ELEVATIONS
A3.3 OFFICE BUILDING 3 EXTERIOR ELEVATIONS
A3.4 OFFICE BUILDING 4 EXTERIOR ELEVATIONS

A3.5 STORAGE BUILDING 1 EXTERIOR ELEVATION
A3.6 STORAGE BUILDING 2 EXTERIOR ELEVATION
A3.7 STORAGE BUILDING 3 EXTERIOR ELEVATION
A3.8 STORAGE BUILDING 4 EXTERIOR ELEVATION
A3.9 STORAGE BUILDING 5 EXTERIOR ELEVATION
A3.10 STORAGE BUILDING 6 EXTERIOR ELEVATION



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FOR:

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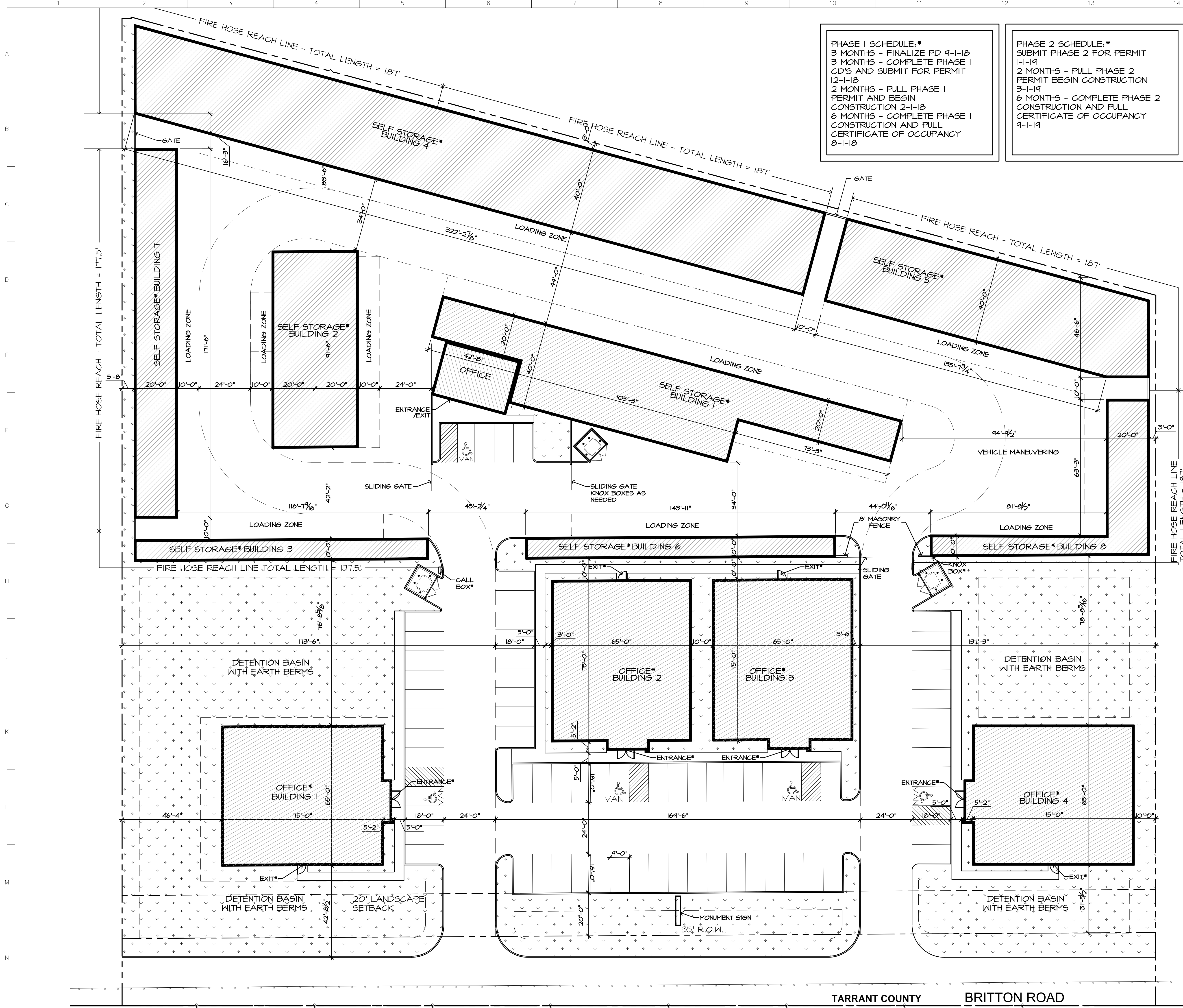
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No.	DATE	NOTE
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Checked by: T.C.		
Project No. 17-1020		
Date 05/23/2018		

GENERAL
INFORMATION

BUTLER MASONRY SITE PLAN

ZC#18-016*

G1.1



PHASE 1 SCHEDULE:*

- 3 MONTHS - FINALIZE PD 9-1-18
- 3 MONTHS - COMPLETE PHASE 1 CD'S AND SUBMIT FOR PERMIT 12-1-18
- 2 MONTHS - FULL PHASE 1 PERMIT AND BEGIN CONSTRUCTION 2-1-18
- 6 MONTHS - COMPLETE PHASE 1 CONSTRUCTION AND FULL CERTIFICATE OF OCCUPANCY 8-1-18

PHASE 2 SCHEDULE:*

- SUBMIT PHASE 2 FOR PERMIT 1-1-19
- 2 MONTHS - FULL PHASE 2 PERMIT BEGIN CONSTRUCTION 3-1-19
- 6 MONTHS - COMPLETE PHASE 2 CONSTRUCTION AND FULL CERTIFICATE OF OCCUPANCY 9-1-19

BUTLER MASONRY*

1425 N DALLAS AVE #300
LANCASTER, TX 75134
972-636-8053
MERRICK BUTLER
KEVIN BUTLER

PROJECT PHASING

PHASE 1

- OFFICE BUILDING 2
- SELF STORAGE OFFICE BUILDING
- SELF STORAGE BUILDING 1
- SELF STORAGE BUILDING 2
- SELF STORAGE BUILDING 3
- SELF STORAGE BUILDING 4
- SELF STORAGE BUILDING 5
- SELF STORAGE BUILDING 6
- SELF STORAGE BUILDING 7
- SELF STORAGE BUILDING 8

PHASE 2

- OFFICE BUILDING 1
- OFFICE BUILDING 3
- OFFICE BUILDING 4

STORAGE AREA

BUILDING	SQ. FT.	PARKING REQUIRED	PARKING PROVIDED
1	6,500	1/3000 SQ.FT.	
2	3,700	1/3000 SQ.FT.	
3	1,361	1/3000 SQ.FT.	
4	13,100	1/3000 SQ.FT.	
5	5,484	1/3000 SQ.FT.	
6	1,500	1/3000 SQ.FT.	
7	3,430	1/3000 SQ.FT.	
8	2,238	1/3000 SQ.FT.	
TOTAL	37,824	12.61	13
OFFICE	1,000	1/300 SQ.FT.	
TOTAL	1,000	3.3	4

LOADING ZONES SHOWN INDICATE LOCATION OF EXTERIOR DOORS.

ALL SIGNAGE WILL COMPLY WITH THE REGULATIONS FOR I-1 ZONED PROPERTY AS OUTLINED IN SECTION 1100 OF THE ZONING ORDINANCE*

ALL EQUIPMENT SHALL BE DESIGNED AND SCREENED IN ACCORDANCE WITH THE REGULATIONS OUTLINED IN SECTION 1301.A OF THE ZONING ORDINANCE*

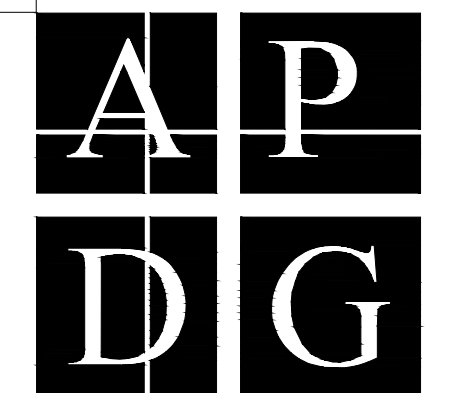
THE TRASH ENCLOSURES WILL BE SCREENED IN ACCORDANCE WITH THE REGULATIONS OUTLINED IN SECTION 1301.B OF THE ZONING ORDINANCE*

THERE WILL BE NO OUTSIDE STORAGE ON THE PROPERTY*

THE PROPOSED DEVELOPMENT WILL BE IN COMPLETE ACCORDANCE WITH THE PROVISIONS OF THE APPROVED PLANNED DEVELOPMENT DISTRICT AND THAT ALL DEVELOPMENT PLANS RECORDED HEREUNDER SHALL BE BINDING UPON THE APPLICANT THEREOF, HIS SUCCESSORS AND ASSIGNS, AND SHALL LIMIT AND CONTROL ALL BUILDING PERMITS.*

OFFICE AREA

BUILDINGS	SQ. FT.	PARKING REQUIRED	PARKING PROVIDED
1	4,875	1/300 SQ. FT.	
2	4,875	1/300 SQ. FT.	
3	4,875	1/300 SQ. FT.	
4	4,875	1/300 SQ. FT.	
TOTAL	19,500	65	65



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REVISIONS

No.	DATE	NOTE

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Project No. 17-1020
Date 05/23/2018

ARCHITECTURAL
SITE PLAN



MANSFIELD, TEXAS

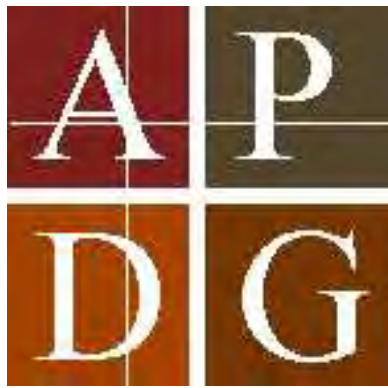
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N1 SITE PLAN
SCALE: 1"=20'

NORTH

A1.1

TARRANT COUNTY BRITTON ROAD



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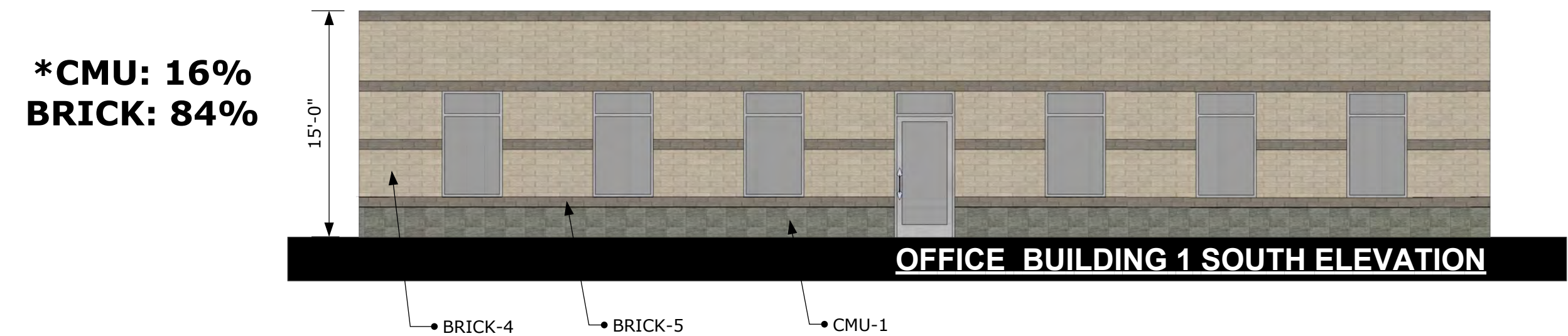
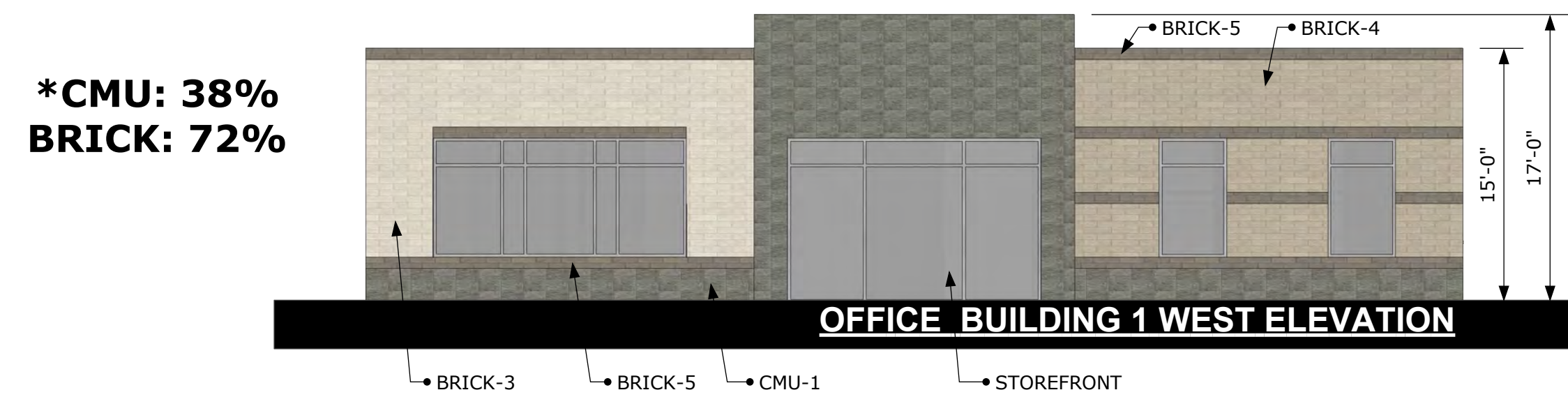
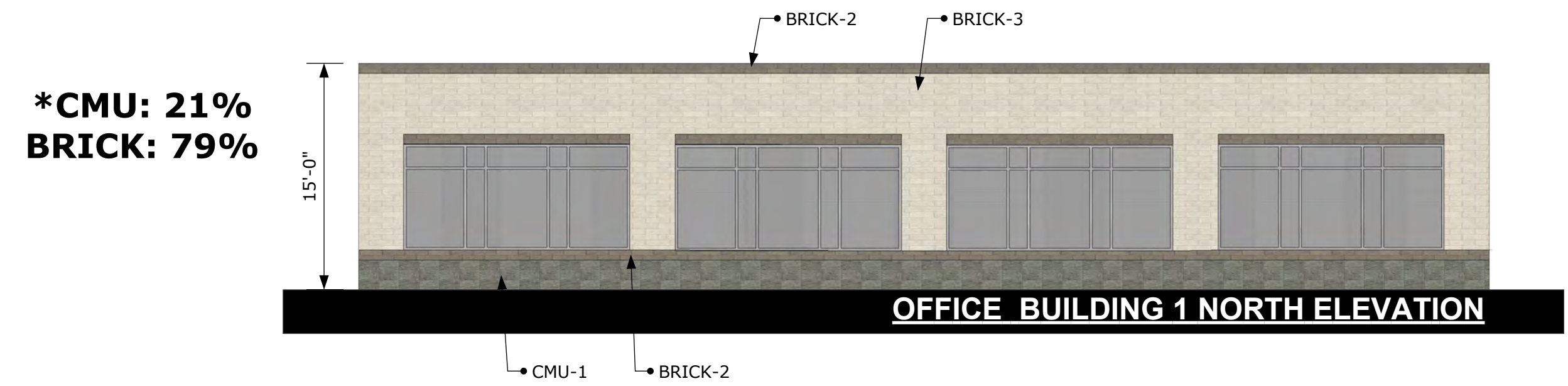
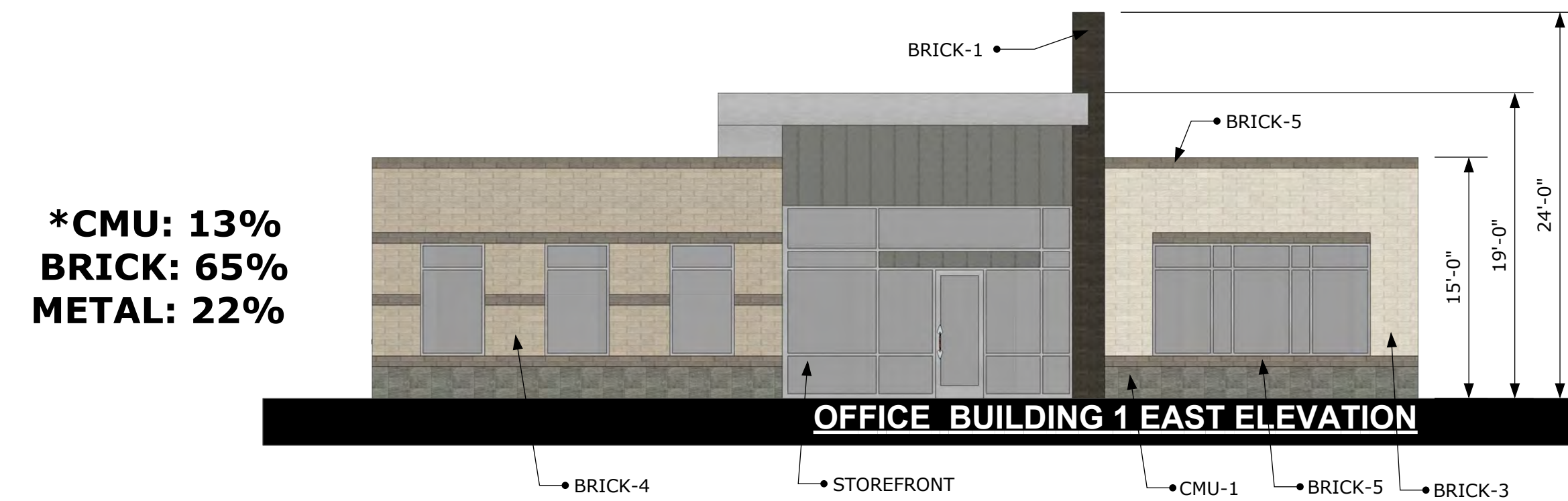
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ELEVATIONS

A3.1



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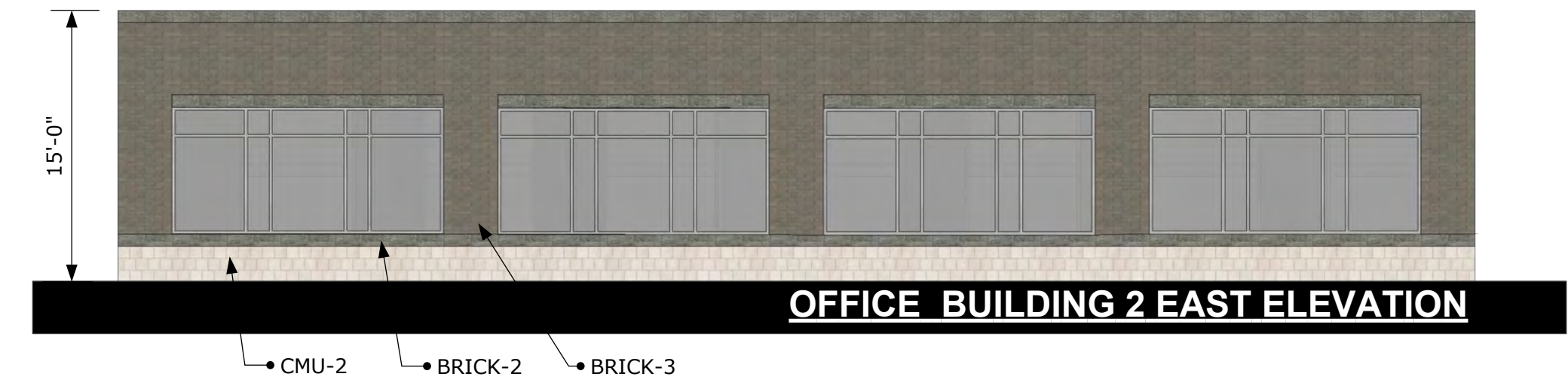
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BRICK: 58%
METAL: 22%



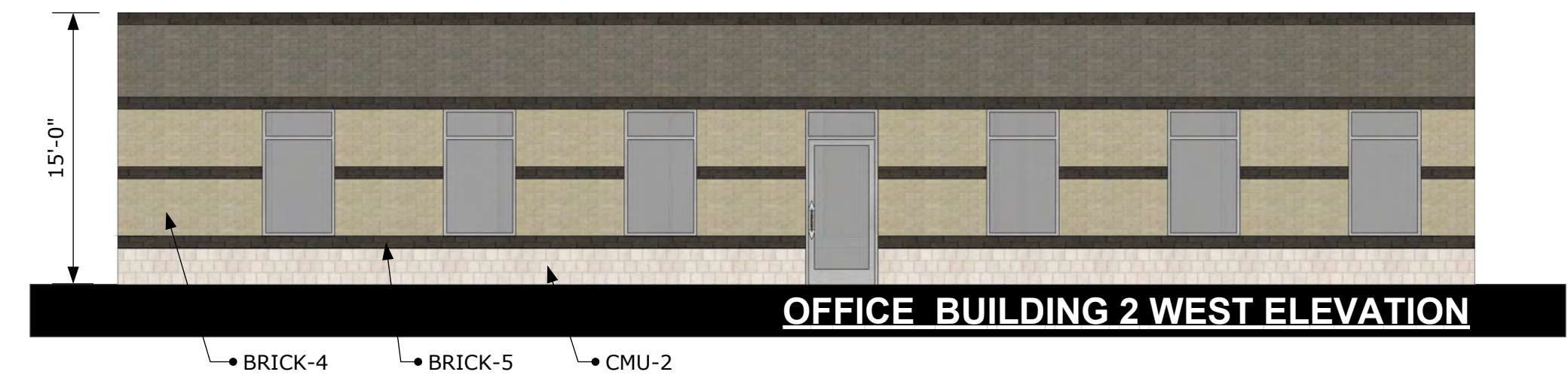
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***CMU: 13%**
BRICK: 87%



***CMU: 16%**
BRICK: 84%



OFFICE BUILDING 2

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A3.2



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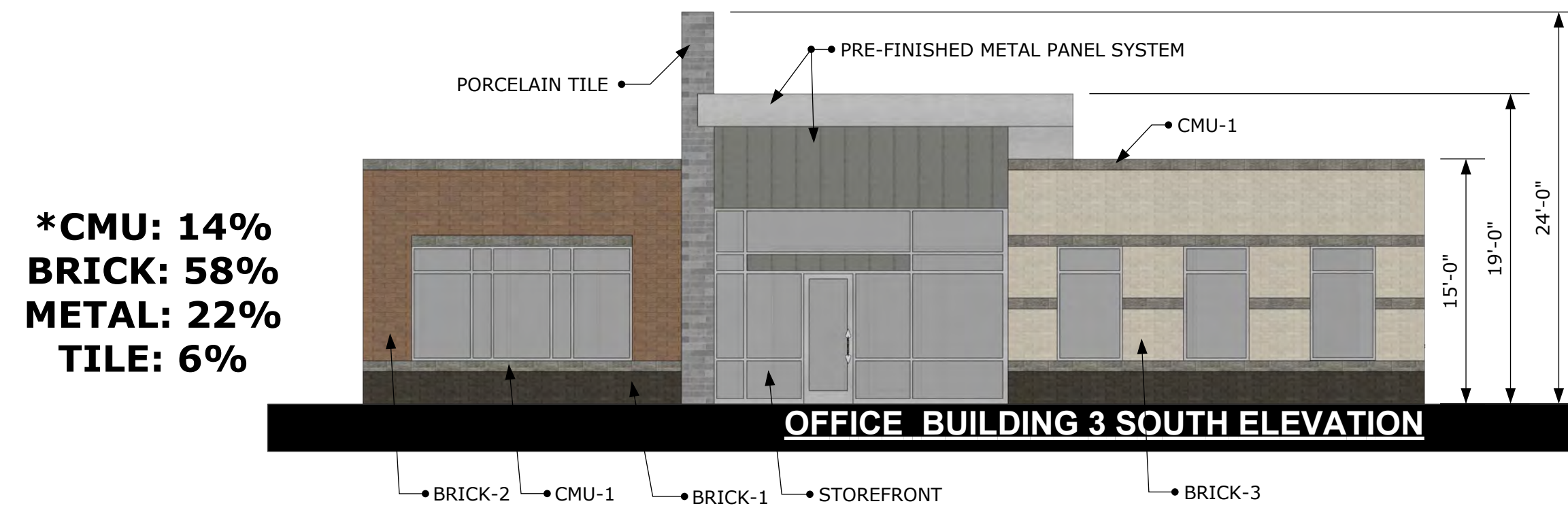
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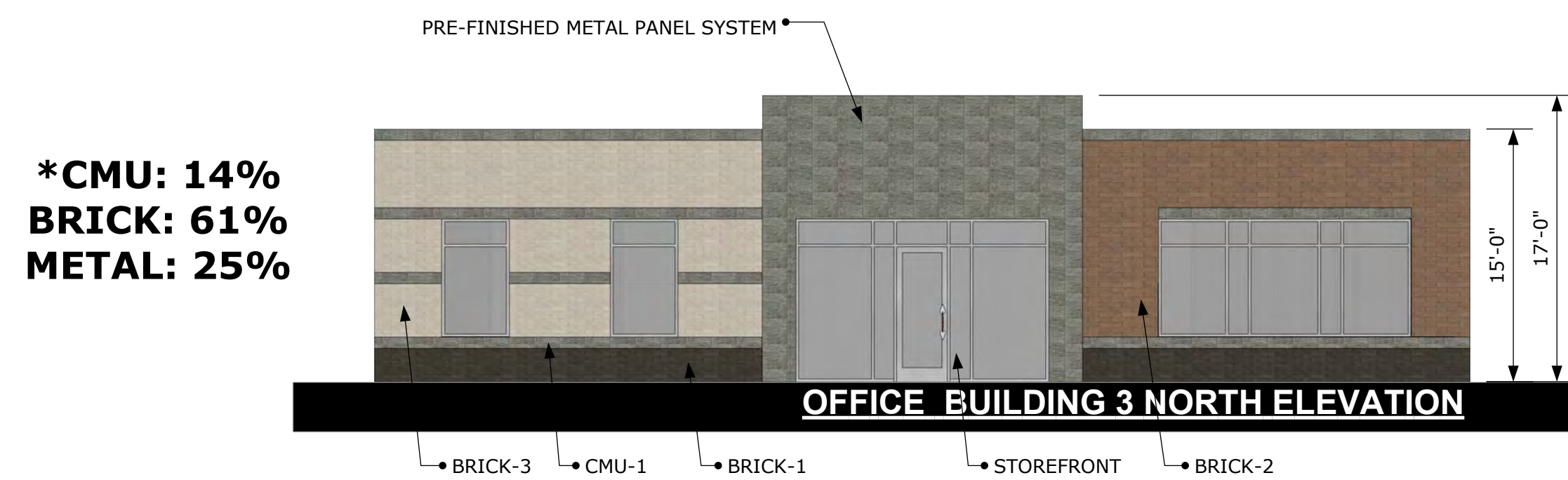
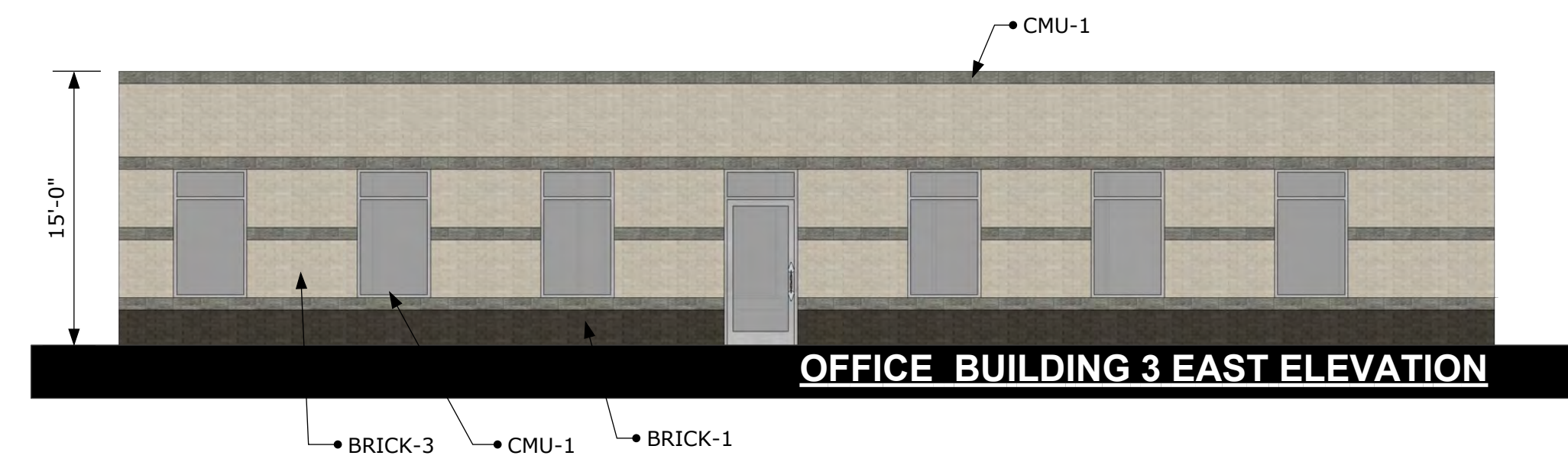
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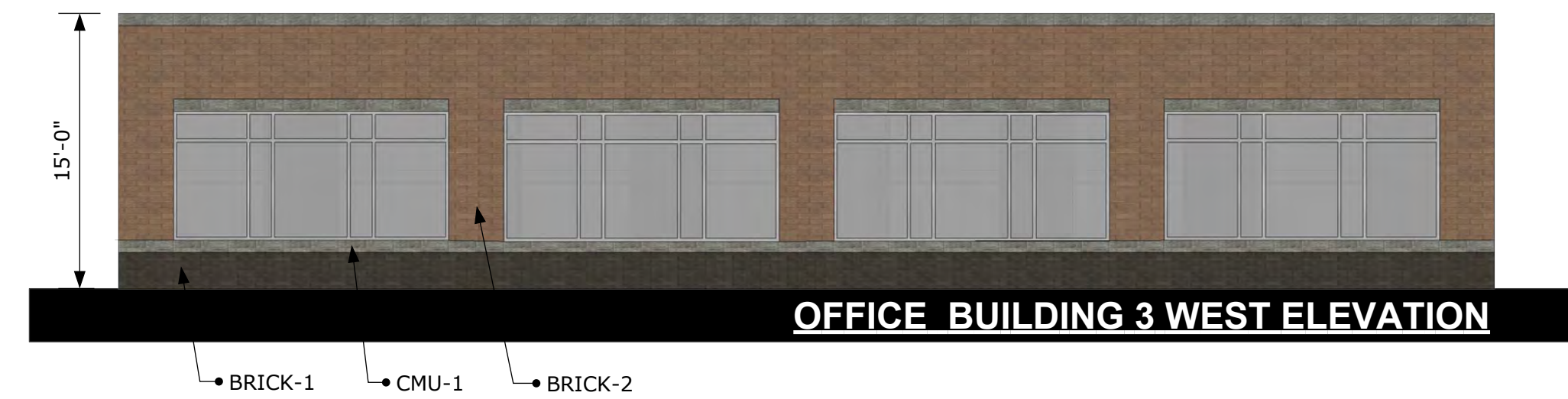
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*CMU: 20%
BRICK: 80%



OFFICE BUILDING 3

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A3.3



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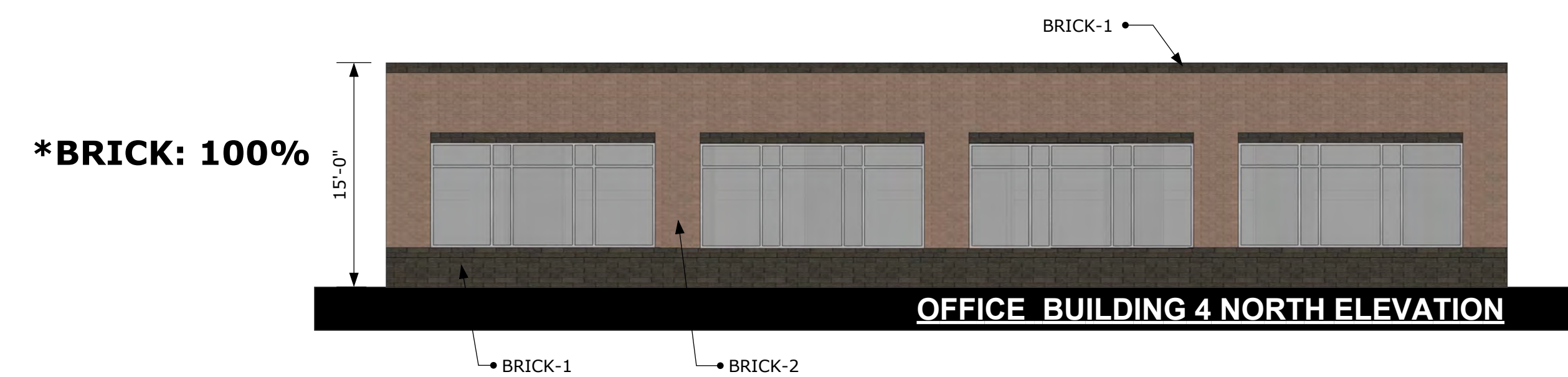
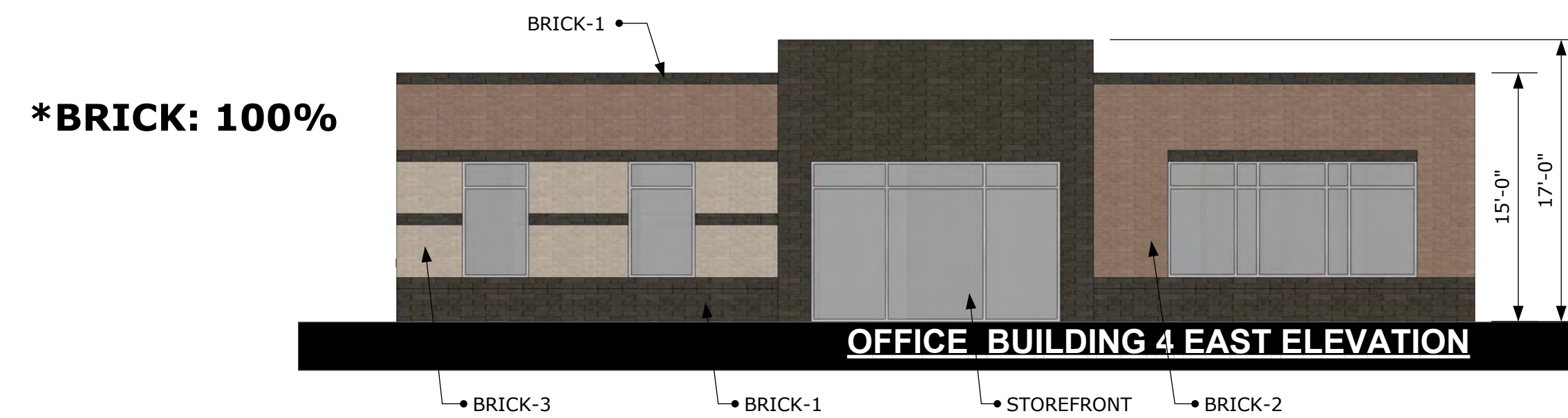
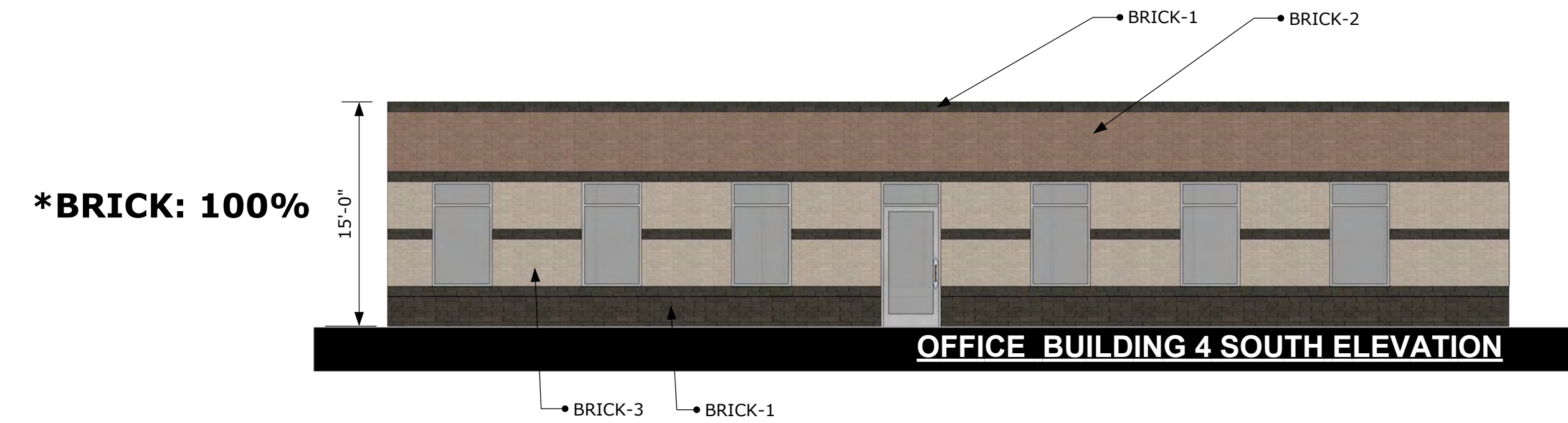
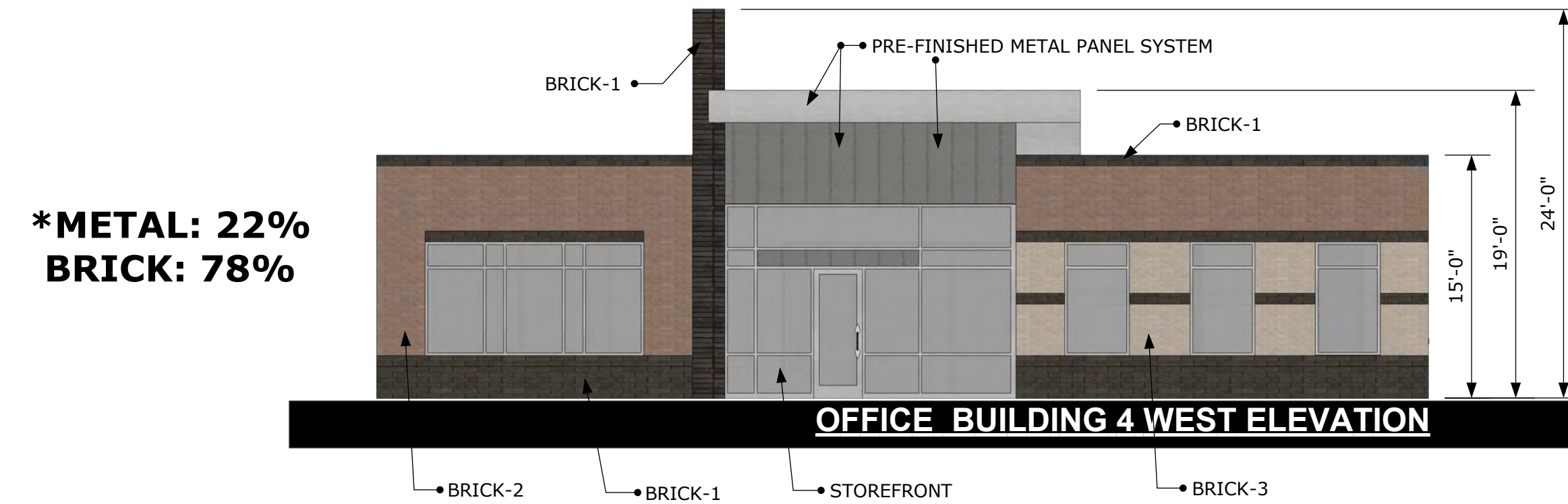
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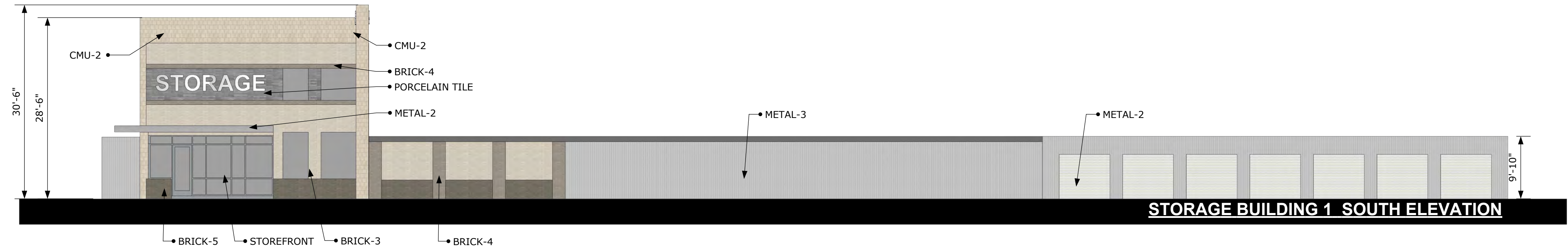
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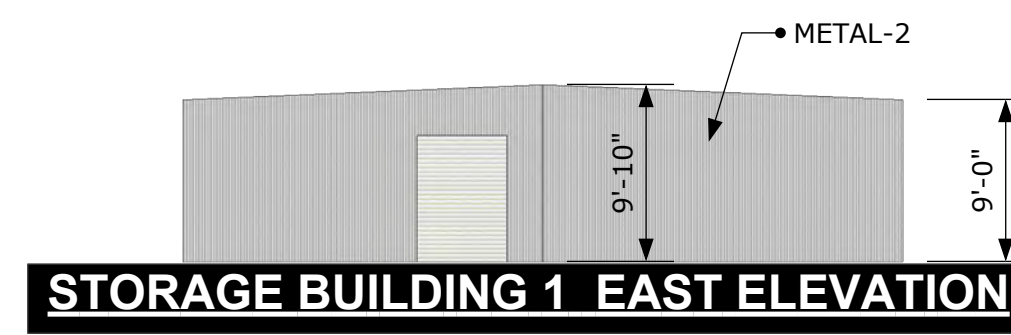
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A3.5

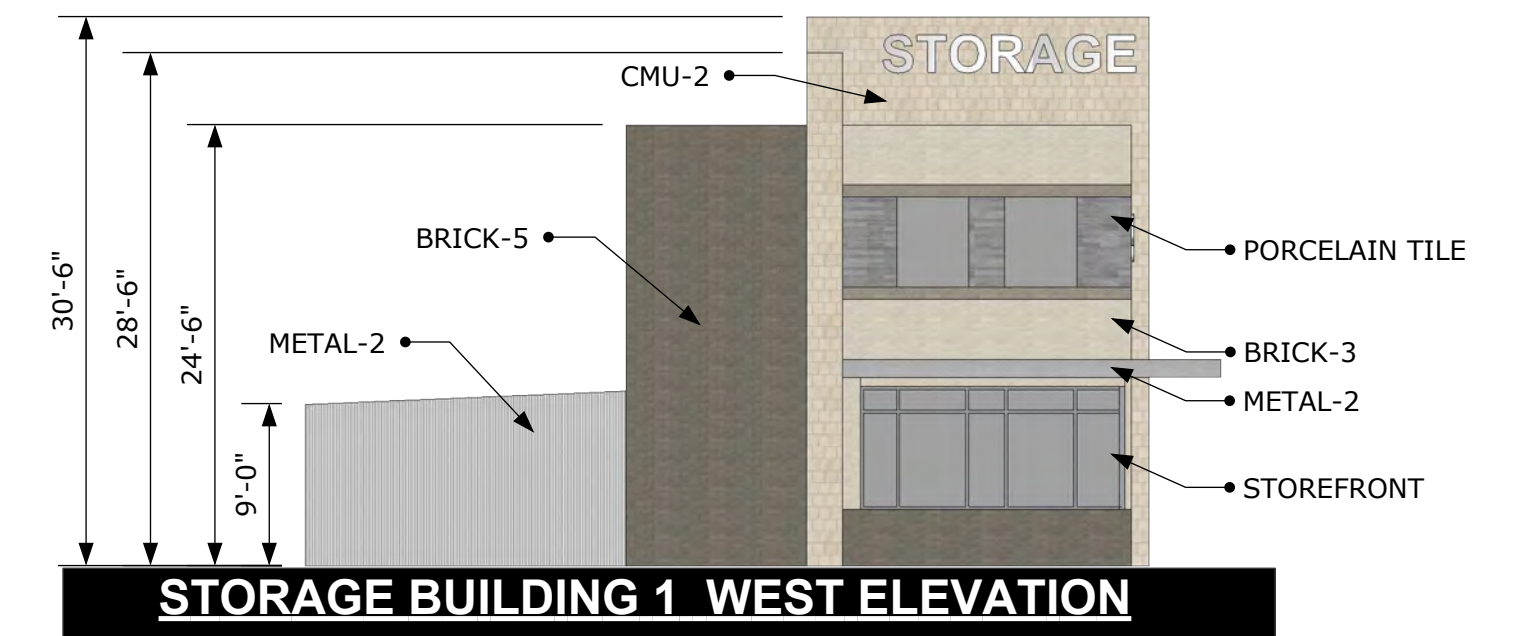
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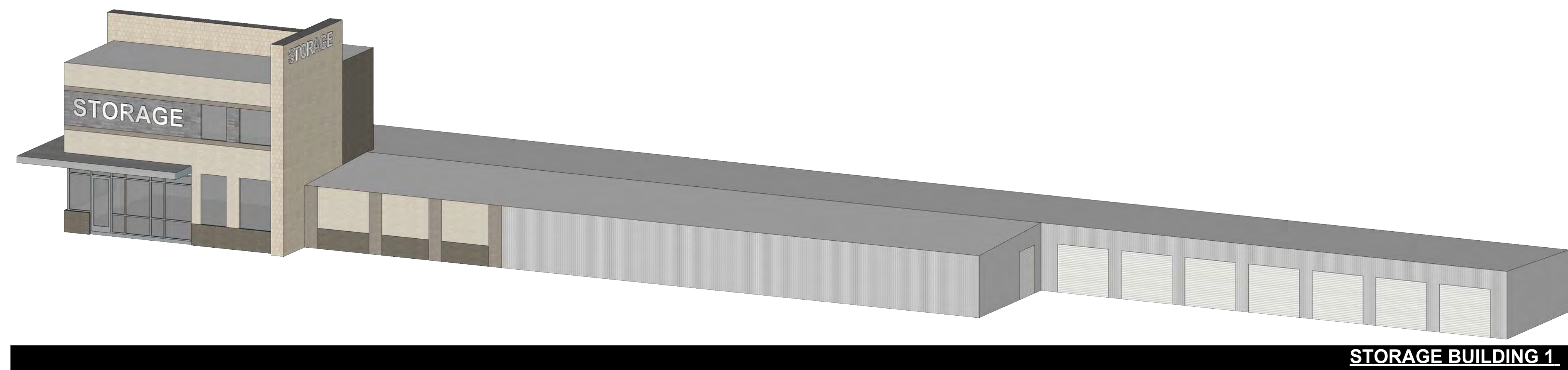
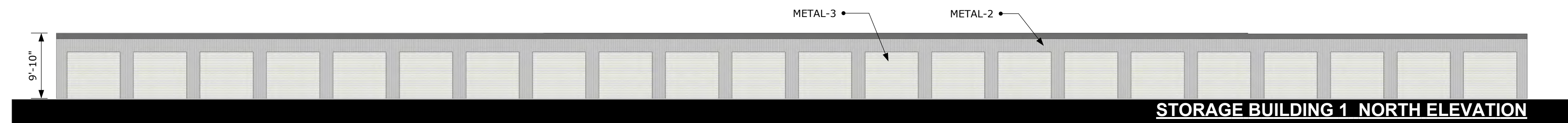
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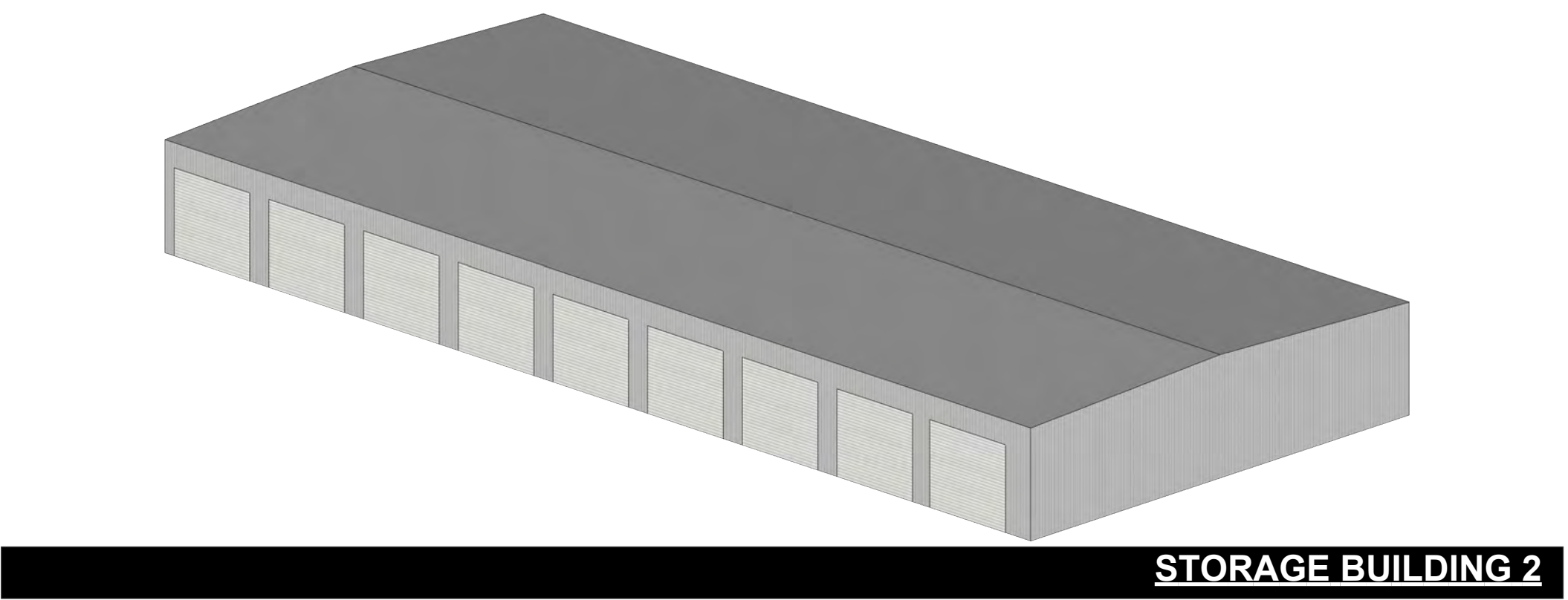
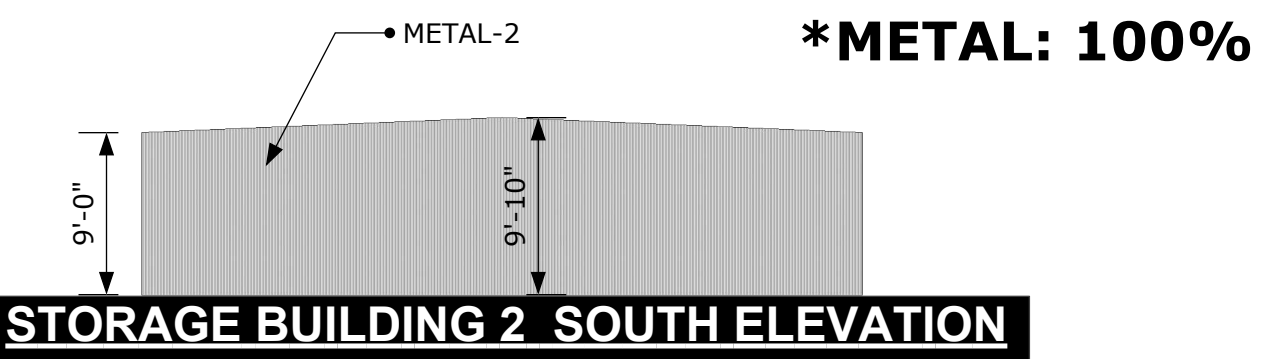
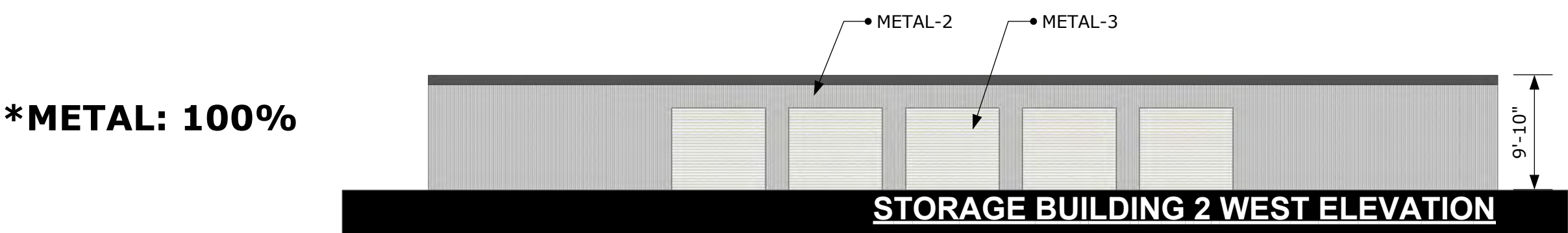
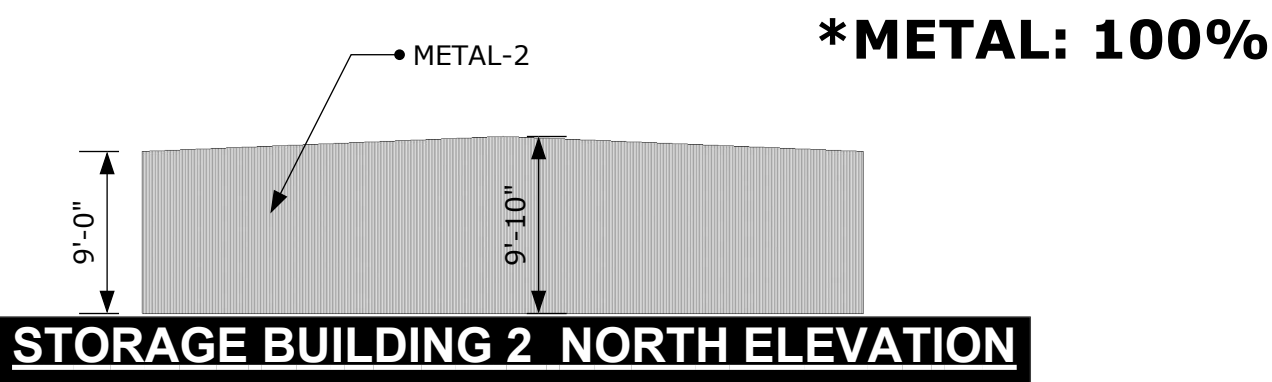
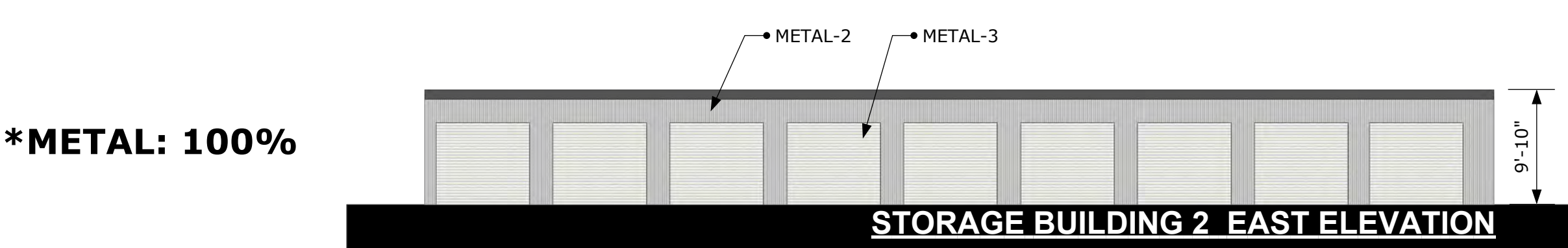


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BRICK: 51%
METAL: 22%
TILE: 5%



*METAL: 100%





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ELEVATIONS

A3.6



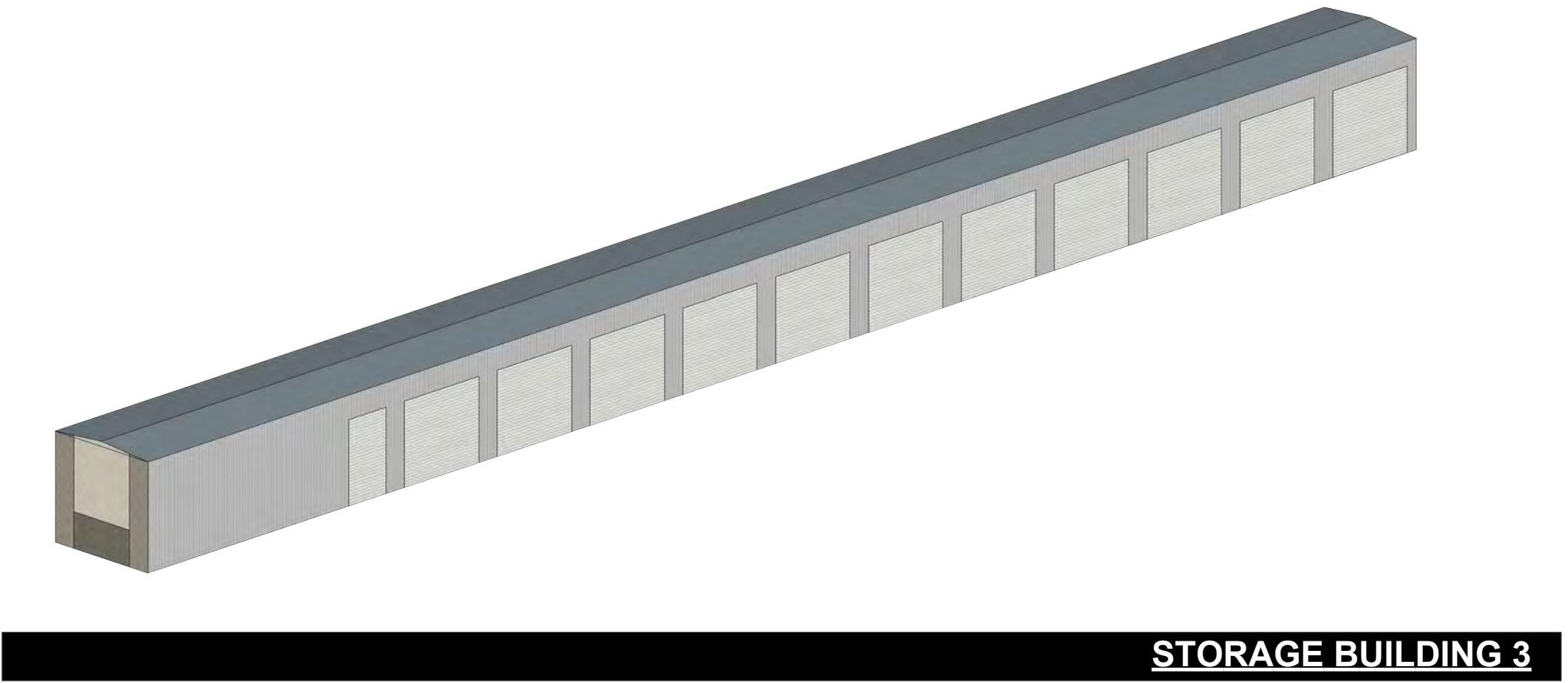
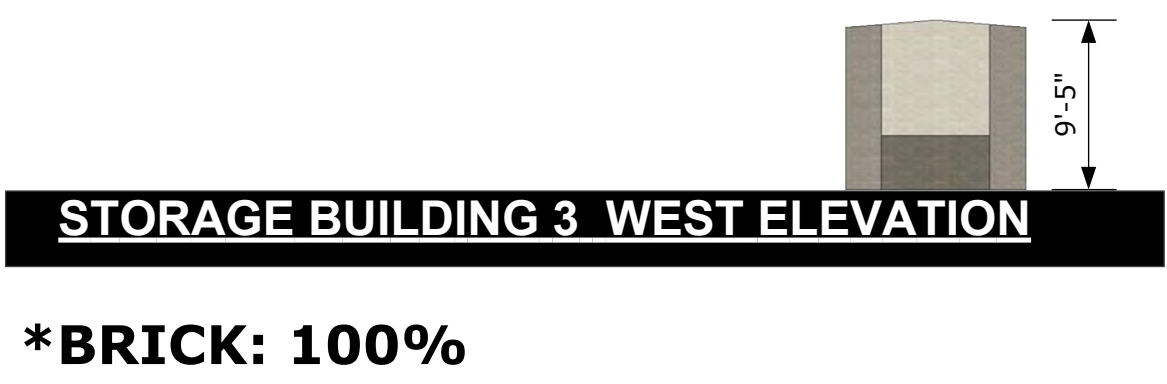
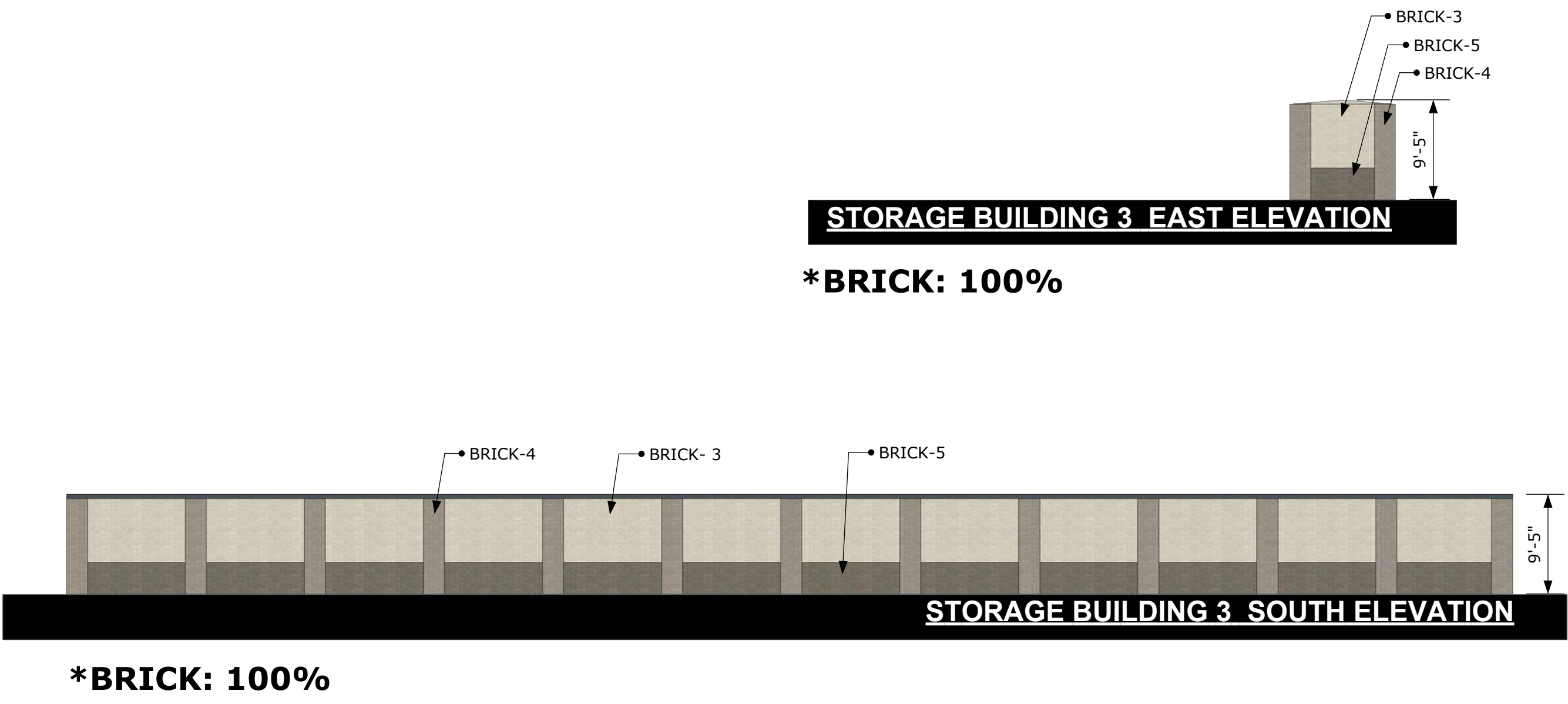
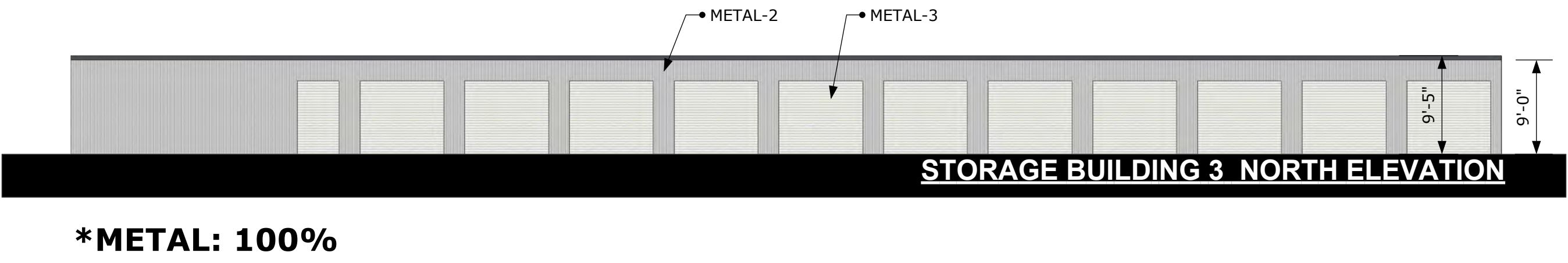
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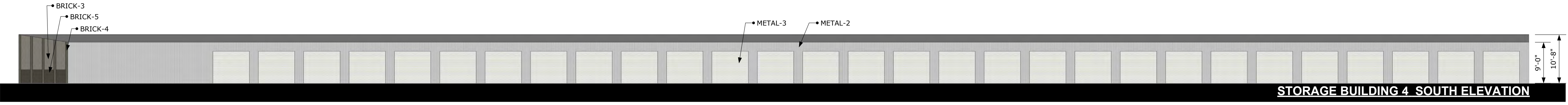


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FOR:

Mansfield, TX.

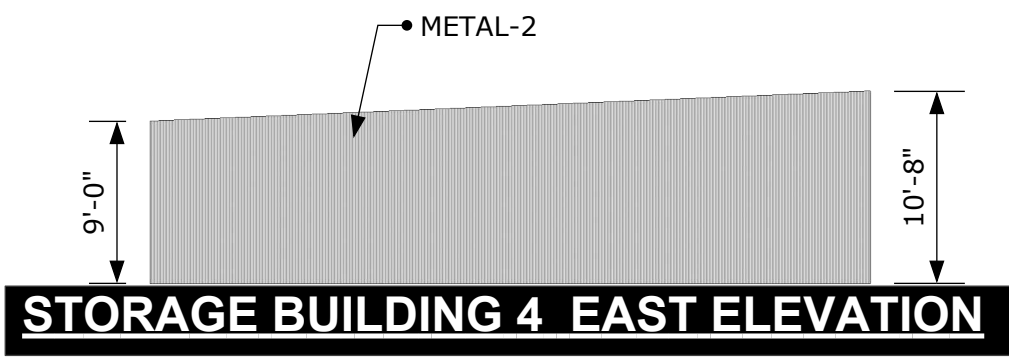
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ELEVATIONS
A3.7



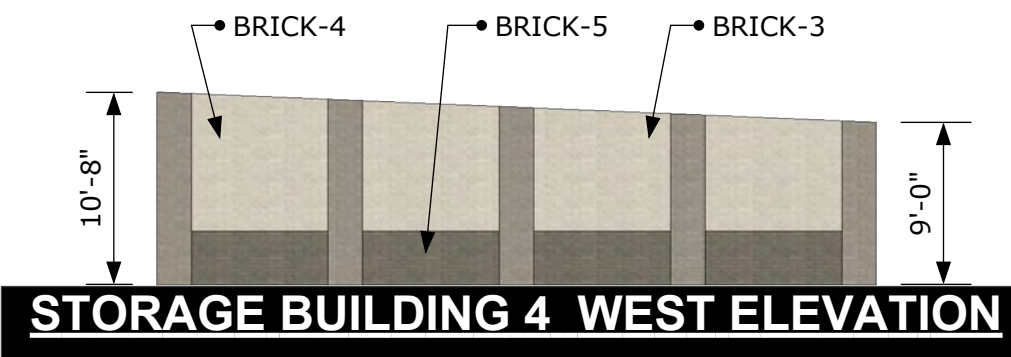
STORAGE BUILDING 4 SOUTH ELEVATION

***BRICK: 24%**
***METAL: 76%**



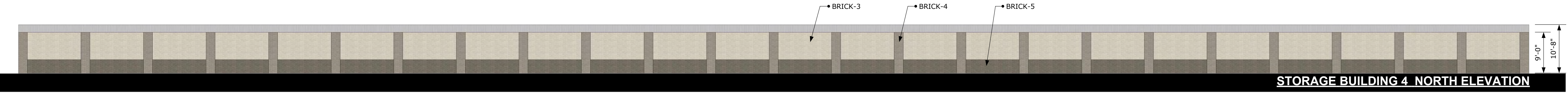
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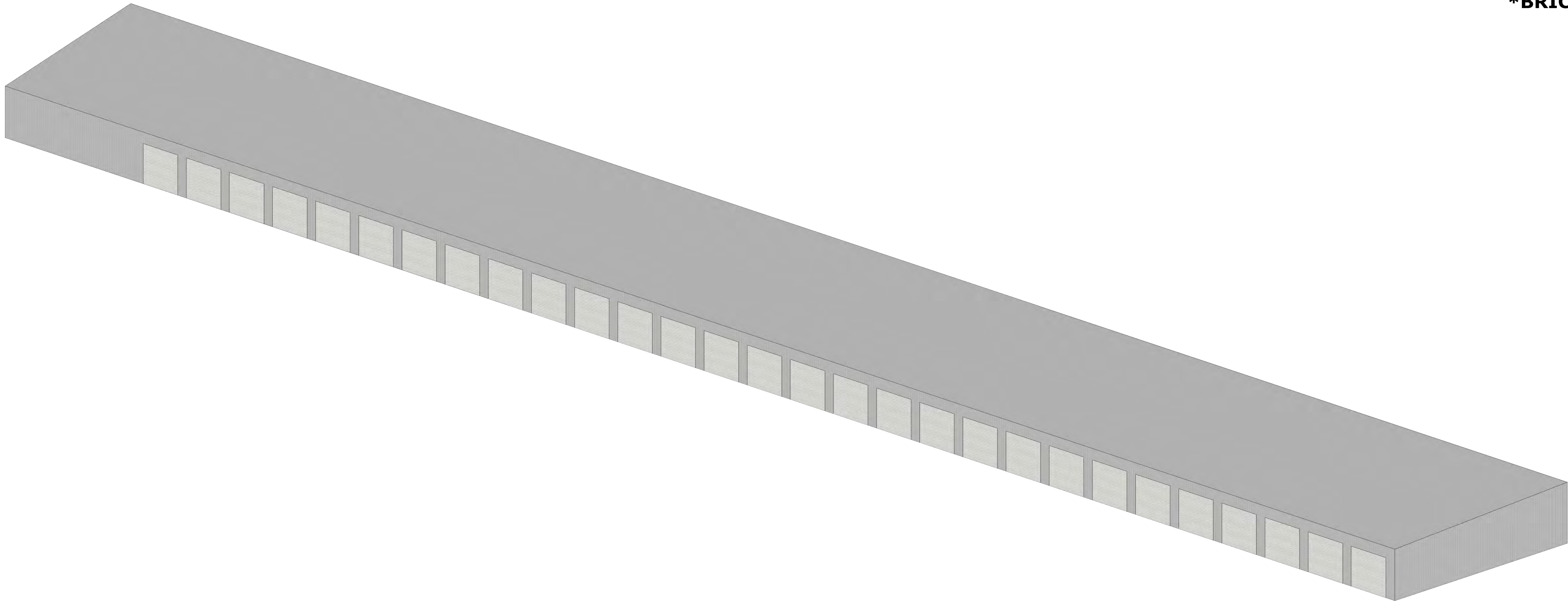
STORAGE BUILDING 4 WEST ELEVATION

***BRICK: 100%**



STORAGE BUILDING 4 NORTH ELEVATION

***BRICK: 100%**



STORAGE BUILDING 4



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BUTLER MASONRY



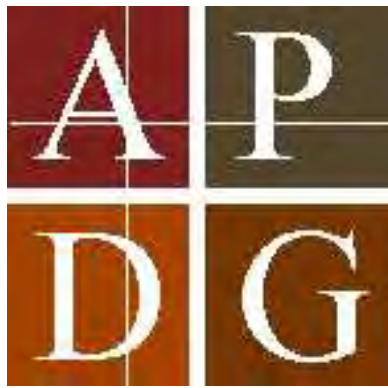
A NEW FACILITY
FOR:

Mansfield, TX.

Drawn by: C.S.
Checked by: T.C.
Project No. 17-1020
Date 05/23/2018

ELEVATIONS

A3.8



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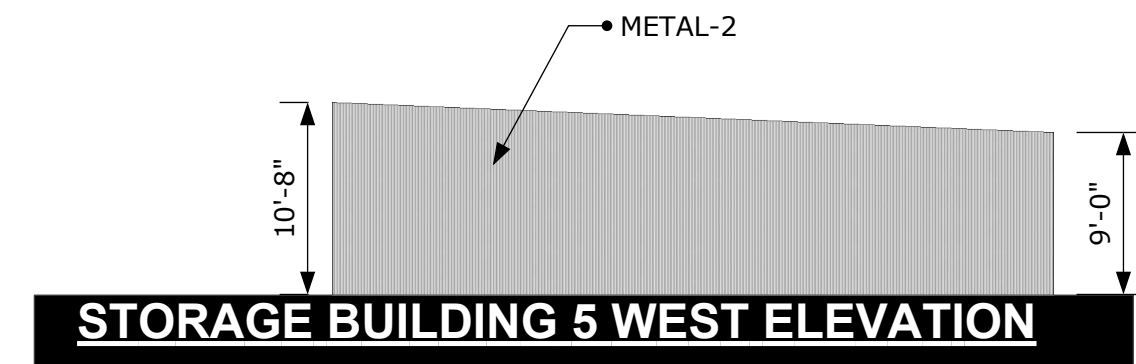
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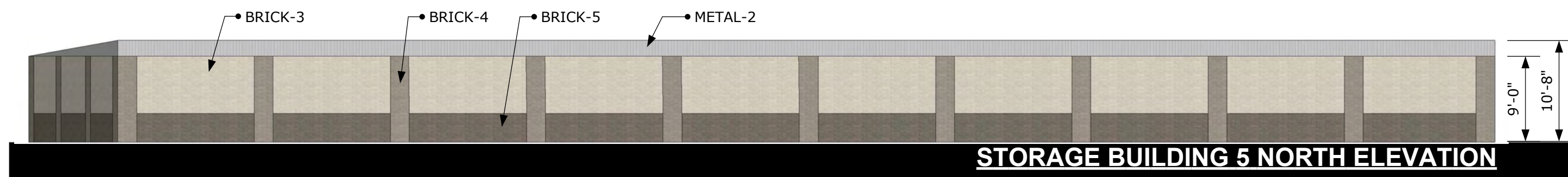
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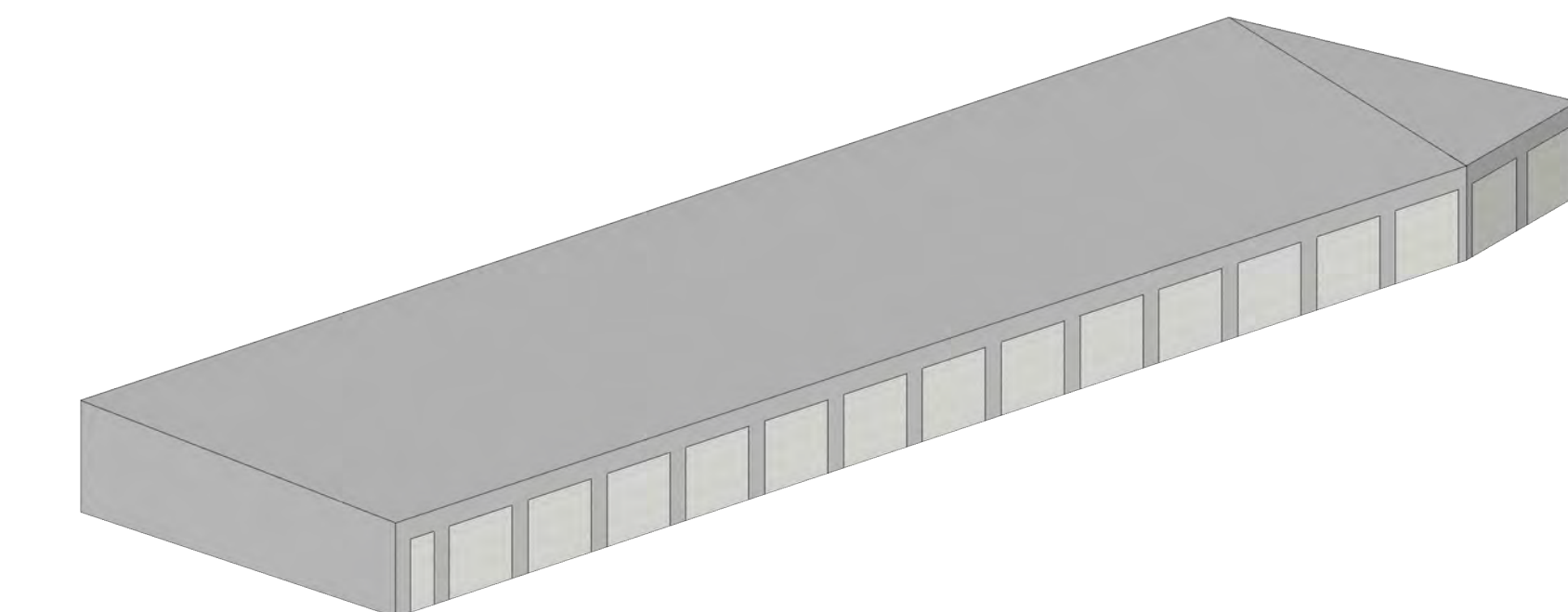
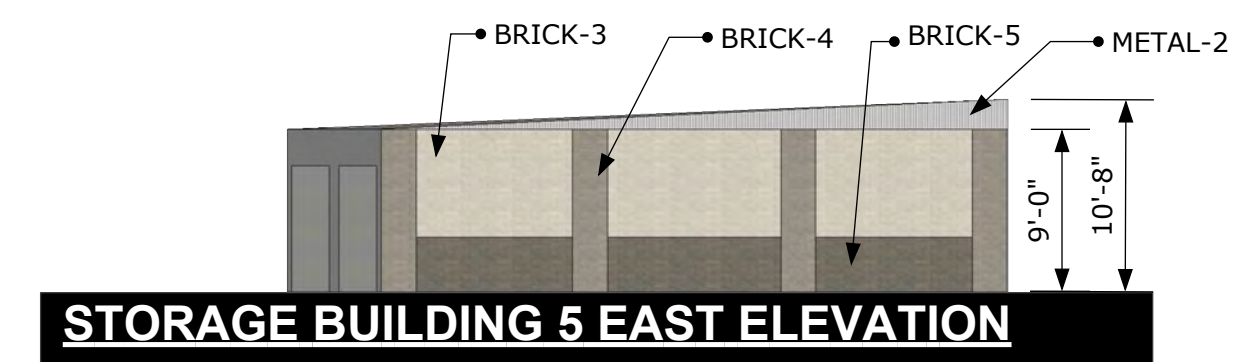
*METAL: 100%



*METAL: 16%
BRICK: 84%



*METAL: 9%
BRICK: 81%



STORAGE BUILDING 5

BUTLER MASONRY



A NEW FACILITY
FOR:

Mansfield, TX.

Drawn by: C.S.
Checked by: T.C.
Project No. 17-1020
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ELEVATIONS

A3.9



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FOR:

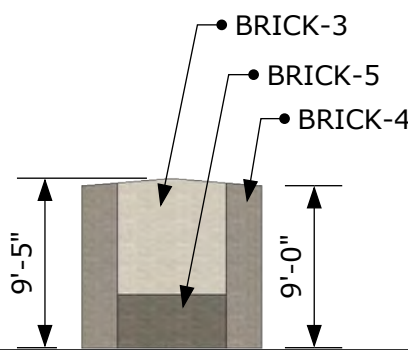
Mansfield, TX.

Drawn by: C.S.
Checked by: T.C.
Project No. 17-1020
Date 05/23/2018

ELEVATIONS

A3.10

*BRICK: 100%



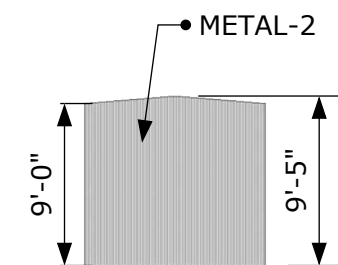
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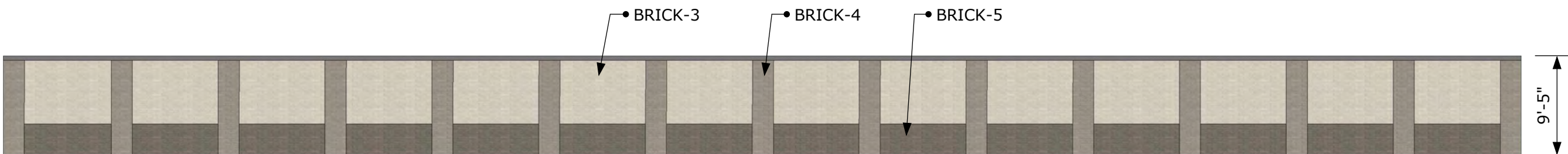
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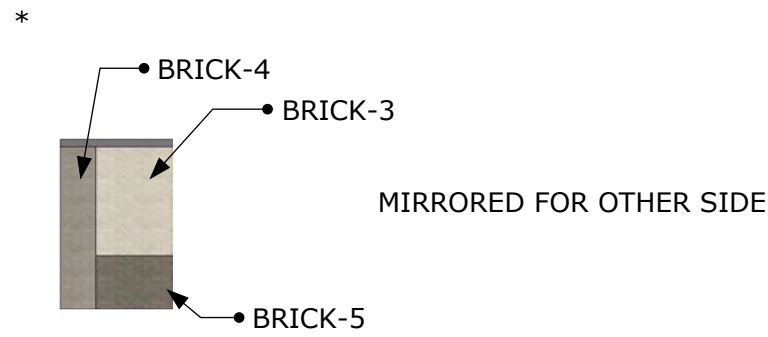


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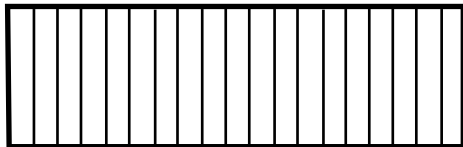
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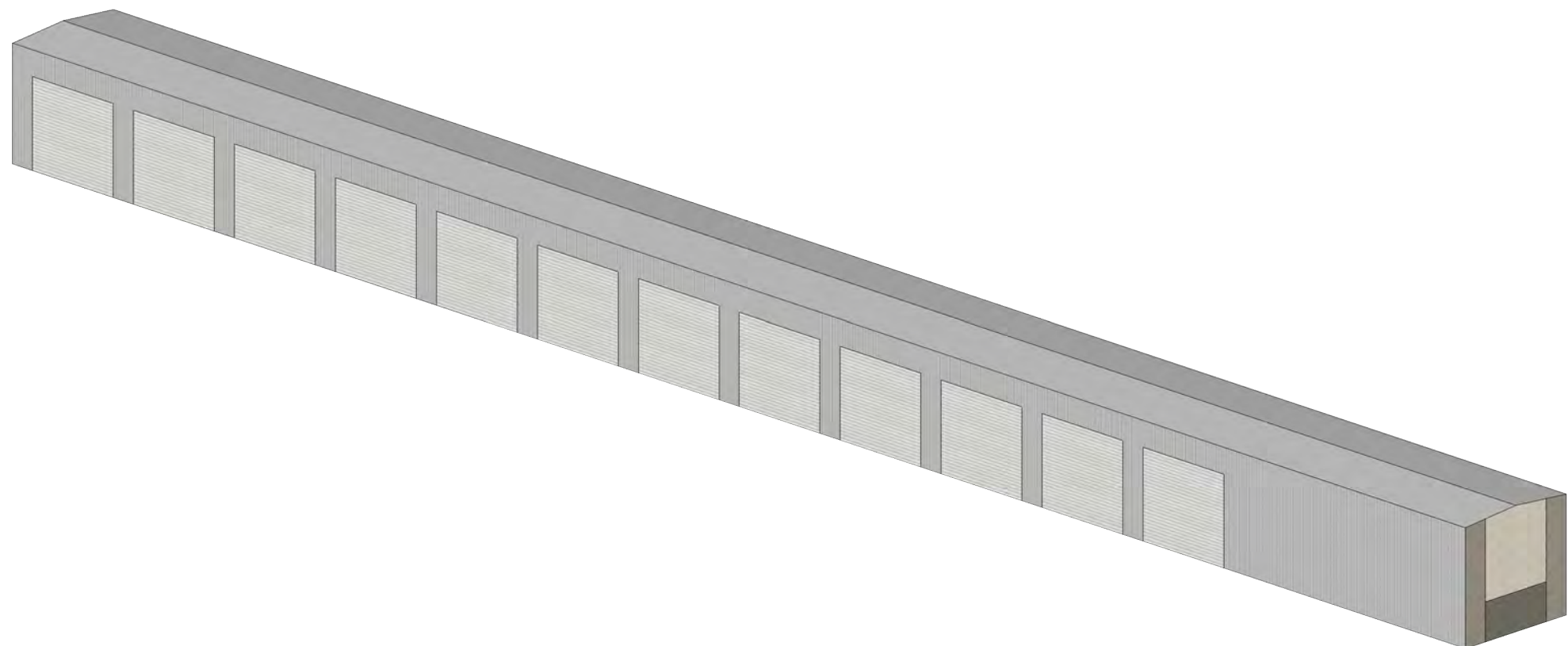
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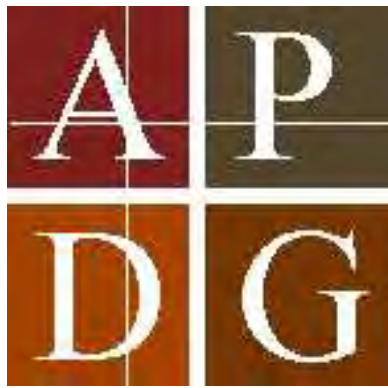
MASONRY FENCE



GATE



STORAGE BUILDING 6



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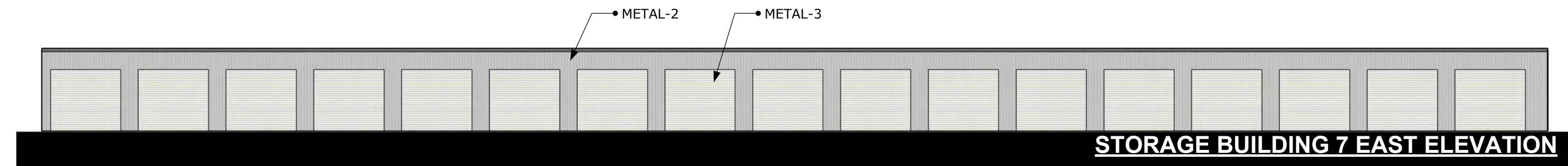
Mansfield, TX.

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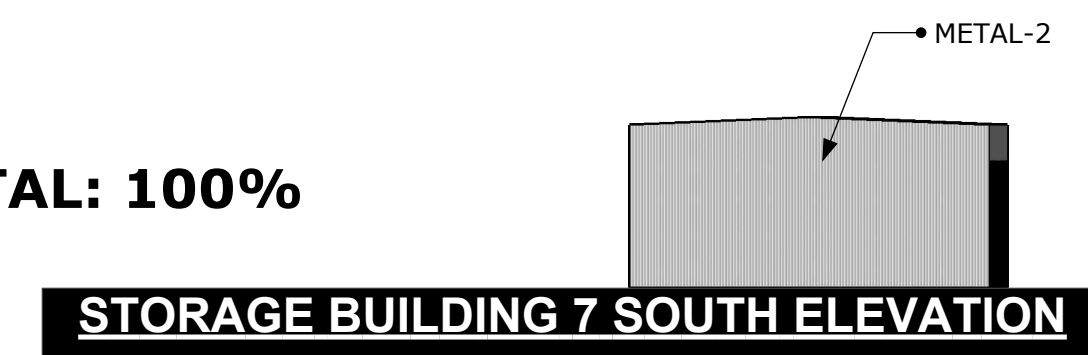
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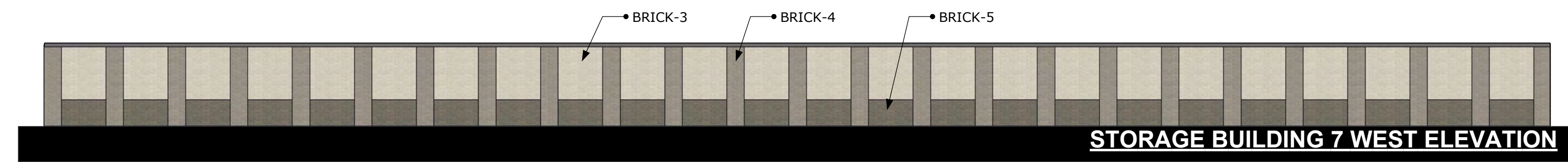
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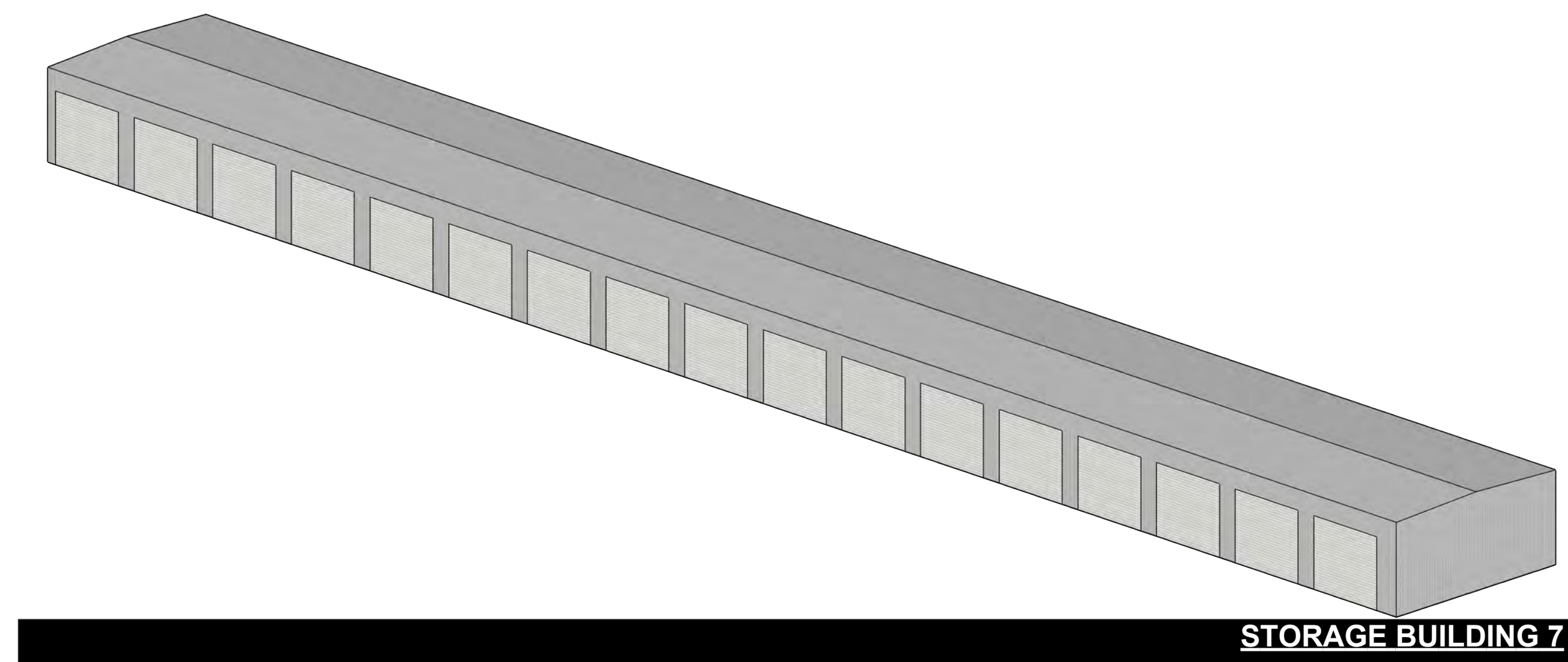
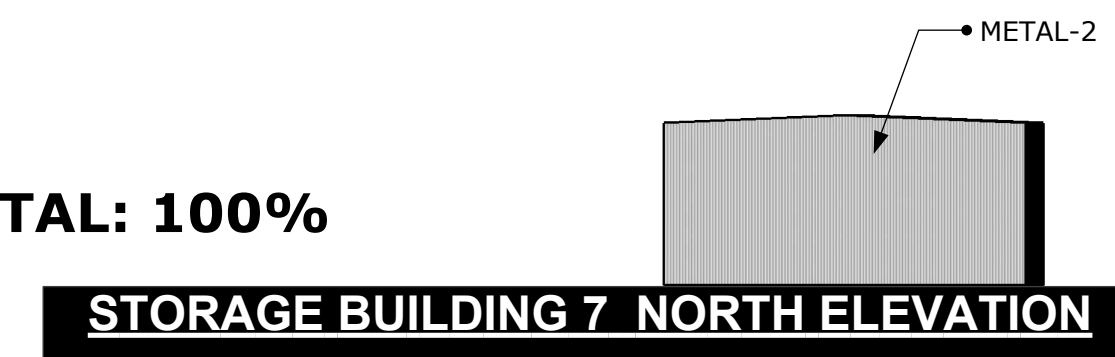
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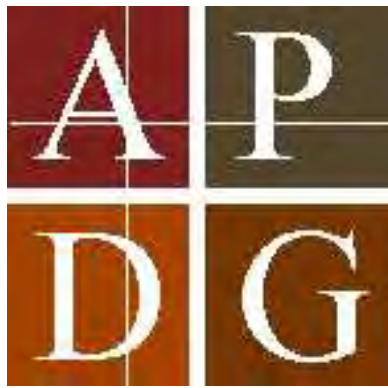
*BRICK: 100%



*METAL: 100%



STORAGE BUILDING 7



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A NEW FACILITY
FOR:

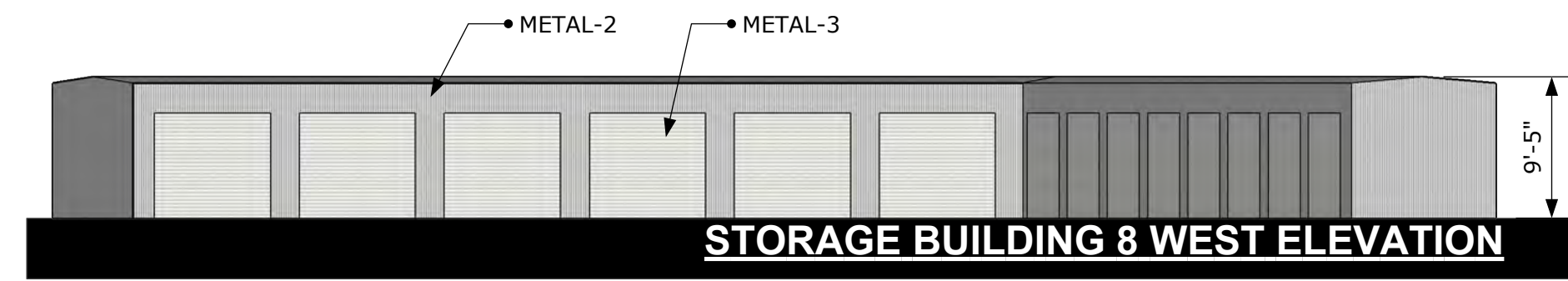
Mansfield, TX.

Drawn by: C.S.
Checked by: T.C.
Project No. 17-1020
Date 05/07/2018

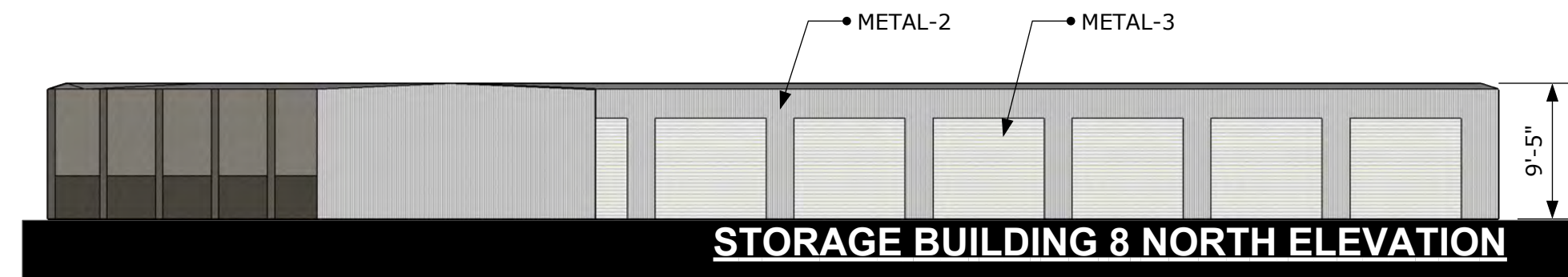
ELEVATIONS

A3.12

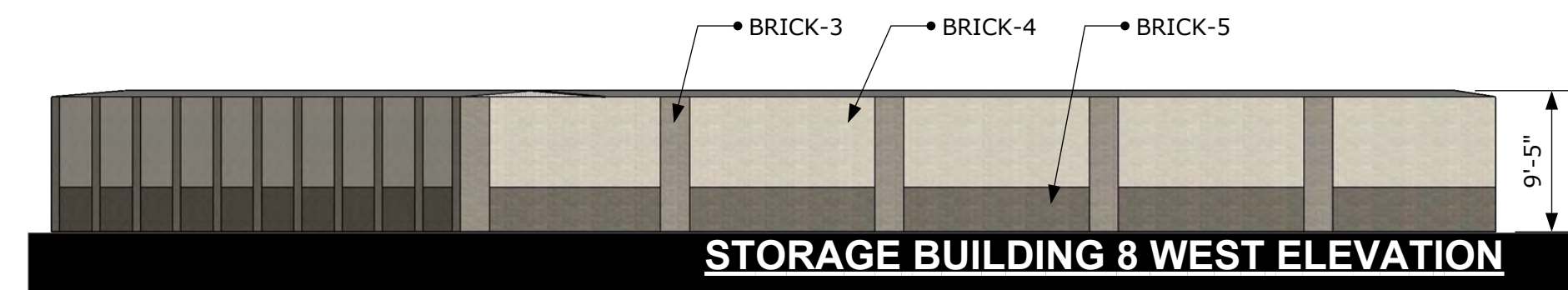
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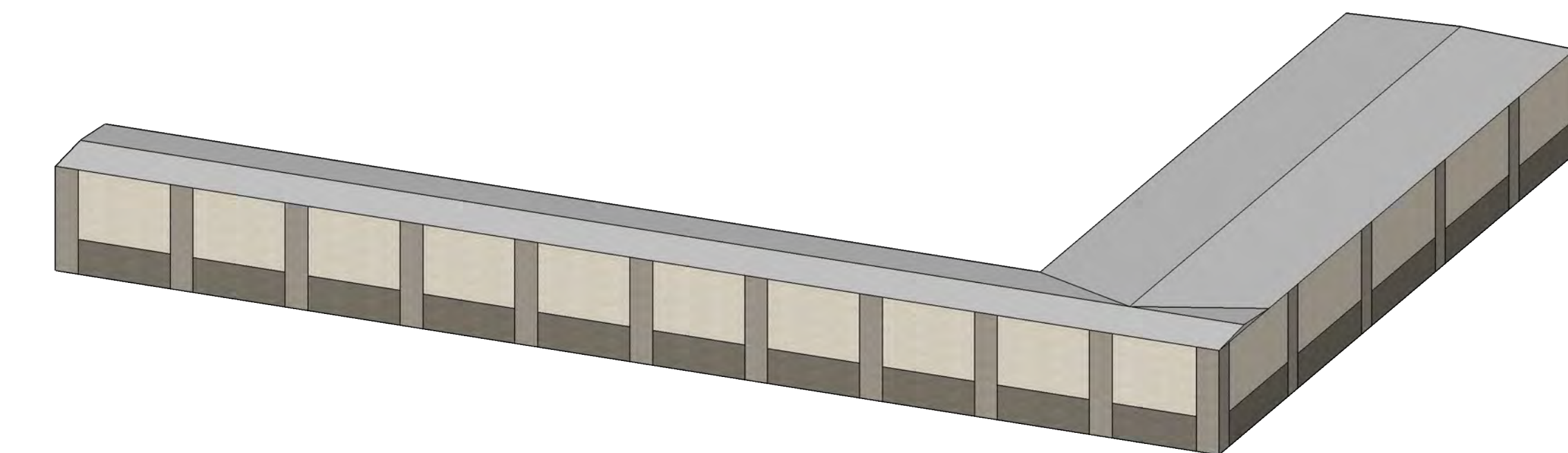
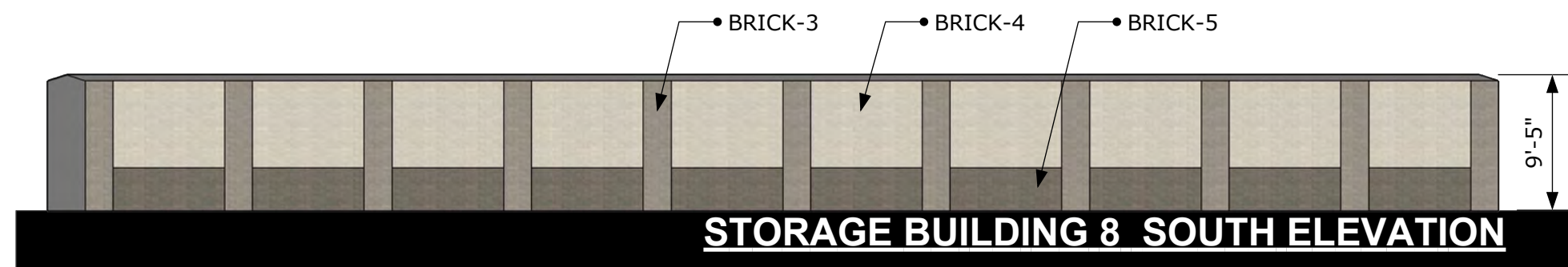
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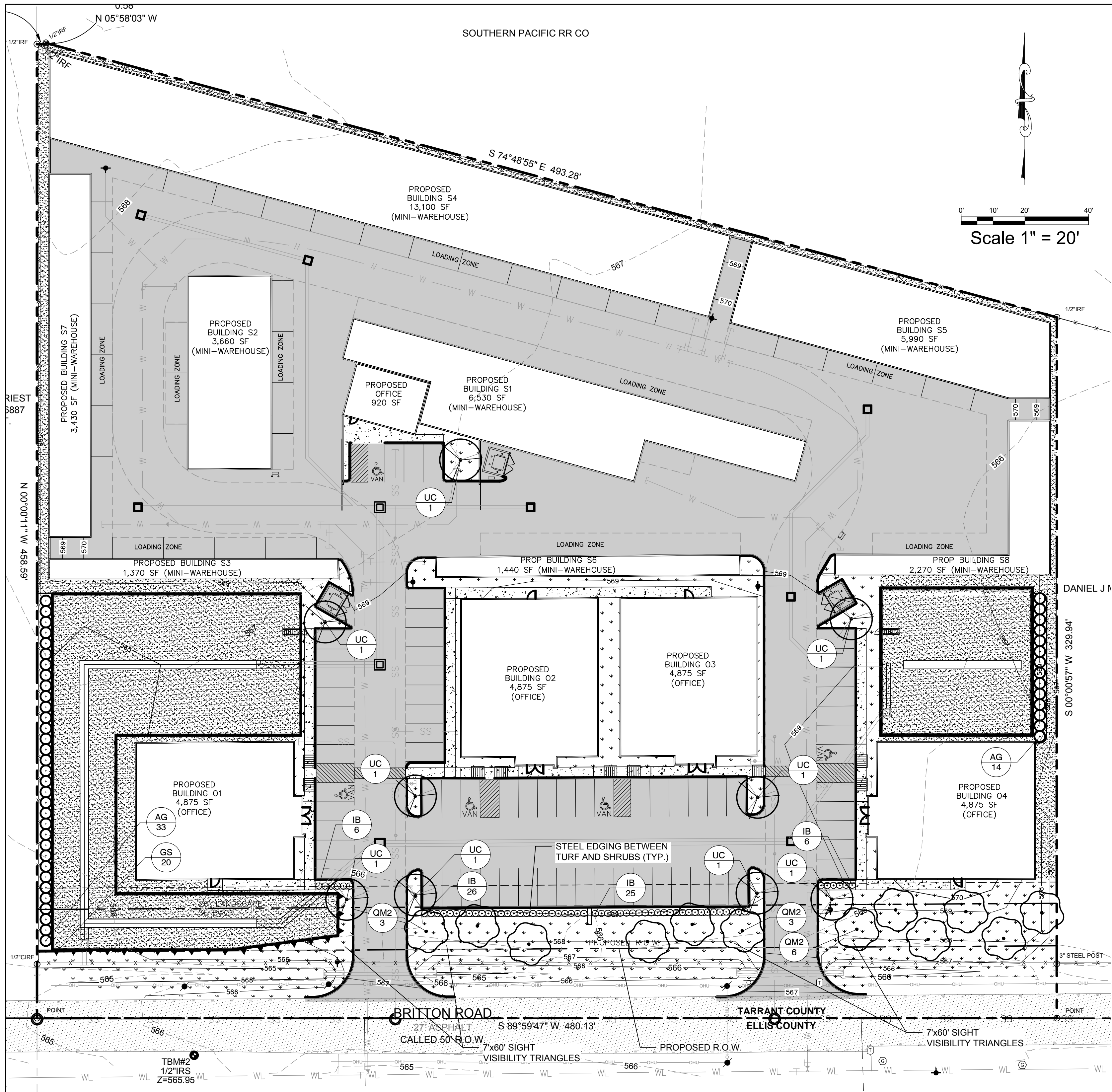
*BRICK: 100%



*BRICK: 100%



STORAGE BUILDING 8



PLANTING AND IRRIGATION GUARANTEE

THE LANDSCAPE CONTRACTOR SHALL GUARANTEE THAT ALL NEWLY INSTALLED AND EXISTING PLANTS SHALL SURVIVE FOR ONE YEAR AFTER FINAL OWNER ACCEPTANCE OF THE INSTALLATION WORK. THE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR APPROPRIATE WATERING OF THE LANDSCAPE THROUGH INSTALLATION OF A PROPERLY DESIGNED IRRIGATION SYSTEM. THE OWNER SHALL APPROVE THE SYSTEM DESIGN BEFORE INSTALLATION OF PLANTS OR IRRIGATION.

MULCHES

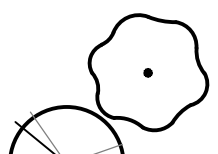



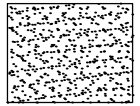
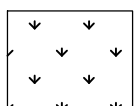
INSTALL SHREDDED HARDWOOD MULCH TOPDRESSING IN ALL PLANTING BEDS (3" DEPTH) AND ALL TREE RINGS (3" DEPTH). DO NOT INSTALL MULCH WITHIN 6" OF TREE ROOT FLARE. IN AREAS DENOTE AS "ROCK MULCH", INSTALL 4" DEPTH OF 1" WASHED RIVER ROCK OVER WOVEN LANDSCAPE FABRIC (ANY APPROVED). SUBMIT MULCH SAMPLES TO LANDSCAPE ARCHITECT AND OWNER FOR APPROVAL PRIOR TO INSTALLATION.

NOTE:
NO TREES, BUSHES, WALLS, SIGNS, OR
ANYTHING OVER 2' IN HEIGHT IS ALLOWED
WITHIN THE SIGHT VISIBILITY TRIANGLES.

ROOT BARRIERS

THE CONTRACTOR SHALL INSTALL ROOT BARRIERS NEAR ALL NEWLY-PLANTED TREES THAT ARE LOCATED WITHIN FIVE (5) FEET OF PAVING OR CURBS. ROOT BARRIERS SHALL BE "CENTURY" OR "DEEP-ROOT" 24" DEEP PANELS (OR EQUAL). BARRIERS SHALL BE LOCATED IMMEDIATELY ADJACENT TO HARDSCAPE. INSTALL PANELS PER MANUFACTURER'S RECOMMENDATIONS. UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR USE ROOT BARRIERS OF A TYPE THAT COMPLETELY ENCIRCLE THE ROOTBALL.

PLANT SCHEDULE

TREES	CODE	BOTANICAL NAME / COMMON NAME	CONT	CAL	HEIGHT	QTY
	QM2	Quercus muehlenbergii / Chinkapin Oak	B & B	3.5"Cal	10'-12'	12
	UC	Ulmus crassifolia / Cedar Elm	B & B	3.5"Cal	10'-12'	9
SHRUBS & VINES	CODE	BOTANICAL NAME / COMMON NAME	SIZE	SPACING	QTY	
	AG	Abelia x grandiflora / Glossy Abelia	5 gal	60" o.c.	47	
	GS	Gelsemium sempervirens / Carolina Jessamine - attach to fencing at top of storm detention wall	3 gal, staked	10' o.c.	20	
	IB	Ilex cornuta 'Burfordii Nana' / Dwarf Burford Holly	3 gal	36" o.c.	63	
SOD/SEED	CODE	BOTANICAL NAME / COMMON NAME	CONT	QTY		
	CC	Cynodon dactylon / Common Bermuda Grass	hydromulch	24,534 sf		
	CT	Cynodon dactylon / Common Bermuda Grass	sod	19,448 sf		

GENERAL PLANTING NOTES

- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL EXISTING VEGETATION (EXCEPT WHERE NOTED TO REMAIN). BEFORE STARTING WORK, THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE GRADE OF ALL LANDSCAPE AREAS ARE WITHIN $\pm 0.1'$ OF FINISH GRADE. THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE OWNER IMMEDIATELY SHOULD ANY DISCREPANCIES EXIST. SEE SPECIFICATIONS FOR MORE DETAILED INSTRUCTION ON TURF AREA AND PLANTING BED PREPARATION.
- THE LANDSCAPE CONTRACTOR SHALL CONSTRUCT AND MAINTAIN FINISH GRADES AS SHOWN ON GRADING PLANS, AND CONSTRUCT AND MAINTAIN SLOPES AS RECOMMENDED BY THE GEOTECHNICAL REPORT. ALL LANDSCAPE AREAS SHALL HAVE POSITIVE DRAINAGE AWAY FROM STRUCTURES AT THE MINIMUM SLOPE SPECIFIED IN THE REPORT, AND AREAS OF POTENTIAL PONDING SHALL BE REGRADED TO BLEND IN WITH THE SURROUNDING GRADES AND ELIMINATE PONDING POTENTIAL. SHOULD ANY CONFLICTS AND/OR DISCREPANCIES ARISE BETWEEN THE GRADING PLANS, GEOTECHNICAL REPORT, THESE NOTES, AND ACTUAL CONDITIONS, THE CONTRACTOR SHALL IMMEDIATELY BRING SUCH ITEMS TO THE ATTENTION OF THE LANDSCAPE ARCHITECT AND OWNER.
- CONTRACTOR SHALL ENSURE THAT THE GRADE IN SOD AREAS SHALL BE 1" BELOW FINISH GRADE AFTER INSTALLING SOIL AMENDMENTS, AND 2" BELOW FINISH GRADE IN SHRUB AREAS AFTER INSTALLING SOIL AMENDMENTS. MULCH COVER WITHIN 6" OF CONCRETE WALKS AND CURBS SHALL NOT PROTRUDE ABOVE THE FINISH SURFACE OF THE WALKS AND CURBS. MULCH COVER WITHIN 12" OF WALLS SHALL BE AT LEAST 3" LOWER THAN THE TOP OF WALL.
- INSTALL 5 OUNCE, WOVEN, NEEDLE-PUNCHED POLYPROPYLENE FABRIC UNDER ALL MULCHED AREAS AND INDIVIDUAL TREE RINGS.
- INSTALL SHREDDED HARDWOOD MULCH TOPDRESSING IN ALL PLANTING BEDS (2" DEPTH) AND ALL TREE RINGS (3" DEPTH). DO NOT INSTALL MULCH WITHIN 6" OF TREE ROOT FLARE.
- INSTALL 14G GREEN STEEL EDGING BETWEEN ALL PLANTING BEDS AND TURF AREAS, AND BETWEEN GROUNDCOVERS AND OTHER PLANTS (WHERE INDICATED ON THE PLAN).
- HYDROMULCH ALL DISTURBED AREAS OUTSIDE OF PROPERTY LIMITS (UNLESS SHOWN AS SOD).
- ALL PLANT LOCATIONS ARE DIAGRAMMATIC. ACTUAL LOCATIONS SHALL BE VERIFIED WITH THE LANDSCAPE ARCHITECT OR DESIGNER PRIOR TO PLANTING. THE LANDSCAPE CONTRACTOR SHALL ENSURE THAT ALL REQUIREMENTS OF THE PERMITTING AUTHORITY ARE MET (I.E., MINIMUM PLANT QUANTITIES, PLANTING METHODS, TREE PROTECTION METHODS, ETC.).
- THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR DETERMINING PLANT QUANTITIES. PLANT QUANTITIES SHOWN ON LEGENDS AND CALLOUTS ARE FOR GENERAL INFORMATION ONLY. IN THE EVENT OF A DISCREPANCY BETWEEN THE PLAN AND THE PLANT LEGEND, THE PLANT QUANTITY AS SHOWN ON THE PLAN (FOR INDIVIDUAL SYMBOLS) OR CALLOUT (FOR GROUNDCOVER PATTERNS) SHALL TAKE PRECEDENCE.
- NO SUBSTITUTIONS OF PLANT MATERIALS SHALL BE ALLOWED. IF SOME OF THE PLANTS ARE NOT AVAILABLE, THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE LANDSCAPE DESIGNER IN WRITING (VIA PROPER CHANNELS).
- PLANTS MAY BE INSPECTED AND APPROVED OR REJECTED ON THE JOBSITE BY THE OWNER OR OWNER'S REPRESENTATIVE.
- THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL WORK SHOWN ON THESE PLANS FOR 90 DAYS BEYOND FINAL ACCEPTANCE OF ALL LANDSCAPE WORK BY THE OWNER. LANDSCAPE MAINTENANCE SHALL INCLUDE WEEKLY SITE VISITS FOR THE FOLLOWING ACTIONS (AS APPROPRIATE): PROPER PRUNING, RESTAKING OF TREES, RESETTING OF PLANTS THAT HAVE SETTLED, MOWING AND AERATION OF LAWNS, WEEDING, RESEEDING AREAS WHICH HAVE NOT GERMINATED WELL, TREATING FOR INSECTS AND DISEASES, REPLACEMENT OF MULCH, REMOVAL OF LITTER, REPAIRS TO THE IRRIGATION SYSTEM DUE TO FAULTY PARTS AND/OR WORKMANSHIP, AND THE APPROPRIATE WATERING OF ALL PLANTINGS. THE LANDSCAPE CONTRACTOR SHALL MAINTAIN THE IRRIGATION SYSTEM IN PROPER WORKING ORDER, WITH SCHEDULING ADJUSTMENTS BY SEASON TO MAXIMIZE WATER CONSERVATION.
- SHOULD SEEDED AND/OR SODDED AREAS NOT BE COVERED BY AN AUTOMATIC IRRIGATION SYSTEM, THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR WATERING THESE AREAS AND OBTAINING A FULL STAND OF GRASS AT NO ADDITIONAL COST TO THE OWNER.
- TO ACHIEVE FINAL ACCEPTANCE AT THE END OF THE MAINTENANCE PERIOD, ALL OF THE FOLLOWING CONDITIONS MUST OCCUR:
 - THE LANDSCAPE SHALL SHOW ACTIVE, HEALTHY GROWTH (WITH EXCEPTIONS MADE FOR SEASONAL DORMANCY). ALL PLANTS NOT MEETING THIS CONDITION SHALL BE REJECTED AND REPLACED BY HEALTHY PLANT MATERIAL PRIOR TO FINAL ACCEPTANCE.
 - ALL HARDSCAPE SHALL BE CLEANED PRIOR TO FINAL ACCEPTANCE.
 - SODDED AREAS MUST BE ACTIVELY GROWING AND MUST REACH A MINIMUM HEIGHT OF 1 1/2 INCHES BEFORE FIRST MOWING. HYDROMULCHED AREAS SHALL SHOW ACTIVE, HEALTHY GROWTH. BARE AREAS LARGER THAN TWELVE SQUARE INCHES MUST BE RESEEDDED OR RESEEDED (AS APPROPRIATE) PRIOR TO FINAL ACCEPTANCE. ALL SODDED TURF SHALL BE NEATLY MOWED. SEE SPECIFICATIONS AND DETAILS FOR FURTHER REQUIREMENTS.
- LANDSCAPING MAINTENANCE: THE PROPERTY OWNER, TENANT OR AGENT SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL REQUIRED LANDSCAPING IN A HEALTHY, NEAT, ORDERLY AND LIVE-GROWING CONDITION AT ALL TIMES. THIS SHALL INCLUDE MOWING, EDGING, PRUNING, FERTILIZING, IRRIGATION, WEEDING, AND OTHER SUCH ACTIVITIES COMMON TO THE MAINTENANCE OF LANDSCAPING. LANDSCAPED AREAS SHALL BE KEPT FREE OF TRASH, LITTER, WEEDS AND OTHER SUCH MATERIALS NOT A PART OF THE LANDSCAPING. PLANT MATERIALS THAT DIE SHALL BE REPLACED WITH PLANT MATERIALS OF SIMILAR VARIETY AND SIZE.

LANDSCAPE CALCULATIONS

LANDSCAPE SETBACK:
20' LANDSCAPE SETBACK REQUIRED AT STREET ROW 20' SETBACK PROVIDED
13.5" CAL CANOPY TREE REQUIRED PER 40' OF STREET FRONTAGE
480 LF FRONTAGE / 40 = 12 TREES 12 TREES PROVIDED

PARKING LOT LANDSCAPE:
PARKING LOT TO BE SCREENED FROM ROW WITH EVERGREEN SHRUBS TO BE 36" AT THE TIME OF MATURITY EVERGREEN SCREEN PROVIDED

13.5" CAL CANOPY TREE PER 10 SPACES 7 TREE PROVIDED
69 SPACES / 10 = 7 TREES REQUIRED
13.5" CAL CANOPY TREE PER LANDSCAPE ISLAND

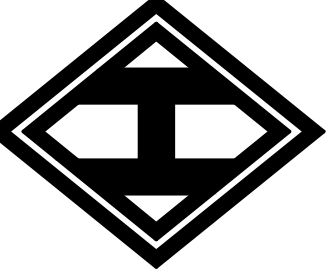
BUFFERYARDS:
WEST - ADJACENT TO VACANT PR: 30' BUFFER YARD REQUIRED; PROVIDED: NONE
NORTH - ADJACENT TO RIVER ROW: 30' BUFFER YARD REQUIRED; PROVIDED: NONE
EAST - ADJACENT TO VACANT PR: 30' BUFFER YARD REQUIRED; PROVIDED: NONE



06/08/2018



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TBP FIRM REGISTRATION NO. F-8440
P.O. BOX 294527 • LEWISVILLE, TEXAS • 75029
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BUTLER DEVELOPMENT
SAMUEL C. NEILL SURVEY
ABSTRACT 1159, TRACT 23
4.00 ACRES
CITY OF MANSFIELD
TARRANT COUNTY, TEXAS

LANDSCAPE PLANTING

EXHIBIT D
ZC#18-016

DRAWN: KDB

DATE: 5/23/2018

HEI #: 18-105

SHEET NO:
1 OF 2

PLANTING SPECIFICATIONS

GENERAL

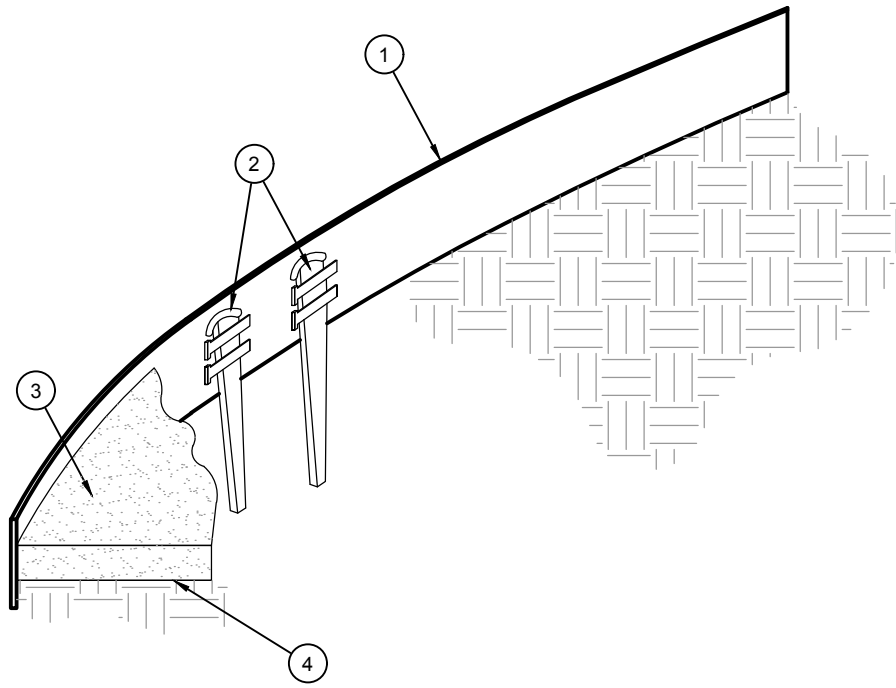
- A. QUALIFICATIONS OF LANDSCAPE CONTRACTOR
1. ALL LANDSCAPE WORK SHOWN ON THESE PLANS SHALL BE PERFORMED BY A SINGLE FIRM SPECIALIZING IN LANDSCAPE PLANTING.
 2. A LIST OF SUCCESSFULLY COMPLETED PROJECTS OF THIS TYPE, SIZE AND NATURE MAY BE REQUESTED BY THE OWNER FOR FURTHER QUALIFICATION MEASURES.
 3. THE LANDSCAPE CONTRACTOR SHALL HOLD A VALID NURSERY AND FLORAL CERTIFICATE ISSUED BY THE TEXAS DEPARTMENT OF AGRICULTURE AS WELL AS OPERATE UNDER A COMMERCIAL PESTICIDE APPLICATOR LICENSE ISSUED BY EITHER THE TEXAS DEPARTMENT OF AGRICULTURE OR THE TEXAS STRUCTURAL PEST CONTROL BOARD.
- B. SCOPE OF WORK
1. WORK COVERED BY THESE SECTIONS INCLUDES THE FURNISHING AND PAYMENT OF ALL MATERIALS, LABOR, SERVICES, EQUIPMENT, LICENSES, TAXES AND ANY OTHER ITEMS THAT ARE NECESSARY FOR THE EXECUTION, INSTALLATION AND COMPLETION OF ALL WORK, SPECIFIED HEREIN AND / OR SHOWN ON THE LANDSCAPE PLANS, NOTES, AND DETAILS.
 2. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE LAWS, CODES AND REGULATIONS REQUIRED BY AUTHORITIES HAVING JURISDICTION OVER SUCH WORK, INCLUDING ALL INSPECTIONS AND PERMITS REQUIRED BY FEDERAL, STATE AND LOCAL AUTHORITIES IN SUPPLY, TRANSPORTATION AND INSTALLATION OF MATERIALS.
 3. THE LANDSCAPE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UNDERGROUND UTILITY LINES (WATER, SEWER, ELECTRICAL, TELEPHONE, GAS, CABLE, TELEVISION, ETC.) PRIOR TO THE START OF ANY WORK.

PRODUCTS

- A. ALL MANUFACTURED PRODUCTS SHALL BE NEW.
- B. CONTAINER AND BALLED-AND-BURLAPPED PLANTS:
1. FURNISH NURSERY-GROWN PLANTS COMPLYING WITH ANSI Z60.1-2004. PROVIDE WELL-SHAPED, FULLY BRANCHED, HEALTHY, VIGOROUS STOCK FREE OF DISEASE, INSECTS, EGGS, LARVAE, AND DEFECTS SUCH AS KNOTS, SUN SCALD, INJURIES, ABRASIONS, AND DISFIGUREMENT. ALL PLANTS WITHIN A SPECIES SHALL HAVE SIMILAR SIZE, AND SHALL BE OF A FORM TYPICAL FOR THE SPECIES. ALL TREES SHALL BE OBTAINED FROM SOURCES WITHIN 200 MILES OF THE PROJECT SITE, AND WITH SIMILAR CLIMATIC CONDITIONS.
 2. ROOT SYSTEMS SHALL BE HEALTHY, DENSELY BRANCHED ROOT SYSTEMS, NON-POT-BOUND, FREE FROM ENCIRCLING AND/OR GIRDLING ROOTS, AND FREE FROM ANY OTHER ROOT DEFECTS (SUCH AS J-SHAPED ROOTS).
 3. ANY PLANT DEEMED UNACCEPTABLE BY THE LANDSCAPE ARCHITECT OR OWNER SHALL BE IMMEDIATELY REMOVED FROM THE SITE AND SHALL BE REPLACED WITH AN ACCEPTABLE PLANT OF LIKE TYPE AND SIZE AT THE CONTRACTOR'S OWN EXPENSE. ANY PLANTS APPEARING TO BE UNHEALTHY, EVEN IF DETERMINED TO STILL BE ALIVE, SHALL NOT BE ACCEPTED. THE LANDSCAPE ARCHITECT AND OWNER SHALL BE THE SOLE JUDGES AS TO THE ACCEPTABILITY OF PLANT MATERIAL.
 4. ALL TREES SHALL BE STANDARD IN FORM, UNLESS OTHERWISE SPECIFIED. TREES WITH CENTRAL LEADERS WILL NOT BE ACCEPTED IF LEADER IS DAMAGED OR REMOVED. PRUNE ALL DAMAGED TWIGS AFTER PLANTING.
 5. CALIPER MEASUREMENTS FOR STANDARD (SINGLE TRUNK) TREES SHALL BE AS FOLLOWS: SIX INCHES ABOVE THE ROOT FLARE FOR TREES UP TO AND INCLUDING FOUR INCHES IN CALIPER, AND TWELVE INCHES ABOVE THE ROOT FLARE FOR TREES EXCEEDING FOUR INCHES IN CALIPER.
 6. MULTI-TRUNK TREES SHALL BE MEASURED BY THEIR OVERALL HEIGHT, MEASURED FROM THE TOP OF THE ROOT BALL.
 7. ANY TREE OR SHRUB SHOWN TO HAVE EXCESS SOIL PLACED ON TOP OF THE ROOT BALL, SO THAT THE ROOT FLARE HAS BEEN COMPLETELY COVERED, SHALL BE REJECTED.
- C. SOD: PROVIDE WELL-ROOTED SOD OF THE VARIETY NOTED ON THE PLANS. SOD SHALL BE CUT FROM HEALTHY, MATURE TURF WITH SOIL THICKNESS OF 3/4" TO 1". EACH PALLET OF SOD SHALL BE ACCOMPANIED BY A CERTIFICATE FROM SUPPLIER STATING THE COMPOSITION OF THE SOD.
- D. SEED: PROVIDE BLEND OF SPECIES AND VARIETIES AS NOTED ON THE PLANS, WITH MAXIMUM PERCENTAGES OF PURITY, GERMINATION, AND MINIMUM PERCENTAGE OF WEED SEED AS INDICATED ON PLANS. EACH BAG OF SEED SHALL BE ACCOMPANIED BY A TAG FROM THE SUPPLIER INDICATING THE COMPOSITION OF THE SEED.
- E. TOPSOIL: SANDY TO CLAY LOAM TOPSOIL, FREE OF STONES LARGER THAN 1/2 INCH, FOREIGN MATTER, PLANTS, ROOTS, AND SEEDS.
- F. COMPOST: WELL-COMPOSTED, STABLE, AND WEED-FREE ORGANIC MATTER, pH RANGE OF 5.5 TO 8; MOISTURE CONTENT 35 TO 55 PERCENT BY WEIGHT; 100 PERCENT PASSING THROUGH 3/4-INCH SIEVE; SOLUBLE SALT CONTENT OF 5 TO 10 DECISEMENS/M; NOT EXCEEDING 0.5 PERCENT INERT CONTAMINANTS AND FREE OF SUBSTANCES TOXIC TO PLANTINGS. NO MANURE OR OTHER SHARSH MATERIALS SHALL BE USED.
- G. FERTILIZER: GRANULAR FERTILIZER CONSISTING OF NITROGEN, PHOSPHORUS, POTASSIUM, AND OTHER NUTRIENTS IN PROPORTIONS, AMOUNTS, AND RELEASE RATES RECOMMENDED IN A SOIL REPORT FROM A QUALIFIED SOIL-TESTING AGENCY (SEE BELOW).
- H. MULCH: SIZE AND TYPE AS INDICATED ON PLANS. FREE FROM DELETERIOUS MATERIALS AND SUITABLE AS A TOP DRESSING OF TREES AND SHRUBS.
- I. WEED FABRIC: 5 OUNCE, WOVEN, NEEDLE-PUNCHED FABRIC, SUCH AS DEWITT PRO'S LANDSCAPE FABRIC (OR APPROVED EQUAL).
- J. TREE STAKING AND GUYING
1. STAKES: 6' LONG GREEN METAL T-POSTS.
 2. GUY AND TIE WIRE: ASTM A 641, CLASS 1, GALVANIZED-STEEL WIRE, 2-STRAND, TWISTED, 0.106 INCH DIAMETER.
 3. STRAP CHAFING GUARD: REINFORCED NYLON OR CANVAS AT LEAST 1-1/2 INCH WIDE, WITH GROMMETS TO PROTECT TREE TRUNKS FROM DAMAGE.
- K. STEEL EDGING: PROFESSIONAL STEEL EDGING, 14 GAUGE THICK X 4 INCHES WIDE, FACTORY PAINTED DARK GREEN. ACCEPTABLE MANUFACTURERS INCLUDE COL-MET OR APPROVED EQUAL.
- L. PRE-EMERGENT HERBICIDES: ANY GRANULAR, NON-STAINING PRE-EMERGENT HERBICIDE THAT IS LABELED FOR THE SPECIFIC ORNAMENTALS OR TURF ON WHICH IT WILL BE UTILIZED. PRE-EMERGENT HERBICIDES SHALL BE APPLIED PER THE MANUFACTURER'S LABELED RATES.

METHODS

- A. SOIL PREPARATION
1. BEFORE STARTING WORK, THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE GRADE OF ALL LANDSCAPE AREAS ARE WITHIN +0.1' OF FINISH GRADE. THE CONTRACTOR SHALL NOTIFY THE OWNER IMMEDIATELY SHOULD ANY DISCREPANCIES EXIST.
 2. SOIL TESTING:
 - a. AFTER FINISH GRADES HAVE BEEN ESTABLISHED, CONTRACTOR SHALL HAVE SOIL SAMPLES TESTED BY AN ESTABLISHED SOIL TESTING LABORATORY FOR THE FOLLOWING: SOIL TEXTURAL CLASS, GENERAL SOIL FERTILITY, pH, ORGANIC MATTER CONTENT, SALT (EC), LIME, SODIUM ADSORPTION RATIO (SAR) AND BORON CONTENT. EACH SAMPLE SUBMITTED SHALL CONTAIN NO LESS THAN ONE QUART OF SOIL.
 - b. CONTRACTOR SHALL ALSO SUBMIT THE PROJECT'S PLANT LIST TO THE LABORATORY ALONG WITH THE SOIL SAMPLES.
 - c. THE SOIL REPORT PRODUCED BY THE LABORATORY SHALL CONTAIN RECOMMENDATIONS FOR THE FOLLOWING (AS APPROPRIATE): GENERAL SOIL PREPARATION AND BACKFILL MIXES, PRE-PLANT FERTILIZER APPLICATIONS, AND ANY OTHER SOIL RELATED ISSUES. THE REPORT SHALL ALSO PROVIDE A FERTILIZER PROGRAM FOR THE ESTABLISHMENT PERIOD AND FOR LONG-TERM MAINTENANCE.
 3. THE CONTRACTOR SHALL INSTALL SOIL AMENDMENTS AND FERTILIZERS PER THE SOILS REPORT RECOMMENDATIONS. ANY CHANGE IN COST DUE TO THE SOIL REPORT RECOMMENDATIONS, EITHER INCREASE OR DECREASE, SHALL BE SUBMITTED TO THE OWNER WITH THE REPORT.
 4. FOR BIDDING PURPOSES ONLY, THE SOIL PREPARATION SHALL CONSIST OF THE FOLLOWING:
 - a. TURF: INCORPORATE THE FOLLOWING AMENDMENTS INTO THE TOP 8" OF SOIL BY MEANS OF ROTOTILLING AFTER CROSS-RIPPING:
 - i. NITROGEN STABILIZED ORGANIC AMENDMENT - 4 CU. YDS. PER 1,000 S.F.
 - ii. AMMONIUM PHOSPHATE 16-20-0 - 15 LBS PER 1,000 S.F.
 - iii. AGRICULTURAL GYPSUM - 100 LBS PER 1,000 S.F.
 - b. TREES, SHRUBS, AND PERENNIALS: INCORPORATE THE FOLLOWING AMENDMENTS INTO THE TOP 8" OF SOIL BY MEANS OF ROTOTILLING AFTER CROSS-RIPPING:
 - i. NITROGEN STABILIZED ORGANIC AMENDMENT - 4 CU. YDS. PER 1,000 S.F.
 - ii. 12-12-12 FERTILIZER - 10 LBS. PER CU. YD.
 - iii. AGRICULTURAL GYPSUM - 10 LBS. PER CU. YD.
 - iv. IRON SULPHATE - 2 LBS. PER CU. YD.
 5. CONTRACTOR SHALL ENSURE THAT THE GRADE IN SOD AREAS SHALL BE 1" BELOW FINISH GRADE BEFORE INSTALLING SOIL AMENDMENTS, AND 2" BELOW FINISH GRADE IN SHRUB AREAS BEFORE INSTALLING SOIL AMENDMENTS. MULCH OR CONCRETE WALKS AND CURBS SHALL NOT PROTRUDE ABOVE THE FINISH SURFACE OF THE WALKS AND CURBS. MULCH COVER WITHIN 12" OF WALLS SHALL BE AT LEAST 3" LOWER THAN THE TOP OF WALL.
 6. ONCE SOIL PREPARATION IS COMPLETE, THE LANDSCAPE CONTRACTOR SHALL ENSURE THAT THERE ARE NO DEBRIS, TRASH, OR STONES LARGER THAN 1" REMAINING IN THE TOP 8" OF SOIL.
- B. GENERAL PLANTING
1. REMOVE ALL NURSERY TAGS AND STAKES FROM PLANTS.
 2. EXCEPT IN AREAS TO BE PLANTED WITH ORNAMENTAL GRASSES, APPLY PRE-EMERGENT HERBICIDES AT THE MANUFACTURER'S RECOMMENDED RATE.
 3. TRENCING NEAR EXISTING TREES:
 - a. CONTRACTOR SHALL NOT DISTURB ROOTS 1-1/2" AND LARGER IN DIAMETER WITHIN THE CRITICAL ROOT ZONE (CRZ) OF EXISTING TREES, AND SHALL EXERCISE ALL POSSIBLE CARE AND PRECAUTIONS TO AVOID INJURY TO TREE ROOTS, TRUNKS, AND BRANCHES. THE CRZ IS DEFINED AS A CIRCULAR AREA EXTENDING OUTWARD FROM THE TREE TRUNK, WITH A RADIUS EQUAL TO 1" FOR EVERY 1" OF TRUNK DIAMETER-AT-BREAST-HEIGHT (4.5' ABOVE THE AVERAGE GRADE AT THE TRUNK).
 - b. ALL EXCAVATION WITHIN THE CRZ SHALL BE PERFORMED USING HAND TOOLS. NO MACHINE EXCAVATION OR TRENCING WITHIN THE CRZ.
 - c. ALTER ALIGNMENT OF PIPE TO AVOID TREE ROOTS 1-1/2" AND LARGER IN DIAMETER. WHERE TREE ROOTS 1-1/2" AND LARGER IN DIAMETER ARE ENCOUNTERED IN THE FIELD, TUNNEL UNDER SUCH ROOTS. WRAP EXPOSED ROOTS WITH SEVERAL LAYERS OF BURLAP AND KEEP MOIST. CLOSE ALL TRENCHES WITHIN THE CANOPY DRIP LINES WITHIN 24 HOURS.
 - d. ALL SEVERED ROOTS SHALL BE HAND PRUNED WITH SHARP TOOLS AND ALLOWED TO AIR-DRY. DO NOT USE ANY SORT OF SEALERS OR WOUND PAINTS.
- C. TREE PLANTING
1. TREE PLANTING HOLES SHALL BE EXCAVATED TO MINIMUM WIDTH OF TWO TIMES THE WIDTH OF THE ROOTBALL, AND TO A DEPTH EQUAL TO THE DEPTH OF THE ROOTBALL LESS TWO TO FOUR INCHES.
 2. SCARIFY THE SIDES AND BOTTOM OF THE PLANTING HOLE PRIOR TO THE PLACEMENT OF THE TREE. REMOVE ANY GLAZING THAT MAY HAVE BEEN CAUSED DURING THE EXCAVATION OF THE HOLE.
 3. FOR CONTAINER AND BOX TREES, TO REMOVE ANY POTENTIALLY GIRDLING ROOTS AND OTHER ROOT DEFECTS, THE CONTRACTOR SHALL SHAVE A 1" LAYER OFF OF THE SIDES AND BOTTOM OF THE ROOTBALL OF ALL TREES JUST BEFORE PLACING INTO THE PLANTING PIT. DO NOT "TEASE" ROOTS OUT FROM THE ROOTBALL.
 4. INSTALL THE TREE ON UNDISTURBED SUBGRADE SO THAT THE TOP OF THE ROOTBALL IS TWO TO FOUR INCHES ABOVE THE SURROUNDING GRADE.
 5. BACKFILL THE TREE HOLE UTILIZING THE EXISTING TOPSOIL FROM ON-SITE. ROCKS LARGER THAN 1" DIA. AND ALL OTHER DEBRIS SHALL BE REMOVED FROM THE SOIL PRIOR TO THE BACKFILL. SHOULD ADDITIONAL SOIL BE REQUIRED TO ACCOMPLISH THIS TASK, USE STORED TOPSOIL FROM ON-SITE OR IMPORT ADDITIONAL TOPSOIL FROM OFF-SITE AT NO ADDITIONAL COST TO THE OWNER. IMPORTED TOPSOIL SHALL BE OF SIMILAR TEXTURAL CLASS AND COMPOSITION IN THE ON-SITE SOIL.
 6. THE TOTAL NUMBER OF TREE STAKES (BEYOND THE MINIMUMS LISTED BELOW) WILL BE LEFT TO THE LANDSCAPE CONTRACTOR'S DISCRETION. SHOULD ANY TREES FALL OR LEAN, THE LANDSCAPE CONTRACTOR SHALL STRAIGHTEN THE TREE, OR REPLACE IT SHOULD IT BECOME DAMAGED. TREE STAKING SHALL ADHERE TO THE FOLLOWING GUIDELINES:
 - a. 1-2" TREES TWO STAKES PER TREE
 - b. 2-1/2"-4" TREES THREE STAKES PER TREE
 - c. TREES OVER 4" CALIPER GUY AS NEEDED
 - d. MULTI-TRUNK TREES THREE STAKES PER TREE MINIMUM, QUANTITY AND POSITIONS AS NEEDED TO STABILIZE THE TREE
 7. UPON COMPLETION OF PLANTING, CONSTRUCT AN EARTH WATERING BASIN AROUND THE TREE. COVER THE INTERIOR OF THE BASIN WITH MULCH (TYPE AND DEPTH PER PLANS).
- D. SHRUB, PERENNIAL, AND GROUND COVER PLANTING
1. DIG THE PLANTING HOLES TWICE AS WIDE AND 2" LESS DEEP THAN EACH PLANT'S ROOTBALL. INSTALL THE PLANT IN THE HOLE. BACKFILL AROUND THE PLANT WITH AMENDED PER SOIL TEST RECOMMENDATIONS.
 2. WHEN PLANTING IS COMPLETE, INSTALL MULCH (TYPE AND DEPTH PER PLANS) OVER ALL PLANTING BEDS, COVERING THE ENTIRE PLANTING AREA.
- E. SODDING
1. SOD VARIETY TO BE AS SPECIFIED ON THE LANDSCAPE PLAN.
 2. LAY SOD WITHIN 24 HOURS FROM THE TIME OF STRIPPING. DO NOT LAY IF THE GROUND IS FROZEN.
 3. LAY THE SOD TO FORM A SOLID MASS WITH TIGHTLY FITTED JOINTS. BUTT ENDS AND SIDES OF SOD STRIPS - DO NOT OVERLAP. STAGGER STRIPS TO OFFSET JOINTS IN ADJACENT COURSES.
 4. ROLL THE SOD TO ENSURE FULL CONTACT OF THE SOD'S ROOT SYSTEM WITH THE SOIL UNDERNEATH.
 5. WATER THE SOD THOROUGHLY WITH A FINE SPRAY IMMEDIATELY AFTER PLANTING TO OBTAIN AT LEAST SIX INCHES OF PENETRATION INTO THE SOIL BELOW THE SOD.
- F. HYDROMULCHING
1. TURF HYDROMULCH MIX (PER 1,000 SF) SHALL BE AS FOLLOWS:
 - a. WINTER MIX (OCTOBER 1 - MARCH 31)
 - 50# CELLULOSE FIBER MULCH
 - 2# UNHULLED BERMUDA SEED
 - 2# ANNUAL RYE SEED
 - b. SUMMER MIX (APRIL 1 - SEPTEMBER 30)
 - 50# CELLULOSE FIBER MULCH
 - 2# HULLED BERMUDA SEED
 2. SEED HYDROMULCH MIX (PER 1,000 SF) SHALL BE AS FOLLOWS:
 - a. GENERAL
 - 50# CELLULOSE FIBER MULCH
 - 15# 15-15-15 WATER SOLUBLE FERTILIZER
 - b. SEED RATE PER LEGEND
- G. DRILL SEEDING
1. ALL SEED SHALL BE DRILL SEEDDED AT THE RATES SHOWN ON THE PLANS, WITH A HYDROMULCH MIX APPLIED AFTER SEEDING.
 2. THE HYDROMULCH MIX (PER 1,000 SF) SHALL BE AS FOLLOWS:
 - a. 50# CELLULOSE FIBER MULCH
 - 15# 15-15-15 WATER SOLUBLE FERTILIZER
 - 4# ORGANIC BINDER
- H. CLEAN UP
1. DURING LANDSCAPE PREPARATION AND PLANTING, KEEP ALL PAVEMENT CLEAN AND ALL WORK AREAS IN A NEAT, ORDERLY CONDITION.
 2. DISPOSED LEGALLY OF ALL EXCAVATED MATERIALS OFF THE PROJECT SITE.
- I. INSPECTION AND ACCEPTANCE
1. UPON COMPLETION OF THE WORK, THE LANDSCAPE CONTRACTOR SHALL PROVIDE THE SITE CLEAN, FREE OF DEBRIS AND TRASH, AND READY FOR USE AS INTENDED. THE LANDSCAPE CONTRACTOR SHALL THEN REQUEST AN INSPECTION BY THE OWNER TO DETERMINE FINAL ACCEPTABILITY.
 2. WHEN THE INSPECTED PLANTING WORK DOES NOT COMPLY WITH THE CONTRACT DOCUMENTS, THE LANDSCAPE CONTRACTOR SHALL REPLACE AND/OR REPAIR THE REJECTED WORK TO THE OWNER'S SATISFACTION WITHIN 24 HOURS.
 3. THE LANDSCAPE MAINTENANCE PERIOD WILL NOT COMMENCE UNTIL THE LANDSCAPE WORK HAS BEEN RE-INSPECTED BY THE OWNER AND FOUND TO BE ACCEPTABLE. AT THAT TIME, A WRITTEN NOTICE OF FINAL ACCEPTANCE WILL BE ISSUED BY THE OWNER, AND THE MAINTENANCE AND GUARANTEE PERIODS WILL COMMENCE.
- J. LANDSCAPE MAINTENANCE
1. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL WORK SHOWN ON THESE PLANS FOR 90 DAYS BEYOND FINAL ACCEPTANCE OF ALL LANDSCAPE WORK BY THE OWNER. LANDSCAPE MAINTENANCE SHALL INCLUDE WEEKLY SITE VISITS FOR THE FOLLOWING ACTIONS (AS APPROPRIATE): PROPER PRUNING, RESTAKING OF TREES, RESETTNG OF PLANTS THAT HAVE SETTLED, MOWING AND AERATION OF LAWNS, WEEDING, RESEEDING AREAS WHICH HAVE NOT GERMINATED WELL, TREATING FOR INSECTS AND DISEASES, REPLACEMENT OF MULCH, REMOVAL OF LITTER, REPAIRS TO THE IRRIGATION SYSTEM DUE TO FAULTY PARTS AND/OR WORKMANSHIP, AND THE APPROPRIATE WATERING OF ALL PLANTINGS. THE LANDSCAPE CONTRACTOR SHALL MAINTAIN THE IRRIGATION SYSTEM IN PROPER WORKING ORDER, WITH SCHEDULING ADJUSTMENTS BY SEASON TO MAXIMIZE WATER CONSERVATION.
 2. SHOULD SEEDDED AND/OR SODDED AREAS NOT BE COVERED BY AN AUTOMATIC IRRIGATION SYSTEM, THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR WATERING THESE AREAS AND OBTAINING A FULL, HEALTHY STAND OF GRASS AT NO ADDITIONAL COST TO THE OWNER.
 3. TO ACHIEVE FINAL ACCEPTANCE AT THE END OF THE MAINTENANCE PERIOD, ALL OF THE FOLLOWING CONDITIONS MUST OCCUR:
 - a. THE LANDSCAPE SHALL SHOW ACTIVE, HEALTHY GROWTH (WITH EXCEPTIONS MADE FOR SEASONAL DORMANCY); ALL PLANTS NOT MEETING THIS CONDITION SHALL BE REJECTED AND REPLACED BY HEALTHY PLANT MATERIAL PRIOR TO FINAL ACCEPTANCE.
 - b. ALL HARDSCAPE SHALL BE CLEANED PRIOR TO FINAL ACCEPTANCE.
 - c. SODDED AREAS MUST BE ACTIVELY GROWING AND MUST REACH A MINIMUM HEIGHT OF 1 1/2 INCHES BEFORE FIRST MOWING. HYDROMULCHED AREAS SHALL SHOW ACTIVE, HEALTHY GROWTH. BARE AREAS LARGER THAN TWELVE SQUARE INCHES MUST BE RESEDED OR RESEEDDED (AS APPROPRIATE) PRIOR TO FINAL ACCEPTANCE. ALL SODDED TURF SHALL BE NEATLY MOWED.
- K. WARRANTY PERIOD, PLANT GUARANTEE AND REPLACEMENTS
1. THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL TREES, SHRUBS, PERENNIALS, SOD, SEEDDED/HYDROMULCHED AREAS, AND IRRIGATION SYSTEMS FOR A PERIOD OF ONE YEAR FROM THE DATE OF THE OWNER'S FINAL ACCEPTANCE (90 DAYS FOR ANNUAL PLANTS). THE CONTRACTOR SHALL REPLACE, AT HIS OWN EXPENSE AND TO THE SATISFACTION OF THE OWNER, ANY PLANTS WHICH DIE IN THAT TIME, OR REPAIR ANY PORTIONS OF THE IRRIGATION SYSTEM WHICH OPERATE IMPROPERLY.
 2. AFTER THE INITIAL MAINTENANCE PERIOD AND DURING THE GUARANTEE PERIOD, THE LANDSCAPE CONTRACTOR SHALL ONLY BE RESPONSIBLE FOR REPLACEMENT OF PLANTS WHEN PLANT DEATH CANNOT BE ATTRIBUTED DIRECTLY TO OVERWATERING OR OTHER DAMAGE BY HUMAN ACTIONS.
- L. PROVIDE A MINIMUM OF (2) COPIES OF RECORD DRAWINGS TO THE OWNER UPON COMPLETION OF WORK. A RECORD DRAWING IS A RECORD OF ALL CHANGES THAT OCCURRED IN THE FIELD AND THAT ARE DOCUMENTED THROUGH CHANGE ORDERS, ADDENDA, OR CONTRACTOR/CONSULTANT DRAWING MARKUPS.

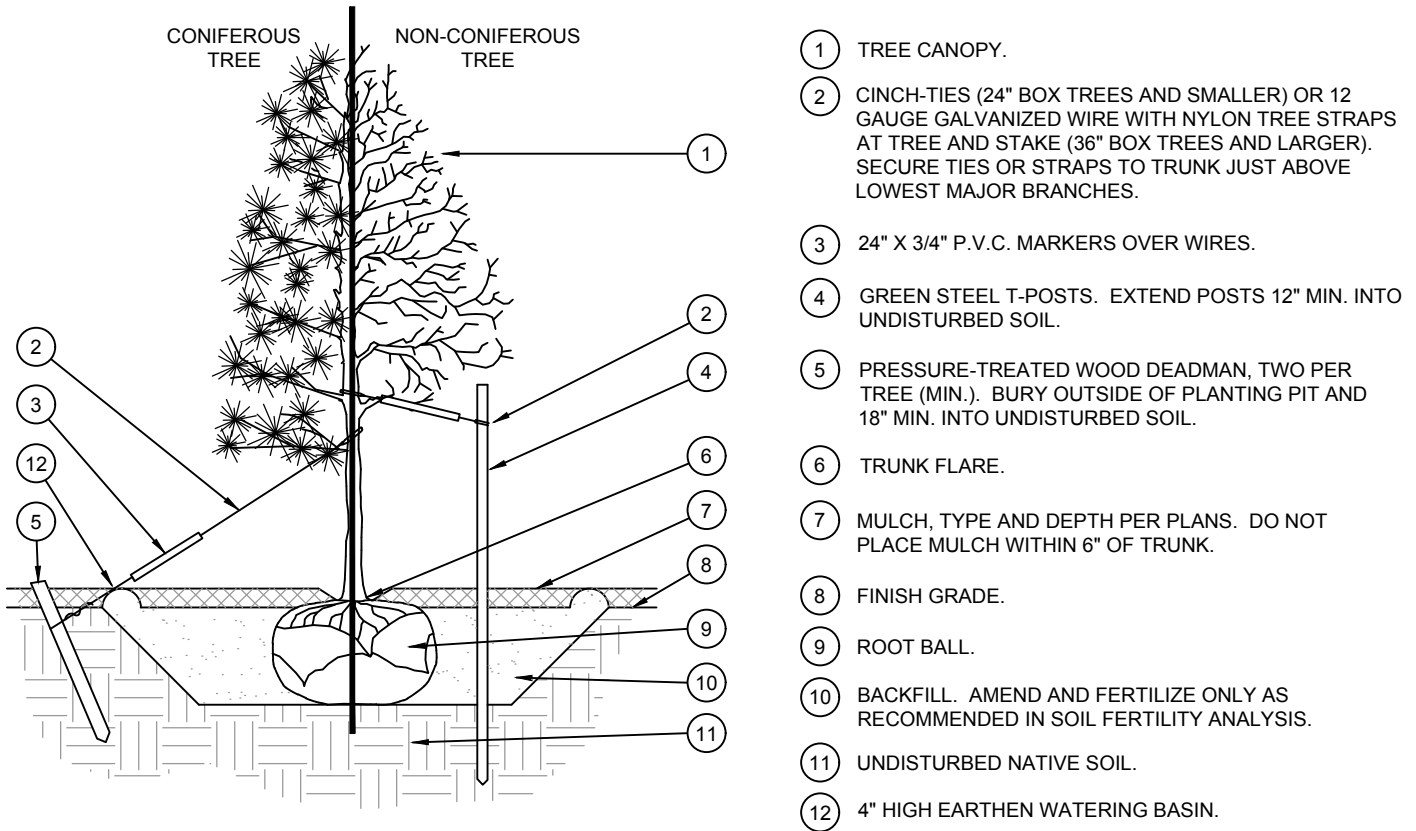


1. ROLLED-TOP STEEL EDGING PER PLANS.
2. TAPERED STEEL STAKES.
3. MULCH, TYPE AND DEPTH PER PLANS.
4. FINISH GRADE.

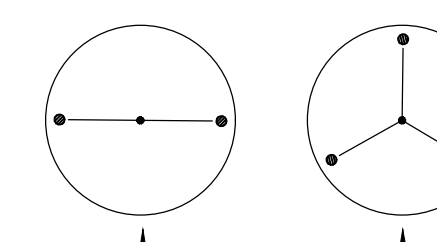
NOTES:
1) INSTALL EDGING SO THAT STAKES WILL BE ON INSIDE OF PLANTING BED.
2) BOTTOM OF EDGING SHALL BE BURIED A MINIMUM OF 1" BELOW FINISH GRADE.
3) TOP OF MULCH SHALL BE 1" LOWER THAN TOP OF EDGING.

D STEEL EDGING

SCALE: NOT TO SCALE

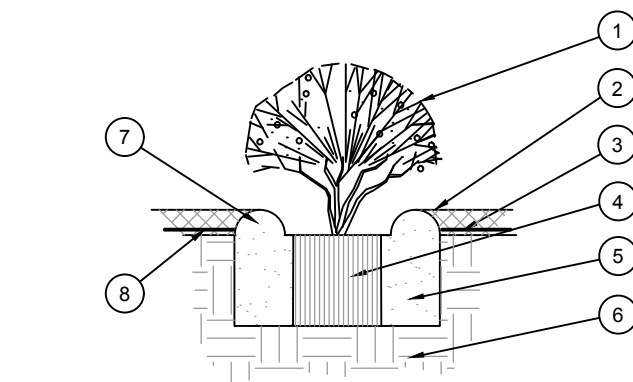


STAKING EXAMPLES (PLAN VIEW)



A TREE PLANTING

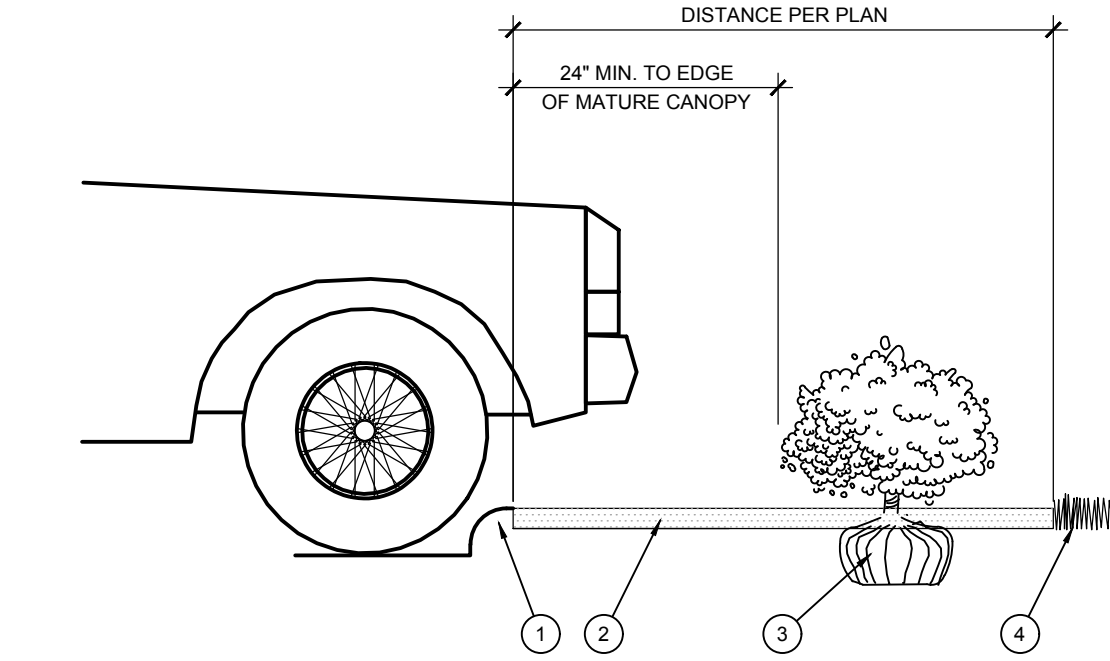
SCALE: NOT TO SCALE



1. SHRUB, PERENNIAL, OR ORNAMENTAL GRASS.
2. MULCH, TYPE AND DEPTH PER PLANS. PLACE NO MORE THAN 1" OF MULCH WITHIN 6" OF PLANT CENTER.
3. FINISH GRADE.
4. ROOT BALL.
5. BACKFILL. AMEND AND FERTILIZE ONLY AS RECOMMENDED IN SOIL FERTILITY ANALYSIS.
6. UNDISTURBED NATIVE SOIL.
7. 3" HIGH EARTHEN WATERING BASIN.
8. WEED FABRIC UNDER MULCH.

B SHRUB AND PERENNIAL PLANTING

SCALE: NTS



1. CURB.
2. MULCH LAYER.
3. PLANT.
4. TURF (WHERE SHOWN ON PLAN).

C HEDGE PLANTING AT PARKING AREA

SCALE: NOT TO SCALE

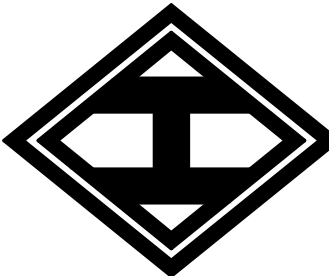


06/08/2018



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CITY OF MANSFIELD
TARRANT COUNTY, TEXAS

**LANDSCAPE
DETAILS
& SPECS**

**EXHIBIT D
ZC#18-016**

DRAWN: KDB

DATE: 5/23/2018

HEI #: 18-105

**SHEET NO:
2 OF 2**

Summary of City Council Actions

June 11, 2018

Continuation of a Second Reading of an Ordinance approving a zoning change from PR, Pre-Development District and SF-12/22, Single-Family Residential District to PD, Planned Development District for single-family residential uses on approximately 68.543 acres out of the James McDonald Survey, Abstract No. 997, Tarrant County, Texas, generally located west of Gertie Barrett Road and north of Linda Jobe Middle School on property addressed at 2789 Gertie Barrett Road; Felix Wong (ZC#18-010)

Approved 4 – 3 (Lewis, Leyman and Moore) with a stipulation that the applicant get TxDot approval before building internal streets; and that the small lots be enlarged to 9,000 sq.ft. with 2,400 sq.ft. homes

Third and Final Reading of an Ordinance approving a change of zoning from C-2 Community Business District to PD Planned Development District for C-2 uses on approximately 11.867 acres located at 1200 FM 157; Pete Shopp, Mouser Electronics (ZC#18-009)

Approved 7 – 0

Public Hearing and First Reading of an Ordinance approving a change of zoning from PR Pre-Development District to PD Planned Development District for single-family residential uses on approximately 15.08 acres situated in the A.N. Curry Survey, Abstract #332 and the Henry Brandenburg Survey, Abstract #129, generally located on the west side of Day Miar Road and the south side of Grand Meadow Boulevard; Noah Flabiano of Skorburg Company on behalf of Patricia A. Albright and Johnson Collins (ZC#18-014)

Approved 5 – 2 (Leyman and Moore)

Public Hearing and First Reading of an Ordinance approving a change of zoning from C-2 Community Business District to PD Planned Development District for Senior Living Uses on property known as Lots 6-9, Block 1, Matlock Center Addition and approximately 4.15 acres out of the Henry McGhee Survey, Abstract #998, totaling 6.56 acres located at 1107-1110 Alexis Court, 1701 Country Club Drive and 2273 Matlock Road; Felix Wong on behalf of Kingdom Work Foundation (ZC#18-015)

Motion to approve failed – 2 – 5 (Leyman and Short)

Consideration of a request to revise the Development Standards for Mill Valley to eliminate the minimum front facing attached garage setback requirement for property generally located between S. Matlock Road and SH 360, and south of Harmon Road; Jabez Development (ZC#16-010A)

Approved 6 – 1 (Newsom)