

## AGENDA

### PLANNING AND ZONING COMMISSION CITY OF MANSFIELD, TEXAS CITY HALL COUNCIL CHAMBERS MONDAY, JUNE 17, 2019, 6:30 PM

#### 1. CALL TO ORDER

#### 2. APPROVAL OF LAST MEETING MINUTES

3. **CITIZEN COMMENTS:** Citizens wishing to address the Commission on non-public hearing agenda items and items not on the agenda may do so at this time. Once the business portion of the meeting begins, only comments related to public hearings will be heard. All comments are limited to 5 minutes. Please refrain from “personal criticisms”.

In order to be recognized during the “Citizens Comments” **or** during a public hearing (applicants included), please complete a yellow “Appearance Card” located at the entry to the Chambers and present it to the Planning Secretary.

#### 4. PUBLIC HEARINGS:

- A. ZC#19-005: Public hearing for a change of zoning from PR Pre-Development District and C-2 Community Business District to PD Planned Development District for single-family residential, multi-family residential, senior living, and C-2 community business uses on approximately 76.734 acres out of the S. S. Callender Survey, Abstract No. 359, Tarrant County, TX, generally located on the east sides of FM 157 and House Rd, the north side of Mouser Way, and west of Towne Crossing and Cedar Point
- B. ZC#19-007: Public hearing for a change of zoning from PD Planned Development District to PD Planned Development District for retail, restaurant, and other commercial uses, to also include an auto repair garage on approximately 0.71 acres located at 3121 E. Broad St.

#### 5. COMMISSION ANNOUNCEMENTS

#### 6. STAFF ANNOUNCEMENTS

#### 7. ADJOURNMENT OF MEETING

#### 8. NEXT MEETING DATE: July 1, 2019

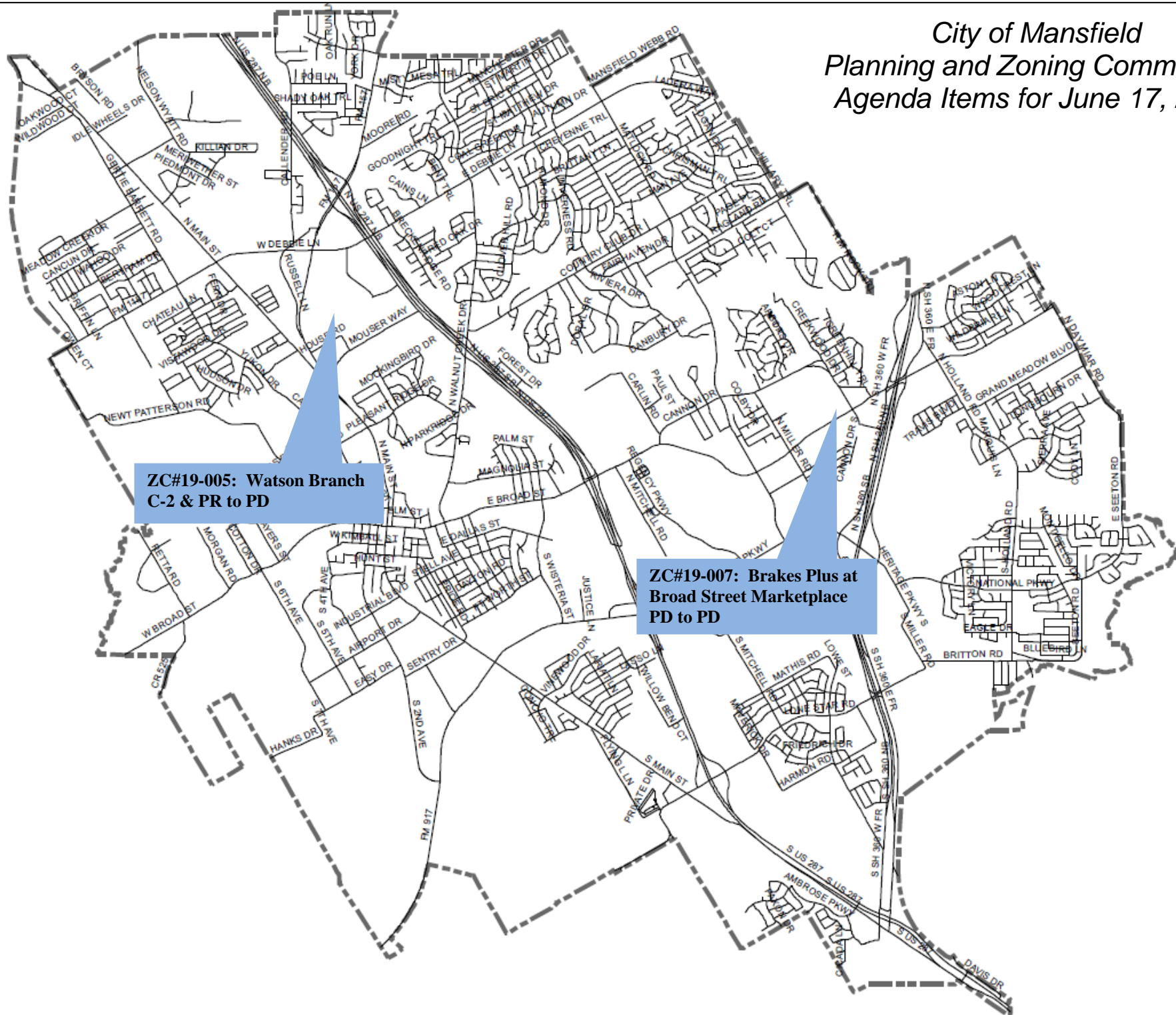
I certify that the above agenda was posted on the bulletin board next to the main entrance of City Hall on **Thursday, June 13, 2019**, in accordance with Chapter 551 of the Texas Government Code.

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Delia Jones, Planning and Zoning Secretary

- This building is wheelchair accessible. Disabled parking spaces are available. Request for sign interpreter services must be made 48 hours ahead of meeting to make arrangements. Call 817 473-0211 or TDD 1-800-RELAY TX, 1-800-735-2989.
- In deciding a zoning change application, the Planning & Zoning Commission and City Council are required to determine the highest and best use of the property in question. The Commission may recommend and the Council may approve a change in zoning to the category or district requested by the applicant or to any zoning category or district of lesser intensity. Notice is presumed sufficient for every District up to the intensity set forth in the zoning change application.

*City of Mansfield  
Planning and Zoning Commission  
Agenda Items for June 17, 2019*



**ZC#19-005: Watson Branch  
C-2 & PR to PD**

**ZC#19-007: Brakes Plus at  
Broad Street Marketplace  
PD to PD**

**PLANNING & ZONING COMMISSION MEETING  
CITY OF MANSFIELD**

**June 3, 2019**

Chairman Wilshire called the meeting to order at 6:33 p.m. in the Council Chambers of City Hall, 1200 East Broad Street, with the meeting being open to the public and notice of said meeting, giving date, place, and subject thereof, having been posted as prescribed by Chapter 551, Texas Government Code.

**Present:**

Wayne Wilshire	Chairman
Cory Smithee	Vice-Chairman
Kent Knight	Commissioner
Robert Klenzendorf	Commissioner
Andrew Papp	Commissioner
Tamera Bounds	Commissioner

**Absent:**

None

**Staff:**

Art Wright	Planner
Delia Jones	Planning & Zoning Secretary

Before calling the meeting to order, Chairman Wilshire and Commissioners observed a moment of silence in remembrance of Commissioner Neuman and his years of dedicated service to the City of Mansfield.

**Call to Order**

Chairman Wilshire called the meeting to order at 6:33 p.m.

**Minutes**

Chairman Wilshire called for approval of the May 20, 2019, minutes. Commissioner Bounds made a motion to approve the minutes. Commissioner Papp seconded the motion which carried by the following vote:

**Ayes: 6** – Wilshire, Smithee, Knight, Papp, Klenzendorf and Bounds

**Nays: 0**

**Abstain: 0**

**Citizen Comments**

None

**Consent Agenda**

**SD#17-030: Final Plat of The Oaks Preserve, Phase 1**

Commissioner Knight made a motion to approve the plat as presented. Commissioner Klenzendorf seconded the motion which carried by the following vote:

**Ayes: 6** – Wilshire, Smithee, Knight, Papp, Klenzendorf and Bounds

**Nays: 0**

**Abstain: 0**

**Commissioner Announcements**

Commissioner Papp stated that he will be on vacation beginning next week and will miss the next three meetings. All Commissioners requested that they be notified regarding funeral arrangements for Commissioner Neuman.

**Staff Announcements**

None

### **Adjournment**

Vice-Chairman Smithee made a motion to adjourn the meeting. Commissioner Knight seconded the motion which carried by the following vote:

**Ayes: 6** – Wilshire, Smithee, Knight, Klenzendorf, Papp and Bounds

**Nays: 0**

**Abstain: 0**

With no further business, Chairman Wilshire adjourned the meeting at 6:40 p.m.

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Wayne Wilshire, Chairman

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Delia Jones, Planning & Zoning Secretary



## **PLANNING AND ZONING COMMUNICATION**

Agenda: June 17, 2019

Subject: ZC#19-005: Public hearing for a change of zoning from PR Pre-Development District and C-2 Community Business District to PD Planned Development District for single-family residential, multi-family residential, senior living, and C-2 community business uses on approximately 76.734 acres out of the S. S. Callender Survey, Abstract No. 359, Tarrant County, TX, generally located on the east sides of FM 157 and House Rd, the north side of Mouser Way, and west of Towne Crossing and Cedar Point

### **GENERAL INFORMATION**

Applicant:	Tim Coltart of Realty Capital Management, LLC (developer) Glenn Day (owner) Elizabeth Jean Day Cooper (owner) Mary Angelyn D. Englert (owner) Margaret Samson (owner) Kathy Fox Powell on behalf of Sowell Property Partners – Mansfield, LP (owner) Dan Quinto of Roaring Brook Development Co. (planning consultant)
Size:	76.734 acres
Proposed Use:	Single-family residential, multi-family residential, senior living, and C-2 community business
Existing Land Use:	Vacant land; single-family residential
Surrounding Land Use & Zoning:	North - Vacant land (C-2) South – Retail/office/service, vacant land, and single-family residential (C-2 & PR); Mouser Way; Office/distribution/warehouse, single-family residential, vacant land, and gas well site (PD, C-2, and SF-12/22 with SUP) across the street East - Multi-family residential (MF-2 and PD); TRWD line and regional shopping center (C-2) West - Single-family residential (PR); FM 157; Single-family residential and vacant land (PR & C-2) across the street
Thoroughfare Plan Specification:	FM 157 – Principal Arterial (six-lane undivided) Mouser Way – Major Collector (four-lane undivided)

## **COMMENTS AND CONSIDERATIONS**

The subject property consists of 76.734 acres on the east sides of FM 157 and House Road, the north side of Mouser Way, and west of the Towne Crossing and Cedar Point apartment complexes. The property is currently vacant land. The applicant is requesting to re-zone the property from C-2 Community Business District and PR Pre-Development District to PD Planned Development District for a mixed-use development including single-family residential, multi-family residential, senior living, and C-2 community business uses.

### **Planned Development Standards**

The applicant intends to develop a high quality mixed-use development called Watson Branch, which is designed to further enhance the FM 157 corridor just north of Mouser Electronics, the Main Street Lofts, and downtown, and near the location of a future signalized intersection with the Main Street-FM 157 connector. While the developer plans to provide a small commercial area (and intends to include two restaurants), the development is intended to provide primarily for high-quality urban-style multi-family residences (with the Main Street Lofts serving as the minimum standard for architectural design and quality) and an array of unique single-family home products. The multi-family component will include both market and senior living units. In addition, the development will include an open space corridor slated to include a regional trail. While the maximum number of residential units (1400) could allow a gross density up to 18 dwelling units per acre, the applicant intends to provide a density closer to 14 units per acre.

### **Zones:**

The planned development standards call for the property to be broken into four different zones. Zones 1 and 2, comprising 28.8 acres, are located in the northwestern portion of the property and have frontage along FM 157. Zone 1 is intended primarily for multi-family residential uses and the commercial component of the development. Zone 2 is intended primarily for the senior living component of the development. Zone 3, comprising 45.7 acres, is situated in the central portion of the property and is intended primarily for single-family residential uses. Lastly, Zone 4, comprising the easternmost 3.5 acres of the property, is separated from the balance of the property by floodplain and land uses are unspecified, but could include single-family residential, commercial, or civic uses.

### **Permitted Uses:**

While the zones outline the intended separation of land uses on the property, the permitted use table allows for flexibility of land uses throughout the property. Single-family dwellings, zero-lot-line dwellings, two-family dwellings, townhouses, and C-2 uses could be built in any of the four zones. Multi-family dwellings are restricted to Zone 1, while senior housing units (including for-rent cottages) are allowed only in Zones 1 & 2.

### **Minimum Commercial Requirements:**

The planned development standards specify a minimum of 7,500 sq. ft. of commercially-occupied space (and the developer intends for at least two restaurants in their cover letter) and a minimum of 400 linear feet of frontage built to commercial storefront standards. The developer intends for the commercial component of the development to be minimal though, due to the proximity to downtown and the commercial uses along the US 287 corridor. In addition, the applicant has specified that all C-2 uses requiring a Specific Use Permit (SUP) shall still require an SUP under this Ordinance.

**Maximum Number of Residential Units:**

The maximum number of single-family, zero-lot-line, two-family, and townhome dwellings is 300 lots. Furthermore, of these 300 lots, a maximum of 15% may be attached dwellings. The maximum number of multi-family and senior housing units is 800 dwelling units.

**Minimum Lot Standards:**

The minimum lot standards for commercial, mixed-use, and multi-family lots (located in Zones 1 & 2) are outlined below:

Min. Lot Width: 100'

Min. Lot Depth: 120'

Min. Lot Area: 12,000 sq. ft.

Min. Floor Area per Dwelling Unit: 550 sq. ft. (efficiency); 650 sq. ft. (1-bedroom); 900 sq. ft. (2-bedroom); 1,000 sq. ft. (3-bedroom)

Min. Front Yard: 0' in Zone 1; 5' in Zone 2

Min. Rear Yard: 0' in Zone 1; N/A in Zone 2

Min. Interior Side Yard (adjacent to lot): 0' in Zone 1; 10' in Zone 2

Min. Exterior Side Yard (adjacent to public street): 0' in Zone 1; 5' in Zone 2

Max. Height: 4 stories

The minimum lot standards for single-family (SF), zero-lot line (ZL), and townhome (TH) lots (located in Zones 2, 3, and 4) are outlined below:

Min. Lot Width: 45' (SF); 30' (ZL); 22' (TH)

Min. Lot Depth: 90'

Min. Lot Area: 4,000 sq. ft. (SF); 3,000 sq. ft. (ZL); 2,000 sq. ft. (TH)

Min. Floor Area per Dwelling Unit: 1,800 sq. ft. (SF & ZL); 1,600 sq. ft. (TH)

Garage Access: street (SF); alley (ZL & TH)

Min. Front Yard: 10'

Min. Front Yard to Garage Doors: 20' (SF); N/A (ZL & TH)

Min. Rear Yard: 15'

Min. Rear Yard to Garage Doors: N/A (SF); 3' (ZL & TH)

Min. Interior Side Yard (adjacent to lot): 5' (SF); 0'/5' (ZL); 0' (TH)

Min. Exterior Side Yard (adjacent to public street): 10'

Max. Height: 3 stories

**Conceptual Elevations and Streetscape Standards:**

The applicant has provided conceptual elevations for the multi-family, commercial, and single-family components of the development. The elevations for the multi-family and commercial components are intended to identify the potential architectural materials only. In addition, the applicant has provided standards and renderings for the different streetscape sections.

**Access:**

Access into the development will be primarily from FM 157 and Mouser Way. From FM 157, there will be a minimum of one and a maximum of three access points, although staff notes this will be subject to TXDOT approval. From Mouser Way, there will also be a minimum of one and a maximum of three access points. The development will also be permitted to access House Road. It is intended that there will be a primary spine road through the development that will connect the various components of the development. This spine road will connect to the future FM 157-North Main Street connector at a signalized intersection at FM 157 and will travel eastward through the commercial and multi-family components and then turn southward through

the single-family component down to Mouser Way. Street types and their specifications (including width, parking, street trees, parkways, sidewalks, and right-of-way dedications) are detailed in Table 4.1.

**Open Space:**

The development will include a corridor of open space along the northeastern property line adjacent to Watson Branch. This corridor includes floodplain and the bulk of the existing trees in this area are planned to be preserved. The open space area along this corridor will be a minimum of six acres and a minimum corridor width of 25'. The applicant also plans to work with the Parks Department to develop a public trail along this corridor.

In addition, the applicant intends to provide 20' open space buffers along FM 157 and Mouser Way and a small open space area (min. 1,500 sq. ft.) near the multi-family and commercial components. On-site detention will not be provided, however water quality measures will be required. The applicant has also specified the standards for street trees on page 31. Trees shall not be required on single-family lots.

**Parking:**

The applicant has specified the following minimum parking standards:

General Office & Retail "Blended Rate": 1 space per 250 sq. ft.

General Office only: 1 space per 333 sq. ft.

Restaurant: 1 space per 100 sq. ft.

Multi-Family Residential: 1.5 spaces per unit

Age-Restricted Housing: 1.2 spaces per unit

Single-Family Residential: 2 off-street parking spaces

The applicant has also specified that on-street parking may be counted toward required parking and that the parking requirements may be reduced upon submittal of a revised parking calculation by the applicant and approval by the City. In addition, covered parking may be either masonry or metal (for carports) and shall comply with the regulations governing building materials; in addition, carports shall provide a minimum of 3' clearance from fire lanes. Trees shall be planted in parking lots such that each parking space is located within 60' of a tree. Parking space standards are detailed in Table 6.2.

**Architectural Requirements:**

The applicant has specified the following architectural materials standards. (Note: The overlay area refers to the area where the commercial component is planned)

Front Façade Materials:

Min. Masonry: 75% for zones 1-4; 90% for overlay area

Max. Hardi-Board (excluding recessed balconies): 25% for zones 1-4; 10% for overlay area

Max. Metal: 10% for all zones

Rear Façade Materials:

Min. Masonry: 50% for zones 3 & 4 and overlay area; 25% for zones 1 & 2

Max. Hardi-Board: 75% for zones 1 & 2; 50% for zones 3, 4, and overlay area

Max. Metal: 10% for all zones

Ground Floor Building Standards:

Min. Glass Area: 60% in overlay area; 25% in zones 1 & 2

Min. Ceiling Height: 10' in overlay area; 8' in zones 1 & 2

The applicant has also specified that wood, exposed CMU, and exposed aggregate are prohibited materials in all zones of the development.

The applicant has specified detailed architectural standards for single-family buildings located in zones 2, 3, and 4. These include encouraging the use of single-story roofs and porches on front elevations, façade articulation, roof breaks, walls with textured materials and ornamental details, decorative moldings, windows, dormers, chimneys, balconies and railings, and landscaping elements, and carrying façade treatment and design elements throughout all facades of the home and any accessory structures. The standards discourage large areas of blank wall without architectural treatment, as well as two-story entry features. Garage doors accessible from the street shall be constructed of decorative wood cladding ("Carriage Door" style) or simulated wood cladding, however alley garages may use painted aluminum garage doors.

Required features for single-family homes include a minimum roof pitch of 6:12 (except for porches), architectural grade asphalt shingles or better, wood or stained fiberglass simulated wood grain front doors, concealed mechanical equipment and trash storage, coursed brick, soldier courses, proportional and design-appropriate shutters, enhanced gutter design, downspouts located at corners and columns, masonry or masonry-like chimneys, chimneys extending to the ground if on street-facing elevations, columns visible from the street at least 6" x 6", and wood fences (not greater than 6' in height) along alleys constructed with the support structure facing the house. Each home must also include at least four optional features from a list of 20 items.

### **Signage:**

The applicant will adhere to all sign regulations established in Section 7100 of the Zoning Ordinance with the exception of the following:

- Each business with FM 157 frontage will be permitted one wall sign not to exceed 30' in length or 4' in height
- A monument sign or sign affixed to an entry wall, not to exceed 50 sq. ft. in sign area per side, shall be permitted at each entry on FM 157 and Mouser Way
- A projection sign, not to exceed 50 sq. ft. in sign area per side, shall be permitted on each building fronting FM 157
- A blade sign, not to exceed 20 sq. ft. in sign area per side, shall be permitted for each business tenant.

### **Recommendation**

This proposal will provide for a quality, cohesive development with a mix of residential products that maximizes the use of one of the largest remaining infill tracts in this part of the City. While staff would have liked to see a little bit more space for commercial uses incorporated along FM 157, the development will nonetheless provide for additional high quality urban-design apartments, senior housing, and unique single-family residential products that provide a denser, more walkable design and a mix of product types (including 45' lots, zero-lot line homes, and townhomes) that are currently few and far between in the community. In addition, the applicant is endeavoring to provide high-quality architectural design, a mixture of streetscapes, abundant access and connectivity through the development, and an open space corridor and a future public trail that will enhance the development and the community. Furthermore, the Official Land Use

Plan encourages higher densities in this area combined with the preservation of high quality open space, both of which the applicant is providing. Staff recommends approval with the condition that C-2 uses are limited to Zones 1, 2, and 4.

**Attachments:**

Maps and Supporting Information

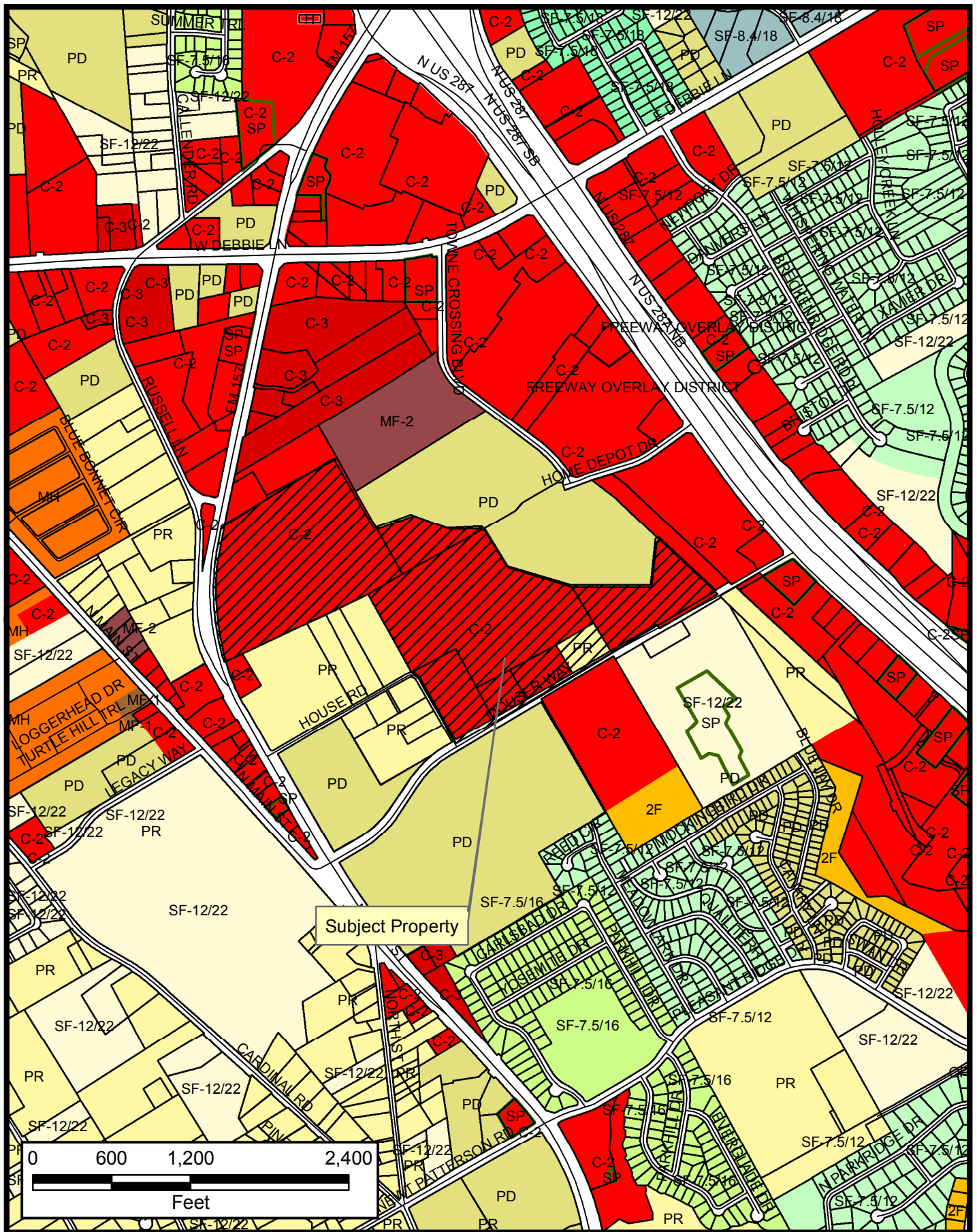
Exhibit A – Property Description

Exhibit B – Planned Development Standards









**ZC#19-005**

This information is for illustrative purposes only. Not for design or development purposes. Site-specific studies may be required to obtain accurate feature locations. Every effort is made to ensure the information displayed here is accurate; however, the City of Mansfield makes no claims to its accuracy or completeness.

6/5/2019

## Property Owner Notification for ZC#19-005

LEGAL DESC 1	LEGAL DESC 2	OWNER NAME	OWNER ADDRESS	CITY	ZIP
BUSHOKAI ADDITION	BLK 1	LEWIS, IVAN A & IRIS N	621 WILDCAT WAY	KENNEDALE, TX	76060-5845
CALLENDER, SIDNEY S SURVEY	A 359	SOWELL PROP PARTNERS-MANSFLD	1601 ELM ST STE 3500	DALLAS, TX	75201
CALLENDER, SIDNEY S SURVEY	A 359	RUBEIZ, TANIOS M & NADIM M	49 LORING DR	NORWELL, MA	02061-1155
CALLENDER, SIDNEY S SURVEY	A 359	DAY, GLENN M ETAL	2307 WOOD CLIFF CT	ARLINGTON, TX	76012-4234
CALLENDER, SIDNEY S SURVEY	A 359	DORACO BROTHERS LLC	712 PAUL DR	HURST, TX	76054
CALLENDER, SIDNEY S SURVEY	A 359	SOWELL PROP PARTNERS-MANSFIELD	1601 ELM ST STE 3500	DALLAS, TX	75201
CALLENDER, SIDNEY S SURVEY	A 359	DAY, GLENN M ETAL	2307 WOOD CLIFF CT	ARLINGTON, TX	76012-4234
CALLENDER, SIDNEY S SURVEY	A 359	ENGLERT, DONALD P & MARY	151 RUSSELL LN	MANSFIELD, TX	76063-3987
CALLENDER, SIDNEY S SURVEY	A 359	ENGLERT, DONALD P & MARY	151 RUSSELL LN	MANSFIELD, TX	76063-3987
CALLENDER, SIDNEY S SURVEY	A 359	PRESSLEY, TOMMY M & DEBBIE	149 RUSSELL LN	MANSFIELD, TX	76063-3987
CALLENDER, SIDNEY S SURVEY	A 359	GOODSON, NELDA DORIS	PO BOX 336	MANSFIELD, TX	76063-0336
CALLENDER, SIDNEY S SURVEY	A 359	FOSTER, MARK GREGORY & WENDY ANN	217 HOUSE RD	MANSFIELD, TX	76063-1543
CALLENDER, SIDNEY S SURVEY	A 359	DAY, GLENN M ETAL	2307 WOOD CLIFF CT	ARLINGTON, TX	76012-4234
CALLENDER, SIDNEY S SURVEY	A 359	BLACK, DAVID WESLEY & JOSALIN	211 HOUSE RD	MANSFIELD, TX	76063
CALLENDER, SIDNEY S SURVEY	A 359	SOWELL PROP PARTNERS-MANSFIELD	1601 ELM ST STE 3500	DALLAS, TX	75201
CALLENDER, SIDNEY S SURVEY	A 359	LAMBERT, IMOGENE	3206 VERNON DR	ARLINGTON, TX	76015-2022
CALLENDER, SIDNEY S SURVEY	A 359	COLTART, TIM	5804 QUAILS PATH	COLLEYVILLE, TX	76034
CALLENDER, SIDNEY S SURVEY	A 359	MILLER, CHARLES & UNA	375 COUNTY ROAD 4225	CLIFTON, TX	76634
CALLENDER, SIDNEY S SURVEY	A 359	YATES, MICHAEL	260 HOUSE RD	MANSFIELD, TX	76063

## Property Owner Notification for ZC#19-005

LEGAL DESC 1	LEGAL DESC 2	OWNER NAME	OWNER ADDRESS	CITY	ZIP
CALLENDER, SIDNEY S SURVEY	A 359	YATES, MICHAEL	260 HOUSE RD	MANSFIELD, TX	76063
CALLENDER, SIDNEY S SURVEY	A 359	SOWELL PROP PARTNERS-MANSFLD	1601 ELM ST STE 3500	DALLAS, TX	75201
CALLENDER, SIDNEY S SURVEY	A 359	SOWELL PROP PARTNERS-MANSFIELD	1601 ELM ST STE 3500	DALLAS, TX	75201
CALLENDER, SIDNEY S SURVEY	A 359	SOWELL PROP PARTNERS-MANSFIELD	1601 ELM ST STE 3500	DALLAS, TX	75201
CEDAR POINT ADDITION	BLK 1	CEDAR POINT APTS LP	247 N WESTMONTE DR	ALTAMONTE SPRINGS, FL	32714-3345
ELECTRONICS ADDITION	BLK 1	MOUSER ELECTRONICS INC	1000 N MAIN ST	MANSFIELD, TX	76063-1514
JALALI RETAIL CENTER	BLK 1	MIKE JALALI, LLC	PO BOX 14552	ARLINGTON, TX	76094-1552
MANSFIELD POINTE ADDN	BLK 1	IREIT MANSFIELD POINTE LLC	PO BOX 3666	OAK BROOK, IL	60522
MANSFIELD POINTE ADDN	BLK 1	TARRANT REGIONAL WATER DIST	PO BOX 4508	FORT WORTH, TX	76164-0508
MANSFIELD TOWNE CROSSING	BLK 1	BREIT STEADFAST MF MANSFIELD TX LP	PO BOX A-3878	CHICAGO, IL	60690
MANSFIELD TOWNE CROSSING	BLK 2	APARTMENT REIT TOWNE CROSSING	4901 DICKENS RD STE 101	RICHMOND, VA	23230-1952
NEW LIFE ADDITION, THE	BLK 1	MOUSER ELECTRONICS INC	1000 N MAIN ST	MANSFIELD, TX	76063-1514
NEW LIFE ADDITION, THE	BLK 1	MOUSER ELECTRONICS INC	1000 N MAIN ST	MANSFIELD, TX	76063-1514
OVERSTREET ADDITION	BLK 1	OVERSTREET, DORIS M	300 HUGULEY BLVD APT 310	BURLESON, TX	76028
OVERSTREET II ADDITION	BLK 1	OVERSTREET, DORIS M	300 HUGULEY BLVD APT 310	BURLESON, TX	76028
PRESSLEY HIWAY ADDITION	BLK 1	PRESSLEY, ALMA	1292 HWY 157 N STE 104	MANSFIELD, TX	76063-1595
PRESSLEY HIWAY ADDITION	BLK 1	HAIDER, RIAZ	1290 HWY 157 N	MANSFIELD, TX	76063-1538
WADDELL, F B SURVEY	A 1658	TARRANT COUNTY WATER DISTRICT	PO BOX 4508	FORT WORTH, TX	76164-0508
WADDELL, F B SURVEY	A 1658	MANSFIELD TC LP	10210 N CENTRAL EXPRESSWAY STE 300	DALLAS, TX	75231

## Property Owner Notification for ZC#19-005

LEGAL DESC 1	LEGAL DESC 2	OWNER NAME	OWNER ADDRESS	CITY	ZIP
WADDELL, F B SURVEY	A 1658	MOUSER ELECTRONICS INC	1000 N MAIN ST	MANSFIELD, TX	76063-1514
WADDELL, F B SURVEY	A 1658	MOUSER ELECTRONICS INC	1000 N MAIN ST	MANSFIELD, TX	76063-1514
WALNUT CREEK VILLAGE ADDITION	BLK 1	CUBESMART LP C/O PTA-CS #686	PO BOX 320099	ALEXANDRIA, VA	22320
WALNUT CREEK VILLAGE ADDITION	BLK 1	CUBESMART LP C/O PTA-CS #686	PO BOX 320099	ALEXANDRIA, VA	22320

DAY AND SOWELL TRACTS  
METES AND BOUNDS DESCRIPTION  
76.734 Acres or 3,342,543 Square Feet

Being all that certain lot, tract or parcel of land situated in the S. S. Callender Survey, Abstract Number 359, City of Mansfield, Tarrant County, Texas, being all of that certain tract of land described in deed to Doris Ann Day Trust recorded in Volume 9743, Page 1428 of the Deed Records of Tarrant County, Texas, and referenced in deed to Glenn M. Day, III, Mary Angelyn Day Englert, Margaret Ann Day Samson and Elizabeth Jean Day Cooper in deed recorded in Instrument D208367819 of the Deed Records of Tarrant County, Texas, part of those certain tracts of land described in deed to Sowell Property Partners-Mansfield, LP. recorded in Volume 14864, Page 188, Volume 13515, Page 325 and Instrument D215155442 of the Deed Records of Tarrant County, Texas, said Sowell tracts being hereinafter referred to as "Sowell tracts" and part of that certain tract of land described in deed to the Flying A Group, LTD, recorded in Volume 13322, Page 16, and being more particularly described as follows:

BEGINNING at a ½" iron rod found at the north corner of said Day tract, being the east corner of that certain tract of land according to deed to Michel Tanios Rubeiz recorded in Volume 7946, Page 1460 of the Deed Records of Tarrant County, Texas, and being on the southwest line of Cedar Point Addition, an addition to the City of Mansfield according to the plat thereof recorded in Instrument D203031742 of the Plat Records of Tarrant County, Texas;

THENCE S 29°46'32" E, along the northeast line of said Day tract and the southwest line of Cedar Point Addition, passing at 275.37 feet, the south corner thereof from which a ½" iron rod found bears S 58°05'46" W, 0.26 feet, said corner being the west corner of Lot 1, Block 1, Mansfield Towne Crossing, Phase 5, an addition to the City of Mansfield according to the plat thereof recorded in Cabinet A, Slide 11104 of the Plat Records of Tarrant County, Texas a total distance of 604.30 feet to a ½" capped iron rod (Brittain & Crawford) found at the south corner thereof and the north corner of that certain tract of land described in deed to Sowell Property Partners-Mansfield, LP recorded in Volume 14864, Page 325 of the Deed Records of Tarrant County, Texas, being a west southwest corner of Lot 1, Block 1, Mansfield Towne Crossing Phase 5, an addition to the City of Mansfield according to the plat thereof recorded in Cabinet "A", Slide 11104 of the Plat Records of Tarrant County, Texas;

THENCE, along the common boundary line between said Sowell tracts and said Mansfield Towne Crossing, Phase 5, and in Watson Branch, the following:

N 70°12'16" E, 295.48 feet, to a ½" iron rod with Brittain & Crawford cap;

S 69°38'18" E, 293.46 feet; and

N 88°05'53" E, 260.70 feet, to a ½" iron rod with Brittain & Crawford cap at the most westerly corner of Lot 1, Block 2, Mansfield Towne Crossing, Phase 4, an addition to the City of Mansfield according to the plat thereof recorded in Cabinet "A", Slide 8522 of the Plat Records of Tarrant County, Texas;

THENCE, continuing along said common boundary line between said Sowell tracts and said Mansfield Towne Crossing, Phase, and in Watson Branch, the following;

S 31°11'17" E, 350.00 feet, to a ½" iron rod with Brittain & Crawford cap;

S 73°03'22" E, 511.99 feet, to a ½" iron rod with Brittain & Crawford cap;

N 89°53'16" E, 597.90 feet, to a ½" iron rod with Brittain & Crawford cap;



N 06°26'56" E, 346.30 feet, leaving said Watson Branch, to a ½" iron rod with Brittain & Crawford ca, and

N 60°26'19" E, 27.64 feet, to a ½" iron rods with Brittain & Crawford cap on the most northeast line of said Sowell tracts and said Mansfield Crossing Phase 4, being the southwest line of Lot 1, Block 1, Mansfield Pointe Addition, an addition to the City of Mansfield according to the plat thereof recorded in Cabinet "A", Slide 12077 of the Plat Records of Tarrant County, Texas;

THENCE S 46°33'16" E, 587.35 feet, along the northeast line of said Sowell tracts and the southwest line of said Lot 1, Block 1, Mansfield Pointe Addition, to a ½" iron rod on the northwest right-of-way line of Mouser Way according to Right-of-Way Deed to the City of Mansfield recorded in Instrument D216157021 of the Deed Records of Tarrant County, Texas;

THENCE, along the northwest Right-of-Way line of Mouser Way, the following:

Southwesterly, with the arc of a curve to the right having a radius of 2141.25 feet, a central angle of 01°25'57", whose chord bears S 63°38'36" W, 53.53 feet, an arc length of 53.54 feet, to a ½" iron rod with Brittain & Crawford cap;

S 64°21'34" W, 100.04 feet, to a ½" iron rod with Brittain & Crawford cap;

Southwesterly, with the arc of a curve to the left having a radius of 2211.25 feet, a central angle of 04°26'21", whose chord bears S 62°21'34" W, 171.28 feet, an arc length of 171.32 feet, to a ½" iron rod with Brittain & Crawford cap;

S 59°55'12" W, 582.19 feet, to a ½" iron rod with Brittain & Crawford cap;

S 59°34'21" W, 646.52 feet, to a ½" iron rod with Brittain & Crawford cap;

S 59°29'30" W, 382.60 feet, to a ½" iron rod with Brittain & Crawford cap on the east line of said Flying A tract;

THENCE S 59°40'37" W, 305.92 feet, continuing along said Right-of-Way line, to a ½" iron rod with Brittain & Crawford cap at the southerly end of a "corner clip;

THENCE N 75°00'47" W, 21.08 feet, along said corner clip, to a ½" iron rod with Brittain & Crawford cap on the northeasterly Right-of-Way line of House Road;

THENCE, along the southwest line of said Flying A tract and the northeast Right-of-Way line of House Road, the following:

N 29°52'54" W, 86.97 feet, to a ½" iron rod with Brittain & Crawford cap;

S 60°21'20" W, 13.04 feet, to a ½" iron rod with Brittain & Crawford cap;

N 29°54'09" W, 475.82 feet, to a ½" iron rod with Brittain & Crawford cap, and

N 45°58'16" W, 48.17 feet, to the southeast corner of that certain tract of land described in deed to R. G. and Doris Goodson recorded in Volume 3449, Page 121 of the Deed Records of Tarrant County, Texas;

THENCE, N 29°28'08" W, 669.93 feet, leaving said House Road and along the common line between said Sowell tracts and said Goodson tract, to a 5/8" iron rod found at the northwest corner of said Goodson tract, being an angle point corner in the southeasterly line of said Day tract;

THENCE S 64°57'10" W, along the southeast line of said Day tract and the northwest line of said Goodson tract, passing at 254.61 feet, the west corner thereof, being the north corner of that certain tract of land described in deed to Mark and Wendy Foster recorded in Volume 6987, Page 135 of the Deed Records of Tarrant County, Texas, passing at 526.89 feet, the west corner thereof, from which a ½" iron rod found bears S 29°22'38" E, 0.55 feet, said corner being the north corner of that certain tract of land described in deed to David Wesley and Josalin Black recorded in Instrument D216272074 of the Deed Records of Tarrant County, Texas, passing at 661.93 feet, the west corner thereof and the north corner of the remainder of that certain tract of land described in deed to Harry Blissard recorded in Volume 2790, Page 9 of the Deed Records of Tarrant County, Texas, (property now owned by Imogene Lambert), passing at 1078.50 feet, the north corner of Pressley Hiway Addition, an addition to the City of Mansfield according to the plat thereof recorded in Volume 160, Page 98 of the Plat Records of Tarrant County, Texas, and continuing a total distance of 1197.50 feet, to a 5/8" iron rod found at the west corner of said Pressley Hiway Addition and the south corner of said Day tract, being on the easterly right-of-way line of F. M. Highway 157 (100' R.O.W.), and being in a curve to the right;

THENCE Northwesterly, along the southwest line of said Day tract, the easterly right-of-way line of said F. M. Highway 157, and with the arc of said curve having a radius of 1859.88 feet, a central angle of 28°23'31", whose chord bears N 02°21'12" W, 912.23 feet, an arc length of 921.63 feet, to a 1" iron rod found;

THENCE N 11°50'33" E, 116.95 feet, continuing along the easterly right-of-way line of F. M. Highway 157 and the southwest line of said Day tract, to a ½" iron rod found at the west corner thereof, being the south corner of that certain tract of land described in deed to Doraco Brothers, LLC recorded in Instrument D210276021 of the Deed Records of Tarrant County, Texas;

THENCE N 59°15'13" E, along the northwest line of said Day tract and the southeast line of said Doraco tract, passing at 391.62 feet, a ½" iron rod found at the east corner thereof and the south corner of said Rubeiz tract, and continuing a total distance of 985.54 feet, to the POINT OF BEGINNING and containing approximately 76.734 acres or 3,342,543 square feet of land.

NOTE: The foregoing description was prepared from record documents and recent surveys of the component properties. The entire tract has not been surveyed as a whole and is subject to revision if further survey work is performed.

Grantham & Assoc., Inc.  
6570 Naaman Forest Blvd.  
Suite 200, LB 2  
Garland, Texas 75044



SUBMITTAL DATE:  
**June 12, 2019**

A DEVELOPMENT BY:  
REALTY CAPITAL MANAGEMENT, LP  
909 Lake Carolyn Parkway  
Irving, TX 75039  
469-533-4100

PLANNING BY:  
Roaring Brook Development Co.  
3058 Lakeside Parkway  
Flower Mound, TX 75022  
817.706.8353

## TABLE OF CONTENTS

SECTION 1	Development Narrative
SECTION 2	Administrative Process
SECTION 3	Character Zones Standards
SECTION 4	Vehicular and Pedestrian Thoroughfare Standards
SECTION 5	Civic / Open Space / Trail and Landscape Standards
SECTION 6	Parking Standards
SECTION 7	Architecture and Building Standards
SECTION 8	Signage
SECTION 9	Definitions
APPENDIX	A) Tree List B) Zoning Location Map

**DEVELOPMENT NARRATIVE**

REALTY CAPITAL MANAGEMENT, LLC,  
Watson Branch  
Letter of Intent

Lisa Sudbury  
Director of Planning  
City of Mansfield  
1200 E. Broad Street  
Mansfield, Texas 76063

Re: Zoning Change Request for Day=Sowell Property (Approximately 78 acres)  
Watson Branch

Dear Lisa Sudbury,

The intent of this project is to continue to enhance, grow and define the FM 157 corridor attracting a high quality demographic that will support local growth. The project is located on the inside eastern corner of a sweeping turn in FM 157 (south of Debbie) at the proposed new lighted intersection. Our project would include some neighborhood retail at the intersection with FM 157, but it is mostly comprised of a mix of high quality urban residences (market and senior) providing a more "lock and leave" lifestyle that supports the current downtown area initiatives. Any traffic from the project would have a minor impact on existing infrastructure due to the ease of access to both Main Street and the 287 frontage road.

To summarize, our plan features:

- Some neighborhood retail (location for two restaurants)
- Unique single-family homes that benefit from this very central location.
- Higher density market-rate rental lots and active adult living options, all connected by a regional trail system
- that connects FM 157 to Mouser along Watson Branch.

The neighborhood commercial would be located at the proposed traffic signal and there are significant additional commercial options both across and south on FM 157 (towards the larger intersection with Mouser). Our vision/main goal of this infill project is to provide support to other better located commercial sites. We need to avoid cannibalizing or distracting from these other options. We anticipate home prices to be from \$350k to over \$450,000 and this community will provide a unique supply of different lots to differentiate our project from the more traditional master plan communities. In the higher density residential area, the Main Street Lofts will serve as the minimum standard for architectural design and quality. The buildings fronting FM 157 will have heightened standards for materials and appearance and the ample greenspace throughout the site and we will utilize the natural creek area for a public trail system. We anticipate a blended residential density of less than 14 units per acre.

We look forward to the opportunity to work with you and contribute to the growth of Mansfield.

Tim Coltart  
Managing Director  
Realty Capital Management



**ADMINISTRATION**

## SECTION 2: ADMINISTRATION

### A) Applicability

The requirements of these Standards are mandatory and all development on land located within the boundaries of this Planned Development District must adhere to the rules and regulations set forth herein.

### B) Conflicting Regulations

Except as provided by these Standards, development within the Planned Development District is governed by City regulations. In the event of any conflict or inconsistency between these Standards and the applicable City regulations, the terms and provisions of these Standards shall control. In the event of a conflict between the text and the graphic images, the text shall control. Building codes, life safety codes, and Federal and State regulations take precedence where a standard requires actions that are in conflict with such codes and regulations.

### C) Regulating Plan

The Regulating Plan defines the areas and locations of the Zones for regulatory purposes. The Regulating Plan and Zone Standards are included as a part of this Planned Development in Section 3, and identifies the rules for development.

### D) Permitted Uses

The Permitted Uses include two categories due to the constraints of the acquisition process. One category includes all the current permitted uses under the existing C-2 zoning. The second category includes the additional residential uses permitted within the Watson Branch Planned Development District. In the event that the first site plan includes C-2 uses without any residential land uses, then the site plan shall comply with C-2 zoning regulations as specified in the City of Mansfield zoning ordinance, and the development standards contained herein shall not apply.

### E) Development Procedure

To develop a portion of the Planned Development District, or the entire District, the Applicant shall meet with the Development Review Committee (DRC) for preliminary review and comment. Any portion of the District may be developed, and may be developed in any order. The DRC shall indicate if any of the following procedures may be modified or omitted. A Preliminary Plat and/or a Site Plan must be submitted and approved by P&Z.

### F) Simultaneous Submittal

A Preliminary Plat and/or Site Plan Submittal may be submitted for simultaneous review and approval. If sufficient information is provided with the Site Plan, the Site Plan may replace the Preliminary Plat; and the Site Plan and the Final Plat may be submitted and reviewed for simultaneous approval. If the Site Plan information is insufficient to replace the Preliminary Plat, then sequential ap-

proval shall be required.

### G) Site Plan

1. The Site Plan application shall be submitted to Staff for review and comment by Staff. The Site Plan may include all of the property within this Planned Development or any portion of thereof.
2. The Site Plan must be approved by the Planning and Zoning Commission. If the Site Plan substantially deviates from the Illustrative Plan, Staff may refer the Site Plan to City Council for approval.
3. Site Plan Denials at the Planning & Zoning Commission may be appealed to the City Council.

### H) Minor Modifications

The City Manager or designee may grant modifications to the requirement of street width, visibility, fire access or landscape requirements provided the modifications are deemed to be minor, are consistent with standards of health and safety, and are consistent with the goals of the overall development.

### I) Final Plat

Final Plats shall be submitted and reviewed by Staff and shall be approved by the Planning and Zoning Commission and filed on record prior to obtaining a building permit. A Final Plat must be approved by P&Z and filed on Record prior to obtaining a building permit. The Site Plan and Final Plat may be submitted for simultaneous review and approval in accordance with Paragraph 'F' above.

### J) Council Overview

In the event that Staff denies a submittal, or deems that a proposed modification is not a Minor Modification, the Applicant will have the option to submit the application to the City Council for approval, though such application shall not constitute a zoning change unless the proposed land use differs from the permitted land uses.

### K) Private Deed Restrictions

A mandatory Owners Associations will be responsible for the maintenance of all common areas as listed on the Site Plan(s). The Owners Association and associated documents shall be filed in accordance with the City of Mansfield policies. These documents must be reviewed by the City Attorney prior to filing the final plat. The documents shall be filed with the final plat at Tarrant County when deemed necessary by the attorney. The documents shall be submitted in a timely manner to allow for a minimum of 60 days review. Failure to submit documents or incomplete documents may result in a delay of construction, acceptance of the subdivision or delay in approval of a building permit. The City does not accept the responsibility for any delays in construction, approval or acceptance of the subdivision caused by the failure to submit the association documents or the inaccuracy of the documents.

**ZONE STANDARDS**

SUBSECTION 3.1: General Standards Applicable to All Zones

- A. General: The following tables and illustrations identify general regulations for all zones within the Watson Branch Planned Development. Additional Regulations specific to each zone are found in the following Sections.
- B. Regulating Plan (See Figure 3.1): The Regulating Plan shows the Zones within the Watson Branch Planned Development. The Zones are subject to regulations governing the following aspects of the development:
- C. Illustrative Concept (See Figure 3.2): The illustrative concept of the proposed land use is an example of the possible build-out of the subject property under the proposed zoning. The illustrative concept is not regulatory, and the final build-out may differ from the illustration. If Staff determines that any Plat/Site Plan application substantially differs from the Illustrative Concept, Staff may process the application in accordance with Paragraph 2.G.2.
  1. Minimum and maximum land areas permitted within each zone;
  2. Permitted Land Uses within each zone;
  3. Maximum and minimum residential and commercial uses;
  4. The primary vehicular ingress and egress.
  5. Open Space, Park and Trail requirements specific to each zone;
  6. Streetscape and building façade restrictions specific to each zone;
  7. Parking on-street, off-street and garage parking standards;
  8. Other restrictions that may affect the land use, character or aesthetics of each zone.
- D. Lot Development Standards (See Table 3.3): The Development Standards define the minimum and maximum areas and/or dimensions within the Regulating plan.
- E. Permitted Use Tables (See Table 3.2):
  1. Permitted Use Table lists the permitted and prohibited uses within the Watson Branch Planned Development.
  2. C-2 Permitted Uses: Where C-2 commercial uses are proposed in any zone within the Watson Branch PD District where no residential uses exist or are proposed, the standard City development regulations shall apply, as amended, under the City of Mansfield Code of Ordinances and the development standards herein shall not apply.
  3. Except as specified in this PD, C-2 Uses requiring an SUP in the Code of Ordinances shall also require an SUP under this planned development ordinance.
- F. Character Zones Special Conditions
  1. Zone 1:
    - a. The Zone 1 is primarily multifamily uses, with some commercial uses required fronting SH 157 as indicated in Table 3.1.
    - b. All building facades fronting SH 157 frontage shall have a commercial storefront appearance, in accordance with Overlay Area requirements.
    - c. Where the Zone 1 bounds PR-zoned property, multifamily property, or commercial property, parking shall be set back 10' minimum and buildings shall be set back 10' minimum.
    - d. Where Zone 1 bounds residential zoned property, parking shall be set back 0' minimum, and buildings shall be set back a minimum of 10'.
    - e. Between the SH 157 ROW and buildings fronting SH 157, a minimum buffer shall be required in accordance with Open space requirements.
    - f. Between the SH 157 ROW and buildings fronting SH 157, a maximum of one drive aisle and 2 bays of parking shall be permitted, in accordance with Section 3.2 Standards for Zone 1.
  2. Zone 2
    - a. The Zone 2 is primarily senior housing.
    - b. Where the Zone 2 bounds PR-zoned property, parking shall be set back 10' minimum from the property line and buildings shall be set back 10' minimum.
    - c. Between the SH 157 ROW and buildings fronting SH 157, a maximum of one drive aisle and 2 bays of parking shall be permitted, in accordance with Section 3.2 Standards for Zone 2.
  3. Zone 3
    - a. The Zone 3 consists of single family uses.
    - b. Lots shall comply with Table 3.3 Lot Standards.
    - c. If Townhomes or 2-family homes are included within Zone 3, they shall be located adjacent to Zone 1 to serve as a buffer between the multifamily and the single family detached.
    - d. Between the Mouser Way ROW and lots, a minimum buffer shall be required in accordance with Open space requirements.
    - e. No residential lots shall be located north of the existing gas line easement.
  4. Zone 4
    - a. Zone 4 is separated from Zone 3 by the floodway and floodplain.
    - b. Land uses are unspecified, but may include single family residential, commercial or civic uses.

*Figure 3.1 REGULATING PLAN AND ZONE IDENTIFICATION*

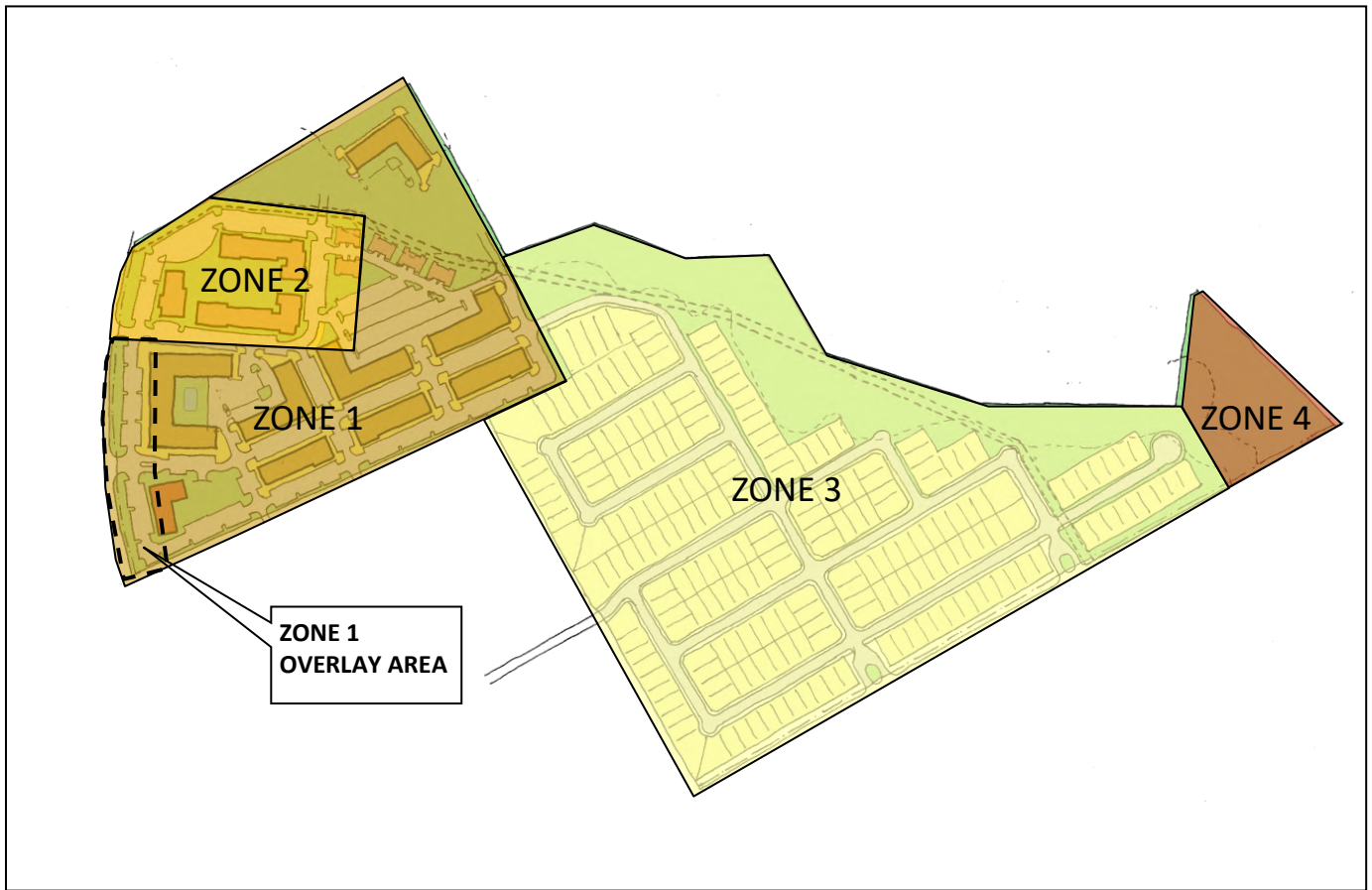




Figure 3.1 CONCEPT PLAN 'A' AND LOCATION

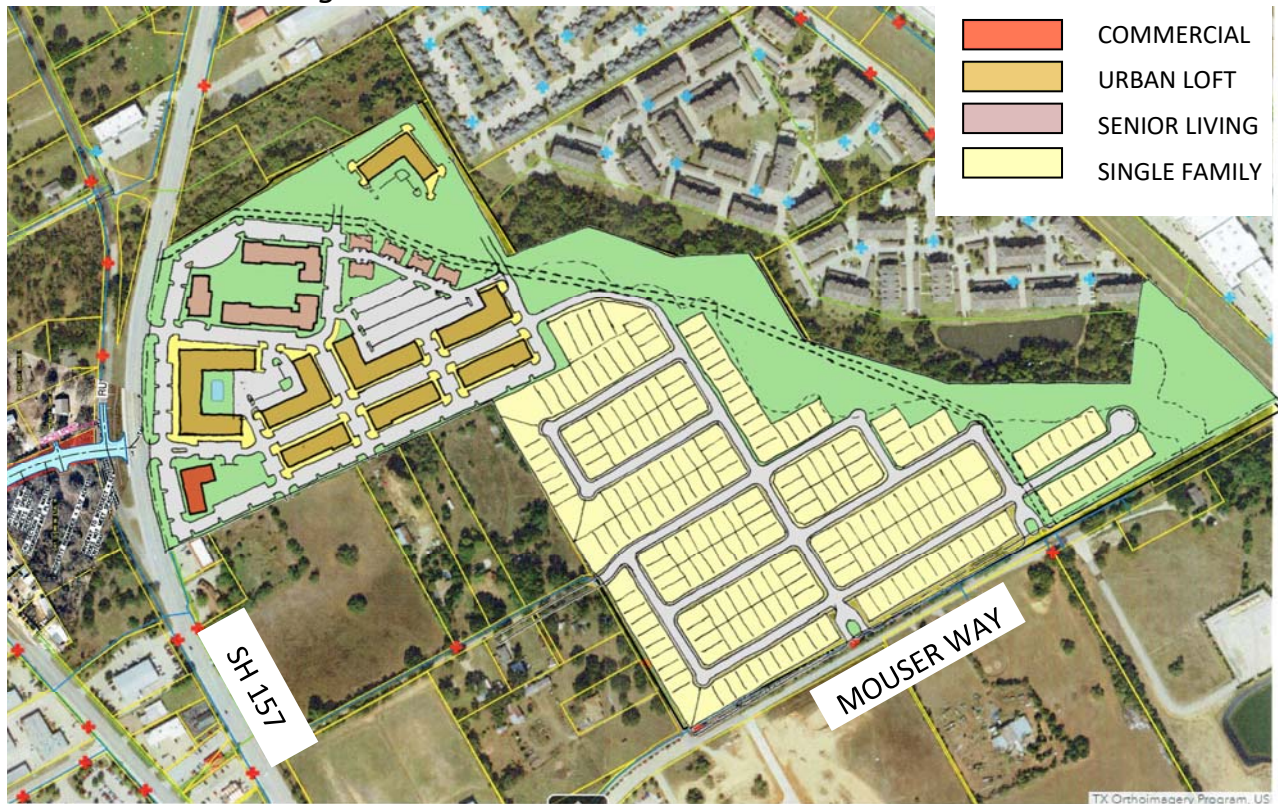


Figure 3.1 CONCEPT PLAN 'B'

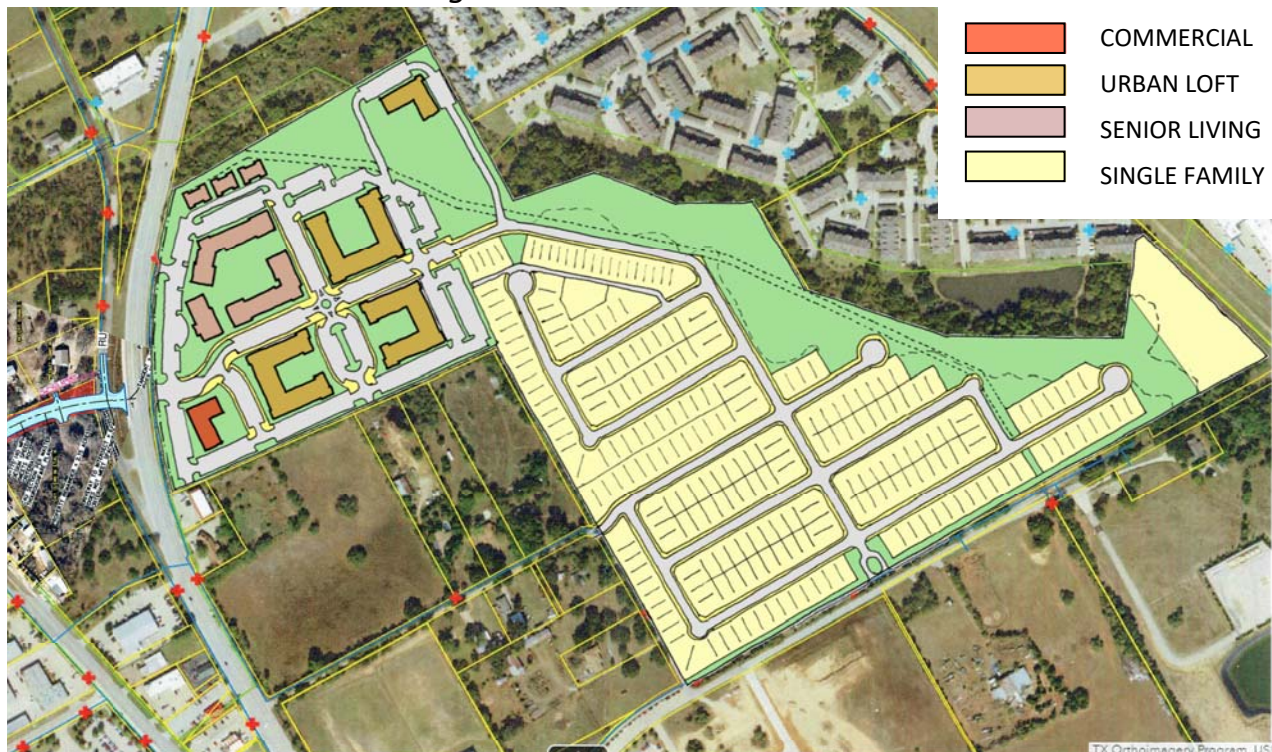




TABLE 3.1 ZONE STANDARDS TABLE	ZONES			
P=Permitted	1	2	3	4
<b>ZONE STANDARDS</b>				
AREA IN ACRES (+/- 20%)	28.8		45.7	3.5
<b>OPEN SPACE MINIMUM STANDARDS</b>				
OPEN SPACES REQUIRED	BUFFER 1	OS-1a	OS-1b	OS-1c
	OS-3		OS-2	
			BUFFER 2	
<b>COMMERCIAL REQUIREMENTS</b>				
FRONTAGE FAÇADE BUILT TO COMMERCIAL STOREFRONT STANDARDS (MIN LF)	400 LF	P	NA	P
NON-RESIDENTIAL OCCUPANCY REQUIRED	7500 SF	0	0	0

TABLE 3.2 PERMITTED USE TABLE	ZONES				
P=Permitted; R=Required; Blank=Not Permitted	1	2	3	4	Maximum residential
C-2 Permitted Uses	P	P	P	P	
Residential Uses					
Single Family Dwelling	P	P	P	P	300 Lots; maximum of 15% of lots may be attached dwellings
Zero-Lot line Dwelling	P	P	P	P	
Two-Family Dwelling	P	P	P	P	
Townhouse	P	P	P	P	
Multifamily Dwelling	P				800 Dwelling Units
Senior housing units including for-rent cottages	P	P			
Note: C-2 Uses requiring an SUP, not listed above, shall still require an SUP under this Ordinance.					

TABLE 3.3 LOT DEVELOPMENT STANDARDS - COMMERCIAL, MIXED-USE AND MULTIFAMILY LOT TYPES		
LOT STANDARDS	ZONE 1	ZONE 2
MINIMUM LOT WIDTH	100'	
MINIMUM LOT DEPTH	120'	
MINIMUM LOT AREA	12,000 SF	
MINIMUM FLOOR AREA PER DWELLING UNIT	550 EFF; 650 1-BDRM; 900 2-BDRM; 1,000 3-BDRM	
MINIMUM FRONT YARD	0'	5'
MINIMUM REAR YARD	0'	NA
MINIMUM INTERIOR SIDE YARD (ADJACENT TO LOT)	0'	10'
MINIMUM EXTERIOR SIDE YARD (ADJACENT TO PUBLIC STREET)	0'	5'
MAXIMUM HEIGHT IN STORIES	4'	4'
MINIMUM MASONRY CONSTRUCTION	See Table 7.2	
MINIMUM SETBACK FROM PUBLIC ROW		
FRONT BUILDING SETBACK FOR REQUIRED COMMERCIAL STOREFRONT	0' from sidewalk	NA
FRONT PARKING SETBACK FOR REQUIRED COMMERCIAL STOREFRONT	0' from buffer	No parking between building & buffer
FRONT BUILDING SETBACK	0' from buffer	5'

**TABLE 3.3 LOT DEVELOPMENT STANDARDS - SINGLE FAMILY**

LOT STANDARDS	ZONE 2, ZONE 3, ZONE 4		
	SINGLE FAMILY	ZERO LOTLINE	TOWNHOME
MINIMUM LOT WIDTH (FT)	45'	30'	22'
MINIMUM LOT DEPTH (FT)	90'	90'	90'
MINIMUM LOT AREA (SF)	4000 SF	3000 SF	2000 SF
MINIMUM FLOOR AREA PER DWELLING UNIT (SF)	1800 SF	1800 SF	1600 SF
GARAGE ACCESS	STREET	ALLEY	ALLEY
SETBACKS			
MINIMUM FRONT YARD	10'	10'	10'
MINIMUM FRONT YARD TO GARAGE DOORS	20'	NA	NA
MINIMUM REAR YARD	15'	15'	15'
MINIMUM REAR YARD TO GARAGE DOORS	NA	3'	3'
MINIMUM INTERIOR SIDE YARD (ADJACENT TO LOT)	5'	0' / 5'	0'
MINIMUM EXTERIOR SIDE YARD (ADJACENT TO PUBLIC STREET)	10'	10'	10'
MAXIMUM HEIGHT IN STORIES	3	3	3
MINIMUM MASONRY CONSTRUCTION	See Table 7.2		

*Figure 3.1.Perspective: Illustrative Examples of Conceptual Facades*



**Figure 3.1 Elevations Mixed-Use: Illustrative Examples of Conceptual Facades**  
*Elevations are intended for identification of materials only.*



**Figure 3.1 Elevations Single Family: Illustrative Examples of Conceptual Facades**





### 3.2 STANDARDS FOR ZONES 1 & 2

#### Frontage on SH 157 with parking in front of building

##### A. GENERAL

1. See Table 3.2 for Land Use restrictions.
2. See Table 3.3 for Lot restrictions
3. See Section 7 for Architectural restrictions

##### B. ZONE 1, STREETSCAPE STANDARDS

1. Tree Space: Tree Space width shall comply with Table 4.1
2. Sidewalk: Minimum 5' clear pedestrian width excluding trees wells or other obstructions, and shall connect to entrances on front facades.
3. Setback: Setback shall be a minimum of 0' from the sidewalk to the primary front wall.
4. Porch Space: All dwelling and commercial units with parking in front of the building and fronting on SH 157 shall have entrances that open directly onto the sidewalk. Balconies on the upper floors may encroach into the setback.
5. Finished Floor Elevation: The pedestrian entries to commercial units with front parking and fronting on SH 157 shall be accessed directly from the sidewalk.
6. Parking: Front parking lots may include a single or double row of parking spaces, either angled or head-in.
7. Buffer 1: The buffer space shall comply with Section 5, Table 5.1.

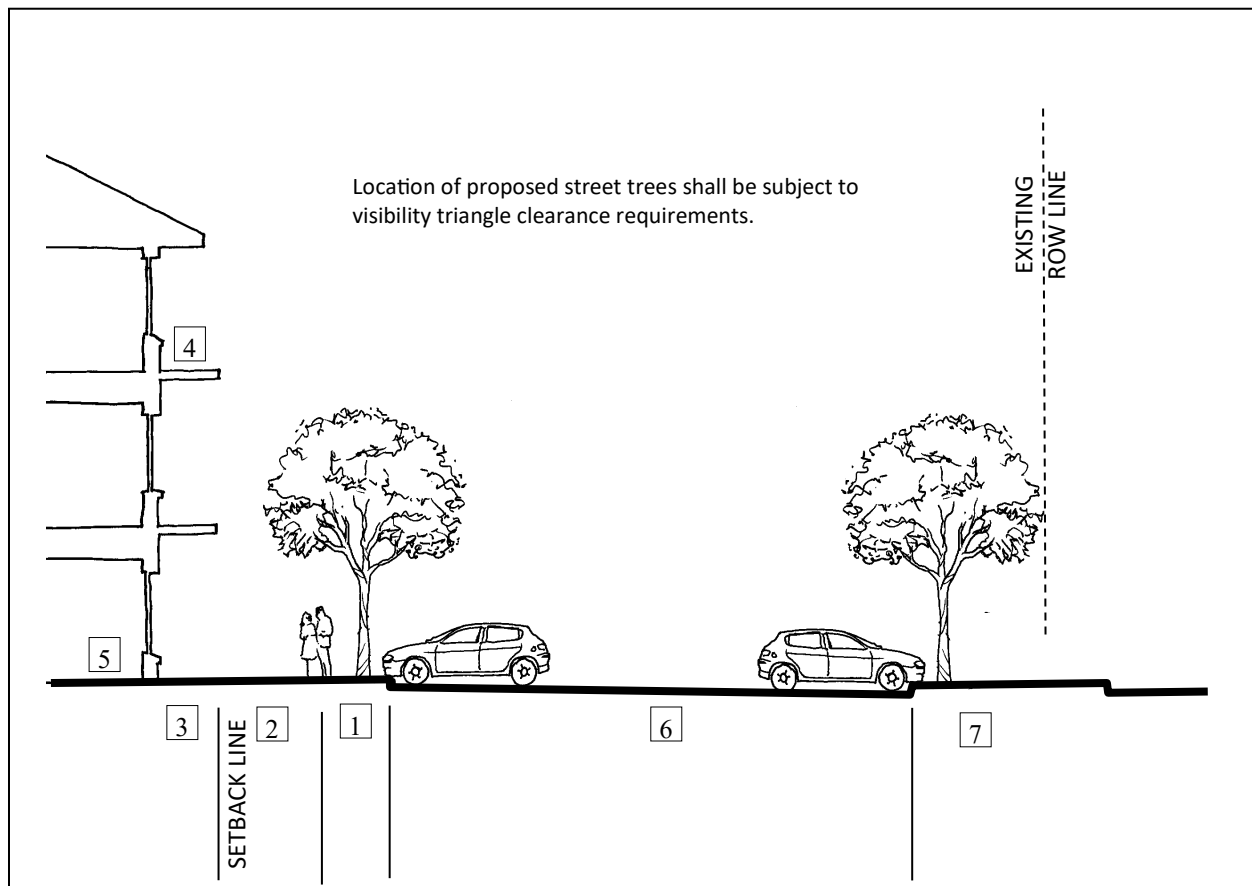


FIGURE 3.3 Streetscape Components

### 3.3 STANDARDS FOR ZONES 1 & 2

#### Frontage on Public Streets

##### A. GENERAL

1. See Table 3.2 for Land Use restrictions.
2. See Table 3.3 for Lot restrictions
3. See Section 7 for Architectural restrictions

##### B. ZONE 1.2 STREETScape STANDARDS

1. Tree Space: Tree Space width and Tree spacing along frontage shall comply with Table 4.1.
2. Sidewalk: Minimum 5' clear pedestrian width excluding trees wells or other obstructions.
3. Setback: Setback shall be a minimum of 5' from

the ROW to the primary wall surface.

4. Porch Space: All residential buildings shall have at least one entrance that opens directly onto the sidewalk. Balconies on the upper stories may encroach into the setback.
5. Finished Floor Elevation: The pedestrian entries of buildings fronting on public streets shall have a primary entry accessible from the sidewalk.
6. Parking: On-street parking is permitted. Parking spaces may be head-in, angled or parallel in accordance with street types in Section 4.
7. Public Rights-of-way: See Section 4 for street standards.

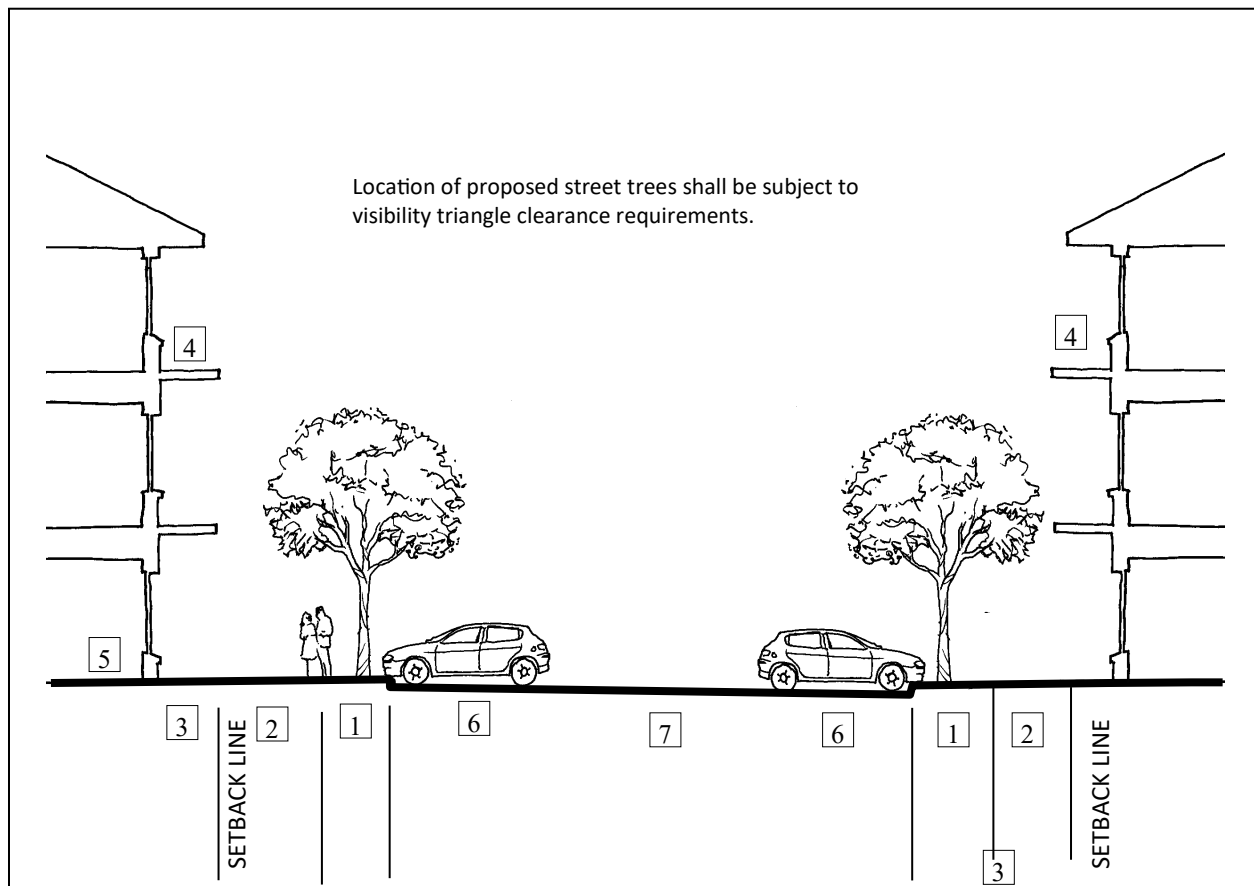


FIGURE 3.3 1.1 Streetscape Components

### 3.4 STANDARDS FOR ZONES 1 & 2 Side / Rear of Buildings, Parking

#### A. GENERAL

1. See Table 3.2 for Land Use restrictions.
2. See Table 3.3 for Lot restrictions
3. See Section 7 for Architectural restrictions

#### B. 3.1 & 3.2 DEVELOPMENT STANDARDS

1. Tree space: See Section 6 for parking lot landscape requirements.
2. Sidewalk: Sidewalks are not required in parking lots. If sidewalks are included, they shall be a minimum of 4' in width.
3. Setback: Not applicable.
4. Porch Space: Not Applicable.
5. Drive Aisle: The drive aisle may be located adjacent to the building if the aisle is serving tuck-under garages.
6. Parking: Parking shall be located in a parking lot, carport, or garage.
7. Parking: Tuck-under: Individual parking garages are permitted within the building envelope.
8. Parking, Tandem: Tandem spaces, located outside the building envelope immediately behind the tuck-under garage provide they are designated to the same unit as the associated garage.
9. Open Space: No open space is required.

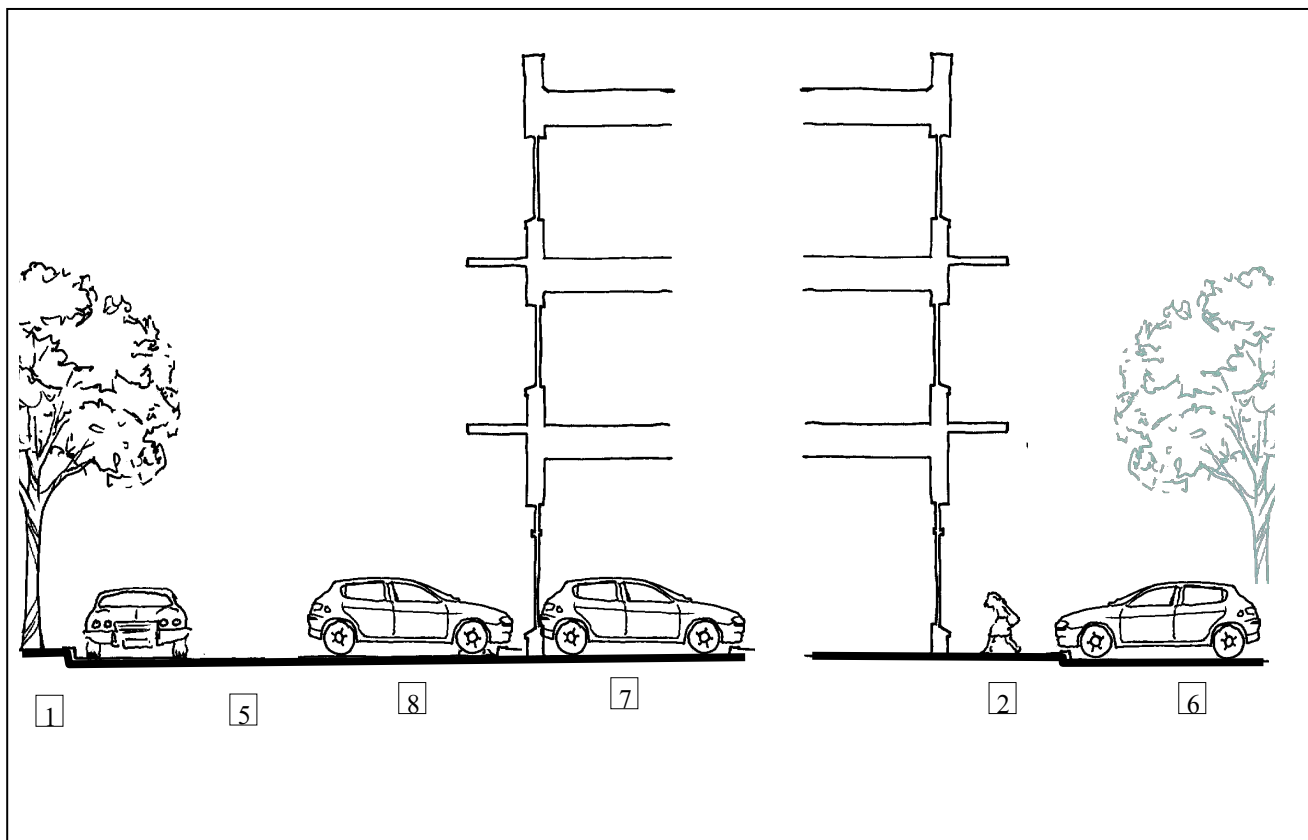


FIGURE 3.5 Rear Parking Components

### 3.5 STANDARDS FOR ZONES 1, 3 & 4 Single Family Spine Road

#### A. GENERAL

1. See Table 3.2 for Land Use restrictions.
2. See Table 3.3 for Lot restrictions
3. See Section 7 for Architectural restrictions

#### B. ZONE 1.4 STREETScape STANDARDS

1. Street Space: Trees shall be planted in the continuous parkway; in compliance with Table 4.1.
2. Sidewalk: Minimum 5' clear pedestrian width excluding trees wells or other obstructions. The sidewalk may encroach up to 1 foot into the front yard setback of the lot.

3. Setback: Setback shall be measured from the ROW to the building façade, and to the Garage doors.
4. Porch Space: The porch or stoop may project into the setback if the dwelling unit entrance opens onto the sidewalk. Balconies on the upper stories may encroach into the Setback.
5. Finished Floor Elevation: The finished floor elevation at any entry may be above the elevation of the adjacent curb by a maximum of 4 feet. One entry is required to be accessed from the sidewalk for each building fronting the street.
6. Street/Parking: Street shall be Street Type 3.

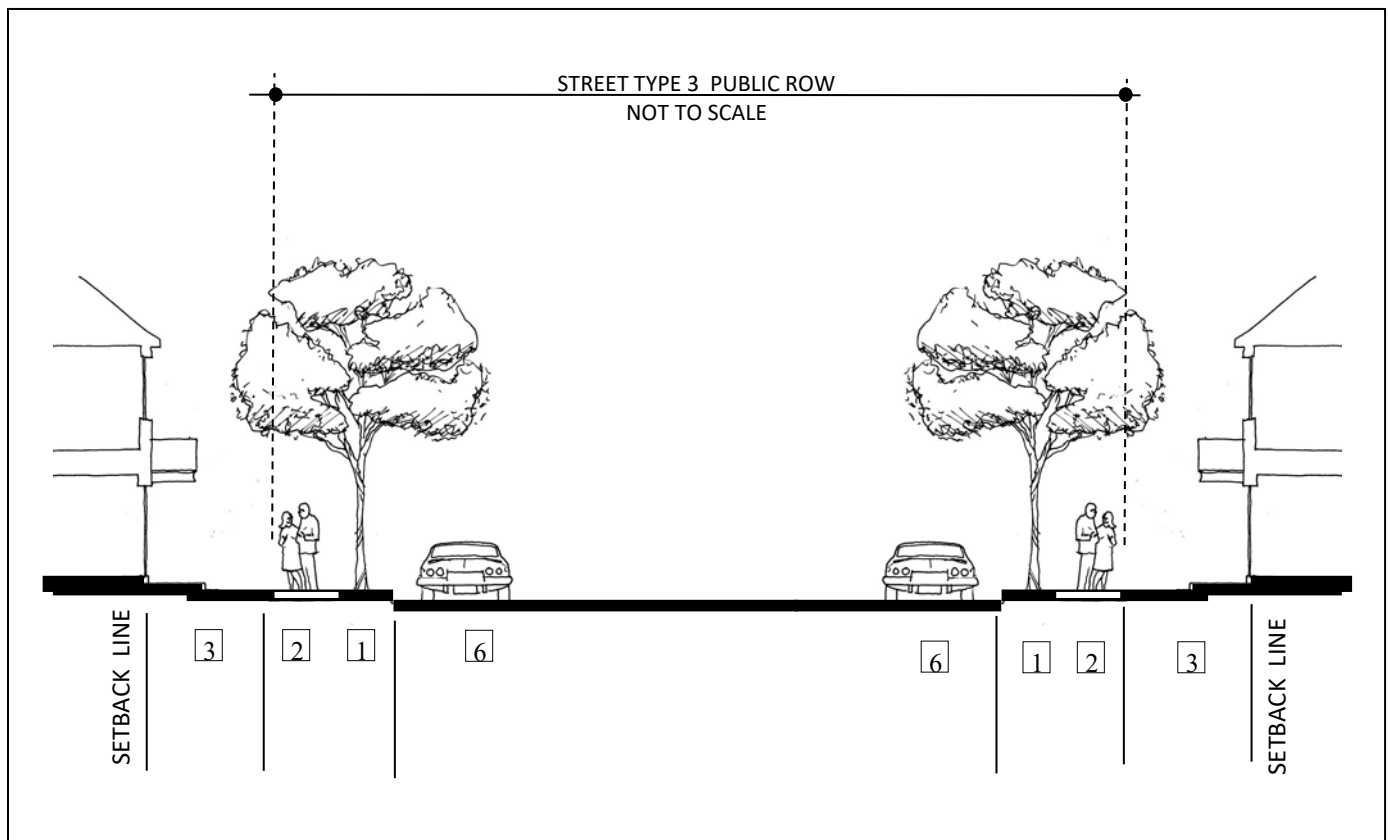


FIGURE 3.7 Single Family Streetscape Components

### 3.6 STANDARDS FOR ZONES 3 & 4 Single Family Local Road

#### A. GENERAL

1. See Table 3.2 for Land Use restrictions.
2. See Table 3.3 for Lot restrictions
3. See Section 7 for Architectural restrictions

#### B. ZONE 1.4 STREETScape STANDARDS

1. Street Space: Trees shall be planted in the continuous parkway; in compliance with Table 4.1.
2. Sidewalk: Minimum 5' clear pedestrian width excluding trees wells or other obstructions. The sidewalk may encroach up to 1 foot into the front yard setback of the lot.

3. Setback: Setback shall be measured from the ROW to the building façade, and to the Garage doors.
4. Porch Space: The porch or stoop may project into the setback if the dwelling unit entrance opens onto the sidewalk. Balconies on the upper stories may encroach into the Setback.
5. Finished Floor Elevation: The finished floor elevation at any entry may be above the elevation of the adjacent curb by a maximum of 4 feet. One entry is required to be accessed from the sidewalk for each building fronting the street.
6. Street/Parking: Street shall be Street Type 4.

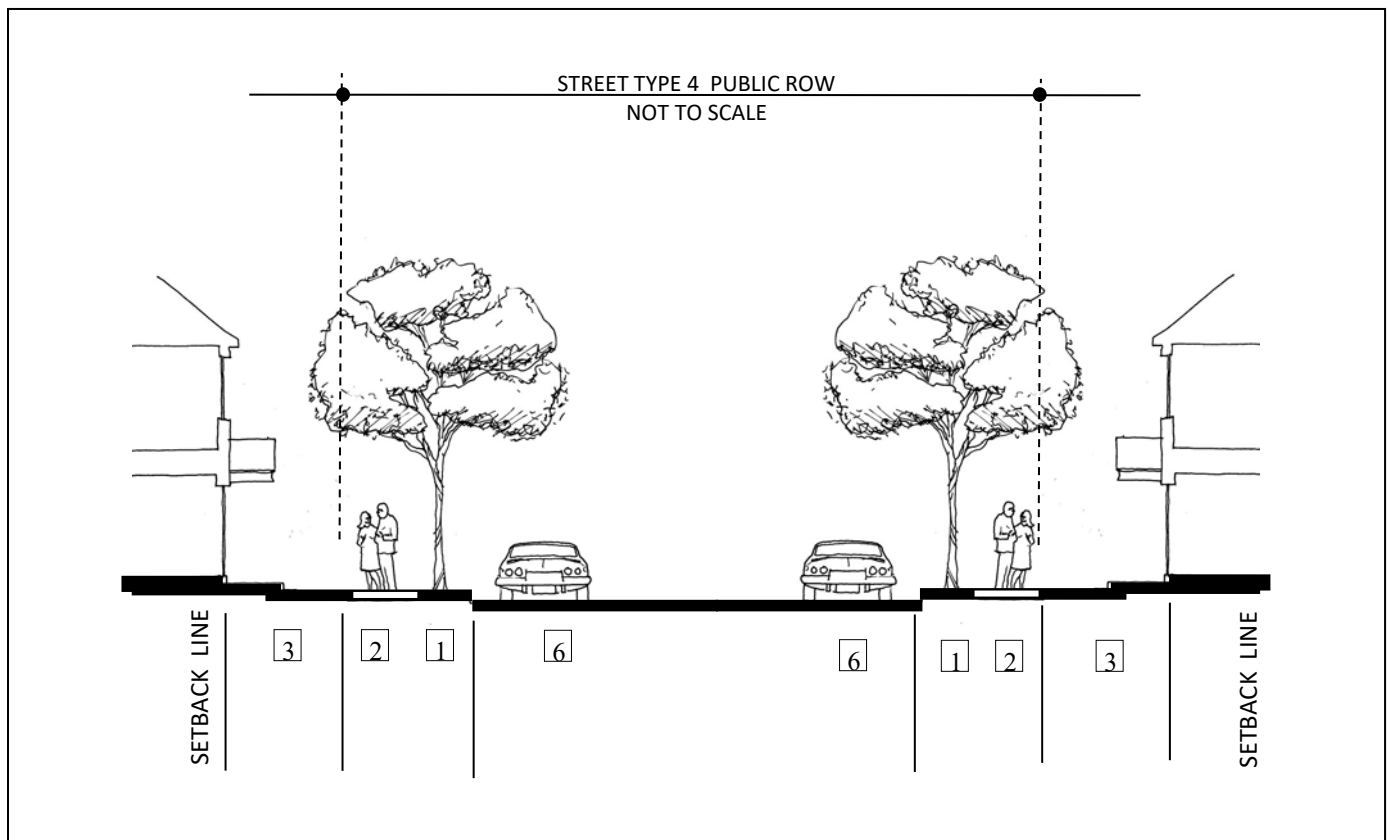


FIGURE 3.7 Single Family Streetscape Components



### 3.7 STANDARDS FOR SINGLE FAMILY LOTS

- A. PERMITTED: Lots with “J-Swing” driveway configuration, driveways serving garages with garage doors perpendicular to the street, are permitted, provided the garage doors are “carriage style” with wood cladding or simulated wood cladding.
- B. PERMITTED: Lots with direct access garages are permitted. The garage doors facing the street shall be “carriage style” with wood cladding or simulated wood cladding.
- C. PERMITTED: Lots with a combination of front access and J-Swing configurations are permitted provided the garage doors are “carriage style” with wood cladding or simulated wood cladding.
- D. PERMITTED: Garages with alley access are not required to have “carriage style” garage doors.
- E. PROHIBITED: A wood screening or privacy fence is prohibited within the lot frontage zone.
- F. PROHIBITED: Masonry screening walls exceeding 3’ 6” in height are prohibited within the lot frontage zone.
- G. FRONTAGE ZONE: The Frontage Zone extends from the ROW to the front wall of the home, excluding porches or stoops.
- H. CORNER LOT FENCES: Fences on corner lots facing the side street shall be set back from the sidewalk a minimum of 2’ and landscaped with shrubbery or ornamental grasses. Fences fronting the Spine Road shall be a maximum of 50’ in length.

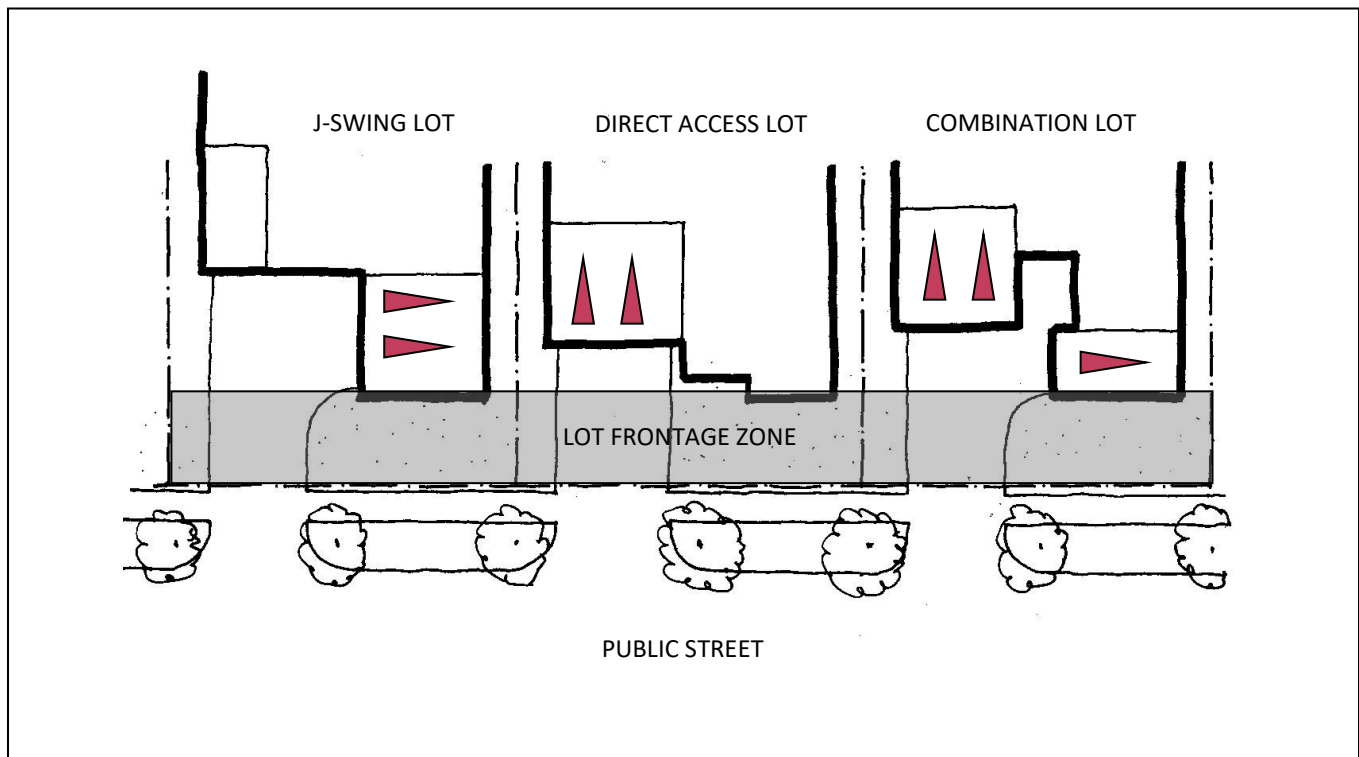


FIGURE 3.8 Permitted & Prohibited Lot Configurations

**THE STREET AND THOROUGHFARE STANDARDS**

#### SUBSECTION 4.1: General Thoroughfare Standards

- A. General: The following tables and illustrations identify standards for streets, parkways, sidewalks, and street trees.
- B. Illustrative Concept (See Figure 3.2): The illustrative concept of the proposed street network is an example of the possible build-out of the subject property under the proposed zoning. The illustrative concept is not regulatory, and the final build-out may differ from the illustration.
- C. Access to FM 157: A minimum of one, and a maximum of 3 access drives shall be permitted to access FM 157.
- D. Access to Mouser: A minimum of one, and a maximum of 3 access drives shall be permitted to access Mouser Way.
- E. Spine Road: the Spine Road must connect the primary ingress from FM 157 to one of the ingress/egress drives on Mouser.
- F. House Road: The development shall be permitted to access House Road.
- G. Lane Widths: Minimum Lane widths identified in the following street types must be increased to 26' where fire access to 4 story buildings is required.
- H. Fire Lane Plan: The Fire Lane Plan and building location and distance from fire lane is subject to the Site Plan submittal and review procedure prior to approval.
- I. Fire Apparatus Access: The minimum and maximum building setbacks as established in all zones within this section and as measured from existing utility easements can be altered to allow for aerial apparatus access to comply with Building and Fire Codes.

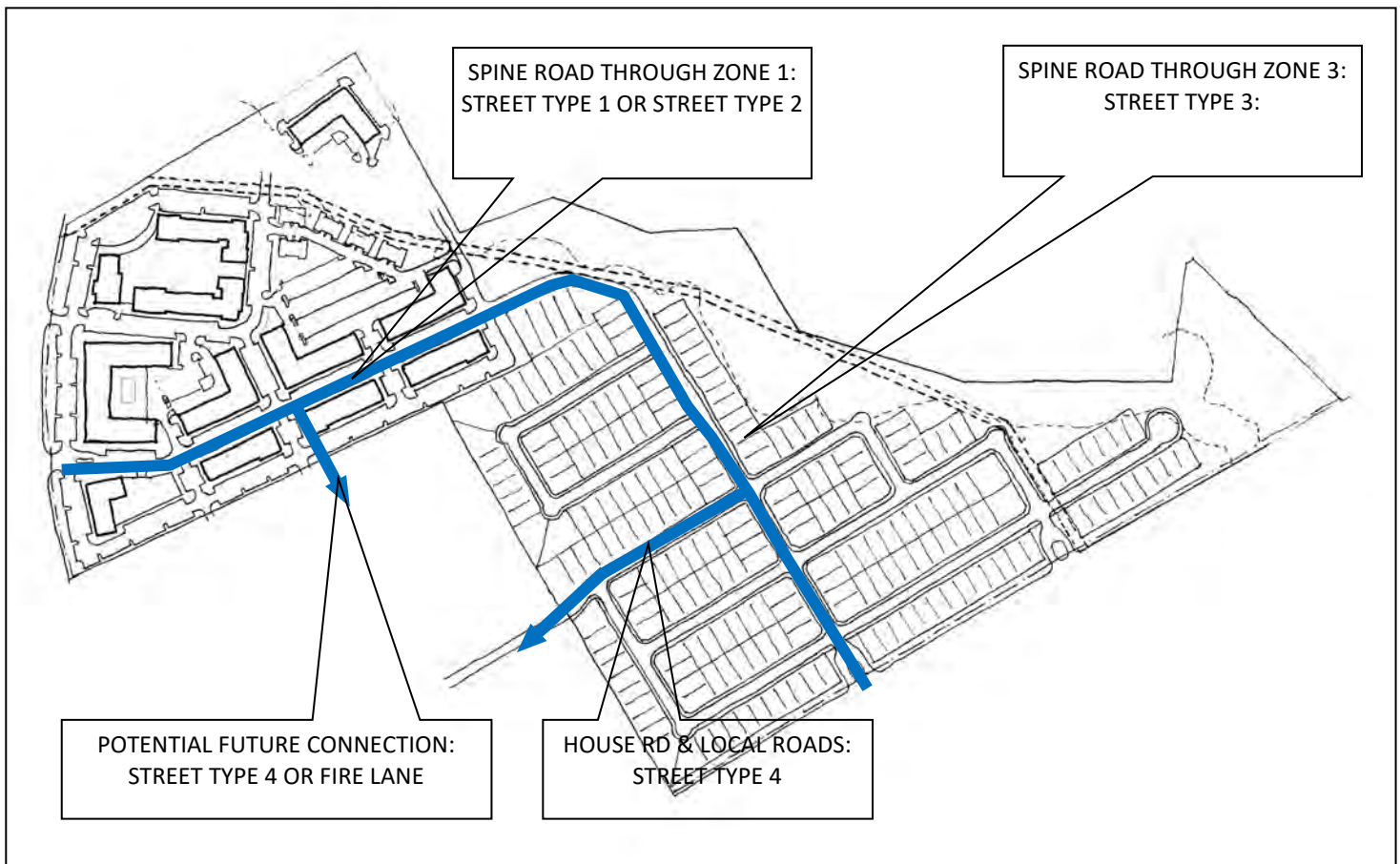
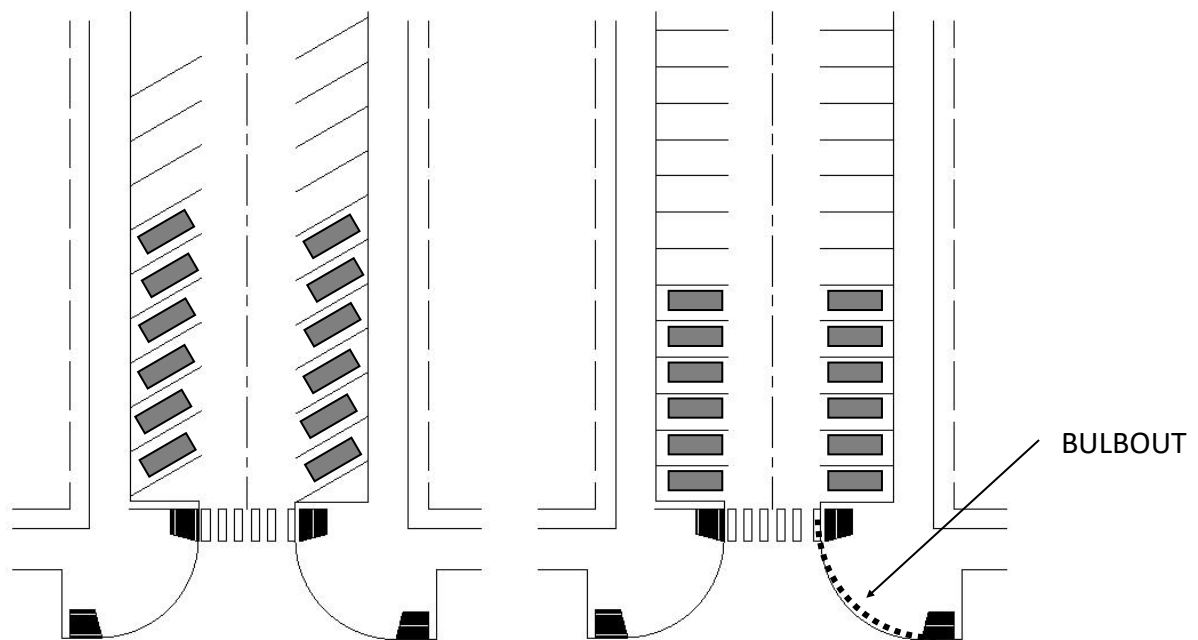


FIGURE 4.1 Thoroughfare Standards

**TABLE 4.1 PERMITTED STREET SECTIONS**

STREET TYPE	CURB B-B	PARKING	TREES	PARKWAY	SIDEWALK	ROW
STREET TYPE 1	60'	60° OR 90°	35' O.C.	5' MIN	5' MIN	80'
STREET TYPE 2	40'	PARALLEL	35' O.C.	5' MIN	5' MIN	60'
STREET TYPE 3	30'	INTERMITTENT	1/LOT	5' MIN	5' MIN	50'
STREET TYPE 4	NOTE 1	INTERMITTENT	1/LOT	5' MIN	5' MIN	47'
FIRE LANE	24' / 26'	NONE	NONE	NONE	NONE	24' / 26'
RESIDENTIAL ALLEY	NOTE 1	NONE	NONE	NONE	NONE	15'
STREET DESCRIPTIONS						
STREET TYPE 1	COMMERCIAL OR MULTIFAMILY PUBLIC STREET WITH ANGLED OR HEAD-IN PARKING					
STREET TYPE 2	COMMERCIAL OR MULTIFAMILY PUBLIC STREET WITH PARALLEL PARKING					
STREET TYPE 3	SINGLE FAMILY RESIDENTIAL SPINE ROAD					
STREET TYPE 4	SINGLE FAMILY LOCAL ROAD					
NOTE 1: SUBJECT TO STAFF REVIEW AND APPROVAL.						

## THOROUGHFARE DESIGN

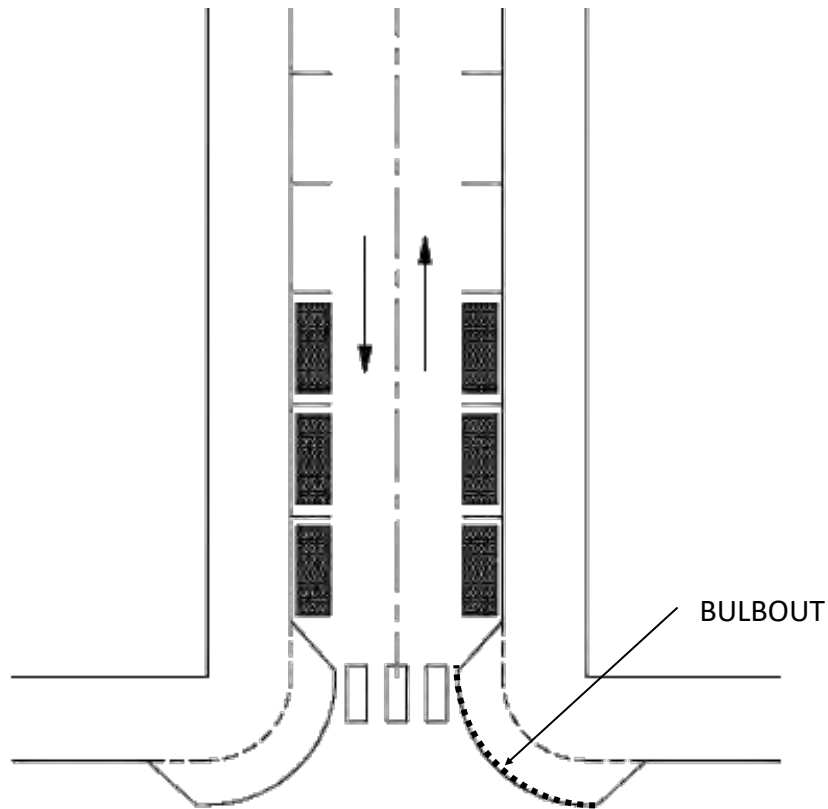


NOTE: Subject to final curb-to-curb dimensions and staff review and approval, a smaller minimum radius may be used at corners and bulbouts.

### STREET 1

DESCRIPTION	COMMERCIAL / MULTIFAMILY STREET
MEDIAN	PERMITTED
MINIMUM CURB TO CURB (B-B)	60' TO 62'
MINIMUM TRAVEL LANE WIDTH	12' (13' IF REQ'D BY FIRE DEPT)
PARKING LANE WIDTH	18'
PARKING ANGLE	60° / 90°
MINIMUM INTERSECTION RADIUS	28'
BULBOUT REQUIRED	YES
CROSSWALK WIDTH	5' Min
PARKWAY/ TREEWELL	Parkway or Tree well

## THOROUGHFARE DESIGN

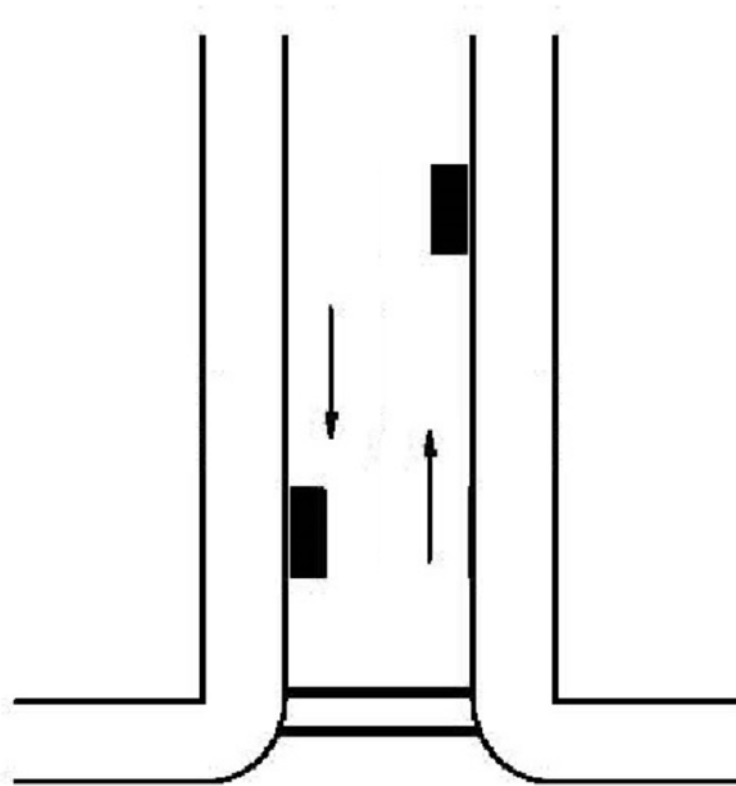


NOTE: Subject to final curb-to-curb dimensions and staff review and approval, a smaller minimum radius may be used at corners and bulbouts.

### STREET 2

DESCRIPTION	MULTIFAMILY STREET
MEDIAN	PERMITTED
MINIMUM CURB TO CURB (B-B)	40'
MINIMUM TRAVEL LANE WIDTH	12'
PARKING LANE WIDTH	8'
PARKING ANGLE	parallel
MINIMUM INTERSECTION RADIUS	28'
BULBOUT REQUIRED	Optional
CROSSWALK WIDTH	5'
PARKWAY/ TREEWELL	Parkway or Tree well

## THOROUGHFARE DESIGN



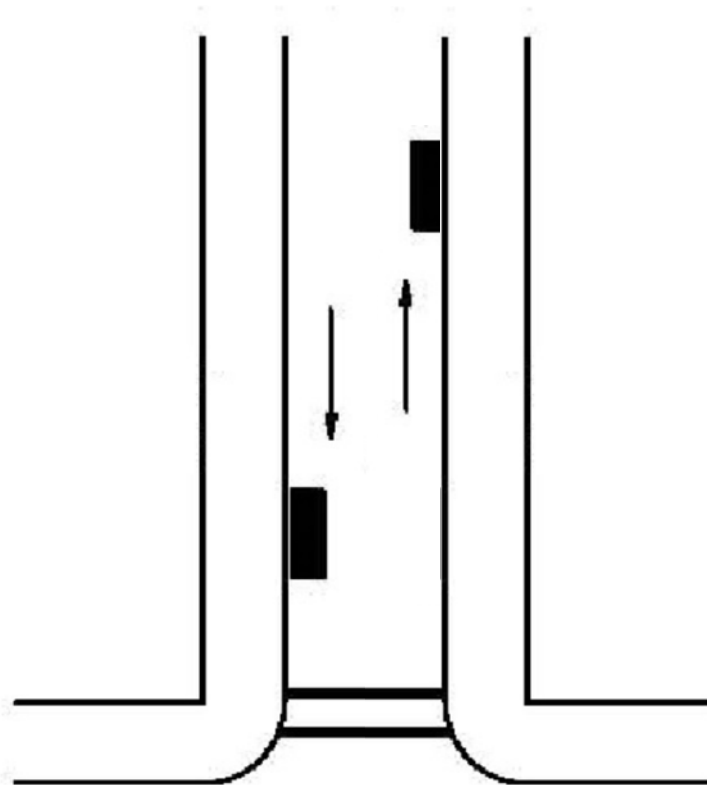
NOTE: Subject to final curb-to-curb dimensions and staff review and approval, a smaller minimum radius may be used at corners and bulbouts.

### STREET 3

DESCRIPTION	RESIDENTIAL SPINE ROAD
MEDIAN	No
MINIMUM CURB TO CURB (B-B)	30'
MINIMUM TRAVEL LANE WIDTH	12'
PARKING LANE WIDTH	NA
PARKING ANGLE	NA
MINIMUM INTERSECTION RADIUS	28'
BULBOUT REQUIRED	NO
CROSSWALK WIDTH	5'
PARKWAY/ TREEWELL	Parkway



## THOROUGHFARE DESIGN

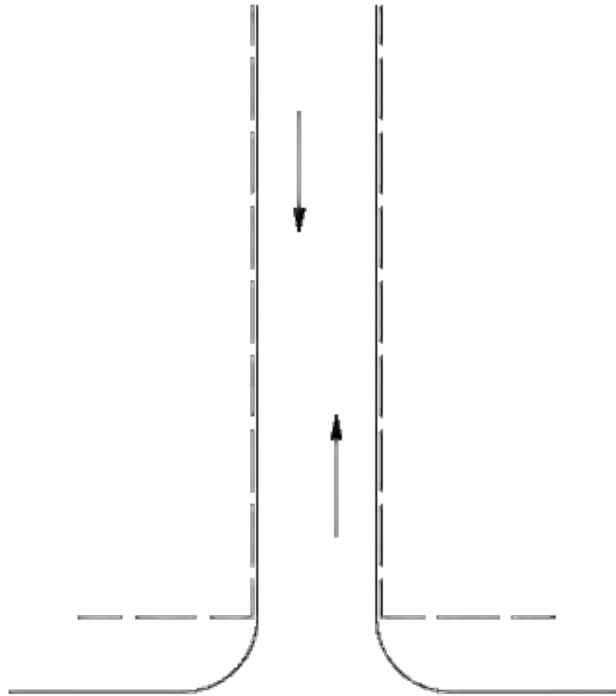


NOTE: The Development may include Residential Streets narrower than the City standard local street width. Narrower residential Street sections are subject to the review of the specific residential product type and layout being proposed and would be subject to Staff review and approval.

### STREET 4

DESCRIPTION	RESIDENTIAL LOCAL ROAD
MEDIAN	No
MINIMUM CURB TO CURB (B-B)	TBD, subject to Staff review
MINIMUM TRAVEL LANE WIDTH	12'
PARKING LANE WIDTH	NA
PARKING ANGLE	NA
MINIMUM INTERSECTION RADIUS	28'
BULBOUT REQUIRED	NO
CROSSWALK WIDTH	5'
PARKWAY/ TREEWELL	Parkway

## THOROUGHFARE DESIGN



NOTE 1: The minimum Fire Lane width may be reduced if approved by the Development Review Committee and the Fire Marshall.

NOTE 2: The Fire Lane Plan shall be submitted with the Site Plan submittal.

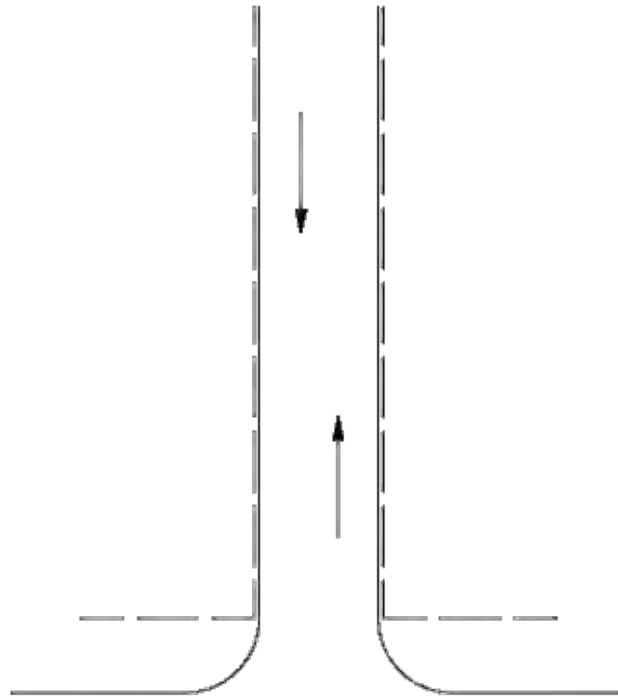
NOTE 3: Carports and canopies shall not be located within 3' of the fire lane.

NOTE 4: Where the fire lane serves buildings 4 stories or higher, the fire lane shall be a minimum of 26' in width.

### FIRE LANE

DESCRIPTION	FIRE LANE
MEDIAN	No
CURB TO CURB	24' minimum paved width
TRAVEL LANE WIDTH	12'
PARKING LANE WIDTH	No parking
PARKING ANGLE	No parking
INTERSECTION RADIUS	28' inside radius
BULBOUT REQUIRED	No
CROSSWALK WIDTH	Not Applicable
PARKWAY/ TREEWELL	Not Applicable

## THOROUGHFARE DESIGN



NOTE: The Development may include Residential Alleys. Alley Standards are subject to the review of the specific residential product type and layout being proposed and would be subject to Staff review and approval. If Residential Alleys are used, they shall be owned and maintained by the HOA.

### RESIDENTIAL ALLEY

DESCRIPTION	RESIDENTIAL ALLEY
MEDIAN	No
CURB TO CURB	12' minimum paved width
TRAVEL LANE WIDTH	12'
PARKING LANE WIDTH	No parking
PARKING ANGLE	No parking
INTERSECTION RADIUS	28' inside radius
BULBOUT REQUIRED	No
CROSSWALK WIDTH	Not Applicable
PARKWAY/ TREEWELL	Not Applicable

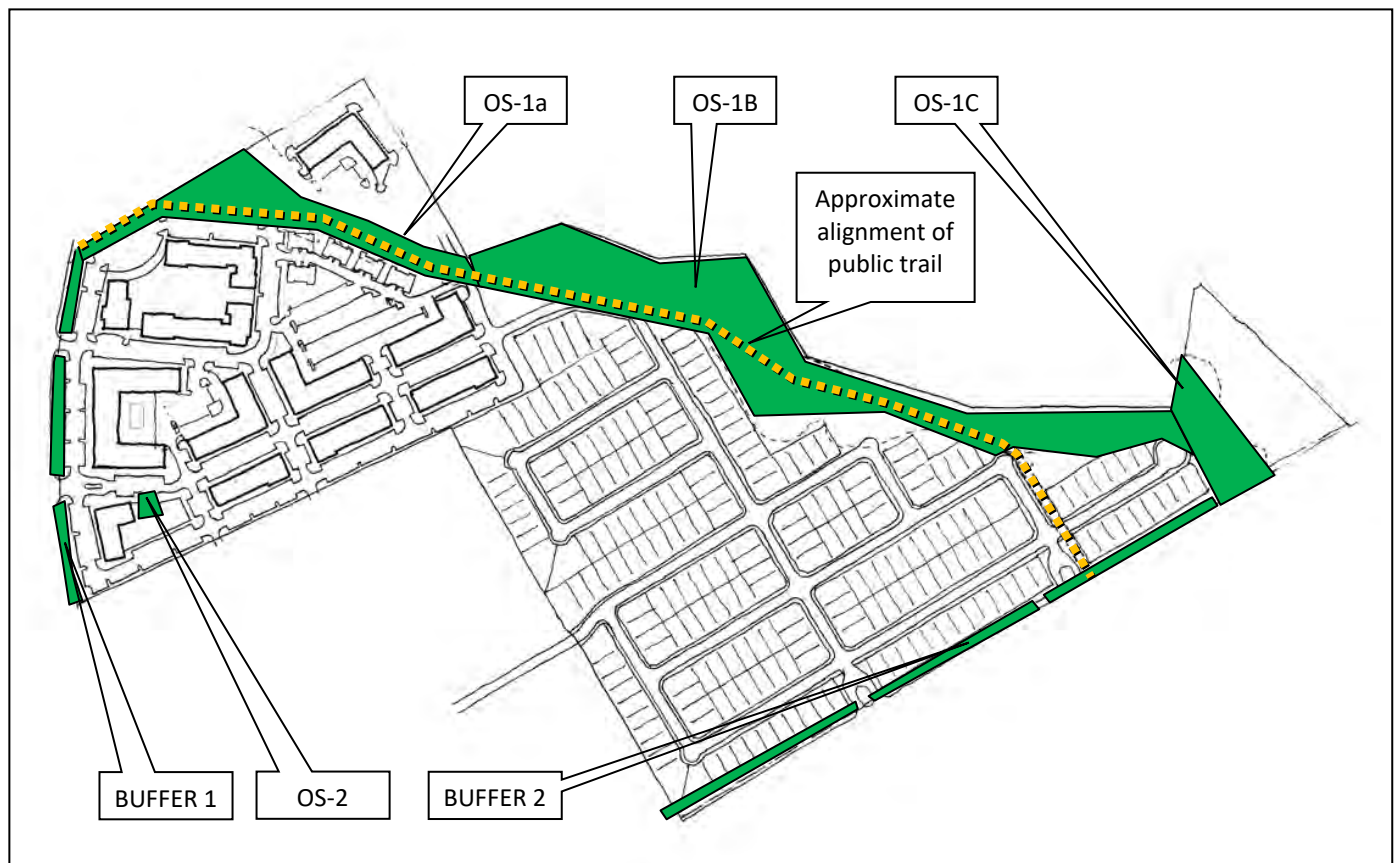
**OPEN SPACE STANDARDS**

SUBSECTION 5.1: PARK & OPEN SPACE ADMINISTRATION

- A. This Section defines the park and open space requirements. Each zone has requirements for minimum parks and open space and must comply with the following standards.
- B. The parks and open spaces require turf or mulch as the ground cover. Plazas may be paved. Seasonal color and shrubbery are permitted.
- C. Surplus open space in one zone may be applied to deficiencies in other zones.
- D. Due to the nature of the site and the tree preservation, no Tree Survey or Tree Mitigation shall be required in any zone.
- E. OS-2 may be placed in any location within Zone 1 or 2 with access to a public street.
- F. Total open space for all zones shall not be less than 6% of the gross land area.
- G. Buffers 1 & 2 shall require trees to be planted at the rate of 1 tree for each 35' of frontage.
- H. Detention shall not be required on the site. However, water quality measures shall be required. The ponds or swales may be located within the floodplain.

**TABLE 5.1 PARK AND OPEN SPACE REQUIREMENTS**

	OS-1a	OS-1b	OS-1c	OS-2	BUFFER 1	BUFFER 2
MINIMUM AREA	1.0 AC	4.0 AC	1.0 AC	1500 SF	0.3 AC	0.7 AC
MINIMUM WIDTH	25'	25'	25'	35'	20'	20'
TRAIL CONNECTION	R	R	R	P	NA	NA



**FIGURE 5.1 OPEN SPACE PLAN**



## SUBSECTION 5.2: Street Trees

A. This Section defines requirements for new trees to be planted within the development.

B. Species: Acceptable trees species shall include the species indicated in Section 7300, Paragraph EE of the Mansfield Zoning Ordinance, and included herein as Appendix A.

C. Minimum Size: The minimum size trunk diameter of a newly planted required street tree shall be 3.5" (three and one half inches).

D. Minimum Tree Well Size: The minimum tree well size shall be 5' by 6' without using an approved root protection and barrier system. A smaller tree well or a tree well of different dimensions, may be used upon review and approval of plans, details, and specifications.

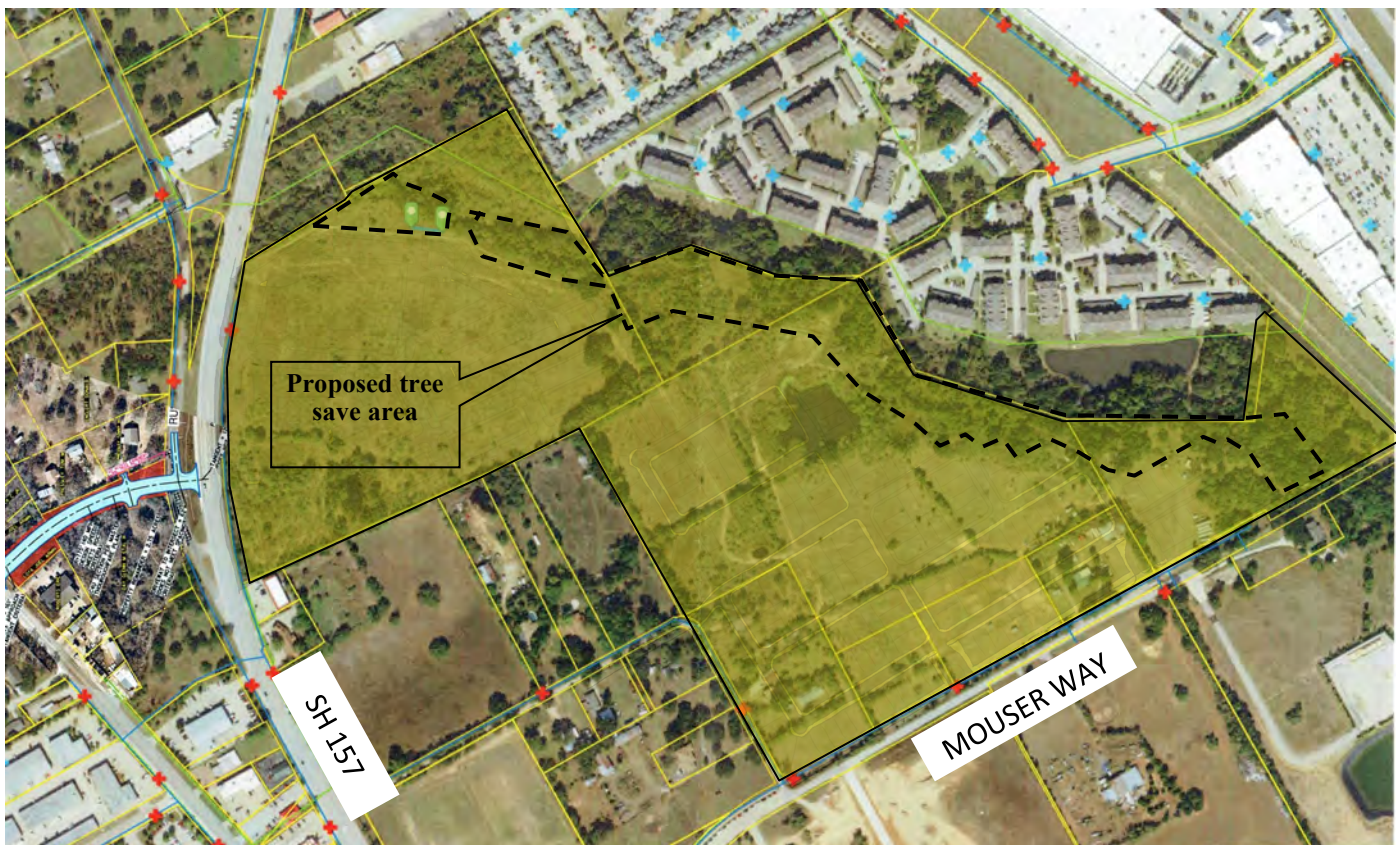
E. Minimum Parkway Width: The minimum width of a continuous parkway shall be 5' without using an approved root protection and barrier system.

F. Single family lots: No trees are required on the lot.

**TABLE 5.2 TREE PLANTING REQUIREMENTS**

ZONE	SPACING / PATTERN	COMMENTS
1, 2, 3, 4	CLUSTERED OR EQUALLY SPACED	Required trees located within the Open Spaces may be located anywhere within the designated open space and are not required to be placed adjacent to the curb. Tree locations shall be subject to compliance with the Visibility Zone requirements.
1, 3	35' O.C.	Tree planting along street frontage shall be 2.5' to 3/0' behind the curb.
1, 2		See Section 6 for parking lot landscape requirements.

*Figure 5.2 Tree Save Area*



**PARKING STANDARDS**

**SUBSECTION 6.1: REQUIRED PARKING STANDARDS**

The number of required parking spaces shall be determined as follows:

- A. Parking spaces for persons with disabilities will be provided in the number and with such dimensions as are required by the Texas Accessibility Standards.
- B. The parking requirement may be reduced upon a submittal of the parking calculation by the applicant and approval by the City.
- C. Dimensions. The minimum required dimensions of parking spaces and aisles, if any, shall be as indicated in this Section 6.
- D. On-Street Parking: On-street parking may be counted toward required parking. No on-street parking space may be counted toward more than one platted lot.
- E. Covered Parking: Structure is to be masonry or metal and must comply with the regulations governing building materials. Carports of metal construction are permitted. Provide a minimum 3' clearance to fire lanes.
- F. Trees: Trees shall be planted in parking lots such that all parking spaces within a surface parking lot shall be located within 60' of a tree.

TABLE 6.1 MINIMUM REQUIRED PARKING	
OCCUPANCY / USE	MINIMUM REQUIRED PARKING
General Office and Retail "Blended Rate"	1 space per 250 sq ft (4/1000 SF)
General Office only	1 space per 333 sq ft (3/1000 SF)
Restaurant	1 space per 100 sq ft (10/1000 SF)
Multifamily	1.5 spaces per unit
Age-Restricted Housing	1.2 spaces per unit
Single Family	2 spaces off-street

TABLE 6.2 PARKING STANDARDS		
PARKING TYPE	PARKING STANDARD	COMMENT
ON-STREET PARKING:		
Parallel Parking:	8' x 20' min	From Back of Curb
Angled-in Parking	See Figure 6.1	Angle = 60° from Curb
PARKING LOTS		
Parking Space, Typical	9' x 18'	Accessible spaces comply w ADA
Aisle Width	24' min	
Landscape Requirements		1 tree per 12 spaces average
Tandem Spaces	9' x 18'	Only behind associated garage space for same tenant
GARAGES		
"Tuck-under" Garage Spaces	9' x 20' Min	Permitted in Zones 1 and 2
Tuck-under" Garage Doors		Garage Doors Required
Carport Spaces	9' x 18'	Not readily visible from public street

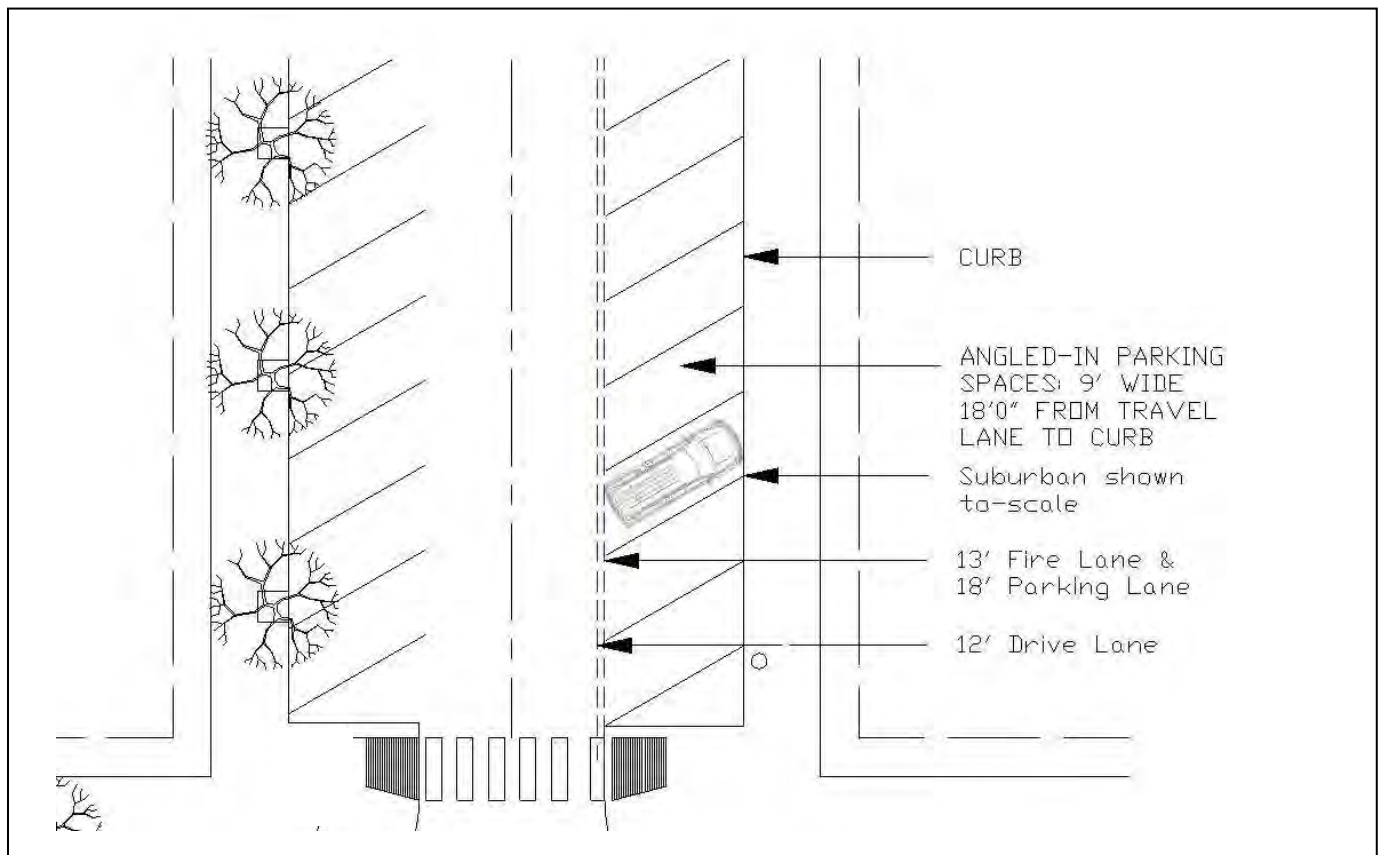


Figure 6.1: Angled-in Parking Dimensions

**ARCHITECTURE AND BUILDING STANDARDS**



**SECTION 7: ARCHITECTURAL STANDARDS**  
**General Standards Applicable to All Zones**

- A. General: The following tables and illustrations identify general regulations for all zones within the Watson Branch Planned Development.
- B. The intent of the architectural and building regulations is to establish specific development standards along the public Rights-of-way that are appropriate to the surrounding neighborhoods, and to allow greater flexibility where the buildings are not visible from the public ROW's.
- C. Since the Planned Development does not include detailed engineering plans, any architectural elements that are required by engineering due to grading, such as retaining walls or stem walls, shall be permitted.
- D. Where the tables require a specific quantity of a wall material, that area is measured excluding windows, doors and other appurtenances.
- E. If a material is not addressed in the table, or if a new material falls into a prohibited category but should be permitted, the material may be submitted to DRC for an evaluation. If it is deemed appropriate, it may be approved administratively.
- F. Though wood siding is not permitted, wood may be used decoratively, for eave brackets, rafter tails, porch column wraps, and other elements subject to building and fire codes.

**TABLE 7.1 GROUND FLOOR BUILDING STANDARDS**

P= PERMITTED R= REQUIRED N=NOT PERMITTED NA= NOT APPLICABLE

ITEM	OVERLAY AREA	ZONES 1 AND 2
<b>PRIMARY UNIT ENTRANCE</b>		
ACCESS FROM SIDEWALK	R	P
ACCESS FROM INTERIOR CORRIDOR	P	P
MINIMUM GLASS AREA (FIG 7.1)	60%	25%
<b>MINIMUM CEILING HEIGHT</b>	10'	8'

OVERLAY AREA: GROUND FLOOR COMMERCIAL STOREFRONT STANDARDS  
'Commercial Standards' applies only to the appearance, not building code requirements.



SIGN BAND

GLASS AREA MINIMUM:

Height = Window Sill to Ceiling at the store front.

Length = frontage of tenant space

Wall Area = Height x Length

Glass Area = 60% of wall area minimum

Required panels under windows: 6" min / 36" max.

*Figure 7.1: OVERLAY AREA: Ground floor commercial storefront standards fronting SH 157*

TABLE 7.2 MATERIAL BUILDING STANDARDS					
P= PERMITTED R= REQUIRED N=NOT PERMITTED NA= NOT APPLICABLE					
ITEM	OVERLAY AREA	ZONE 1	ZONE 2	ZONE 3	ZONE 4
<b>FRONT FACADE MATERIALS</b>					
MASONRY, minimum	R - 90%	R - 75%	R - 75%	R-75%	R - 75%
HARDI-BOARD, maximum (EXCLUDING RECESSED BALCONIES)	P - 10%	P - 25%	P - 25%	P - 25%	P - 25%
WOOD	N	N	N	N	N
METAL, maximum	P - 10%	P - 10%	P - 10%	P - 10%	P - 10%
EXPOSED CMU	N	N	N	N	N
EXPOSED AGGREGATE	N	N	N	N	N
<b>REAR FAÇADE MATERIALS</b>					
MASONRY, minimum	R - 50%	R - 25%	R - 25%	R-50%	R - 50%
HARDI-BOARD, maximum	P - 50%	P - 75%	P - 75%	P - 50%	P - 50%
WOOD	N	N	N	N	N
METAL, maximum	P - 10%	P - 10%	P - 10%	P - 10%	P - 10%
EXPOSED CMU	N	N	N	N	N
EXPOSED AGGREGATE	N	N	N	N	N
* FACADE MATERIAL SHALL TRANSITION A MINIMUM OF 20' AROUND BUILDING CORNER TO INTERNAL AREA OF A BLOCK * MASONRY MATERIALS INCLUDE BRICK, STONE, CULTURED STONE, STUCCO, AND CAST STONE, BUT EXCLUDE CMU AND EXPOSED CONCRETE.					

#### G. SINGLE FAMILY BUILDING STANDARDS

1. Zones Permitted: Zones 2, 3, 4
2. Architecture: Development of new homes should address the following:
  - a. Use of single-story roofs and porches on front elevations is encouraged.
  - b. Architectural elements, such as simple roof forms, facade articulation, roof breaks, walls with texture materials and ornamental details, and incorporation of landscaping, are encouraged.
  - c. Facade treatment, relevant to the home's style should be carried throughout the entire house with each facade and any accessory structure.
  - d. Architectural features such as decorative moldings, windows, dormers, chimneys, balconies and railings, and landscaping elements such as lattices are encouraged.
  - e. Large areas of flat, blank wall and lack of treatment are strongly discouraged.
  - f. Two story entry features are discouraged.
3. Materials—Permitted and Prohibited: Materials for structures shall be in compliance with Table 7.2.
4. Building and accessory structures location on lot:
  - a. Garage doors accessible from the street shall be constructed of decorative wood cladding ("Carriage Door" Style) or stained simulated wood cladding (See Section 3.7.C. page 19.)
  - b. Alley garages may use painted aluminum garage doors.

5. Required Features:
  - a. Minimum Roof Pitch: 6:12, except porches.
  - b. Architectural grade asphalt shingles, or better.
  - c. Wood or stained fiberglass simulated wood grain front door.
  - d. No facade may be repeated within any 5 adjacent lots or across the street from those lots.
  - e. Concealed or screened HVAC units, trash storage, and utility meters.
  - f. If brick is used, brick shall be coursed exactly to the top and bottom of wall openings.
  - g. If brick is used, a soldier course or other masonry header is required above windows & doors on the facade(s) facing the street.
  - h. If shutters are used, shutters shall be one-half the width of, and the same height of the associated opening. All shutters shall be louvered, paneled, or constructed of boards as appropriate to the style of the building. Shutters do not need to be operable.
  - i. Gutters shall be copper, galvanized steel, aluminum or painted if exposed.
  - j. Downspouts shall be located at building corners and columns wherever possible.
  - k. If chimneys are visible, they shall be sheathed in brick, stone, stucco or cementitious siding.
  - l. If chimneys are located on a street-facing wall, they shall extend to the ground.
  - m. Columns visible from the street shall be not less than 6" x 6" in cross section.
  - n. Front steps of 3 or more risers shall have treads not greater than 12 inches.
  - o. Direct Vent Fireplaces are permitted
  - p. Wood Fences, not to exceed 6' in height, along alleys must be constructed with the support structure on the yard side of the fence.
6. **Optional Features**—each home must use at least 4 of the following features:
  - a. Stoop and portico at front door
  - b. Front porch or front stoop steps and railing
  - c. Front Porch roof
  - d. Decorative or architectural porch railing
  - e. Second story porch
  - f. If brick or stucco is used, a stone base below first floor windows shall be installed.
  - g. Facades using stone to cover 70% or more of the exterior.
  - h. Tile, slate, or simulated tile or simulated slate roof material.
  - i. Decorative eave and soffit.
  - j. Trim at gable rake.
  - k. Decorative roof finials or ornamentation.
  - l. Decorative attic or gable feature greater than 3 square feet in size
  - m. Trim 2 inches or wider at windows and doors of the street facade.
  - n. Arched window head or heads (depending on architectural style) on street facade.
  - o. Dormer with window.
  - p. Window shutters on street facade(s).
  - q. Divided light windows.
  - r. Decorative concrete driveway
  - s. Garage Doors of "Carraige Style" wood cladding (See Section 3.7.C. Page 19)
  - t. Incorporate at least two of the following:
    - i. Two single garage doors
    - ii. Decorative windows
    - iii. Decorative hardware



**SIGNAGE**

SECTION 8: SIGNAGE STANDARDS

General Standards Applicable Zones 1 and 2

- A. General: The following tables and illustrations identify general regulations for all zones within the Watson Branch Planned Development.
- B. The Watson Branch Planned Development shall comply with the Mansfield Sign Regulations as established in Section 7100 of the Mansfield Zoning Ordinance, except as described below.
- C. For the purpose of enforcement of signage regulations, the Watson Branch Planned Development fronting SH 157 may consist of multiple businesses, and may include the following signage types.
- D. Wall Signs: Businesses with SH 157 frontage shall be permitted one Wall Sign not to exceed 30 feet in length or 4 feet in height.
- E. Monument Signs: A Monument Sign not to exceed 50 square feet per side, shall be permitted at each entry from SH 157. A Monument Sign or a sign affixed to an entry wall, shall be permitted at each entry from Mouser Road, and shall not exceed 50 SF per side.
- F. Projection Signs: A projection sign, not to exceed 50 SF per side, shall be permitted on each building fronting SH 157.
- G. Blade Signs: A projection sign, not to exceed 20 SF per side, shall be permitted for each business tenant.

WALL SIGN, PLUS:

PROJECTION SIGN OR

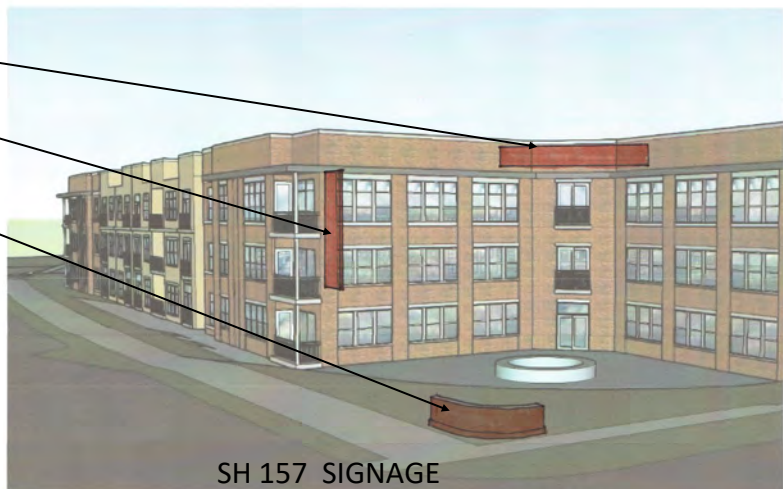
MONUMENT SIGN



WALL SIGN, PLUS:

PROJECTION SIGN OR

MONUMENT SIGN



**DEFINITIONS**



### **Administrative**

**Regulating plan.** A plan for adoption of zoning that establishes the location of component zones, establishing land uses and development standards.

**Zone.** An area within the Regulating Plan that specifies a specific set of development rules and standards.

### **Buildings**

**Building Height** The vertical distance measured from the lowest finished floor to the bottom of the roof eave on sloped roofs or to the roof surface on a flat roof.

**Building Area** The total square feet of floor space within the outside dimensions of a building, including each floor level, but excluding cellars, carports or garages.

**Commercial Standards** Commercial Standards refer to the Ground Floor requirements for buildings as described in Section 7.

**Facade.** Façade is the exterior face of the building fronting or oriented toward a street or roadway, excluding alleyways.

**Finish Floor Elevation** The vertical measurement of any floor relative to Sea Level.

**Floor Area** See *Building Area*

**Ground Floor** The floor of a building which contains the primary entrance and exit nearest to the exterior grade level for pedestrian access.

**Ground Floor Elevation** The vertical measurement of the Ground Floor relative to Sea Level.

**Glass Area** The area of glass and its supporting frame that meets the standards identified in Section 7.

**Primary Entrance.** The primary entrance is the main or principal pedestrian entrance of all buildings (except outbuildings). For buildings fronting a street, the primary entrance is the entrance designed for access by pedestrians from the sidewalk. This is the primary architectural entrance even though day-to-day residential access may be via a secondary entrance associated with a garage, driveway or other vehicular use area.

**Sign Band** The portion of a building façade, above the first floor glass area, devoted to signs indicating the names or marks of the businesses occupying the tenant spaces.

### **Lots**

**Building line** See “Setback”

**Lot** An undivided tract or parcel of land under one ownership having frontage on a street and either occupied or to be occupied by a building or building group together with accessory buildings or an open space.

**Lot Area** The net area of the lot, excluding streets and alleys

**Lot line** means the lines bounding a lot.

**Lot line, front,** means any lot line adjacent to a street or public access easement.

**Lot line, rear,** means any lot line opposite a front lot line and not adjacent to a street or public access easement.

**Lot line, side,** means any lot line not designated as a front or rear lot line.

**Lot Width** the distance between the side lot lines measured along the required front yard setback line. In the case of a lot having more than one required front yard, the lot width shall be measured along the building line associated with the street address.

**Lot Depth** The average distance between the front lot line and the rear lot line

**Lot Coverage** the percentage of a lot or tract covered by the foundation or first floor of buildings

**Setback** means a line parallel or approximately parallel to the street line or property line, at a specified distance therefrom, establishing the minimum distance from the street line or property line that a building may be erected.

**Signage Area** Signage area is the smallest rectangle that encompasses all text and logos.

**Street Frontage** The side of a lot facing or abutting a street or public park

### **Open Space**

**Buffer, Landscape** areas of land parallel to streets or to adjacent land uses, and abutting a property

line, set aside to provide visual screening through the use of landscaping or fences or both.

**Floodplain** An area, through design or designation, set aside to accept and temporarily store storm water above grade. May also be used as a Park or other Open Space.

**Open Space:** Any outdoor area generally without buildings or parking, except as an accessory use.

**Park:** A park is a type of Open Space that is designed mainly for unstructured recreation. A park consists of areas of turf, trees, paths, trails, and park furnishings

**Plaza.** A plaza is an open space available for civic purposes and commercial activities. A plaza is bounded by buildings and streetscape and consists primarily of pavement with trees being optional. Plazas can be wider sidewalks or extensions of sidewalks for the purpose of providing outdoor seating for restaurants and cafes.

**Preserve.** An open space reserved for land that is intended for conservation. It consists of areas in the flood plain, woodlands, creeks, water bodies, steep grades, and other environmentally sensitive lands.

### **Parking**

**Parking, Carport** a roofed structure open on at least one side and used or designed to be used for the storage of one or more vehicles at or near the same elevation as the adjacent driveway, alley, or parking lot.

**Parking Garage** An enclosed space, or portion of a building to store vehicles at or near the ground floor level.

**Parking Lot** An area within a lot, to store multiple vehicles

**Parking Space** A paved area to store one vehicle

### **Streets& Streetscape**

**Alleya** space or thoroughfare that affords secondary means of access to a lot. Lot lines adjacent to alleys, alley easements, or alley rights-of-way do not constitute frontage.

**Median** The portion of the street, between the travel lanes of opposite direction, devoted to landscaping.

**Parking Lane** The portion of the street devoted to on-street parking.

**Parking, On-street** A lane within the Street devoted to the storage of vehicles.

**Porch Space** An area between the Build-to Line or the Setback line and the Property Line that permits portions of the building, such as porches, to encroach into the setback area.

**Streetscape.** Streetscape includes all improvements in a public right-of-way or private easement between the street curb and the Building Façade. Improvements include sidewalk, street trees, street lights, signage, and furnishings such as benches, trash receptacles, drinking fountains, bike racks, etc.

**Travel Lane** The portion of the street devoted to moving vehicles.

**(Tree) Parkway** The continuous landscaped area located within the Pedestrian Easement, between the sidewalk and the street curb, devoted to trees.

**Tree Space** The portion of the Streetscape adjacent to the street curb, devoted to trees planted in tree wells or in a continuous parkway.

### **Uses**

**Single-family residential, detached dwelling unit.**

A single-family detached residential unit is a freestanding building on an individual lot or tract of land intended for occupancy by one family.

**Single-family residential, attached dwelling unit.**

A single-family attached residential unit is a building on an individual lot intended for occupancy by one family that shares one or more common walls with similar adjacent units, also on individual lots.

**EE. Recommended Plant List:** All plants used to satisfy this ordinance shall be of a species common or adaptable to this area of Texas. The following is a list of recommended plants. Plant material not on this list must be approved by the Landscape Administrator before installation.

**Canopy-type Trees**

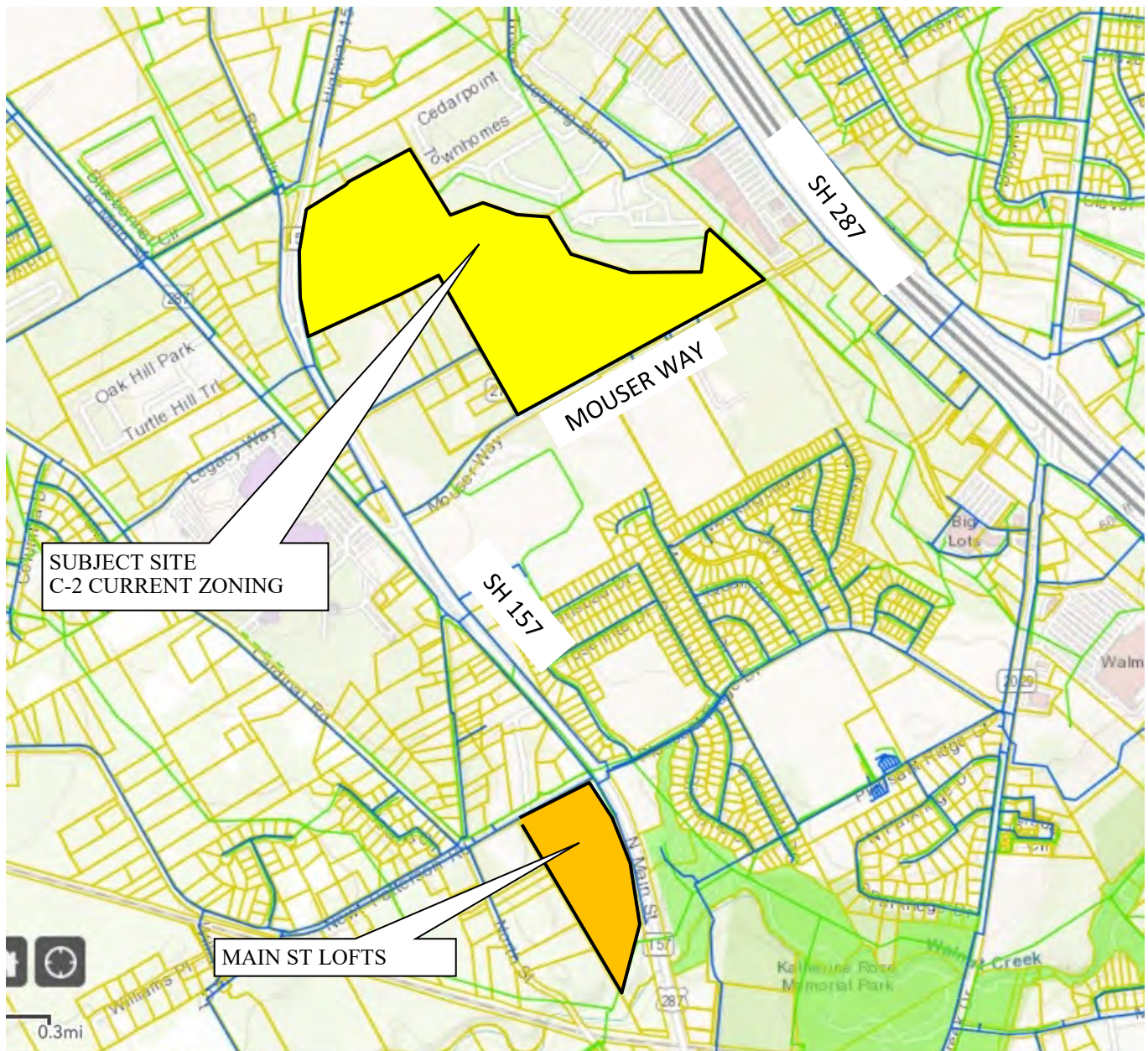
American Elm  
Bald Cypress  
Black Hickory  
Black Oak  
Black Walnut  
Blackjack Oak  
Bur Oak  
Cedar Elm  
Chinese Pistache  
Chinquapin Oak  
Dawn Redwood  
Durand Oak  
Eastern Red Cedar  
Big Tooth Maple  
Ginkgo  
Green Ash  
Gum Bumelia  
Lacebark Elm  
Lacey Oak  
Live Oak  
Pecan  
Post Oak  
River Birch  
Rusty Blackhaw  
Sawtooth Oak  
Shumard Red Oak  
Southern Magnolia  
Sweet Gum  
Green Ash  
Texas Ash  
Texas Oak  
Texas Walnut

**Medium/Ornamental Trees**

Afghan Pine  
Austrian Pine  
Bigelow Oak  
Black Cherry  
Carolina Buckthorn  
Cherry Laurel  
Crape Myrtle  
Deciduous Holly  
Desert Willow  
Eve's Necklace  
Flowering Crabapple  
Goldenrain Tree  
Hercules Club  
Japanese Black Pine  
Japanese Maple  
Mexican Buckeye  
Mexican Plum  
Native Hawthorns  
Reverchon and Littlehip)  
Persimmon  
Ponderosa Pine  
Possumhaw Holly  
Prairie Flame-leaf Sumac  
Redbuds  
Rusty Blackhaw Viburnum  
Savannah Holly  
Shantung Maple  
Slash Pine  
Southern Wax Myrtle  
Texas Buckeye  
Vitex  
Yaupon Holly

7300-21

## ZONING LOCATION MAP



## **PLANNING AND ZONING COMMUNICATION**

Agenda: June 17, 2019

Subject: ZC#19-007: Public hearing for a change of zoning from PD Planned Development District to PD Planned Development District for retail, restaurant, and other commercial uses, to also include an auto repair garage on approximately 0.71 acres located at 3121 E. Broad St.

### **GENERAL INFORMATION**

Applicant:	John Davis of Brakes Plus (developer) Mathias Haubert of Bohler Engineering (project manager) Dean O. Cardwell of Bohler Engineering (engineer) Norman L. Herman (architect) James W. Gibson of Evergreen Design Group (landscape architect) Nicholas Trevino of Accent Graphics, Inc. (signage contractor)
Size:	0.71 acres
Proposed Use:	Auto repair garage
Existing Land Use:	Vacant land
Surrounding Land Use & Zoning:	North – Multi-tenant retail center (PD) South – Broad St.; Eating place with drive-thru (PD) across the street East - Eating place with drive-thru (PD) West - Mansfield High School (SF-12/22)
Thoroughfare Plan Specification:	Broad St. – Principal Arterial (six-lane divided)

### **COMMENTS AND CONSIDERATIONS**

The subject property consists of approximately 0.71 acres located at 3121 E. Broad St. on Lot 2 of the Broad Street Marketplace shopping center. The applicant is requesting to improve the lot with a Brakes Plus auto repair garage. An auto repair garage is not a permitted use in the approved planned development (PD) for this shopping center; as such, the PD will require a major modification to allow this use on this particular lot and the provided exhibits (site plan, elevations, landscape plan, and sign plan) will govern the use and improvement of this lot.

#### **Site Plan**

The applicant is proposing a 4,915 sq. ft. single-story auto repair garage facility (Brakes Plus), which will include eight service bays oriented on the eastern portion of the building, as well as an office and waiting area situated in the southwestern part of the building. The public entrance into the waiting area will be located on the west side of the building and sidewalks will be located on the southern and western portions of the building to provide access from the parking lot. Employee entrances will be located on the north elevation of the building and will also be accessed by sidewalks.

The site will have its primary access point at the northeast corner of the property, connecting to the main east-west drive aisle serving the outlots of the Broad Street Marketplace development. An additional access point at the southeast corner of the property will connect directly to the Costa Vida restaurant to the east. To serve pedestrians, a sidewalk connection will be made directly into the site from the sidewalk along Broad Street.

The site will provide 20 parking spaces, which is double the Zoning Ordinance requirement of 10 parking spaces, based on the calculation of 1 parking space per 500 sq. ft. of floor area that has been established for auto repair garages.

The applicant will provide a trash enclosure in the northwestern portion of the property, which will be screened in accordance with Section 7301.B of the Zoning Ordinance. Sidewalk connections will facilitate employee access to the trash enclosure. The applicant also notes that all equipment will be designed and screened in accordance with Section 7301.A of the Zoning Ordinance. The applicant has also specified that there will be no outside storage of materials and no outside storage of vehicles awaiting repair outside of normal business hours.

#### Elevations

The provided Elevations show two color varieties of concrete block as the primary building material (60%), with two color varieties of manufactured stone and three color varieties of EIFS comprising much of the rest of the building materials, at 12.7% and 23.8% respectively, with the stone primarily forming the corner columns of the building and both the EIFS and manufactured stone highlighting the main entrance of the building. Metal flashing and a canopy feature will also accentuate the building. The architect has provided tables showing the building materials calculations on each elevation and has demonstrated that the building as a whole will be 72.7% masonry and 27.3% non-masonry. The building will feature a flat roof design with parapet walls. The height of the parapets will mostly vary between 22' and 24', with the southwestern corner of the building (where the main entrance is located) rising to 28'. The building includes a series of wall plane recesses and projections, however the depth of some of these recesses/projections appears to be 2' shallower than what is typically allowed in Section 4600 of the Zoning Ordinance, which specifies 4'. The overhead doors for the service bays will all include windows and the southwestern corner of the building will also feature an abundance of windows near the main entrance. The trash enclosure will include concrete block to match the building.

#### Landscape Plan

As indicated in the Landscape Plan, the applicant will provide a 10' landscape buffer along the west side of the property (adjacent to the high school) and a 20' landscape setback along the south property line adjacent to Broad Street. In lieu of plantings, a 6' masonry screening wall has already been built along the west property line adjacent to the high school. In the 20' landscape setback along Broad Street, three red oak trees will be planted. In addition, the parking lot will be screened by shrubs and the parking lot will also include two cedar elm trees in landscape islands (1 for every 10 parking spaces). The trash enclosure area will also be screened by shrubs. Staff notes that the applicant will need to correct the Plan to provide for a 20' landscape setback along Broad and a 10' landscape buffer along the west property line to match the PD.



### Sign Plan

The applicant has provided a Sign Plan showing the specifications for the proposed signage on the property. In lieu of a monument sign, the applicant will have two walls signs. The wall signs will be of equal size (16' in width) with one on the south elevation (facing Broad Street) and one on the west elevation (facing the high school property). The signage, particularly as it relates to quantity, location, and size, is in compliance with the standards for C-2 zoned properties as established in Section 7100 of the Zoning Ordinance. However, staff notes that the elevation locations will need to be corrected on the first page of the plan.

### Recommendation

While an auto repair garage was not included as an approved use in the original planned development, the proposed building and its landscaping and signage mostly complies with the regulations of the planned development and/or C-2 zoning, aside from some slight deviations to the architectural requirements. Staff recommends that any action be conditioned on the applicant removing the topographical and utility information from the Site Plan, correcting the Landscape Plan to provide for a 10' landscape buffer with appropriate plantings adjacent to the west property line and a 20' landscape setback adjacent to Broad Street, and correcting the wall sign locations on Page 1 of the Sign Plan.

### **Attachments:**

Maps and Supporting Information

Exhibit A – Property Description

Exhibit B – Site Plan

Exhibit C – Elevations

Exhibit D – Landscape Plan

Exhibit E – Sign Plan



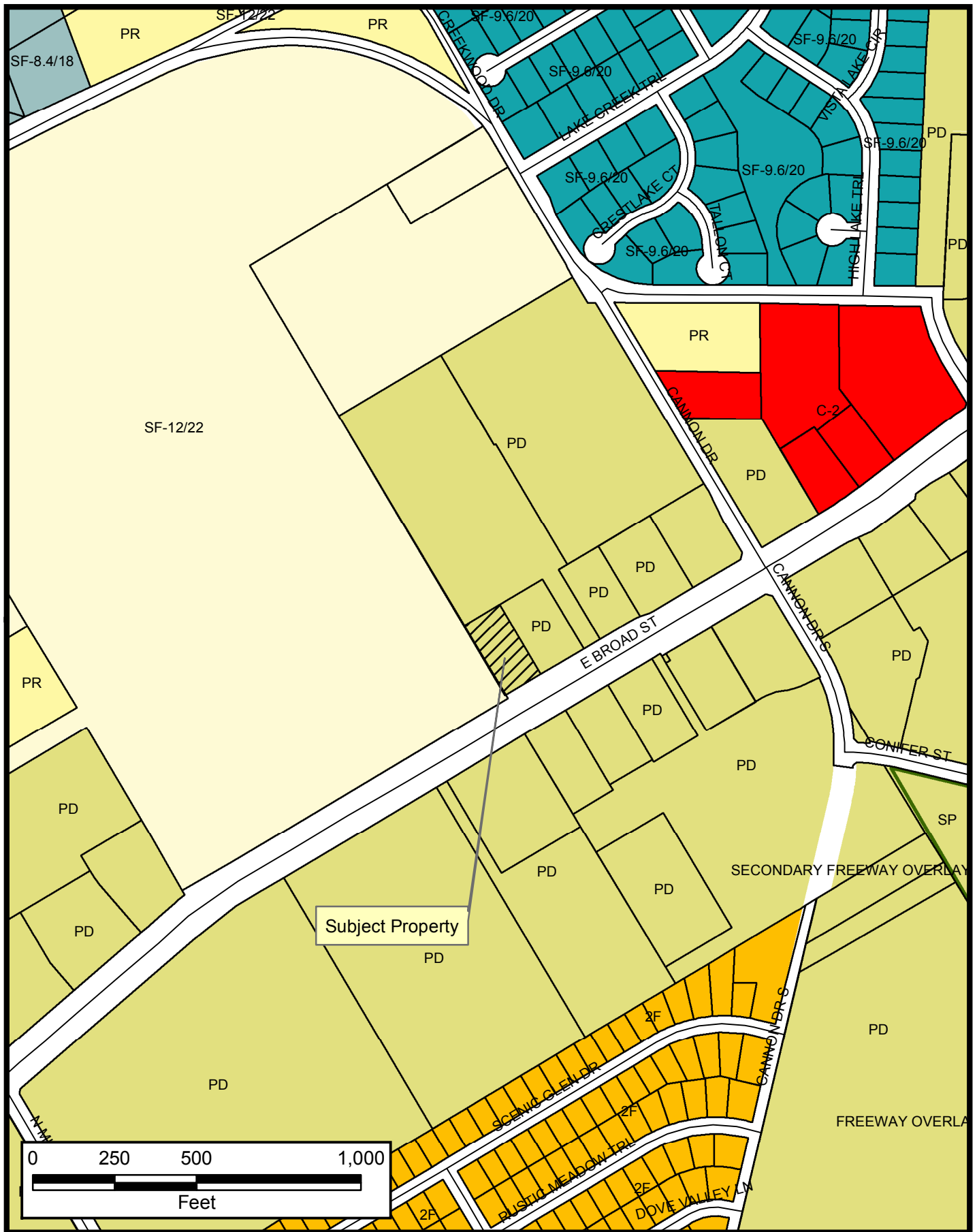


**ZC#19-007**

This information is for illustrative purposes only. Not for design or development purposes. Site-specific studies may be required to obtain accurate feature locations. Every effort is made to ensure the information displayed here is accurate; however, the City of Mansfield makes no claims to its accuracy or completeness.

6/5/2019





## Property Owner Notification for ZC#19-007

LEGAL DESC 1	LEGAL DESC 2	OWNER NAME	OWNER ADDRESS	CITY	ZIP
BROAD ST MARKETPLACE	BLK 1	LG BROAD CANNON LLC	3500 MAPLE AVE STE 1600	DALLAS, TX	75219
BROAD ST MARKETPLACE	BLK 1	LG BROAD CANNON LLC	3500 MAPLE AVE STE 1600	DALLAS, TX	75219
BROAD ST MARKETPLACE	BLK 1	LG BROAD CANNON LLC	3500 MAPLE AVE STE 1600	DALLAS, TX	75219
HOWARD, HRS OF WILLIAM ADD	BLK 1	HART SYSTEMS INC	PO BOX 40888	FORT WORTH, TX	76140-0888
MANSFIELD HIGH SCHOOL ADDITION	BLK 1	MANSFIELD, ISD	605 E BROAD ST	MANSFIELD, TX	76063-1766
NEW INTERMEDIATE SCH SOUTH ADD	BLK 1	MANSFIELD, CITY OF	1200 E BROAD ST	MANSFIELD, TX	76063-1805
VILLAGE OFF BROADWAY ADDN	BLK 1	CHICKEN OF THE POND	2204 W HARRIS RD	ARLINGTON, TX	76001

**EXHIBIT A**  
**ZC#19-007**

**LEGAL DESCRIPTION:**

Being a tract of land situated in the City of Mansfield, Tarrant County, Texas, a part of the William A. Howard Survey, Abstract No. 690, being all of Lot 2, Block 1, Broad Street Marketplace, an Addition to the City of Mansfield, Tarrant County, Texas, according to the Map thereof recorded under Instrument No. D217137284, Official Public Records, Tarrant County, Texas (O.P.R.T.C.T.), being part of a called 19.326 acre tract of land described in a Special Warranty Deed with Vendor's Lien to LG Broad Cannon, LLC, recorded in Instrument No. D217007667, O.P.R.T.C.T. and being more particularly described as follows:

**BEGINNING** at a one-half inch iron rod with yellow plastic cap stamped "Prop. Cor. Bohler" (herein after called "capped iron rod set at the west corner of said Lot 2 and an exterior ell corner of Lot 1, of said Broad Street Marketplace Addition, said iron rod being in the northeast line of Lot 1, Block 1, Mansfield High School Addition, an Addition to the City of Mansfield, Tarrant County, Texas, according to the Map thereof recorded under Cabinet A, Slide 6072, Plat Records, Tarrant County, Texas (P.R.T.C.T.);

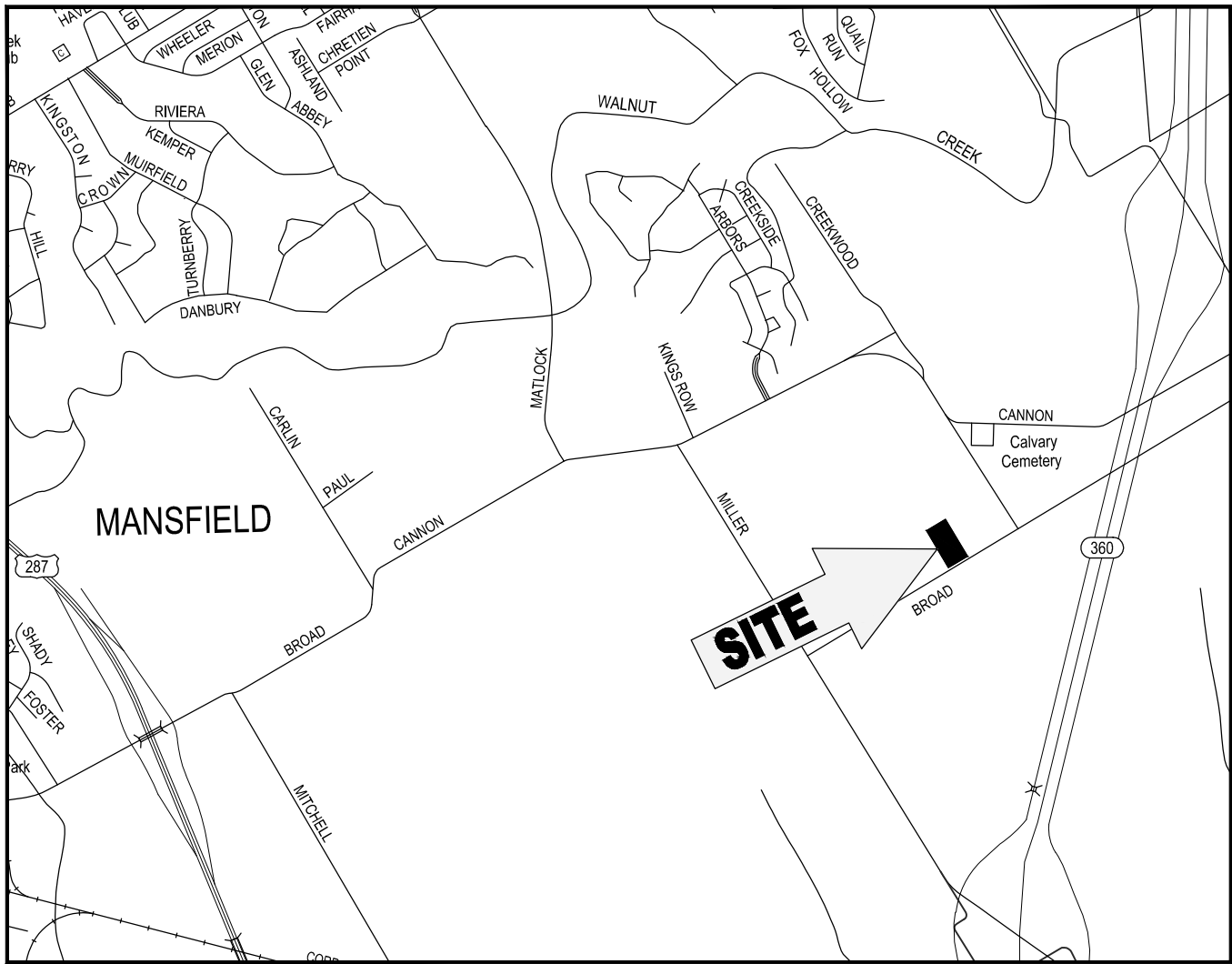
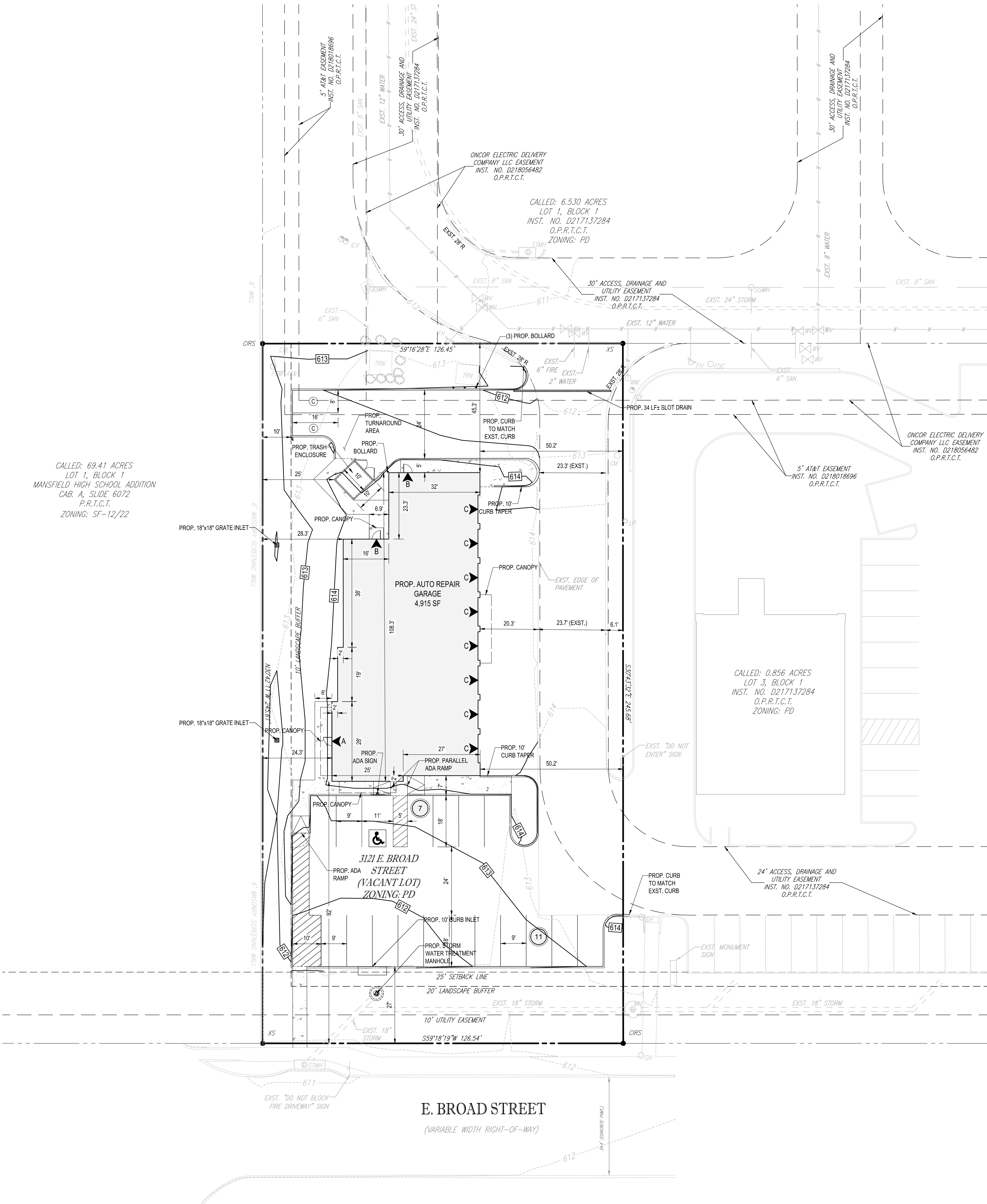
**THENCE** North 59 degrees 16 minutes 28 seconds East, a distance of 126.45 feet along the northwest line of said Lot 2 to a chiseled "X" cut in concrete set at the north corner of said Lot 2 and the west corner of Lot 3, of said Broad Street Marketplace Addition;

**THENCE** South 30 degrees 43 minutes 32 seconds East, a distance of 245.68 feet along the northeast line of said Lot 2 to a capped iron rod set at the east corner of said lot 2 and the south corner of said Lot 3, said iron rod being in the northwest line of E. Broad Street (a variable width right-of-way);

**THENCE** South 59 degrees 18 minutes 19 seconds West, a distance of 126.54 feet along the northwest line of said E. Broad Street to a chiseled "X" cut in concrete set at the south corner of said Lot 2 and the east corner of Lot 1, of said Mansfield High School Addition;

**THENCE** North 30 degrees 42 minutes 11 seconds West, a distance of 245.61 feet along the northeast line of Lot 1, of said Mansfield High School Addition to the **POINT OF BEGINNING** and containing 31,073 square feet or 0.713 acres.





LOCATION MAP  
SCALE: N.T.S.

SITE DATA SUMMARY	
SITE INFORMATION	
TOTAL LOT AREA	30,928 SF (0.71AC)
BUILDING AREA	4,915 SF
TOTAL LOT COVERAGE	20,103 SF (65%)
PARKING DATA	
REQUIRED	
TOTAL REQUIRED	1.0 / 500 SF; 10 SPACES
TOTAL ADA REQUIRED	1 SPACE FOR 1-25 SPACES
PROVIDED	
GENERAL PARKING	17 SPACES
COMPACT PARKING	2 SPACES
ADA COMPLIANT PARKING*	1 SPACES
TOTAL PROPOSED PARKING	20 SPACES
JURISDICTIONAL	
EXISTING ZONING / USE	PD 16-023
PROPOSED ZONING / USE	AMENDED PD 16-023
BUILDING SETBACKS:	
FRONT	25'
SIDE	N/A
REAR	N/A
LANDSCAPE BUFFER**	10' LANDSCAPE BUFFER FROM WEST 20' LANDSCAPE BUFFER FROM SOUTH

\* HANDICAP PARKING IS PROVIDED IN ACCORDANCE WITH ADA STANDARDS.

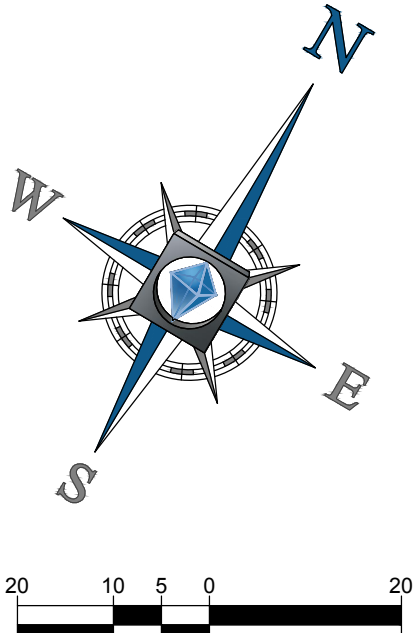
LEGEND	
---	BOUNDARY
---	EASEMENT
---	SETBACK LINE
---	PROP. SIDEWALK
⊙	COMPACT PARKING SPACE
A▶	LOBBY ENTRANCE
B▶	EMPLOYEE ENTRANCE
C▶	SERVICE BAY
⦿	EXST. FIRE HYDRANT
⦿	EXST. WATER METER
⦿	EXST. WATER VALVE
⦿	EXST. IRRIGATION CONTROL VALVE
⦿	EXST. STORM SEWER INLET
⦿	EXST. SANITARY SEWER MANHOLE
⦿	EXST. LIGHT POLE
TBR	TO BE REMOVED
CIRS	CAPPED IRON ROD SET
XS	CHISELED "X" FOUND IN CONCRETE

SITE PLAN NOTES:

- ALL DIMENSIONS ARE FROM FACE OF CURB OR FACE OF BUILDING UNLESS NOTED OTHERWISE.
- ALL PAVEMENT TO BE CONCRETE UNLESS NOTED OTHERWISE.
- ALL CURB RADII ARE 5' UNLESS NOTED OTHERWISE.
- CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF VESTIBULES, SLOPE PAVING, SIDEWALKS, EXIT PORCHES, TRUCK DOCKS, PRECISE BUILDING DIMENSIONS AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS.
- ALL DISTURBED AREAS ARE TO RECEIVE FOUR INCHES OF TOPSOIL, SEED, MULCH AND WATER UNTIL A HEALTHY STAND OF GRASS IS ESTABLISHED.
- EXISTING STRUCTURES WITHIN CONSTRUCTION LIMITS ARE TO BE ABANDONED, REMOVED OR RELOCATED AS NECESSARY. ALL COSTS SHALL BE INCLUDED IN BASE BID.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELOCATIONS, (UNLESS OTHERWISE NOTED ON PLANS) INCLUDING BUT NOT LIMITED TO, ALL UTILITIES, STORM DRAINAGE, SIGNS, TRAFFIC SIGNALS & POLES, ETC. AS REQUIRED. ALL WORK SHALL BE IN ACCORDANCE WITH GOVERNING AUTHORITIES REQUIREMENTS AND PROJECT SITE WORK SPECIFICATIONS AND SHALL BE APPROVED BY SUCH. ALL COST SHALL BE INCLUDED IN BASE BID.
- SITE BOUNDARY, TOPOGRAPHY, UTILITY AND ROAD INFORMATION TAKEN FROM A SURVEY BY A LAND SURVEYOR.
- MONUMENT SIGN SHALL BE CONSTRUCTED BY OTHERS. GC TO COORDINATE WITH OWNER FOR EXACT LOCATION PRIOR TO CONSTRUCTION.
- REFER TO ARCH. PLANS FOR SITE LIGHTING ELECTRICAL PLAN.
- DUMPSTER PAD AND TRANSFORMER PAD ARE TO BE INSTALLED USING HEAVY DUTY CONCRETE SECTIONS.
- ALL EQUIPMENT SHALL BE DESIGNED AND SCREENED IN ACCORDANCE WITH THE REGULATIONS OUTLINED IN SECTION 7301.A OF ZONING ORDINANCE.
- THE TRASH ENCLOSURE WILL BE SCREENED IN ACCORDANCE WITH THE REGULATIONS OUTLINED IN SECTION 7301.B OF ZONING ORDINANCE.
- THERE WILL BE NO OUTSIDE STORAGE OF MATERIALS ON THE PROPERTY.
- THERE WILL BE NO OUTSIDE STORAGE OF VEHICLES AWAITING REPAIR ON THE PROPERTY OUTSIDE OF NORMAL BUSINESS HOURS.
- STORM WATER TREATMENT MANHOLE WILL TREAT FOR POST-CONSTRUCTION WATER QUALITY.
- SEE APPROVED COSTA VIDA PLANS FOR EXACT EXISTING LAYOUT ON LOT 3, BLOCK 1.

APPLICANT:  
BRAKES PLUS, LLC  
1880 SOUTH PARK DR.  
BIRMINGHAM, AL 35244  
PHONE: (205) 397-1164  
CONTACT: JOHN DAVIS  
EMAIL: J.DAVIS@EXPRESSOIL.COM

OWNER:  
LEON CAPITAL GROUP  
3500 MAPLE AVENUE  
DALLAS, TX 75219  
PHONE: (214) 865-8082  
CONTACT: STEPHEN MCGURK  
EMAIL: SMCGURK@LEONCAPITALGROUP.COM



**BOHLER ENGINEERING**

SITE CIVIL AND CONSULTING ENGINEERING  
LAND SURVEYING DESIGN  
SUSTAINABLE DESIGN  
PERMITTING SERVICES  
TRANSPORTATION SERVICES

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ATLANTA, GA  
BALTIMORE, MD  
BIRMINGHAM, AL  
CHICAGO, IL  
CINCINNATI, OH  
COLUMBIA, SC  
DENVER, CO  
FORT LAUDERDALE, FL  
HOUSTON, TX  
INDIANAPOLIS, IN  
JACKSONVILLE, FL  
KANSAS CITY, MO  
LOS ANGELES, CA  
MEMPHIS, TN  
MIAMI, FL  
MINNEAPOLIS, MN  
NEW YORK, NY  
PHILADELPHIA, PA  
PORTLAND, ME  
SAN ANTONIO, TX  
SAN JOSE, CA  
SEATTLE, WA  
SPRINGFIELD, IL  
TAMPA, FL  
WASHINGTON, DC  
WICHITA, KS

REVISIONS			
REV	DATE	COMMENT	BY

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CONSTRUCTION

PROJECT No.: TD190011  
DRAWN BY: MJH  
CHECKED BY: MJH  
DATE: 5/20/19  
SCALE: 1"=20'  
CAD I.D.: SS0

PROJECT:  
PD AMENDMENT  
& FINAL SITE PLAN

FOR  
**brakes plus**

LOCATION OF SITE  
3121 E BROAD ST  
MANSFIELD, TX 76063  
TARRANT COUNTY  
0.71 ACRES - LOT 2, BLOCK 1,  
BROAD STREET MARKET PLACE

**BOHLER ENGINEERING**

6017 MAIN STREET  
FRISCO, TX 75034  
Phone: (469) 458-7300  
TX@BohlerEng.com  
TBP'S NO. 10194413

PLANS PREPARED BY  
**BOHLER ENGINEERING**

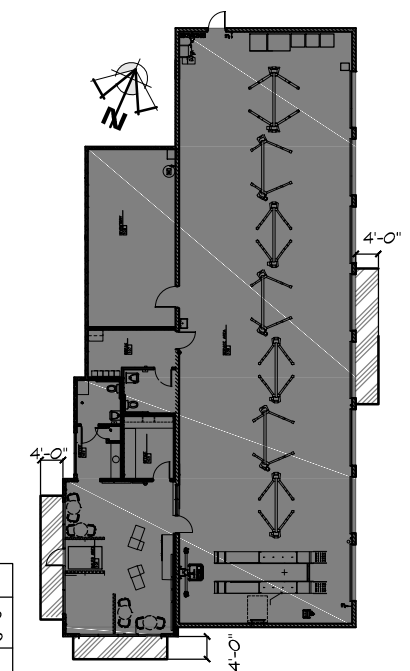
FOR REVIEW PURPOSES ONLY  
DEAN G. CARDWELL  
LICENSE NUMBER: 115432

SHEET TITLE:  
**SITE PLAN**

SHEET NUMBER:  
**EXHIBIT B**

ZC#19-007









## GENERAL PLANTING NOTES

- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL EXISTING VEGETATION (EXCEPT WHERE NOTED TO REMAIN), BEFORE STARTING WORK. THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE GRADE OF ALL LANDSCAPE AREAS ARE WITHIN  $\pm 0.4$  INCH (ONE GRAB) OF THE FINISH GRADE. THE CONTRACTOR SHALL REPORT ANY DISCREPANCIES TO THE OWNER. DISCREPANCIES EXIST. SEE SPECIFICATIONS FOR MORE DETAILED INSTRUCTION ON TURF AREA AND PLANTING BED PREPARATION.
2. THE LANDSCAPE CONTRACTOR SHALL CONSTRUCT AND MAINTAIN FINISH GRADES AS SHOWN ON GRADING PLANS, AND CONFORM WITH THE FINISH GRADES SPECIFIED ON THE GRADING PLANS. THE CONTRACTOR SHALL MAINTAIN THE FINISH GRADES AND HAVE POSITIVE DRAINAGE AWAY FROM STRUCTURES AT THE MINIMUM SLOPE SPECIFIED IN THE REPORT, AND AREAS OF POTENTIAL PONDING SHALL BE REGRADED TO BLEND IN WITH THE SURROUNDING GRADES AND ELIMINATE PONDING POTENTIAL. SHOULD ANY CONFLICTS AND/OR DISCREPANCIES ARISE BETWEEN THE GRADING PLANS, GEOTECHNICAL REPORT, THESE NOTES, AND ACTUAL CONDITIONS, THE CONTRACTOR SHALL IMMEDIATELY BRING SUCH ITEMS TO THE ATTENTION OF THE LANDSCAPE ARCHITECT AND OWNER.
3. CONTRACTOR SHALL ENSURE THAT THE GRADE IN SOD AREAS SHALL BE 1" BELOW FINISH GRADE AFTER INSTALLING SOD. SOD SHALL BE PLANTED AT A MINIMUM OF 1/2" BELOW FINISH GRADE. THE CONTRACTOR SHALL MAINTAIN A MINIMUM OF 6" OF CONCRETE WALKS AND CURBS SHALL NOT PROTRUDE ABOVE THE FINISH SURFACE OF THE WALKS AND CURBS. MULCH COVER WITHIN 12" OF WALLS SHALL BE AT LEAST 3" LOWER THAN THE TOP OF WALL.
4. INSTALL 5 OUNCE, WOVEN, NEEDLE-PUNCHED POLYPROPYLENE FABRIC UNDER ALL MULCHED AREAS AND INDIVIDUAL TREE RINGS. INSTALL SHREDDED HARDWOOD CHIPS OR MULCH LAYING IN ALL PLANTING BEDS (2" DEPTH) AND ALL TREE RINGS (3" DEPTH). DO NOT INSTALL MULCH WITHIN 6" OF TREE ROOT FLARE.
5. INSTALL 14G GREEN STEEL EDGING BETWEEN ALL PLANTING BEDS AND TURF AREAS, AND BETWEEN GROUNDCOVERS AND OTHER PLANTING AREAS. THE CONTRACTOR SHALL MAINTAIN THE EDGING AT A MINIMUM OF 1/2" BELOW FINISH GRADE.
6. HYDROMULCH ALL DISTURBED AREAS OUTSIDE OF PROPERTY LINES (UNLESS SHOWN AS SOD).
7. ALL PLANT LOCATIONS ARE DIAGRAMMATIC. ACTUAL LOCATIONS SHALL BE VERIFIED WITH THE LANDSCAPE ARCHITECT OR DESIGNER PRIOR TO PLANTING. THE LANDSCAPE CONTRACTOR SHALL ENSURE THAT ALL REQUIREMENTS OF THE PERMITTING AGENCIES (USE THE CITY OF CHICAGO) ARE MET. THE CONTRACTOR SHALL MAINTAIN THE PERMITTING AGENCIES' REQUIREMENTS.
8. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR DETERMINING PLANT QUANTITIES. PLANT QUANTITIES SHOWN ON LEGENDS AND CALLOUTS ARE FOR GENERAL INFORMATION ONLY. IN THE EVENT OF A DISCREPANCY BETWEEN THE PLAN AND THE PLANT LEGEND, THE PLANT QUANTITY AS SHOWN ON THE PLAN (FOR INDIVIDUAL SYMBOLS) OR CALLOUT (FOR GROUNDCOVER, PATTERNS) SHALL TAKE PRECEDENCE.
9. NO SUBSTITUTIONS OF PLANT MATERIALS SHALL BE ALLOWED. IF SOME OF THE PLANTS ARE NOT AVAILABLE, THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE LANDSCAPE DESIGNER IN WRITING (VIA PROPER CHANNELS).
10. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF THE LANDSCAPE ON THE OWNER'S REPRESENTATIVE. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL WORK SHOWN ON THESE PLANS FOR 90 DAYS BEYOND FINAL ACCEPTANCE OF ALL LANDSCAPE WORK BY THE OWNER. LANDSCAPE MAINTENANCE SHALL INCLUDE WEEKLY SOD SEEDING FOR TWO (2) WEEKS (AS APPROPRIATE), PROPER PRUNING, MAINTENANCE OF TREES, RESETTling OF PLANTS THAT HAVE SETTLED, MOVING PLANTS TO NEW LOCATIONS, LAYING MULCH, AND NEARLY ANY OTHER MAINTENANCE REQUIRED BY THE OWNER. TREATING FOR INSECTS AND DISEASES/REPLACEMENT OF MULCH, REMOVAL OF LITTER, REPAIRS TO THE IRRIGATION SYSTEM DUE TO FAULTY PARTS AND/OR WORKSMANSHIP, AND THE APPROPRIATE WATERING OF ALL PLANTINGS. THE LANDSCAPE CONTRACTOR SHALL MAINTAIN THE IRRIGATION SYSTEM IN PROPER WORKING ORDER, WITH SCHEDULING ADJUSTMENTS BY SEASON TO MAXIMIZE WATER CONSERVATION.
11. SHOULD SEEDED AND/OR SODDED AREAS NOT BE COVERED BY AN AUTOMATIC IRRIGATION SYSTEM, THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR WATERING THESE AREAS AND OBTAINING A FULL STAND OF GRASS AT NO ADDITIONAL COST TO THE OWNER.
12. TO ACHIEVE FINAL ACCEPTANCE AT THE END OF THE MAINTENANCE PERIOD, ALL OF THE FOLLOWING CONDITIONS MUST OCCUR:
- A. THE LANDSCAPE SHALL SHOW ACTIVE, HEALTHY GROWTH (WITH EXCEPTIONS MADE FOR SEASONAL DORMANCY). ALL PLANTS NOT MEETING THIS CONDITION SHALL BE REJECTED AND REPLACED BY HEALTHY PLANT MATERIAL PRIOR TO FINAL ACCEPTANCE.
- B. ALL HARDSCAPE SHALL BE CLEANED PRIOR TO FINAL ACCEPTANCE.
- C. SODDED AREAS MUST BE ACTIVELY GROWING AND MUST REACH A MINIMUM HEIGHT OF 1 1/2 INCHES BEFORE FIRST MOWING. MULCHED AREAS SHALL BE ACTIVELY GROWING AND MUST REACH A MINIMUM HEIGHT OF 1 1/2 INCHES BEFORE FIRST MOWING. IF AREAS ARE LARGER THAN TWELVE SQUARE INCHES MUST BE RESEED OR RESEED (AS APPROPRIATE) PRIOR TO FINAL ACCEPTANCE. ALL SODDED TURF SHALL BE NEATLY MOWED.
13. SEE SPECIFICATIONS AND DETAILS FOR FURTHER REQUIREMENTS.
14. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL REQUIRED LANDSCAPING IN A HEALTHY, NEAT, ORDERLY AND LIVE-GROWING CONDITION AT ALL TIMES. THIS SHALL INCLUDE MOWING, EDGING, PRUNING, FERTILIZING, IRRIGATION, WEEDING, AND OTHER SUCH ACTIVITIES COMMON TO THE MAINTENANCE OF LANDSCAPING. LANDSCAPED AREAS SHALL BE MAINTAINED IN A HEALTHY, NEAT, ORDERLY AND LIVE-GROWING CONDITION. PLANTS SHALL NOT BE A PART OF THE LANDSCAPING. PLANT MATERIALS THAT DIE SHALL BE REPLACED WITH PLANT MATERIALS OF SIMILAR VARIETY AND SIZE.

## LANDSCAPE CALCULATIONS

<b>LANDSCAPE SETUPBACK:</b>	
20' LANDSCAPE SETUPBACK REQUIRED AT STREET ROW	20' SETUPBACK PROVIDED
13.5' CAL CANOPY TREE REQUIRED PER 40' OF STREET FRONTAGE	3 TREES PROVIDED
127 LF FRONTAGE / 40 = 3 TREES	
<b>PARKING LOT LANDSCAPE:</b>	
PARKING LOT TO BE SCREENED FROM ROW WITH EVERGREEN SHRUBS TO BE 36" AT THE TIME OF MATURITY	EVERGREEN SCREEN PROVIDED
13.5' CAL CANOPY TREE PER 10 SPACES	
21 SPACES / 10 = 2 TREES REQUIRED	2 TREE PROVIDED
13.5' CAL CANOPY TREE PER LANDSCAPE ISLAND	

**BUFFERYARDS:**

WEST - ADJACENT TO HIGH SCHOOL:	20' LANDSCAPE SETBACK REQUIRED; PROVIDED: 20' LANDSCAPE SETBACK (6' WALL IS EXISTING)
NORTH - ADJACENT TO COMMERCIAL DEVELOPMENT:	NO REQUIRED BUFFERYARD OR SCREENING
EAST - ADJACENT TO COMMERCIAL DEVELOPMENT:	NO REQUIRED BUFFERYARD OR SCREENING

## PLANTING AND IRRIGATION GUARANTEE

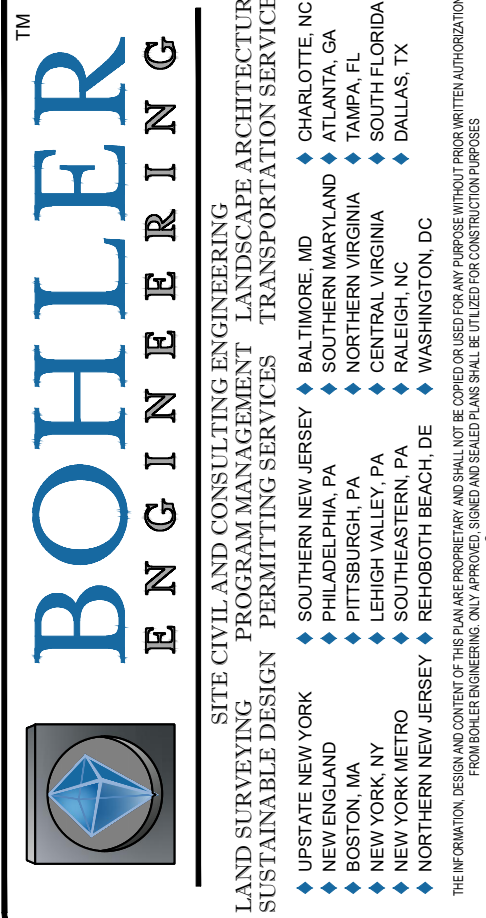
THE LANDSCAPE CONTRACTOR SHALL GUARANTEE THAT ALL NEWLY INSTALLED AND EXISTING PLANTS SHALL SURVIVE FOR ONE YEAR AFTER FINAL OWNER ACCEPTANCE OF THE INSTALLATION WORK. THE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR APPROPRIATE WATERING OF THE LANDSCAPE THROUGH INSTALLATION OF A PROPERLY DESIGNED IRRIGATION SYSTEM. THE OWNER SHALL APPROVE THE SYSTEM DESIGN BEFORE INSTALLATION OF PLANTS OR IRRIGATION.

## MULCHES

INSTALL SHREDDED HARDWOOD MULCH TOPDRESSING IN ALL PLANTING BEDS (3" DEPTH) AND ALL TREE RINGS (3" DEPTH). DO NOT INSTALL MULCH WITHIN 6" OF TREE ROOT FLARE. IN AREAS DENOTE AS "ROCK MULCH", INSTALL 4" DEPTH OF 1" WASHED RIVER ROCK OVER WOVEN LANDSCAPE FABRIC (ANY APPROVED). SUBMIT MULCH SAMPLES TO LANDSCAPE ARCHITECT AND OWNER FOR APPROVAL PRIOR TO INSTALLATION.

## ROOT BARRIERS

THE CONTRACTOR SHALL INSTALL ROOT BARRIERS NEAR ALL NEWLY-PLANTED TREES THAT ARE LOCATED WITHIN FIVE (5) FEET OF PAVING OR CURBS. ROOT BARRIERS SHALL BE "CENTURY" OR "DEEP-ROOT" 24" DEEP PANELS (OR EQUAL). BARRIERS SHALL BE LOCATED IMMEDIATELY ADJACENT TO HARDSCAPE. INSTALL PANELS PER MANUFACTURER'S RECOMMENDATIONS. UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR USE ROOT BARRIERS OF A TYPE THAT COMPLETELY ENCIRCLE THE ROOTBALL.

[illegible]

**KNOW WHAT'S BELOW  
ALWAYS CALL 811  
BEFORE YOU DIG**

It's fast. It's free. It's the law.

NOT APPROVED FOR  
CONSTRUCTION

PROJECT No.:	TD190011
DRAWN BY:	JWG
CHECKED BY:	RM
DATE:	6/07/19
SCALE:	1" = 20'
CAD I.D.:	

PROJECT:  
PD AMENDMENT  
& FINAL SITE PLAN

FOR



LOCATION OF SITE  
3121 E BROAD ST  
MANSFIELD, TX 76063  
TARRANT COUNTY  
71 ACRES - LOT 2, BLOCK 1,  
ROAD STREET MARKET PLACE



**6017 MAIN STREET  
FRISCO, TX 75034**  
Phone: (469) 458-7300  
***TX@BohlerEng.com***  
TBPE NO. 18065  
TBPLS NO. 10194413



DATE: 6/7/2019

**SHEET TITLE:**

## LANDSCAPE PLANTING

SHEET NUMBER

# LP-1

ZC#19-007 EXHIBIT D



PLANTING SPECIFICATIONS

GENERAL

- A. QUALIFICATIONS OF LANDSCAPE CONTRACTOR
1. ALL LANDSCAPE WORK SHOWN ON THESE PLANS SHALL BE PERFORMED BY A SINGLE FIRM SPECIALIZING IN LANDSCAPE PLANTING.
  2. A LIST OF SUCCESSFULLY COMPLETED PROJECTS OF THIS TYPE, SIZE AND NATURE MAY BE REQUESTED BY THE OWNER FOR FURTHER QUALIFICATION MEASURES.
  3. THE LANDSCAPE CONTRACTOR SHALL HOLD A VALID NURSERY AND FLORAL CERTIFICATE ISSUED BY THE TEXAS DEPARTMENT OF AGRICULTURE, AS WELL AS OPERATE UNDER A COMMERCIAL PESTICIDE APPLICATOR LICENSE ISSUED BY EITHER THE TEXAS DEPARTMENT OF AGRICULTURE OR THE TEXAS STRUCTURAL PEST CONTROL BOARD.
- B. SCOPE OF WORK
1. WORK COVERED BY THESE SECTIONS INCLUDES THE FURNISHING AND PAYMENT OF ALL MATERIALS, LABOR, SERVICES, EQUIPMENT, LICENSES, TAXES AND ANY OTHER ITEMS THAT ARE NECESSARY FOR THE EXECUTION, INSTALLATION AND COMPLETION OF ALL WORK, SPECIFIED HEREIN AND /OR SHOWN ON THE LANDSCAPE PLANS, NOTES, AND DETAILS.
  2. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE LAWS, CODES AND REGULATIONS REQUIRED BY AUTHORITIES HAVING JURISDICTION OVER SUCH WORK, INCLUDING ALL INSPECTIONS AND PERMITS REQUIRED BY FEDERAL, STATE AND LOCAL AUTHORITIES IN SUPPLY, TRANSPORTATION AND INSTALLATION OF MATERIALS.
  3. THE LANDSCAPE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UNDERGROUND UTILITY LINES (WATER, SEWER, ELECTRICAL, TELEPHONE, GAS, CABLE, TELEVISION, ETC.) PRIOR TO THE START OF ANY WORK.

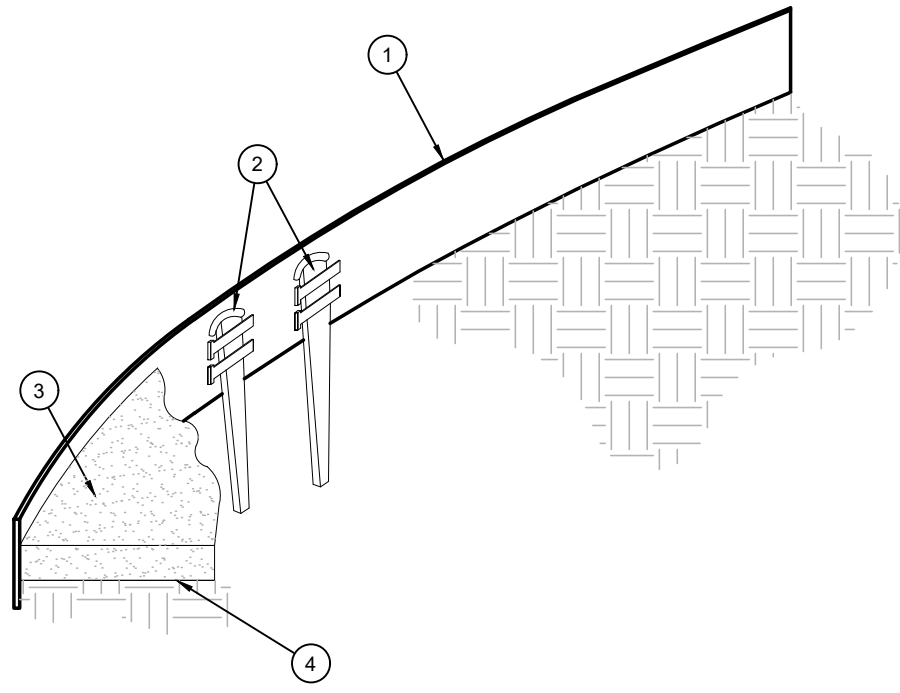
PRODUCTS

- A. ALL MANUFACTURED PRODUCTS SHALL BE NEW.
- B. CONTAINER AND BALLED-AND-BURLAPPED PLANTS
1. FURNISH NURSERY-GROWN PLANTS COMPLYING WITH ANSI Z60.1-2004. PROVIDE WELL-SHAPED, FULLY BRANCHED, HEALTHY, VIGOROUS STOCK FREE OF DISEASE, INSECTS, EGGS, LARVAE, AND DEFECTS SUCH AS KNOTS, SUN SCALD, INJURIES, ABRASIONS, AND DISFIGUREMENT. ALL PLANTS WITHIN A SPECIES SHALL HAVE SIMILAR SIZE, AND SHAPES TYPICAL FOR THE SPECIES. ALL TREES SHALL BE OBTAINED FROM SOURCES WITHIN 200 MILES OF THE PROJECT SITE, AND WITH SIMILAR CLIMATIC CONDITIONS.
  2. ROOT SYSTEMS SHALL BE HEALTHY, DENSELY BRANCHED ROOT SYSTEMS, NON-POT-BOUND, FREE FROM ENCIRCLING AND/OR GIRDLING ROOTS, AND FREE FROM ANY OTHER ROOT DEFECTS (SUCH AS J-SHAPED ROOTS).
  3. ANY PLANT DEEMED UNACCEPTABLE BY THE LANDSCAPE ARCHITECT OR OWNER SHALL BE IMMEDIATELY REMOVED FROM THE SITE AND SHALL BE REPLACED WITH AN ACCEPTABLE PLANT OF LIKE TYPE AND SIZE AT THE CONTRACTOR'S OWN EXPENSE. ANY PLANTS APPEARING TO BE UNHEALTHY, EVEN IF DETERMINED TO STILL BE ALIVE, SHALL NOT BE ACCEPTED. THE LANDSCAPE ARCHITECT AND OWNER SHALL BE THE SOLE JUDGES AS TO THE ACCEPTABILITY OF PLANT MATERIAL.
  4. ALL TREES SHALL BE STANDARD IN FORM, UNLESS OTHERWISE SPECIFIED. TREES WITH CENTRAL LEADERS WILL NOT BE ACCEPTED IF LEADER IS DAMAGED OR REMOVED. PRUNE ALL DAMAGED TWIGS AFTER PLANTING. CALIPER MEASUREMENTS FOR STANDARD TRUNKS SHALL BE AS FOLLOWS: SIX INCHES ABOVE THE ROOT FLARE FOR TREES UP TO AND INCLUDING FOUR INCHES IN CALIPER, AND TWELVE INCHES ABOVE THE ROOT FLARE FOR TREES EXCEEDING FOUR INCHES IN CALIPER.
  5. MULTI-TRUNK TREES SHALL BE MEASURED BY THEIR OVERALL HEIGHT, MEASURED FROM THE TOP OF THE ROOT BALL.
  7. ANY TREE OR SHRUB SHOWN TO HAVE EXCESS SOIL PLACED ON TOP OF THE ROOT BALL, SO THAT THE ROOT FLARE HAS BEEN COMPLETELY COVERED, SHALL BE REJECTED.
- C. SOD: PROVIDE WELL-ROOTED SOD OF THE VARIETY NOTED ON THE PLANS. SOD SHALL BE CUT FROM HEALTHY, MATURE TURF WITH SOIL THICKNESS OF 3/4" TO 1". EACH PALLET OF SOD SHALL BE ACCOMPANIED BY A CERTIFICATE FROM SUPPLIER STATING THE COMPOSITION OF THE SOD.
- D. SEED: PROVIDE BLEND OF SPECIES AND VARIETIES AS NOTED ON THE PLANS, WITH MAXIMUM PERCENTAGES OF PURITY, GERMINATION, AND MINIMUM PERCENTAGE OF WEED SEED AS INDICATED ON PLANS. EACH BAG OF SEED SHALL BE ACCOMPANIED BY A TAG FROM THE SUPPLIER INDICATING THE COMPOSITION OF THE SEED.
- E. TOPSOIL: SANDY TO CLAY LOAM TOPSOIL, FREE OF STONES LARGER THAN 1/2 INCH FOREIGN MATTER, PLANTS, ROOTS, AND SEEDS.
- F. COMPOST: WELL-COMPOSTED, STABLE, AND WEED-FREE ORGANIC MATTER, pH RANGE OF 5.5 TO 8; MOISTURE CONTENT 35 TO 65 PERCENT BY WEIGHT; 100 PERCENT PASSING THROUGH #10 MESH SIEVE; SOLUBLE SALT CONTENT OF 5 TO 10 DECISEMENS; NOT EXCEEDING 0.5 PERCENT INERT CONTAMINANTS AND FREE OF SUBSTANCES TOXIC TO PLANTINGS. NO MANURE OR ANIMAL-BASED PRODUCTS SHALL BE USED.
- G. FERTILIZER: GRANULAR FERTILIZER CONSISTING OF NITROGEN, PHOSPHORUS, POTASSIUM, AND OTHER NUTRIENTS IN PROPORTIONS, AMOUNTS, AND RELEASE RATES RECOMMENDED IN A SOIL REPORT FROM A QUALIFIED SOIL-TESTING AGENCY (SEE BELOW).
- H. MULCH: SIZE AND TYPE AS INDICATED ON PLANS, FREE FROM DELETERIOUS MATERIALS AND SUITABLE AS A TOP DRESSING OF TREES AND SHRUBS.
- I. WEED FABRIC: 5 OUNCE, WOVEN, NEEDLE-PUNCHED FABRIC, SUCH AS DEWITT PROS LANDSCAPE FABRIC (OR APPROVED EQUAL).
- J. TREE STAKING AND GUYING
1. STAKES: 6' LONG GREEN METAL T-POSTS.
  2. GUY AND TIE WIRE: ASTM A 941, GLASS 1/4" GALVANIZED-STEEL WIRE, 2-STRAND, TWISTED, 0.106 INCH DIAMETER.
  3. STRAP CHAFING GUARD: REINFORCED NYLON OR CANVAS AT LEAST 1-1/2 INCH WIDE, WITH GROMMETS TO PROTECT TREE TRUNKS FROM DAMAGE.
- K. STEEL EDGING: PROFESSIONAL STEEL EDGING, 14 GAUGE THICK X 4 INCHES WIDE, FACTORY PAINTED DARK GREEN, ACCEPTABLE MANUFACTURERS INCLUDE COL-MET OR APPROVED EQUAL.
- L. PRE-EMERGENT HERBICIDES: ANY GRANULAR, NON-STAINING PRE-EMERGENT HERBICIDE THAT IS LABELED FOR THE SPECIFIC ORNAMENTALS OR TURF ON WHICH IT WILL BE UTILIZED. PRE-EMERGENT HERBICIDES SHALL BE APPLIED PER THE MANUFACTURER'S LABELED RATES.

METHODS

- A. SOIL PREPARATION
1. BEFORE STARTING WORK, THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE GRADE OF ALL LANDSCAPE AREAS ARE WITHIN +0.1' OF FINISH GRADE. THE CONTRACTOR SHALL NOTIFY THE OWNER IMMEDIATELY SHOULD ANY DISCREPANCIES EXIST.
  2. SOIL TESTING:
    - a. AFTER FINISH GRADES HAVE BEEN ESTABLISHED, CONTRACTOR SHALL HAVE SOIL SAMPLES TESTED BY AN ESTABLISHED SOIL TESTING LABORATORY FOR THE FOLLOWING: SOIL TEXTURAL CLASS, GENERAL SOIL FERTILITY, pH, ORGANIC MATTER CONTENT, SALT (CEC), LIME, SODIUM ADSORPTION RATIO (SAR) AND BORON CONTENT. EACH SAMPLE SUBMITTED SHALL CONTAIN NO LESS THAN ONE QUART OF SOIL.
    - b. CONTRACTOR SHALL ALSO SUBMIT THE PROJECT'S PLANT LIST TO THE LABORATORY ALONG WITH THE SOIL SAMPLES.
    - c. THE SOIL REPORT PRODUCED BY THE LABORATORY SHALL CONTAIN RECOMMENDATIONS FOR THE FOLLOWING (AS APPROPRIATE): GENERAL SOIL PREPARATION AND BACKFILL MIXES, PRE-PLANT FERTILIZER APPLICATIONS, AND ANY OTHER SOIL RELATED ISSUES. THE REPORT SHALL ALSO PROVIDE A FERTILIZER PROGRAM FOR THE ESTABLISHMENT PERIOD AND FOR LONG-TERM MAINTENANCE.
  3. THE CONTRACTOR SHALL INSTALL SOIL AMENDMENTS AND FERTILIZERS PER THE SOIL'S REPORT RECOMMENDATIONS. ANY CHANGE IN COST DUE TO THE SOIL REPORT RECOMMENDATIONS, EITHER INCREASE OR DECREASE, SHALL BE SUBMITTED TO THE OWNER WITH THE REPORT.
  4. FOR BIDDING PURPOSES ONLY, THE SOIL PREPARATION SHALL CONSIST OF THE FOLLOWING:
    - a. TURF: INCORPORATE THE FOLLOWING AMENDMENTS INTO THE TOP 8" OF SOIL BY MEANS OF ROTOTILLING AFTER CROSS-RIPPING:
      - i. NITROGEN STABILIZED ORGANIC AMENDMENT - 4 CU. YDS. PER 1,000 S.F.
      - ii. AMMONIUM PHOSPHATE 16-20-0 - 15 LBS PER 1,000 S.F.
      - iii. AGRICULTURAL GYPSUM - 100 LBS PER 1,000 S.F.
    - b. TREES, SHRUBS, AND PERENNIALS: INCORPORATE THE FOLLOWING AMENDMENTS INTO THE TOP 8" OF SOIL BY MEANS OF ROTOTILLING AFTER CROSS-RIPPING:
      - i. NITROGEN STABILIZED ORGANIC AMENDMENT - 4 CU. YDS. PER 1,000 S.F.
      - ii. 12-12-12 FERTILIZER - 10 LBS. PER CU. YD.
      - iii. AGRICULTURAL GYPSUM - 10 LBS. PER CU. YD.
      - iv. IRON SULPHATE - 2 LBS. PER CU. YD.
  5. CONTRACTOR SHALL ENSURE THAT THE GRADE IN SOD AREAS SHALL BE 1" BELOW FINISH GRADE BEFORE INSTALLING SOIL AMENDMENTS, AND 2" BELOW FINISH GRADE IN SHRUB AREAS BEFORE INSTALLING SOIL AMENDMENTS. MULCH COVER WITHIN 6" OF CONCRETE WALKS AND CURBS SHALL NOT PROTRUDE ABOVE THE FINISH SURFACE OF THE WALKS AND CURBS. MULCH COVER WITHIN 12" OF WALLS SHALL BE AT LEAST 3" LOWER THAN THE TOP OF WALL.
  6. ONCE SOIL PREPARATION IS COMPLETE, THE LANDSCAPE CONTRACTOR SHALL ENSURE THAT THERE ARE NO DEBRIS, TRASH, OR STONES LARGER THAN 1" REMAINING IN THE TOP 6" OF SOIL.

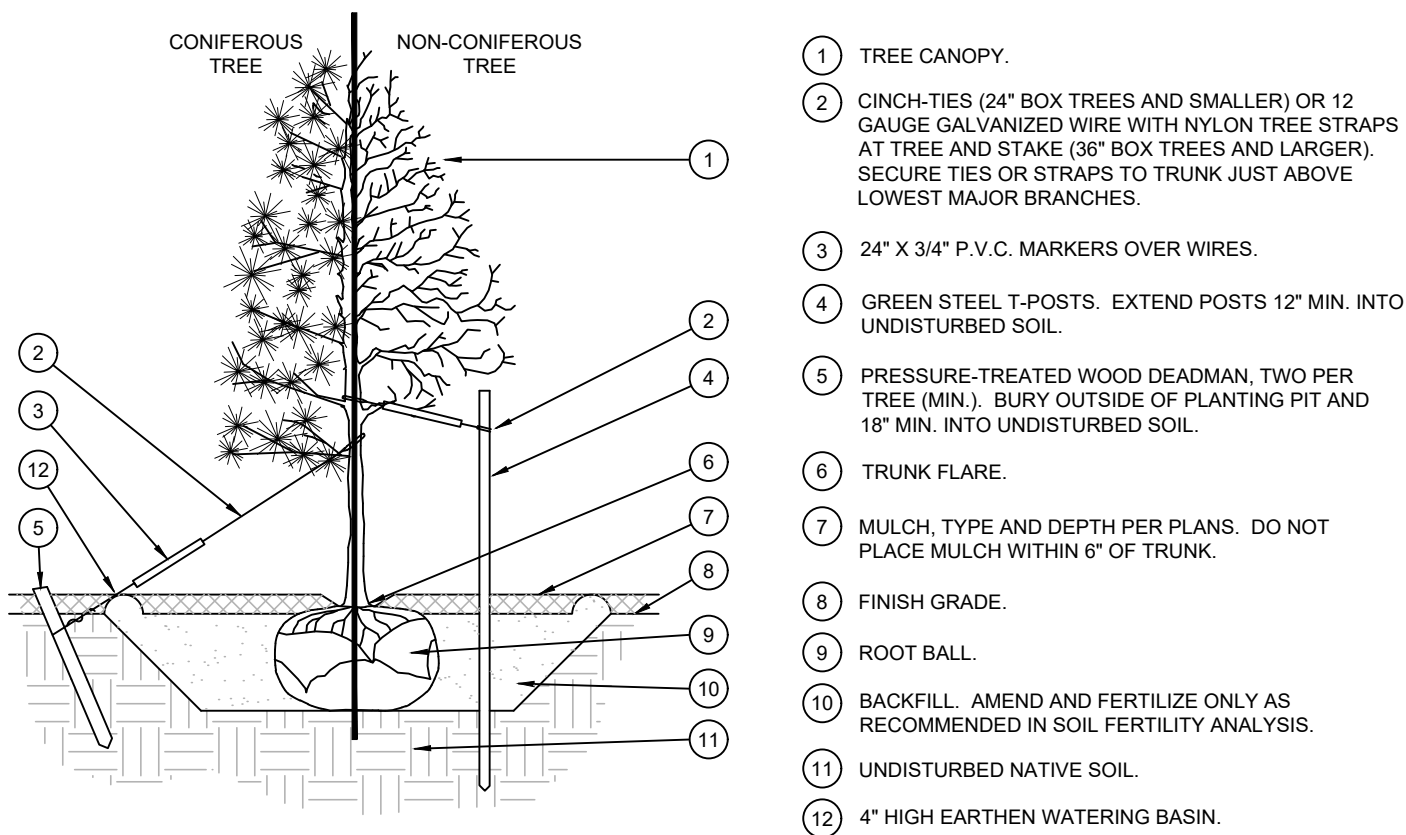
- B. GENERAL PLANTING
1. REMOVE ALL NURSERY TAGS AND STAKES FROM PLANTS.
  2. EXCEPT IN AREAS TO BE PLANTED WITH ORNAMENTAL GRASSES, APPLY PRE-EMERGENT HERBICIDES AT THE MANUFACTURER'S RECOMMENDED RATE.
  3. TRENCHING NEAR EXISTING TREES:
    - a. CONTRACTOR SHALL NOT DISTURB ROOTS 1-1/2" AND LARGER IN DIAMETER WITHIN THE CRITICAL ROOT ZONE (CRZ) OF EXISTING TREES, AND SHALL EXERCISE ALL POSSIBLE CARE AND PRECAUTIONS TO AVOID INJURY TO TREE ROOTS, TRUNKS, AND BRANCHES. THE CRZ IS DEFINED AS A CIRCULAR AREA EXTENDING OUTWARD FROM THE TREE TRUNK, WITH A RADIUS EQUAL TO 1" FOR EVERY 1" OF TRUNK DIAMETER AT-BREAST-HEIGHT (4.5 ABOVE THE AVERAGE GRADE AT THE TRUNK).
    - b. ALL EXCAVATION WITHIN THE CRZ SHALL BE PERFORMED USING HAND TOOLS. NO MACHINE EXCAVATION OR TRENCHING OF ANY KIND SHALL BE ALLOWED WITHIN THE CRZ.
    - c. ALTER ALIGNMENT OF PIPE TO AVOID TREE ROOTS 1-1/2" AND LARGER IN DIAMETER. WHERE TREE ROOTS 1-1/2" AND LARGER IN DIAMETER ARE ENCOUNTERED IN THE FIELD, TUNNEL UNDER SUCH ROOTS. WRAP EXPOSED ROOTS WITH SEVERAL LAYERS OF BURLAP AND KEEP MOIST. CLOSE ALL TRENCHES WITHIN THE CANOPY DRIP LINES WITHIN 24 HOURS.
    - d. ALL SEVERED ROOTS SHALL BE HAND PRUNED WITH SHARP TOOLS AND ALLOWED TO AIR-DRY. DO NOT USE ANY SORT OF SEALERS OR WOUND PAINTS.
  4. TREE PLANTING:
    1. TREE PLANTING HOLES SHALL BE EXCAVATED TO MINIMUM WIDTH OF TWO TIMES THE WIDTH OF THE ROOTBALL, AND TO A DEPTH EQUAL TO THE DEPTH OF THE ROOTBALL LESS TWO TO FOUR INCHES.
    2. SCARIFY THE SIDES AND BOTTOM OF THE PLANTING HOLE PRIOR TO THE PLACEMENT OF THE TREE. REMOVE ANY GLUING THAT MAY HAVE BEEN CAUSED DURING THE EXCAVATION OF THE HOLE.
    3. FOR CONTAINER AND BOX TREES, TO REMOVE ANY POTENTIALLY GIRDLING ROOTS AND OTHER ROOT DEFECTS, THE CONTRACTOR SHALL SHAVE A 1" LAYER OFF OF THE SIDES AND BOTTOM OF THE ROOTBALL OF ALL TREES JUST BEFORE PLACING INTO THE PLANTING PIT. DO NOT "TEASE" ROOTS OUT FROM THE ROOTBALL.
    4. INSTALL THE TREE ON UNDISTURBED SUBGRADE SO THAT THE TOP OF THE ROOTBALL IS TWO TO FOUR INCHES ABOVE THE SURROUNDING GRADE.
    5. BACKFILL THE TREE HOLE UTILIZING THE EXISTING TOPSOIL FROM ON-SITE. ROCKS LARGER THAN 1" DIA. AND ALL OTHER DEBRIS SHALL BE REMOVED FROM THE SOIL PRIOR TO THE BACKFILL. SHOULD ADDITIONAL SOIL BE REQUIRED TO ACCOMPLISH THIS TASK, USE STORED TOPSOIL FROM ON-SITE OR IMPORT ADDITIONAL TOPSOIL FROM OFF-SITE AT NO ADDITIONAL COST TO THE OWNER. IMPORTED TOPSOIL SHALL BE OF SIMILAR TEXTURAL CLASS AND COMPOSITION IN THE ON-SITE SOIL.
    6. THE TOTAL NUMBER OF TREE STAKES (BEYOND THE MINIMUMS LISTED BELOW) WILL BE LEFT TO THE LANDSCAPE CONTRACTOR'S DISCRETION. SHOULD ANY TREES FAIL OR LEAN, THE LANDSCAPE CONTRACTOR SHALL STRAIGHTEN THE TREE, OR REPLACE IT SHOULD IT BECOME DAMAGED. TREE STAKING SHALL ADHERE TO THE FOLLOWING GUIDELINES:
      - a. TWO STAKES PER TREE
      - b. 2-1/2" - 4" TREES
      - c. TREES OVER 4" CALIPER
      - d. MULTI-TRUNK TOP PLANT MATERIALTHREE STAKES PER TREE MINIMUM, QUANTITY AND POSITIONS AS NEEDED TO STABILIZE THE TREE.
    7. UPON COMPLETION OF PLANTING, CONSTRUCT AN EARTH WATERING BASIN AROUND THE TREE. COVER THE INTERIOR WITH MULCH (TYPE AND DEPTH PER PLANS).
  5. SHRUB, PERENNIAL, AND GROUND COVER PLANTING:
    1. DIG THE PLANTING HOLES TWICE AS WIDE AND 2" LESS DEEP THAN EACH PLANT'S ROOTBALL. INSTALL THE PLANT IN THE HOLE. BACKFILL AROUND THE PLANT WITH SOIL AMENDED PER SOIL TEST RECOMMENDATIONS.
    2. WHEN PLANTING IS COMPLETE, INSTALL MULCH (TYPE AND DEPTH PER PLANS) OVER ALL PLANTING BEDS, COVERING THE ENTIRE PLANTING AREA.
  6. SODDING:
    1. SOD VARIETY TO BE AS SPECIFIED ON THE LANDSCAPE PLAN.
    2. LAY SOD WITHIN 24 HOURS FROM THE TIME OF STRIPPING. DO NOT LAY IF THE GROUND IS FROZEN.
    3. LAY THE SOD TO FORM A SOLID MASS WITH TIGHTLY FITTED JOINTS. BUTT ENDS AND SIDES OF SOD STRIPS - DO NOT OVERLAP. STAGGER STRIPS TO OFFSET JOINTS IN ADJACENT COURSES.
    4. ROLL THE SOD TO ENSURE GOOD CONTACT OF THE SOD'S ROOT SYSTEM WITH THE SOIL UNDERNEATH.
    5. WATER THE SOD THOROUGHLY WITH A FINE SPRAY IMMEDIATELY AFTER PLANTING TO OBTAIN AT LEAST SIX INCHES OF PENETRATION INTO THE SOIL BELOW THE SOD.
  7. HYDROMULCHING:
    1. TURF HYDROMULCH MIX (PER 1,000 SF) SHALL BE AS FOLLOWS:
      - a. WINTER MIX (OCTOBER 1 - MARCH 31)
        - 50# CELLULOSE FIBER MULCH
        - 2# UNHULLED BERMUDA SEED
        - 2# PHAKAL RYE SEED
        - 15# 15-15-15 WATER SOLUBLE FERTILIZER
      - b. SUMMER MIX (APRIL 1 - SEPTEMBER 30)
        - 50# CELLULOSE FIBER MULCH
        - 2# HULLED BERMUDA SEED
        - 15# 15-15-15 WATER SOLUBLE FERTILIZER
    2. SEED HYDROMULCH MIX (PER 1,000 SF) SHALL BE AS FOLLOWS:
      - a. GENERAL
        - 50# CELLULOSE FIBER MULCH
        - 15# 15-15-15 WATER SOLUBLE FERTILIZER
      - b. SEED RATE PER LEGEND
  8. DRILL SEEDING:
    1. ALL SEED SHALL BE DRILL SEEDDED AT THE RATES SHOWN ON THE PLANS, WITH A HYDROMULCH MIX APPLIED AFTER SEEDING.
    2. THE HYDROMULCH MIX (PER 1,000 SF) SHALL BE AS FOLLOWS:
      - a. 50# CELLULOSE FIBER MULCH
      - 15# 15-15-15 WATER SOLUBLE FERTILIZER
      - 4# ORGANIC BINDER
  9. CLEAN UP:
    1. DURING LANDSCAPE PREPARATION AND PLANTING, KEEP ALL PAVEMENT CLEAN AND ALL WORK AREAS IN A NEAT, ORDERLY CONDITION.
    2. DISPOSED LEGALLY OF ALL EXCAVATED MATERIALS OFF THE PROJECT SITE.
  10. INSPECTION AND ACCEPTANCE:
    1. UPON COMPLETION OF THE WORK, THE LANDSCAPE CONTRACTOR SHALL PROVIDE THE SITE CLEAN, FREE OF DEBRIS AND TRASH, AND SUITABLE FOR USE AS INTENDED. THE LANDSCAPE CONTRACTOR SHALL THEN REQUEST AN INSPECTION BY THE OWNER TO DETERMINE FINAL ACCEPTABILITY.
    2. WHEN THE INSPECTED PLANTING WORK DOES NOT COMPLY WITH THE CONTRACT DOCUMENTS, THE LANDSCAPE CONTRACTOR SHALL REPLACE AND/OR REPAIR THE REJECTED WORK TO THE OWNER'S SATISFACTION WITHIN 24 HOURS.
    3. THE LANDSCAPE MAINTENANCE PERIOD WILL NOT COMMENCE UNTIL THE LANDSCAPE WORK HAS BEEN RE-INSPECTED BY THE OWNER AND FOUND TO BE ACCEPTABLE. AT THAT TIME, A WRITTEN NOTICE OF FINAL ACCEPTANCE WILL BE ISSUED BY THE OWNER, AND THE MAINTENANCE AND GUARANTEE PERIODS WILL COMMENCE.
  11. LANDSCAPE MAINTENANCE:
    1. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL WORK SHOWN ON THESE PLANS FOR 90 DAYS BEYOND FINAL ACCEPTANCE OF ALL LANDSCAPE WORK BY THE OWNER. LANDSCAPE MAINTENANCE SHALL INCLUDE WEEKLY SITE VISITS FOR THE FOLLOWING ACTIONS (AS APPROPRIATE): PROPER PRUNING, RESTAKING OF TREES, RESETTling OF PLANTS THAT HAVE SETTLED, MOVING AND AERATION OF LAWNS, WEEDING, RESEEDING AREAS WHICH HAVE NOT GERMINATED WELL, TREATING FOR INSECTS AND DISEASES, REPLACEMENT OF MULCH, REMOVAL OF LITTER, REPAIRS TO THE IRRIGATION SYSTEM DUE TO FAULTY PARTS AND/OR WORKMANSHIP, AND THE APPROPRIATE WATERING OF ALL PLANTINGS. THE LANDSCAPE CONTRACTOR SHALL MAINTAIN THE IRRIGATION SYSTEM IN PROPER WORKING ORDER, WITH SCHEDULING ADJUSTMENTS BY SEASON TO MAXIMIZE WATER CONSERVATION.
    2. SHOULD SEEDING AND/OR SODDED AREAS NOT BE COVERED BY AN AUTOMATIC IRRIGATION SYSTEM, THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR WATERING THESE AREAS AND OBTAINING A FULL, HEALTHY STAND OF GRASS AT NO ADDITIONAL COST TO THE OWNER.
    3. TO ACHIEVE FINAL ACCEPTANCE AT THE END OF THE MAINTENANCE PERIOD, ALL OF THE FOLLOWING CONDITIONS MUST OCCUR:
      - a. THE LANDSCAPE SHALL SHOW ACTIVE, HEALTHY GROWTH (WITH EXCEPTIONS MADE FOR SEASONAL DORMANCY); ALL PLANTS NOT MEETING THIS CONDITION SHALL BE REJECTED AND REPLACED BY HEALTHY PLANT MATERIAL PRIOR TO FINAL ACCEPTANCE.
      - b. ALL HARDSCAPE SHALL BE CLEANED PRIOR TO FINAL ACCEPTANCE.
      - c. SODDED AREAS MUST BE ACTIVELY GROWING AND MUST REACH A MINIMUM HEIGHT OF 1 1/2 INCHES BEFORE FIRST MOWING. HYDROMULCHED AREAS SHALL SHOW ACTIVE, HEALTHY GROWTH. BARE AREAS LARGER THAN TWELVE SQUARE INCHES MUST BE RESEEDDED OR RESEEDDED (AS APPROPRIATE) PRIOR TO FINAL ACCEPTANCE. ALL SODDED TURF SHALL BE NEATLY MOWED.
  12. WARRANTY PERIOD, PLANT GUARANTEE AND REPLACEMENTS:
    1. THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL TREES, SHRUBS, PERENNIALS, SOD, SEEDS, HYDROMULCHED AREAS, AND IRRIGATION SYSTEMS FOR A PERIOD OF ONE YEAR FROM THE DATE OF THE OWNER'S FINAL ACCEPTANCE (90 DAYS FOR ANNUAL PLANTS). THE CONTRACTOR SHALL REPLACE, AT HIS OWN EXPENSE AND TO THE SATISFACTION OF THE OWNER, ANY PLANTS WHICH DIE IN THAT TIME, OR REPAIR ANY PORTIONS OF THE IRRIGATION SYSTEM WHICH OPERATE IMPROPERLY.
    2. AFTER THE INITIAL MAINTENANCE PERIOD AND DURING THE GUARANTEE PERIOD, THE LANDSCAPE CONTRACTOR SHALL ONLY BE RESPONSIBLE FOR REPLACEMENT OF PLANTS WHEN PLANT DEATH CANNOT BE ATTRIBUTED DIRECTLY TO OVERWATERING OR OTHER DAMAGE BY HUMAN ACTIONS.
  13. PROVIDE A MINIMUM OF (2) COPIES OF RECORD DRAWINGS TO THE OWNER UPON COMPLETION OF WORK. A RECORD DRAWING IS A RECORD OF ALL CHANGES THAT OCCURRED IN THE FIELD AND THAT ARE DOCUMENTED THROUGH CHANGE ORDERS, ADDENDA, OR CONTRACTOR/CONSULTANT DRAWING MARKUPS.



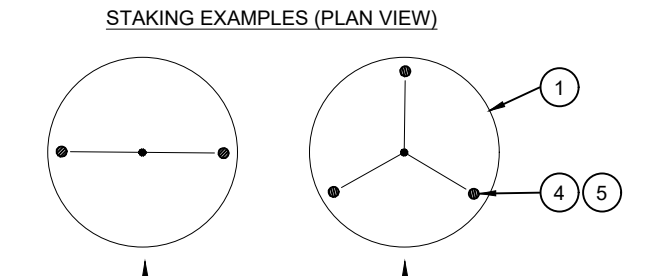
1. ROLLED-TOP STEEL EDGING PER PLANS.
2. TAPERED STEEL STAKES.
3. MULCH, TYPE AND DEPTH PER PLANS.
4. FINISH GRADE.

- NOTES:
1. INSTALL EDGING SO THAT STAKES WILL BE ON INSIDE OF PLANTING BED.
  2. BOTTOM OF EDGING SHALL BE BURIED A MINIMUM OF 1" BELOW FINISH GRADE.
  3. TOP OF MULCH SHALL BE 1" LOWER THAN TOP OF EDGING.

D STEEL EDGING  
SCALE: NOT TO SCALE

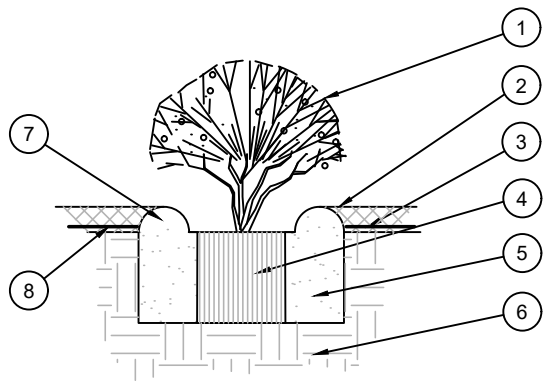


1. TREE CANOPY.
2. CINCH-TIES (24" BOX TREES AND SMALLER) OR 12 GAUGE GALVANIZED WIRE WITH NYLON TREE STRAPS AT TREE AND STAKE (36" BOX TREES AND LARGER). SECURE TIES OR STRAPS TO TRUNK JUST ABOVE LOWEST MAJOR BRANCHES.
3. 24" X 3/4" P.V.C. MARKERS OVER WIRES.
4. GREEN STEEL T-POSTS. EXTEND POSTS 12" MIN. INTO UNDISTURBED SOIL.
5. PRESSURE-TREATED WOOD DEADMAN, TWO PER TREE (MIN.). BURY OUTSIDE OF PLANTING PIT AND 18" MIN. INTO UNDISTURBED SOIL.
6. TRUNK FLARE.
7. MULCH, TYPE AND DEPTH PER PLANS. DO NOT PLACE MULCH WITHIN 6" OF TRUNK.
8. FINISH GRADE.
9. ROOT BALL.
10. BACKFILL. AMEND AND FERTILIZE ONLY AS RECOMMENDED IN SOIL FERTILITY ANALYSIS.
11. UNDISTURBED NATIVE SOIL.
12. 4" HIGH EARTHEN WATERING BASIN.



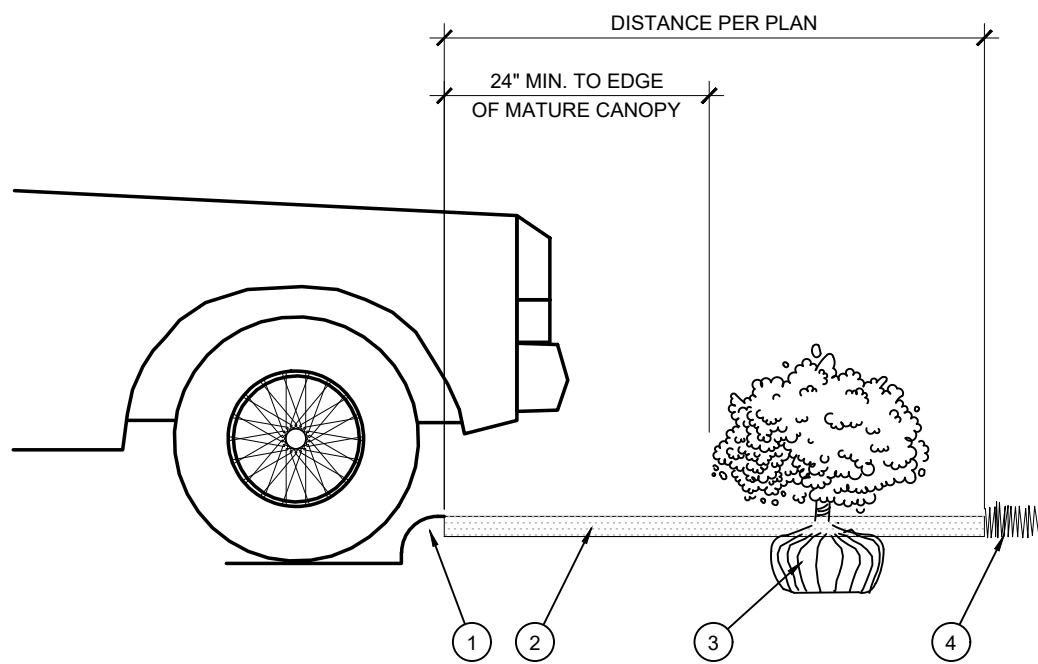
- NOTES:
1. SCARIFY SIDES OF PLANTING PIT PRIOR TO SETTING TREE.
  2. REMOVE EXCESS SOIL APPLIED ON TOP OF THE ROOTBALL THAT COVERS THE ROOT FLARE. THE PLANTING HOLE DEPTH SHALL BE SUCH THAT THE ROOTBALL RESTS ON UNDISTURBED SOIL, AND THE ROOT FLARE IS 3"-6" ABOVE FINISH GRADE.
  3. FOR 8-12 TREES, CUT OFF TOP OF WIRE BASKET BEFORE PLACING TREE IN HOLE. CUT OFF AND REMOVE REMAINDER OF BASKET AFTER TREE IS SET IN HOLE. REMOVE ALL NYLON TIES, TWINE, ROPE, AND OTHER PACKING MATERIAL. REMOVE AS MUCH BURLAP FROM AROUND ROOTBALL AS IS PRACTICAL.
  4. REMOVE ALL NURSERY STAKES AFTER PLANTING.
  5. FOR TREES OVER 3" CALIPER AND TREES 36" BOX AND LARGER, USE THREE STAKES OR DEADMEN (AS APPROPRIATE), SPACED EVENLY AROUND TREE.
  6. STAKING SHALL BE TIGHT ENOUGH TO PREVENT TRUNK FROM BENDING, BUT LOOSE ENOUGH TO ALLOW SOME TRUNK MOVEMENT IN WIND.

A TREE PLANTING  
SCALE: NOT TO SCALE



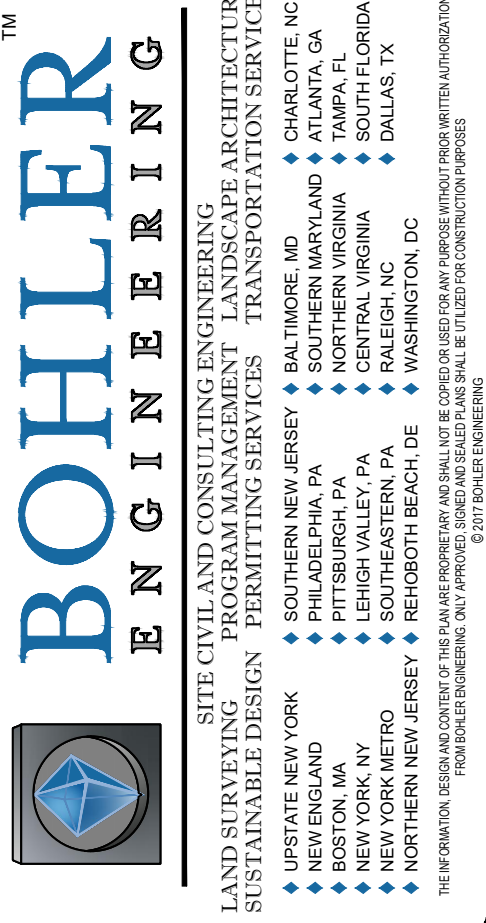
1. SHRUB, PERENNIAL, OR ORNAMENTAL GRASS.
2. MULCH, TYPE AND DEPTH PER PLANS. PLACE NO MORE THAN 1" OF MULCH WITHIN 6" OF PLANT CENTER.
3. FINISH GRADE.
4. ROOT BALL.
5. BACKFILL. AMEND AND FERTILIZE ONLY AS RECOMMENDED IN SOIL FERTILITY ANALYSIS.
6. UNDISTURBED NATIVE SOIL.
7. 3" HIGH EARTHEN WATERING BASIN.
8. WEED FABRIC UNDER MULCH.

B SHRUB AND PERENNIAL PLANTING  
SCALE: NTS



1. CURB.
2. MULCH LAYER.
3. PLANT.
4. TURF (WHERE SHOWN ON PLAN).

C HEDGE PLANTING AT PARKING AREA  
SCALE: NOT TO SCALE



REVISIONS			
REV	DATE	COMMENT	BY

**811**

KNOW WHAT'S BELOW  
ALWAYS CALL 811  
BEFORE YOU DIG

It's fast. It's free. It's the law.

NOT APPROVED FOR  
CONSTRUCTION

PROJECT No.:	TD190011
DRAWN BY:	JWG
CHECKED BY:	RM
DATE:	6/07/19
SCALE:	N/A
CAD I.D.:	

PROJECT:  
PD AMENDMENT  
& FINAL SITE PLAN

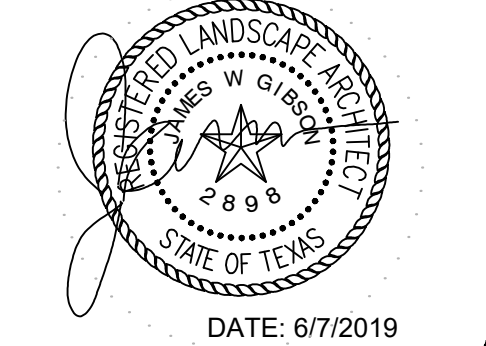
FOR



LOCATION OF SITE  
3121 E BROAD ST  
MANSFIELD, TX 76063  
TARRANT COUNTY  
0.71 ACRES - LOT 2, BLOCK 1,  
BROAD STREET MARKET PLACE

**BOHLER**  
ENGINEERING

6017 MAIN STREET  
FRISCO, TX 75034  
Phone: (469) 458-7300  
**Tx@BohlerEng.com**  
TPE'S NO. 10194413

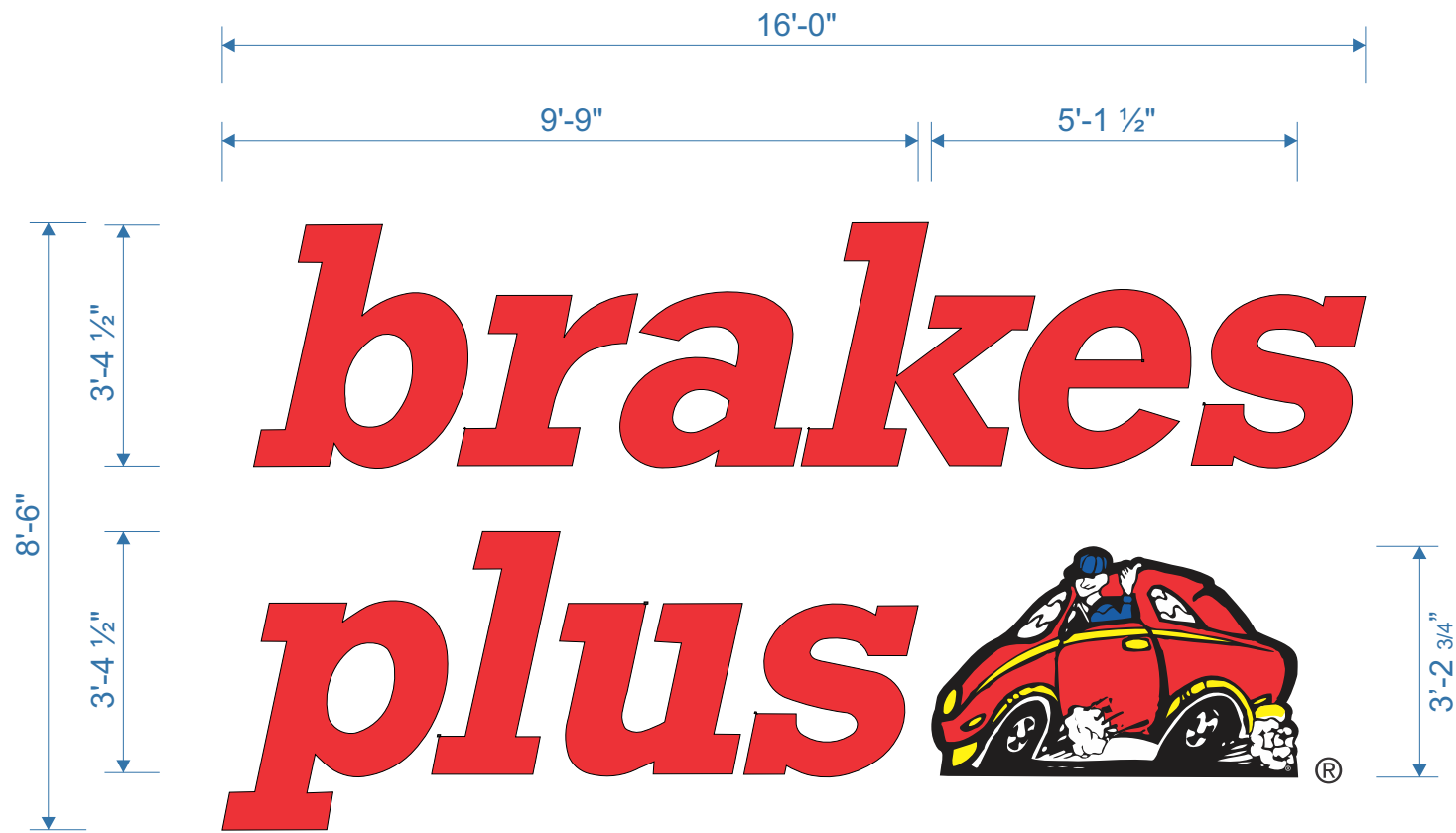


SHEET TITLE:  
**LANDSCAPE  
DETAILS AND  
SPECIFICATIONS**

SHEET NUMBER:  
**LP-2**

ZC19-007 EXHIBIT D





PLEX FACE CHANNEL LETTERS

EAST & NORTH ELEVATION

QTY: ( 2 ) REQUIRED

SCALE: 3/8"=1'-0"

**MET** **us** **MET** **Laboratories**

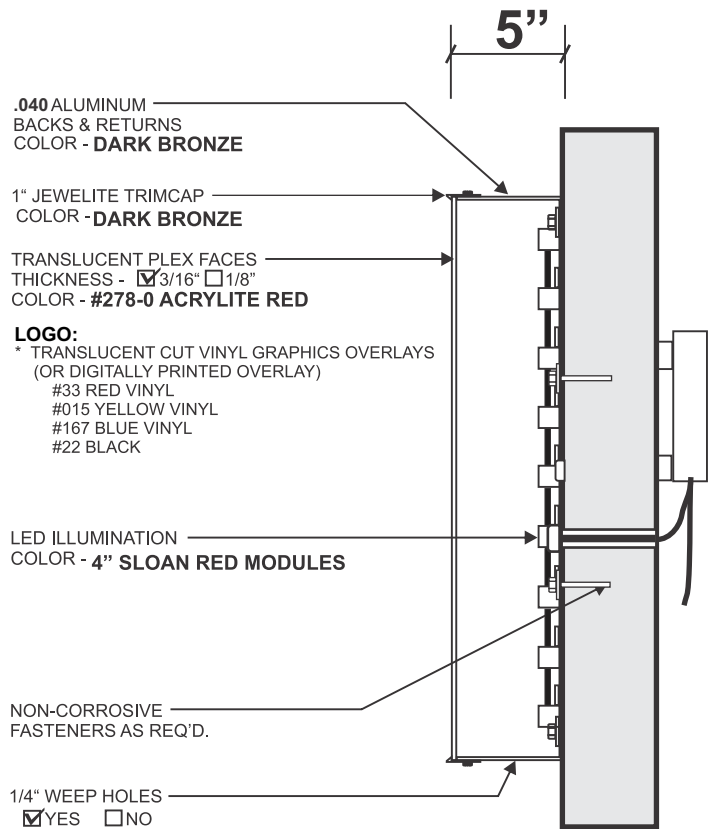
☐ YES ☐ NO

**CLN**

☐ YES ☐ NO

REMOTE POWER SUPPLY  
UNIT.  
120 VAC PRIMARY  
12volt DC SECONDARY.

NUMBER REQ'D. = \_\_\_\_\_



## SECTION DETAIL: FLUSH MOUNT CHANNEL LETTERS

INSTALLATION REQUIREMENTS for all signs unless specified otherwise on individual sign specifications.  
Variation from this criteria without written approval from Accent Graphics is strictly forbidden.  
\* All freestanding signs are to be engineered for local conditions by a licensed and registered engineer.

SIGN SIZE	MOUNTING SURFACE					
	SQUARE FOOTAGE	WOOD	SHEET METAL	BRICK	CONCRETE	CONCRETE BLOCK
UNDER 10 SQ. FT.	3/8" THRU BOLTS w/ 2" angle iron backer A minimum of ( 4 ) 3/8" bolts are required.	3/8" THRU BOLTS w/ 2" angle iron backer A minimum of ( 4 ) 3/8" bolts are required.	3/8" THRU BOLTS w/ 2" angle iron backer A minimum of ( 4 ) 3/8" bolts are required.	3/8" LEAD ANCHORS A minimum of ( 4 ) 3/8" bolts are required.	3/8" LEAD ANCHORS A minimum of ( 4 ) 3/8" bolts are required.	3/8" TOGGLE A minimum of ( 4 ) 3/8" bolts are required.
10 SQ. FT. TO 50 SQ. FT.	3/8" THRU BOLTS w/ 2" angle iron backer A minimum of ( 4 ) 3/8" bolts are required.	3/8" THRU BOLTS w/ 2" angle iron backer A minimum of ( 4 ) 3/8" bolts are required.	3/8" THRU BOLTS w/ 2" angle iron backer A minimum of ( 4 ) 3/8" bolts are required.	3/8" LEAD ANCHORS A minimum of ( 4 ) 3/8" bolts are required.	3/8" LEAD ANCHORS A minimum of ( 4 ) 3/8" bolts are required.	3/8" TOGGLE A minimum of ( 4 ) 3/8" bolts are required.
50 SQ. FT. TO 100 SQ. FT.	3/8" THRU BOLTS w/ 3" angle iron backer A minimum of ( 10 ) 3/8" bolts are required.	3/8" THRU BOLTS w/ 3" angle iron backer A minimum of ( 10 ) 3/8" bolts are required.	3/8" THRU BOLTS w/ 3" angle iron backer A minimum of ( 10 ) 3/8" bolts are required.	3/8" LEAD ANCHORS A minimum of ( 10 ) 1/2" bolts are required.	3/8" LEAD ANCHORS A minimum of ( 10 ) 1/2" bolts are required.	3/8" THRU BOLTS w/ 3" angle iron backer A minimum of ( 10 ) 3/8" bolts are required.
100 SQ. FT. TO 200 SQ. FT.	1/2" THRU BOLTS w/ 3" angle iron backer A minimum of ( 1 ) 1/2" bolt per each 15 sq ft. is required.	1/2" THRU BOLTS w/ 3" angle iron backer A minimum of ( 1 ) 1/2" bolt per each 15 sq ft. is required.	1/2" THRU BOLTS w/ 3" angle iron backer A minimum of ( 1 ) 1/2" bolt per each 15 sq ft. is required.	1/2" WEDGE ANCHOR A minimum of ( 1 ) 1/2" bolt per each 15 sq ft. is required.	1/2" WEDGE ANCHOR A minimum of ( 1 ) 1/2" bolt per each 15 sq ft. is required.	1/2" THRU BOLTS w/ 3" angle iron backer A minimum of ( 1 ) 1/2" bolt per each 15 sq ft. is required.
OVER 200 SQ. FT.	REQUIRES SPECIAL ENGINEERING	REQUIRES SPECIAL ENGINEERING	REQUIRES SPECIAL ENGINEERING	REQUIRES SPECIAL ENGINEERING	REQUIRES SPECIAL ENGINEERING	REQUIRES SPECIAL ENGINEERING

**NOTE:**  
ACCESS REQUIRED FOR  
ELECTRICAL & INSTALLATION

DATE	REVISIONS	NAME
5-15-19	UPDATE ELEVATIONS	AB
6-05-19	UPDATE SIGNS	AB

AUTHORIZATION	
CLIENT	DATE
ACCOUNT EXECUTIVE	DATE
LANDLORD	DATE
ALL CHANGES MUST BE INITIALED BY CLIENT AND ACCOUNT EXECUTIVE ON FINAL APPROVED PRINT.	

This drawing is the exclusive property of Accent Graphics, Inc. and is the result of the original work of its employees. The plans are provided to your company for the sole purpose of considering the purchase of a sign manufactured by Accent Graphics, Inc. based on these plans. **OR** the purchase of the plans and design concepts contained therein for manufacture elsewhere. Distribution or exhibition of the plans to anyone outside of your company or the use of the plans by others to manufacture or design a similar sign as displayed in the plans is expressly forbidden. In the event that such exhibition occurs, Accent Graphics will expect payment of a minimum \$2000 design fee in recompense for the time and effort entailed to produce the plans.

CLIENT BRAKES PLUS STORE #           

INSTALLATION ADDRESS 2131 EAST BROAD STREET MANSFIELD, TX

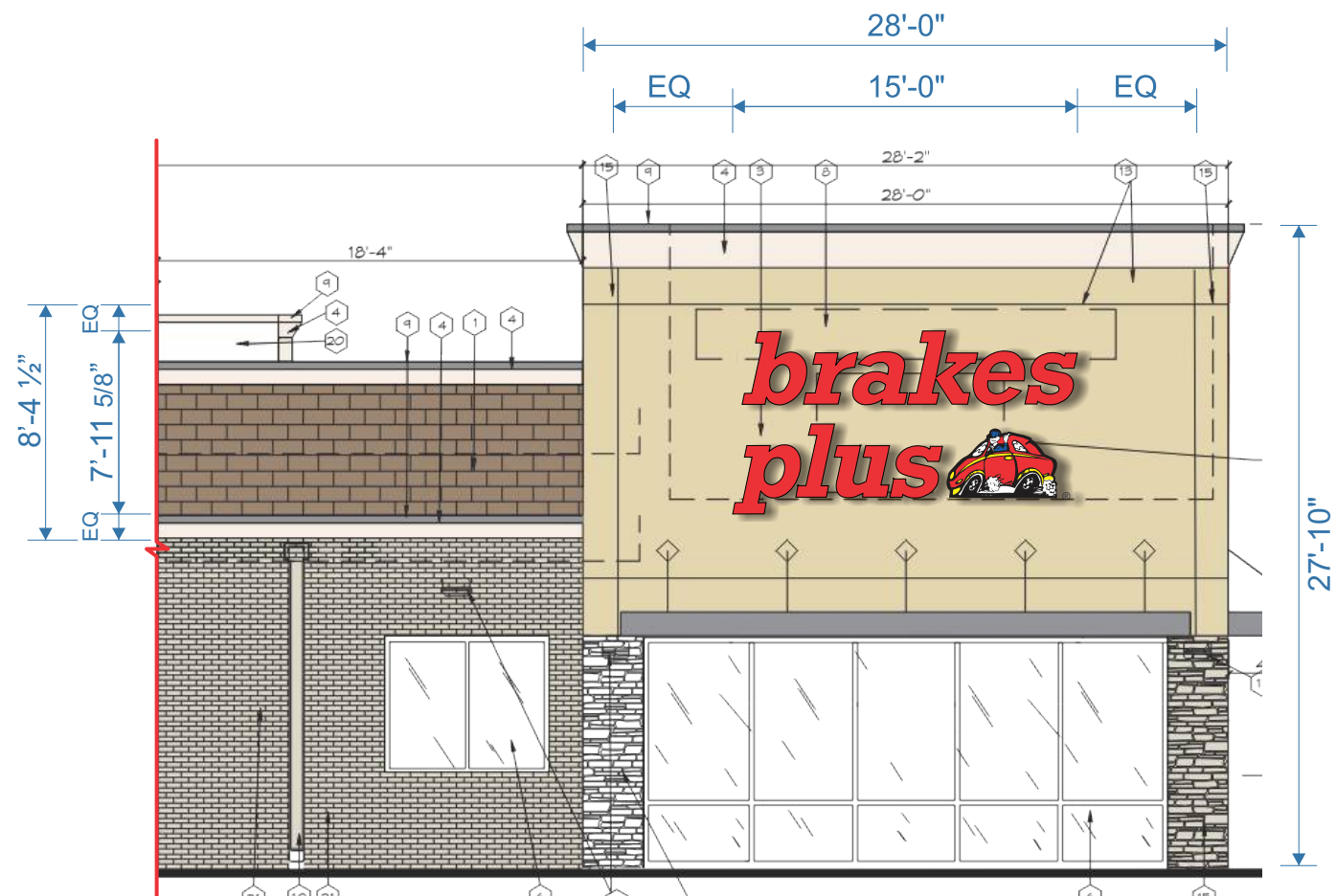
DESIGNER AB ACCOUNT EXECUTIVE N. TREVINO

DATE 5-14-19 SHEET 1 OF 3 DESIGN # AB 5-14-19 R2

**accent** **signs** **graphics**  
COMPLETE **SIGN** SERVICE & FABRICATION

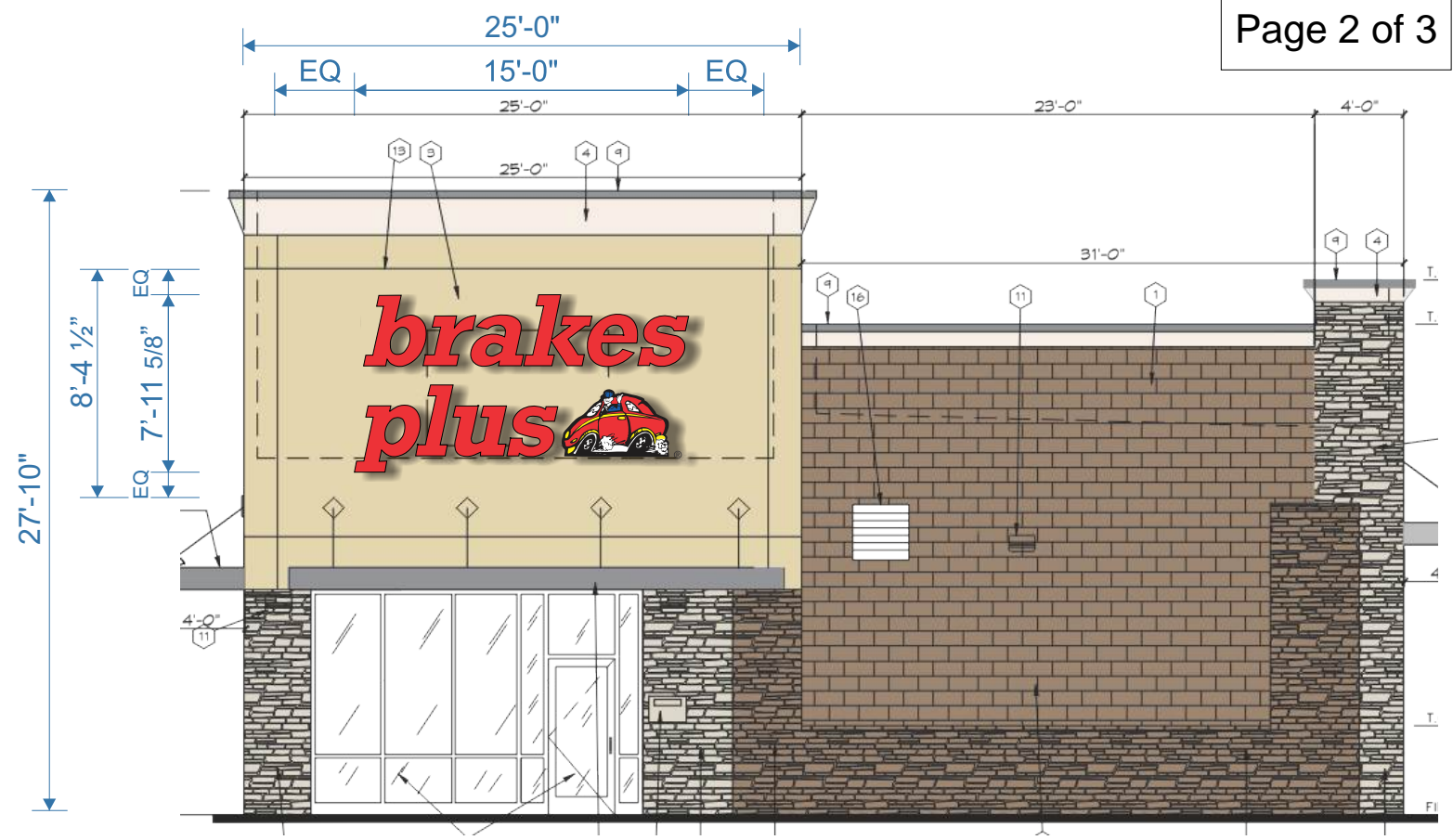
523 E. ROCK ISLAND  
GRAND PRAIRIE, TX 75050  
EMAIL [n.trevino@accentgraphicsinc.com](mailto:n.trevino@accentgraphicsinc.com)  
WEBSITE [www.accentgraphicsinc.com](http://www.accentgraphicsinc.com)

TOLL FREE (800) 810-3044  
METRO (972) 399-0333  
FAX (972) 986-4456  
FAX (800) 810-3045



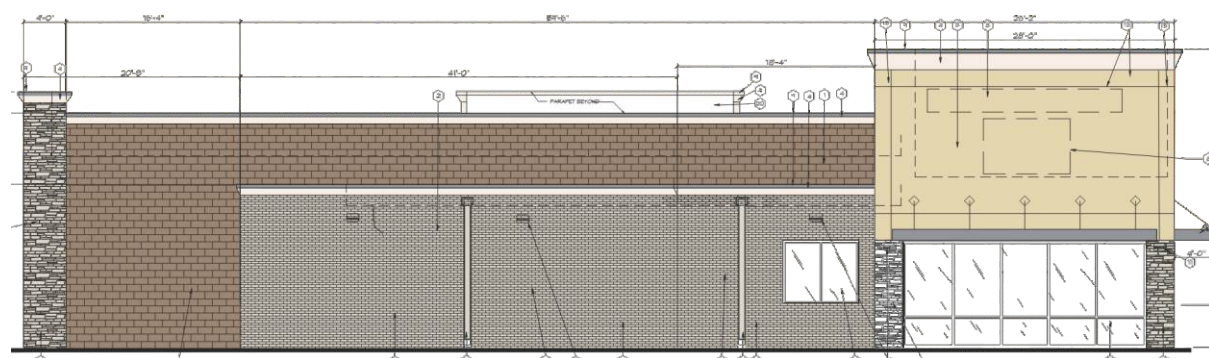
WEST ELEVATION

SCALE: 1/8" = 1'-0"



SOUTH ELEVATION

SCALE: 1/8" = 1'-0"



DATE		

CLIENT	DATE
ACCOUNT EXECUTIVE	DATE
LANDLORD	DATE
ALL CHANGES MUST BE INITIALED BY CLIENT AND ACCOUNT EXECUTIVE ON FINAL APPROVED PRINT.	

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CLIENT	BRAKES PLUS	STORE #	
INSTALLATION ADDRESS	2131 EAST BROAD STREET	MANSFIELD, TX	
DESIGNER	AB	ACCOUNT EXECUTIVE	N. TREVINO
DATE	5-14-19	SHEET	2 OF 3
DESIGN #	AB 5-14-19 R2		

**accent** **signs** **graphics**  
COMPLETE SIGN SERVICE & FABRICATION

523 E. ROCK ISLAND  
GRAND PRAIRIE, TX 75050  
EMAIL [n.trevino@accentgraphicsinc.com](mailto:n.trevino@accentgraphicsinc.com)  
WEBSITE [www.accentgraphicsinc.com](http://www.accentgraphicsinc.com)

TOLL FREE (800) 810-3044  
METRO (972) 399-0333  
FAX (972) 986-4456  
FAX (800) 810-3045





## SITE PLAN

Scale: NTS

[illegible]

AUTHORIZATION	
CLIENT	DATE
ACCOUNT EXECUTIVE	DATE
LANDLORD	DATE

ALL CHANGES MUST BE INITIALED BY  
CLIENT AND ACCOUNT EXECUTIVE OF  
FINAL APPROVED PRINT.

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CLIENT \_\_\_\_\_ BRAKES PLUS \_\_\_\_\_ STORE # \_\_\_\_\_  
INSTALLATION ADDRESS \_\_\_\_\_  
2131 EAST BROAD STREET MANSFIELD, TX  
DESIGNER AB ACCOUNT EXECUTIVE N. TREVINO  
DATE 5-14-19 SHEET 3 OF 3 DESIGN # AB 5-14-19 R2

**accent**  **graphics**  
**COMPLETE SIGN SERVICE & FABRICATION**

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 GRAND PRAIRIE, TX 75050

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 WEBSITE [www.accentgraphicsinc.com](http://www.accentgraphicsinc.com)



## Summary of City Council Actions

**June 10, 2019**

**Third and Final Reading of an Ordinance approving a change of zoning from SF-12/22 Single-Family Residential District and PR, Pre-Development District to PD, Planned Development District for Single-Family Residential uses on approximately 7.7 acres out of Lot 1R1, Change of Scenery; 1.2 acres out of Lot 1R2, Change of Scenery and 1.122 acres out of the William Childress Survey, Abstract No. 1949, Tarrant County, TX, totaling approximately 10.022 acres located at the Southeast corner of Seeton Road and National Parkway; Don Dykstra of Bloomfield Homes on behalf of Richard E. LeBlanc of Knox Street Partners No. 20, Ltd. c/o Hanover Property Company (ZC#19-001)**

Approved 7 – 0

**Third and Final Reading of an Ordinance approving a change of zoning from C-2 Community Business District and PR, Pre-Development District to PD, Planned Development District for Single-Family Residential uses on approximately 11.82 acres out of the Treese Crawford Survey, Abstract aNo. 831, Johnson County, Texas, located on the east side of S. Main Street, approximately 112 feet north of Vinewood Drive; Rich Darragh of Skorborg Company on behalf of Lyndell Lacey of Central Mansfield Church of Christ and William B. Mashburn (ZC#19-002)**

Approved 7 – 0

**Third and Final Reading of an Ordinance approving a change of zoning from C-2, Community Business District to PD, Planned Development District for Mobile Food Unit Sales, Outdoor Dining,, Outdoor Stage/Live Entertainment, Bar, Special Event, and Office uses on approximately 0.795 acres located at 107 Walnut Street; Shane Farrar of Open Range Properties (ZC#18-007)**

Approved w/conditions 6 – 1 (Leyman) - (1) Sunday thru Thursday – 7-12 a.m. w/amplified music off at 10 p.m.; (2) Friday and Saturday – 7-2 a.m. w/amplified music off at 11 p.m.; (3) Food Trucks—no more than 3 days in a week.