

## AGENDA

### PLANNING AND ZONING COMMISSION CITY OF MANSFIELD, TEXAS CITY HALL COUNCIL CHAMBERS MONDAY, JANUARY 6, 2020, 6:30 PM

#### 1. CALL TO ORDER

2. **RECESS INTO EXECUTIVE SESSION:** Pursuant to Section 551.071, Texas Government Code, the Commission reserves the right to convene in Executive Session(s), from time to time as deemed necessary during this meeting for any posted agenda item, to receive advice from its attorney as permitted by law.

#### 3. APPROVAL OF LAST MEETING MINUTES

4. **CITIZEN COMMENTS:** Citizens wishing to address the Commission on non-public hearing agenda items and items not on the agenda may do so at this time. Once the business portion of the meeting begins, only comments related to public hearings will be heard. All comments are limited to 5 minutes. Please refrain from “personal criticisms”.

In order to be recognized during the “Citizens Comments” **or** during a public hearing (applicants included), please complete a yellow “Appearance Card” located at the entry to the Chambers and present it to the Planning Secretary.

#### 5. PUBLIC HEARINGS:

- A. ZC#19-022: Public hearing for zoning change from C-2 to PD for C-2 uses with a freestanding electronic message board by Casteel & Associates, Inc. on approximately 2.38 acres, located at 781 W. Debbie Ln.

#### 6. OTHER AGENDA ITEM:

- A. ZC#19-020: Consideration of a change of zoning from PD Planned Development District to PD Planned Development District for single-family residential uses on approximately 9.612 acres out of the William Howard Survey, Abstract No. 690, Tarrant County, TX, located on the east side of Miller Road, approximately 480 feet south of Cannon Drive. (Tabled from the December 16, 2019, Planning and Zoning Commission meeting)

#### 7. COMMISSION ANNOUNCEMENTS

#### 8. STAFF ANNOUNCEMENTS

#### 9. ADJOURNMENT OF MEETING

#### 10. NEXT MEETING DATE: January 20, 2020

I certify that the above agenda was posted on the bulletin board next to the main entrance of City Hall on **Thursday, January 2, 2020**, in accordance with Chapter 551 of the Texas Government Code.

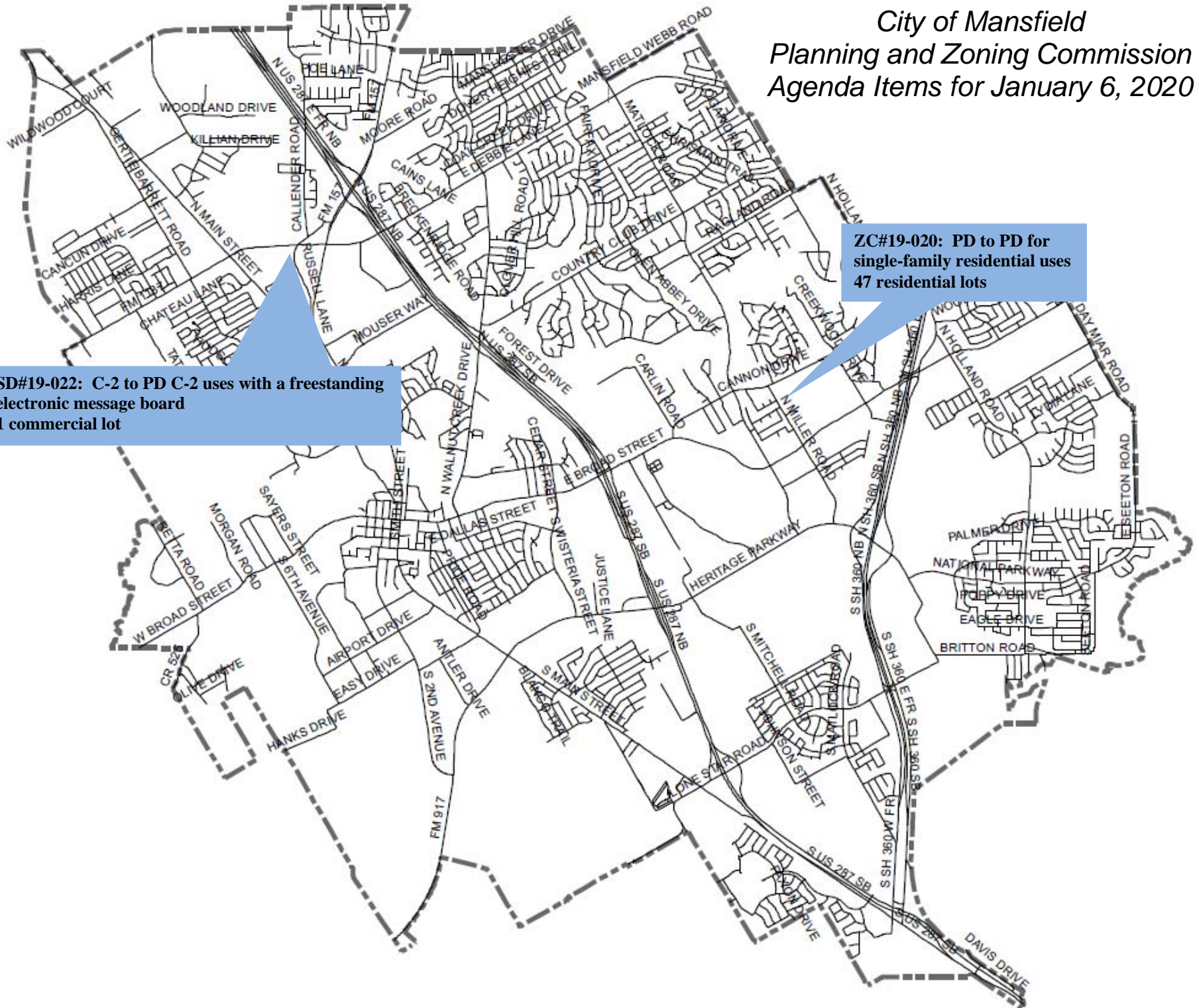
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Delia Jones, Planning and Zoning Secretary

- This building is wheelchair accessible. Disabled parking spaces are available. Request for sign interpreter services must be made 48 hours ahead of meeting to make arrangements. Call 817 473-0211 or TDD 1-800-RELAY TX, 1-800-735-2989.
- In deciding a zoning change application, the Planning & Zoning Commission and City Council are required to determine the highest and best use of the property in question. The Commission may recommend and the Council may approve a change in zoning to the category or district requested by the applicant or to any zoning category or district of lesser intensity. Notice is presumed sufficient for every District up to the intensity set forth in the zoning change application.

**ZC#19-020: PD to PD for  
single-family residential uses  
47 residential lots**

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single-family residential uses  
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**PLANNING & ZONING COMMISSION MEETING  
CITY OF MANSFIELD**

**December 16, 2019**

Chairman Wilshire called the meeting to order at 6:30 p.m. in the Council Chambers of City Hall, 1200 East Broad Street, with the meeting being open to the public and notice of said meeting, giving date, place, and subject thereof, having been posted as prescribed by Chapter 551, Texas Government Code.

**Present:**

Wayne Wilshire	Chairman
Cory Smithee	Vice-Chairman
Kent Knight	Commissioner
Blake Axen	Commissioner
Stephen Groll	Commissioner
Tamera Bounds	Commissioner
Anne Weydeck	Commissioner

**Absent:**

**Staff:**

Matt Jones	Director of Planning
Lisa Sudbury	Assistant Director of Planning
Art Wright	Planner
Andrew Bogda	Planner
Shirley Emerson	Planner
Delia Jones	Planning & Zoning Secretary
Joe Smolinski	Deputy City Manager
David Boski	Assistant Director Public Works Transportation

**Call to Order**

Chairman Wilshire called the meeting to order at 6:30 p.m.

**Minutes**

Chairman Wilshire called for approval of the December 2, 2019, minutes. Commissioner Groll made a motion to approve the minutes. Commissioner Bounds seconded the motion which carried by the following vote:

**Ayes: 5** – Wilshire, Smithee, Axen, Groll and Bounds

**Nays: 0**

**Abstain: 2** – Knight and Weydeck

**Citizen Comments**

None

*At this time, Chairman Wilshire moved zoning case ZC#19-009 to the end of the agenda.*

**Consent Agenda**

**SD#19-065: Final Plat of Lots 1 and 2, Block 1, The Reserve at Mansfield**

Vice-Chairman Smithee made a motion to approve the plat. Commissioner Bounds seconded the motion which carried by the following vote:

**Ayes: 6** – Wilshire, Smithee, Knight, Groll, Bounds and Weydeck

**Nays: 0**

**Abstain: 1** – Axen

**SD#19-064: Public hearing on a replat to create Lot 1R, Block 16, Original Town of Mansfield**

Chairman Wilshire opened the public hearing and called for anyone wishing to speak to come forward.

Seeing no one come forward to speak, Chairman Wilshire closed the public hearing.

After discussion, Commissioner Weydeck made a motion to approve the replat. Commissioner Bounds seconded the motion which carried by the following vote:

**Ayes:** 7 – Wilshire, Smithee, Knight, Axen, Groll, Bounds and Weydeck  
**Nays:** 0  
**Abstain:** 0

**ZC#19-020: Public hearing for a change of zoning from PD, Planned Development District to PD, Planned Development District for single-family residential uses on approximately 9.612 acres out of the William Howard Survey, Abstract No. 690, Tarrant County, Texas, located on the east side of Miller Road, approximately 480 feet south of Cannon Drive**

Andrew Bogda gave the staff presentation, power point presentation, overview of the request and was available for questions. Adam Buczek, representing the applicant, continued the presentation, gave a brief overview of the request and was available for questions.

Chairman Wilshire opened the public hearing and called for anyone wishing to speak to come forward.

Ken Sprecher, Cheryle Sprecher and Jack Thompson registered in support of the request as long as the traffic issues are addressed

Roger Tudor and Lori Tudor registered in opposition

Seeing no one else come forward to speak, Chairman Wilshire closed the public hearing.

In response to a question by Commissioner Groll, Mr. Boski stated that there are approximately 470 daily trips on Cannon Drive and noted that it is a heavily traveled road and a gate was not to accommodate school traffic.

After discussion regarding traffic, lot sizes, density, enhanced entry features, 5-foot side yards and fencing, Commissioner Groll made a motion to table the request to the next meeting (January 6, 2020). Commissioner Bounds seconded the motion which carried by the following vote:

**Ayes:** 7 – Wilshire, Smithee, Knight, Axen, Groll, Bounds and Weydeck  
**Nays:** 0  
**Abstain:** 0

**ZC#19-021: Public hearing to consider a Historic Landmark Overlay District classification for the Patterson-Rydell House located at 202 W. Oak Street**

Art Wright, representing the applicant Faye Patterson Rydell, gave the staff presentation, power point presentation and overview of the request. Mr. Wright noted that this house is one of three that were constructed of materials from the Dr. Julian T. Field mansion that previously occupied the property. The mansion was demolished in 1921 and the Patterson family acquired the property in 1956 and for the last 63 years the house has been occupied by members of the Newt Patterson family. Mr. Wright was available for questions.

Chairman Wilshire opened the public hearing and called for anyone wishing to speak to come forward.

Seeing no one come forward to speak, Chairman Wilshire closed the public hearing.

After discussion, Vice-Chairman Smithee made a motion to approve the request. Commissioner Groll seconded the motion which carried by the following vote:

**Ayes:** 7 – Wilshire, Smithee, Knight, Axen, Groll, Bounds and Weydeck  
**Nays:** 0  
**Abstain:** 0

**Executive Session – Pursuant to Section 551.071, Texas Government Code, the Board reserves the right to convene in Executive Session(s) from time to time as deemed necessary during this meeting to receive advice from its attorney on any posted agenda item.**

At this time, 8:00 p.m., Chairman Wilshire recessed into Executive Session.

Chairman Wilshire reconvened the meeting at 8:37 p.m.



**ZC#19-009: Public hearing for a request for a Specific Use Permit for apartments on approximately 13.0164 acres out of the William Howard Survey, Abstract No. 690 and the Richard Bratton Survey, Abstract No. 114, Tarrant County, Texas, located on the west side of SH 360, a quarter-mile south of Conifer Street**

Andrew Bogda gave the staff presentation, overview of the request and was available for questions.

John Allums, representing the applicant, continued the presentation, gave a brief overview of the request and was available for questions. Dixon Holman, Mike Arbour and Mark Taylor were also available for questions.

Chairman Wilshire opened the public hearing and called for anyone wishing to speak to come forward.

Registering in support of the request was Kenneth Reimer, Kyle Sweeney, Emily Shackelford, Larry Fabian, Laurie Fabian and Charles Sweeney.

Registering in support by e-mail was Terry Lee, Lisa Hager and Jennifer Alt

Registering in opposition to the request was Ashley Meadows, Michael Mills, Elizabeth Steinke, James Roach and Nicole Roach.

Seeing no one else come forward to speak, Chairman Wilshire closed the public hearing.

After discussion regarding parking, articulation, perimeter fencing, traffic, landscaping, amenities and density, Commissioner Bounds made a motion to approve the request with the condition that the following outstanding landscaping-related comments be addressed: 1) Provide shrubs around the trash compactor, 2) In the escrow funds for the row of trees adjacent to Cannon Drive South, include the cost of irrigation installation and the sidewalk along Cannon Drive South, 3) Provide the standard landscape maintenance note, 4) Show the sidewalk on Cannon Drive South, and an additional condition that the development must meet all requirements of Section 6 of The Reserve Business Campus Sub-District Design Standards. Vice-Chairman Smithee seconded the motion which carried by the following vote:

**Ayes: 7** – Wilshire, Smithee, Knight, Axen, Groll, Bounds and Weydeck

**Nays: 0**

**Abstain: 0**

**Commissioner Announcements**

Chairman Wilshire stated that Vice-Chairman Smithee has submitted his resignation and tonight will be his last meeting. He added that he has been an outstanding Commissioner and hates to see him go but also understands his reasons. Vice-Chairman Smithee stated that he has enjoyed his years on the P&Z Commissioner and it has been a privilege to serve.

**Staff Announcements**

Ms. Sudbury stated that it has been suggested that our meeting time start time be moved to 6:00 p.m. and input from Commissioners is requested.

**Adjournment**

Commissioner Knight made a motion to adjourn the meeting. Commissioner Axen seconded the motion which carried by the following vote:

**Ayes: 7** – Wilshire, Smithee, Knight, Axen, Groll, Bounds and Weydeck

**Nays: 0**

**Abstain: 0**

With no further business, Chairman Wilshire adjourned the meeting at 9:55 p.m.

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Wayne Wilshire, Chairman

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Delia Jones, Planning & Zoning Secretary

## **PLANNING AND ZONING COMMUNICATION**

Agenda: January 6, 2020

Subject: ZC#19-022: Public hearing for zoning change from C-2 to PD for C-2 uses with a freestanding electronic message board on approximately 2.38 acres located at 781 W. Debbie Ln.

### **GENERAL INFORMATION**

Applicant:

Casteel & Associates, Inc. on behalf of Marline Two LLC, owner

Proposed Use:

Restaurant with new freestanding electronic message board.

Existing Land Use:

Restaurant

Surrounding Land Use &  
Zoning:

North - Vacant, C-2 & Retail/service uses, C-3  
South - Commercial pallet business, C-3  
East - Mini-warehouses, C-3  
West - Parking lot, C-2 and restaurant, C-2

Thoroughfare Plan Specification:

W. Debbie Lane, 6-lane divided principal arterial  
Russell Lane, 3-lane undivided minor collector

### **COMMENTS AND CONSIDERATIONS**

The subject property has been occupied by a restaurant since 2009. The property is located at the southwest corner of W. Debbie Lane and Russell Lane. The restaurant has three existing wall signs on the building as shown on Exhibit B. The applicant proposes a freestanding electronic message board fronting W. Debbie Lane.

The applicant is requesting a zoning change from C-2 to PD for C-2 uses with a freestanding electronic message board. The electronic message board will be in addition to the existing signage on the building.

#### **Development Plan:**

- The base zoning for this PD is C-2, Community Business District
- The existing building and use will not change.
- The applicant is proposing to have a new freestanding monument sign for an electronic message board.

Deviations requested by the Applicant:

- Section 7100.D.1 Sign Table: *A total square footage of sign area being less than 50 square feet. Electronic message center/reader board signs are limited to 50% of the sign area.*

The maximum area of an electronic message board is 25 square feet. The applicant is requesting 38 square feet for the sign area. In addition, an electronic message board must be shared with a static cabinet sign. The applicant is requesting to have the electronic message board to be the sole sign on this freestanding sign.

- Section 7100.D.1 Sign Table: *The minimum setback for a freestanding sign is 10 feet from a property line along street frontage.*

The applicant proposes to use the existing monument sign base. The existing base is located near the property line and does not meet the minimum 10-foot setback.

Signage:

Under Section 7100, General Business signage must comply with the following additional requirements:

- *Maximum Number of Signs:* One sign per street frontage plus one wall sign per tenant. As a corner lot, this business is permitted 3 signs in total. There are currently three wall signs on the building. The proposed electronic message board will be a fourth sign, which exceeds the maximum allowable signage.
- *Size of Monument Signs:* Monuments signs may have a maximum width of 10 feet and a maximum height of 10 feet. The proposed sign is approximately 8 feet in width and approximately 7 feet in height.
- *Sign Base:* Monument signs must have a solid base at least two feet tall and the base must be as wide as or wider than the sign structure. The base must also match the masonry materials used on the primary building. The applicant proposes to use the existing base, which meets these requirements.

Recommendation:

The existing restaurant occupies a prominent corner on a major thoroughfare. The restaurant already has the maximum number signs allowed by ordinance. A PD is intended to provide a project with greater flexibility and encourage a more creative, efficient and aesthetically desirable design. Staff believes the proposed sign does not meet the intent of a Planned Development for the following reasons:

- Section 7100 is intended to limit the number of signs to reduce visual clutter. This PD would allow additional signage for a prominent business for the purpose of advertising without providing a creative, efficient or desirable aesthetic design.

- Council adopted special standards for the electronic message boards to reduce the effect of high intensity lighting. The applicant is proposing a larger message board than the ordinance allows. This sign will be closer to the street and may be distracting to drivers.
- Staff is concerned that approval of the PD may set a precedent that allows other businesses to circumvent the sign ordinance requirements for the sole purpose of additional advertising.

Based on the foregoing considerations, Staff recommends denial.

**Attachments:**

Maps and Supporting Information

Exhibit A – Property Description

Exhibit B – Development Plan Exhibit C – Sign Plan



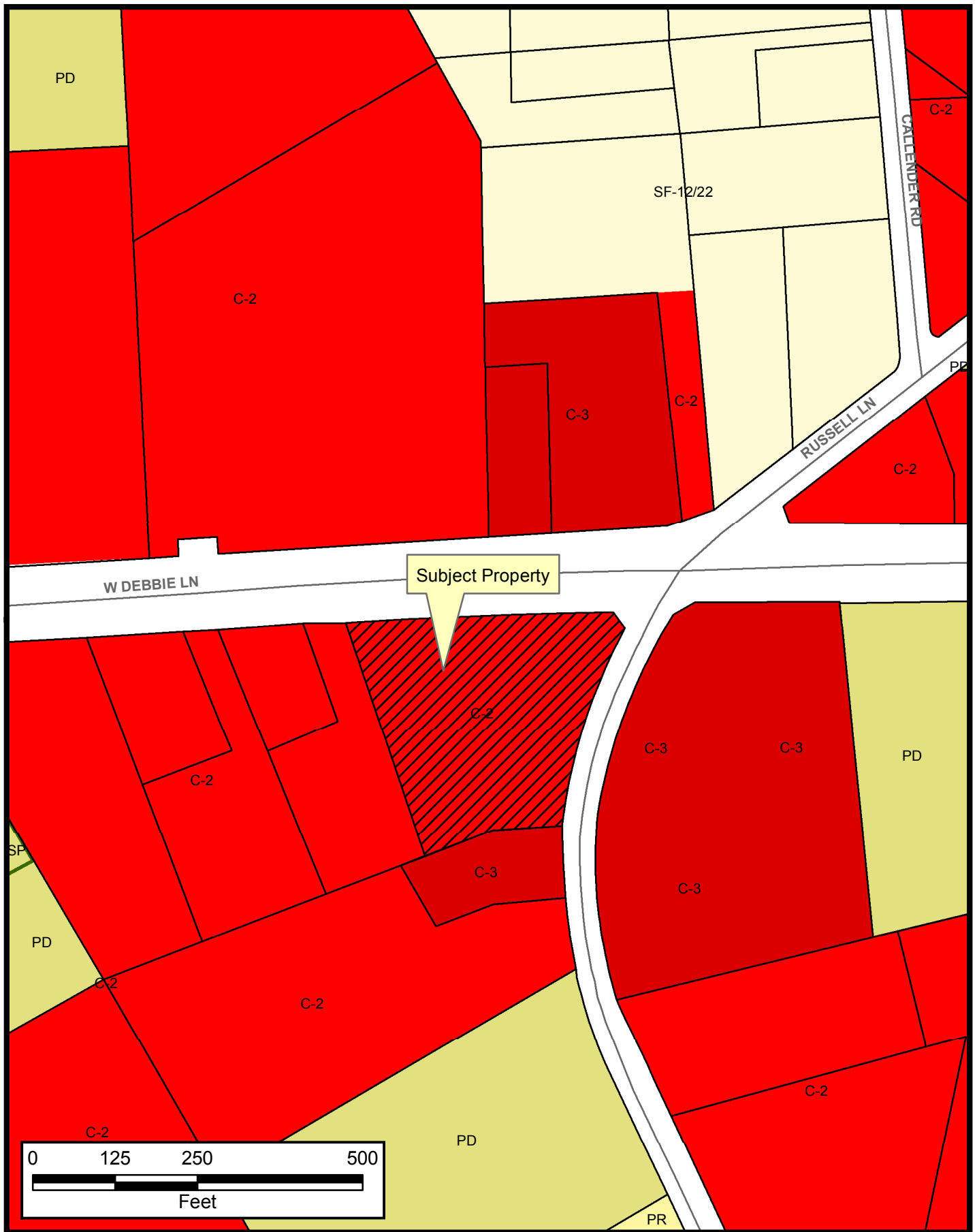


**ZC#19-022**

This information is for illustrative purposes only. Not for design or development purposes. Site-specific studies may be required to obtain accurate feature locations. Every effort is made to ensure the information displayed here is accurate; however, the City of Mansfield makes no claims to its accuracy or completeness.

12/18/2019





## Property Owner Notification for ZC#19-022

LEGAL DESC 1	LEGAL DESC 2	OWNER NAME	OWNER ADDRESS	CITY	ZIP
CALLENDER, SIDNEY S SURVEY	A 359	BALLOUN, MICHAEL	PO BOX 34001	FORT WORTH, TX	76162-4001
CALLENDER, SIDNEY S SURVEY	A 359	TODD, BOBBY J	1310 CLOVER HILL RD	MANSFIELD, TX	76063-2918
DAVIE BUSINESS PARK ADDITION	LOT 1R1	HALKAT INC	824 TURNER WAY	MANSFIELD, TX	76063-6407
DAVIE BUSINESS PARK ADDITION	LOT 2R1	HALKAT INC	824 TURNER WAY	MANSFIELD, TX	76063-6407
FLICK, R ADDITION	LOT 1A	MARLINE THREE LLC	2301 HWY 1187 STE 203	MANSFIELD, TX	76063-6139
FLICK, R ADDITION	LOT 2A	MARLINE THREE LLC	2301 HWY 1187 STE 203	MANSFIELD, TX	76063-6139
OAKDALE ADDITION-MANSFIELD	BLK 1	FILOTEO, MINA	1511 CAPLIN DR	ARLINGTON, TX	76018-1238
OAKDALE ADDITION-MANSFIELD	BLK 1	BECKUM, NORMA GRACE	1114 HILTON DR	MANSFIELD, TX	76063-3313
OAKDALE ADDITION-MANSFIELD	BLK 1	CHAPMAN ENTERPRISES INC	2544 COUNTY RD 807	CLEBURNE, TX	76031
OAKDALE ADDITION-MANSFIELD	BLK 4	MARLINE TWO LLC	2301 HWY 1187 STE 203	MANSFIELD, TX	76063-6139
OAKDALE ADDITION-MANSFIELD	BLK 5	ULTIMATE M&A LLC	2306 PARK PLACE AVE APT 11A	FORT WORTH, TX	76110



**Casteel Sign**

A Unit of Casteel & Associates, Inc.  
11106 Morrison Lane  
Dallas, Texas 75229  
T 214.352.7446  
[www.casteelsign.com](http://www.casteelsign.com)

## EXHIBIT "A"

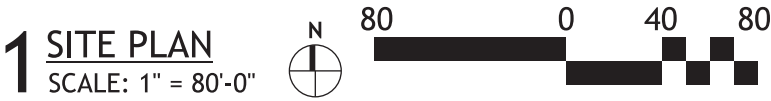
Property (including any improvements):

Lot 1R, Block 4, OAKDALE ADDITION to the City of Mansfield, Tarrant County, Texas, according to plat recorded in Cabinet A, Slide 3426, Deed Records of Tarrant County, Texas.

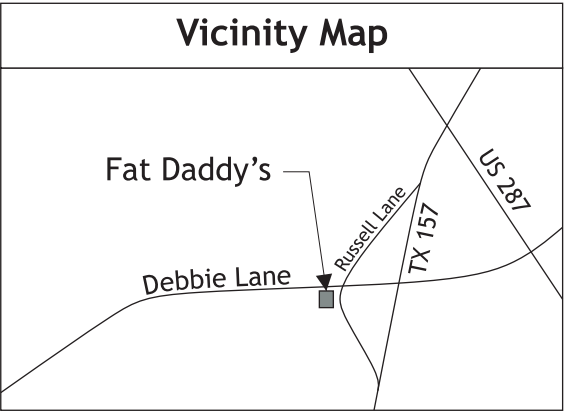
Property Address: 781 W Debbie Lane Mansfield, Texas 76063



EXHIBIT B



NAD 83 Grid Coordinates  
X\_NAD83 2,382,745.84  
Y\_NAD83 6,900,668.14



**Development Standards**  
**Subject Property:** 781 W Debbie Lane; consisting of 2.38 acres.

**Base Zoning District:** C2, Community Business District

**Signage Deviations from Base Zoning District**

Section	Requirement	Provided
7100, Table 7100D	Electronic Message Center limited to 50% of Sign area (up to 50 SF allowed)	Electronic Message Center 38 SF (proposed), No static signage
7100, Table 7100D	Minimum setback From street right-of-way line in feet - 10 feet	0 feet, using existing masonry base & electrical service, 21'-3" from back of curb

**PLANNED DEVELOPMENT REGULATIONS**

- No changes to C2 building, parking, landscaping, lighting or open storage/dispay requirements.

**COMPLIANCE WITH ZONING REGULATIONS**

- The proposed development will be in complete accordance with the provisions of the approved Planned Development District and that all Development Plans recorded hereunder shall be binding upon the applicant thereof, his successors and assigns, and shall limit and control all building permits.

**DEVELOPMENT PLAN**

781 W DEBBIE LANE  
Lot 1R, Block 4, OAKDALE ADDITION to the  
City of Mansfield, Tarrant County, Texas,  
according to plat recorded in Cabinet A,  
Slide 3426, Deed Records of Tarrant County, Texas.  
2.38 acres  
11.18.2019 ZC#19-022



**Casteel Sign**

Warren T. Casteel  
11106 Morrison Lane  
Dallas, TX 75229  
T 214.352.7446  
F 214.352.7448  
www.casteelsign.com

Fat Daddy's  
781 W Debbie Lane  
Mansfield, TX 76063  
Project No.: 5399  
Site Plan

Owner  
**Marline Two, LLC**  
2301 FM 1187  
Suite 203  
Mansfield, TX 76063  
Joey Dello Russo,  
VP of Operations  
817-539-2410  
joey.dellorusso@  
angmarcompanies.com

Drawn by JRM  
Sign Type M  
Date 11.18.2019  
12.03.2019 City  
Scale See Drawing

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CASTEEL & ASSOCIATES, INC.

EXHIBIT C



Casteel Sign

Warren T. Casteel  
11106 Morrison Lane  
Dallas, TX 75229  
T 214.352.7446  
F 214.352.7448  
www.casteelsign.com

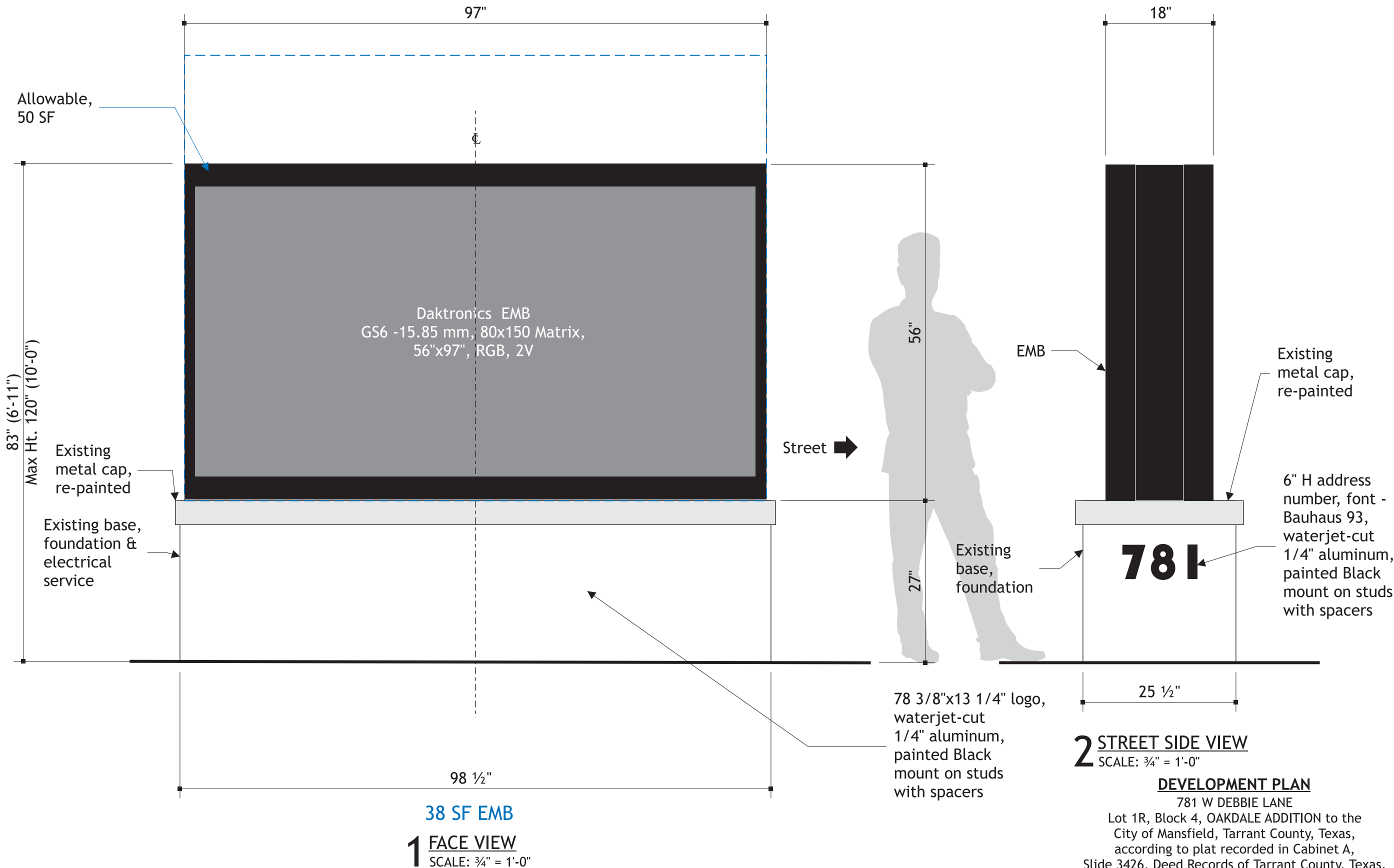
Fat Daddy's  
781 W Debbie Lane  
Mansfield, TX 76063  
Project No.: 5399

- Specifications
- Upper cabinet:
- Daktronic Electronic Message Board (EMB), two faces
  - 15.85 mm RGB
  - 56" x 97" unit
  - 80 x 150 matrix
  - Communication method: Cellular portal
  - Includes Training hosted Web Based
  - Standard 5 year Daktronic parts warranty
  - One (1) year labor and material on non-Daktronic portion; 1 year labor on Daktronic units by Casteel
  - Mount to double angle aluminum frame with closure panels
- Address on base:
- 6" H address numbers
  - Waterjet-cut 1/4" aluminum, painted Black
  - Mount on studs with spacers
- Cabinet shall be mounted to steel post on existing foundation, connected to existing electrical service.

Drawn by JRM  
Sign Type M.A  
Date 11.18.2019  
12.03.2019 City  
Scale See Drawing

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EXT.01





## PLANNING AND ZONING COMMUNICATION

Agenda: January 6, 2020

Subject: ZC#19-020: Consideration of a change of zoning from PD Planned Development District to PD Planned Development District for single-family residential uses on approximately 9.612 acres out of the William Howard Survey, Abstract No. 690, Tarrant County, TX, located on the east side of Miller Road, approximately 480 feet south of Cannon Drive (*Tabled from the December 16, 2019, Planning and Zoning Commission meeting*)

### GENERAL INFORMATION

Applicant:	John Arnold of Skorburg Company (developer) Paul A. & Paula Sutton; Marilyn G. Richardson; Christopher Puempel (owners) Cody Brooks of Bannister Engineering (engineer)
Size:	9.612 acres
Proposed Use:	Single-family residential
Existing Land Use:	Single-family residential
Surrounding Land Use & Zoning:	North – Nursing home (PD) South – Single-family residential (SF-12/22) East - Mansfield High School (SF-12/22) West - Miller Road; Single-family residential (PD & SF-9.6/20) across the street
Surrounding Land Use & Zoning:	Miller Road – Minor Collector (three-lane undivided)

### CONTINUATION TO JANUARY 6, 2020:

The Planning & Zoning Commission held a public hearing on December 16, 2019 and voted 7-0 to table consideration until January 6, 2020 to allow the applicant time to address the feedback and recommended conditions made by the Commission as well as outstanding staff comments.

During the meeting, there was extensive discussion regarding lot sizes, density, traffic, impact to the schools, screening, enhanced entryway features, open space features, and home sizes. There were three residents in support of the zoning request (as long as the traffic issues were addressed) and two residents in opposition to the request.

Based on the Commission's conditions and feedback as well as staff comments, the applicant has made the following changes to the plans:

- Increased the minimum floor area for the 40' and 50' lots from 1,800 sq. ft. to 2,000 sq. ft.
- Increased the minimum floor area for the 65' lots from 1,800 sq. ft. to 2,200 sq. ft.
- In lieu of only having J-swings on 10% of the 65' lots, a note has been added requiring at least two garage enhancements on every home from a list of seven options

- Provided the proposed residential landscaping standards: “40’ lots shall have 1 tree in the front yard and 1 tree in the rear yard. 40’ corner lots shall have an additional tree in the side yard. All other lots will comply with the City’s standard landscape requirements.”
- Revised the screening adjacent to the nursing home from a 6’ wood fence with masonry columns to an 8’ wood fence with masonry columns
- Revised the screening adjacent to the high school from a 6’ wood fence to an 8’ wood fence.
- Added an unmanned guard shack to the enhanced entryway at Colby Drive
- Adjusted the maintenance notes and screening details to account for the changes to the screening adjacent to the nursing home and high school
- Added a note that the decorative street lights at the enhanced entryway shall be enhanced and shall conform to Oncor and City standards

The applicant has not made any changes to the overall layout of the development, number of lots, or density at this time. If the 40’ lots are to remain, staff encouraged the applicant to make improvements to the facades of the homes on the 40’ lots (i.e. porches, additional garage door enhancements, offsets between the garage and second floor above, materials variations, enhanced articulation, etc.), however no notes have been added to ensure this. In addition, the applicant has not added any active open space elements (trails, park benches) to the plans as the drainage design still has not been determined. Although a preliminary drainage plan was submitted, Engineering staff had comments that were not addressed. The applicant is currently working with Engineering staff on determining an acceptable downstream drainage route and revising the preliminary drainage plan. It should also be noted that the 8’ wood fence with masonry columns adjacent to the nursing home is an improvement from the initial plans, but is not the masonry screening wall that the Commission had recommended.

Staff recommends approval with the following conditions:

- The 40’ lots are changed to 50’ lots (reducing the overall lot count from 47 to 42); or additional architectural enhancements are provided for the homes on 40’ lots
- A revised and acceptable preliminary drainage plan is provided
- The plan is revised to show existing 30’ ROW from center line of Miller Road, total of 60’

## **COMMENTS AND CONSIDERATIONS**

The subject property consists of 9.612 acres on the east side of Miller Road at Colby Drive and Chambray Lane, just north of Ursula Court and approximately 480 feet south of Cannon Drive. The property is located immediately south of The Pavilion at Creekwood nursing home and immediately west of Mansfield High School. The property is currently occupied by two single-family homes and several sheds and storage barns. In 2007, the property was re-zoned with the property to the north to a planned development for a nursing home and assisted living facility. The nursing home to the north was built in 2014, but the assisted living facility on the subject property was never built and the developer no longer has plans to build it here. The applicant is requesting to re-zone the property from PD Planned Development District to PD Planned Development District for single-family residential uses.

### Development Plan and Standards

The applicant plans to develop a 47-lot single-family residential neighborhood called Colby Crossing Phase 2. The developer previously built the Colby Crossing development immediately to the northwest (across Miller Road) and since Colby Drive will extend from that development into this one, the applicant is requesting to call this Phase 2 of that development. However,

while Colby Crossing included larger lots and homes (minimum lot size of 7,800 sq. ft., minimum lot width of 65', and minimum floor area of 2,600 sq. ft.), this development will have a mix of smaller lots and smaller minimum residential floor areas. 13 lots will have a minimum lot area of 7,280 sq. ft. and a minimum lot width of 65'. 12 lots will have a minimum lot area of 5,500 sq. ft. and a minimum lot width of 50'. 22 lots will have a minimum lot area of 4,100 sq. ft. and a minimum lot width of 40'. The minimum residential floor area ranges from 2,000 – 2,200 sq. ft. The applicant is generally using SF-7.5/18 as their base zoning and is proposing the following bulk area standards:

	<b>40' lots</b>	<b>50' lots</b>	<b>65' lots</b>
Min. Floor Area (sq. ft.)	2,000	2,000	2,200
Min. Lot Area (sq. ft.)	4,100	5,500	7,280
Min. Lot Width	40'	50'	65'
Min. Lot Depth	100'	110'	110'
Min. Front Yard	20'	20'	20'
Min. Rear Yard	10'	10'	15'
Min. Interior Side Yard	5'	5'	5' & 10'*
Min. Exterior Side Yard (adjacent to street)	20'	20'	20'
Max. Lot Coverage	65%	55%	55%
Max. Height	35'	35'	35'
Min. Street Frontage	40'	40'	40'
Min. Front Setback on Knuckles/Cul-de-Sacs	15'	15'	15'
Min. Masonry Percentage	80%	80%	80%

\*Requires lots to have a minimum of 5' on one side and a minimum of 10' on the other side, for a total of 15'

Note: All corner lots shall be at least 15' wider than the minimum lot width

Note: Lots with J-Swing homes shall have a reduced minimum rear yard setback of 10'

Note: The driveway for Lot 2, Block 3 shall be located on the east side of the lot

Staff notes that all of the lots deviate from the typical standards for SF-7.5/18 as it relates to minimum lot area, minimum front yard, and maximum lot coverage. Furthermore, the 40' and 50' lots also deviate from the typical standards as it relates to minimum rear yard and minimum interior side yard. The 40' lots also deviate from the typical standards as it relates to minimum lot depth.

The development will comply with the community design standards noted in Section 4600 of the Zoning Ordinance, with the exception that J-swing garages will be provided on a minimum of 10% of the 65' lots only. The applicant has also specified that the minimum masonry percentage will be 80%.

The development will have a gross density of 4.89 residential lots per acre and will be completed in one phase. It should be noted that the proposed density of this neighborhood is higher than the density in surrounding neighborhoods, which varies from 2.82 lots per acre (Palos Verdes Estates) to 3.88 lots per acre (Colby Crossing).

#### Access and Enhanced Entryway Plan

The Colby Drive access point will serve as the development's primary entrance and will include the enhanced entryway features. Chambray Lane will serve as a secondary access point. As indicated in the Enhanced Entryway Plan, the developer will be providing five enhanced entry features as required by the Zoning Ordinance. The five proposed elements are a boulevard

section with median, enhanced pavers or stained concrete, decorative street lighting, enhanced architectural features (enhanced screening wall with signage and decorative masonry columns with architectural shingles as well as an unmanned guard tower), and enhanced landscaping features (shrub beds and ornamental trees). The Chambray Lane entrance will also include signage. In lieu of having the signage and architectural columns match on both sides of the primary enhanced entryway, they will split the signage and architectural columns between the two access points and will provide the unmanned guard tower at the Colby Drive entrance.

#### Landscaping and Screening

The applicant has provided an overall Landscape and Screening Plan for the entire development. Due to the smaller size of the 40' lots, the applicant plans to deviate from the typical residential landscaping requirements of the Zoning Ordinance by providing one tree in the front yard and one in the rear yard; for corner lots, an additional tree shall be planted in the side yard facing the street. For the 50' and 65' lots, the typical requirements will be followed. In addition, a 6' masonry screening wall with masonry columns (spaced every 50' O.C.) will be provided along Miller Road adjacent to the residential lots. An 8' board-on-board fence with masonry columns (spaced every 50' O.C.) will be provided along the northern perimeter of the development adjacent to the nursing home. An 8' board-on-board fence without masonry columns will be provided along the eastern perimeter of the development adjacent to Mansfield High School.

Open space will be limited to drainage and detention areas in the eastern portion of the development and landscaping areas along the western perimeter of the development and at the primary entrance. Open space will comprise 9.35% of the development.

#### Recommendation

Colby Crossing Phase 2 provides for a single-family residential development with three lot categories and a total of 47 homes. It replaces plans for an 80-unit assisted living facility. The proposed single-family zoning is consistent with the surrounding area and with the Land Use Plan, which calls for remaining land parcels one to be built out with single-family homes. However, with some 40' and 50' lots and a gross density of 4.89 residential lots per acre, the lot sizes are smaller and the density is higher than those of surrounding neighborhoods. That being said, the applicant has designed the site such that the larger 65' lots are located adjacent to Palos Verdes Estates and Miller Road, with the 50' lots being located in the center of the development, and the 40' lots being located along the northern and eastern parts of the development adjacent to the nursing home and the high school. While staff would have preferred zoning standards that more closely match the surrounding neighborhoods and the Zoning Ordinance, the applicant has elected to proceed with the proposed standards to allow for some different product types not ordinarily found in the City and to maximize the use of limited land resources in the area while still providing for single-family uses and has worked to provide a plan that places the larger lots adjacent to the existing single-family homes in the area to blend better with the surrounding neighborhoods. Staff recommends approval with the condition that the plans specify the proposed residential landscaping standards: one tree in the front yard and one tree in the rear yard; for corner lots, one of the trees shall be placed in the side yard facing the street.

#### **Attachments:**

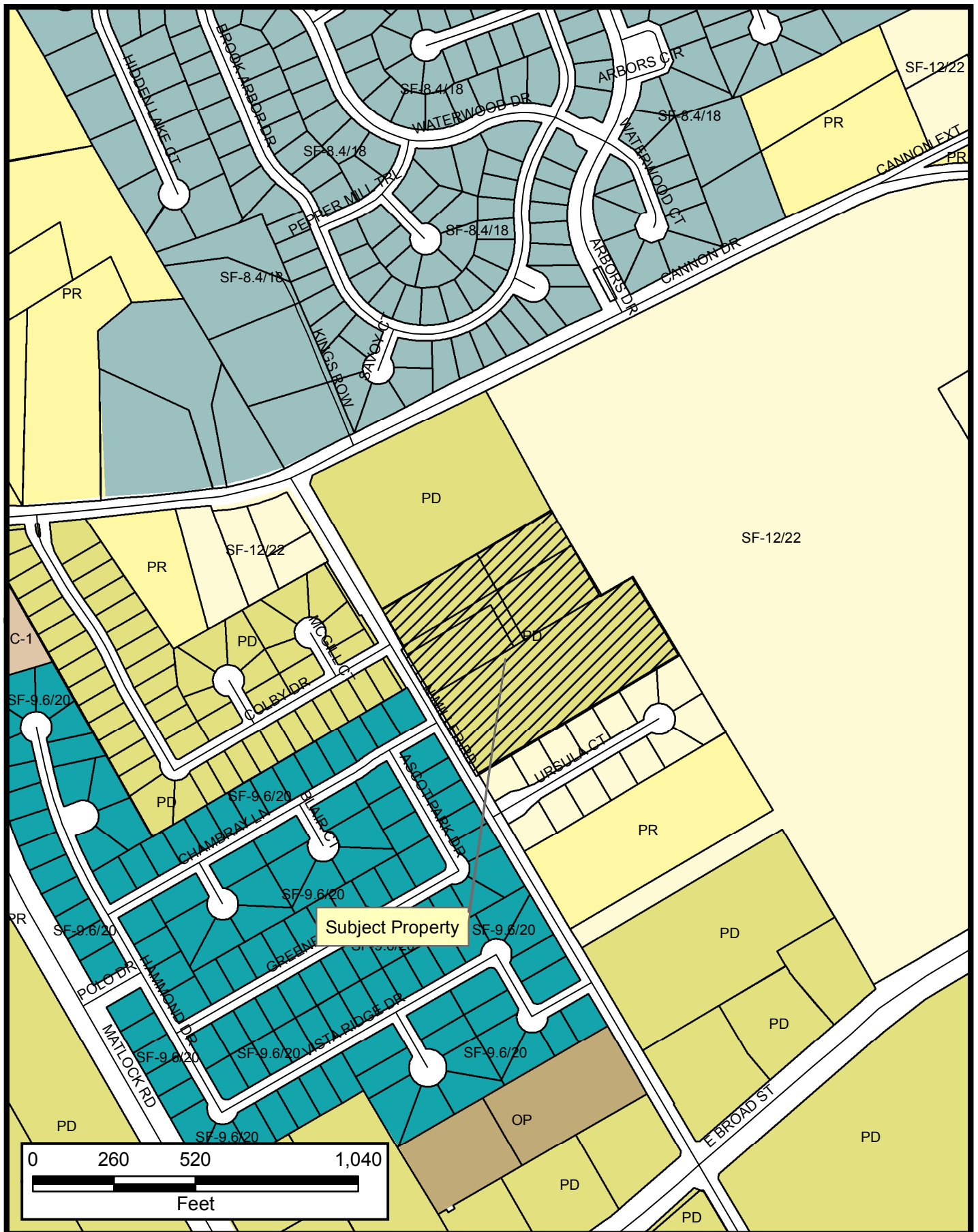
Maps and Supporting Information  
Previously Approved Development Plan  
Exhibit A – Property Description  
Exhibit B – Development Plan

Exhibit C – Enhanced Entryway Plan  
Exhibit D – Landscape and Screening Plan  
Exhibit E – Lot Width Summary









## Property Owner Notification for ZC#19-020

LEGAL DESC 1	LEGAL DESC 2	OWNER NAME	OWNER ADDRESS	CITY	ZIP
COLBY CROSSING ADDN	BLK 1	MUSA, ANTHONY & JAIME	704 MCGILL CT	MANSFIELD, TX	76063
COLBY CROSSING ADDN	BLK 1	QU, ZHEN & ZHENG, LIANJUN	703 BLAIR CT	MANSFIELD, TX	76063
COLBY CROSSING ADDN	BLK 1	COLBY CROSSING HOMEOWNERS ASSO	1024 S GREENVILLE AVE STE 230	ALLEN, TX	75002
COLBY CROSSING ADDN	BLK 1	COLBY CROSSING HOMEOWNERS ASSO	1024 S GREENVILLE AVE STE 230	ALLEN, TX	75002
COLBY CROSSING ADDN	BLK 2	SPRECHER, KENNETH & CHERYLE	601 COLBY DR	MANSFIELD, TX	76063
COLBY CROSSING ADDN	BLK 2	BOTTS, ADAM D & JULIE A	603 COLBY DR	MANSFIELD, TX	76063
COLBY CROSSING ADDN	BLK 2	SWAPP, AARON & ASHLEY	605 COLBY DR	MANSFIELD, TX	76063
COLBY CROSSING ADDN	BLK 2	COLBY CROSSING HOMEOWNERS ASSO	1024 S GREENVILLE AVE STE 230	ALLEN, TX	75002
HOWARD, WILLIAM SURVEY	A 690	SUTTON, PAUL A & PAULA B	1870 CHUCKWAGON DR	MIDLOTHIAN, TX	76065-9485
HOWARD, WILLIAM SURVEY	A 690	SUTTON, PAUL A & PAULA B	1870 CHUCKWAGON DR	MIDLOTHIAN, TX	76065-9485
KYLE ADDITION	BLK 1	PUEMPEL, CHRISTOPHER & GAYL	850 N MILLER RD	MANSFIELD, TX	76063-5817
MANSFIELD HIGH SCHOOL ADDITION	BLK 1	MANSFIELD, ISD	605 E BROAD ST	MANSFIELD, TX	76063-1766
PALOS VERDES ESTATES	BLK 1	PLUMLEIGH, GERALD & MARY	2701 URSULA CT	MANSFIELD, TX	76063
PALOS VERDES ESTATES	BLK 1	WASHINGTON, DAVID	2703 URSULA CT	MANSFIELD, TX	76063-9130
PALOS VERDES ESTATES	BLK 1	TUDOR, LORI & ROGER	2705 URSULA CT	MANSFIELD, TX	76063
PALOS VERDES ESTATES	BLK 1	MARTINEZ, AGUSTIN & DONNA	2707 URSULA CT	MANSFIELD, TX	76063
PALOS VERDES ESTATES	BLK 1	AVERY, THOMAS & ROSE A	2709 URSULA CT	MANSFIELD, TX	76063
PALOS VERDES ESTATES	BLK 1	MARGO INVESTMENTS LLC	2712 URSULA CT	MANSFIELD, TX	76063-9130
PALOS VERDES ESTATES	BLK 1	THOMSON, JACK Z & DIANE	2713 URSULA CT	MANSFIELD, TX	76063-9130
PALOS VERDES ESTATES	BLK 1	MARGO, RANDAL & KAYLA	2712 URSULA CT	MANSFIELD, TX	76063-9130

## Property Owner Notification for ZC#19-020

LEGAL DESC 1	LEGAL DESC 2	OWNER NAME	OWNER ADDRESS	CITY	ZIP
PALOS VERDES ESTATES	BLK 1	MARGO INVESTMENTS LLC	2712 URSULA CT	MANSFIELD, TX	76063-9130
PALOS VERDES ESTATES	BLK 1	WANG, ZHONG Y	2708 URSULA CT	MANSFIELD, TX	76063
PALOS VERDES ESTATES	BLK 1	RIGGS, WESLEY B & JULIE A	2706 URSULA CT	MANSFIELD, TX	76063-9130
PALOS VERDES ESTATES	BLK 1	GOTHARD, PAMELA & MICHAEL	2704 URSULA CT	MANSFIELD, TX	76063-9130
PALOS VERDES ESTATES	BLK 1	WATSON, LEO & DORA	2702 URSULA CT	MANSFIELD, TX	76063-9130
PALOS VERDES ESTATES	BLK 1	ALAMO CUSTOM BUILDERS INC	1122 REATA DR	WEATHERFORD, TX	76087
PALOS VERDES ESTATES	BLK 1	WATSON-PALOS VERDES JV	8029 LEVY COUNTY LINE RD	MANSFIELD, TX	76063-4122
POLO CROSSING ADDITION	BLK 1	DELAGERHEIM, MICHAEL & LAURA	2613 CHAMBRAY LN	MANSFIELD, TX	76063-5841
POLO CROSSING ADDITION	BLK 1	SUGHROUE, SAMANTHA & NICHOLAS	2615 CHAMBRAY LN	MANSFIELD, TX	76063
POLO CROSSING ADDITION	BLK 3	TIMMONS, LUNDY & TASCHA	702 ASCOT PARK DR	MANSFIELD, TX	76063
POLO CROSSING ADDITION	BLK 3	OLDHAM, JOHN D II	704 ASCOT PARK DR	MANSFIELD, TX	76063-5478
POLO CROSSING ADDITION	BLK 3	NENIEL, JOEL & JENIFER	706 ASCOT PARK DR	MANSFIELD, TX	76063
POLO CROSSING ADDITION	BLK 3	PRESCOTT, BRIAN A & BRENDA	708 ASCOT PARK DR	MANSFIELD, TX	76063-5478
POLO CROSSING ADDITION	BLK 3	MOLLOW, BARBARA	710 ASCOT PARK DR	MANSFIELD, TX	76063
TARRANT HEALTHCARE REALTY	BLK 1	TEXAS - LTC LP	PO BOX 56607	ATLANTA, GA	30343
WHALEY ADDITION	BLK 1	RICHARDSON, MARILYN G	880 N MILLER RD	MANSFIELD, TX	76063-5817





LOCATION MAP

Impervious Cover Table:		TOTAL	percent
OVERALL	690,557 sf	Sq. ft.	%
Buildings	15,853 ac		
Parking and Drives			
Sidewalk/other			
Total Proposed Impervious Cover		317,611	45.99%

Parking Table:		Required	Tot. Req.
Nursing Home	240	Beds	40
Assisted Living	80	units	120
Physical Therapy	1367	sf	170
Provided:			
Regular Spaces	20'x9'		281
Handicap Spaces (van accessit. common)	20'x8'		7
Total			288

## OWNERS

PAUL AND PAULA SUTTON  
2110 CANNON DRIVE  
MANSFIELD, TX 76063  
817-477-2714

DEAN AND HELEN KYLE  
850 N. MILLER ROAD  
MANSFIELD, TX 76063  
817-563-0611

RAYOR AND MARILYN RICHARDSON  
880 N. MILLER ROAD  
MANSFIELD, TX 76063  
817-473-6674

## CIVIL ENGINEER

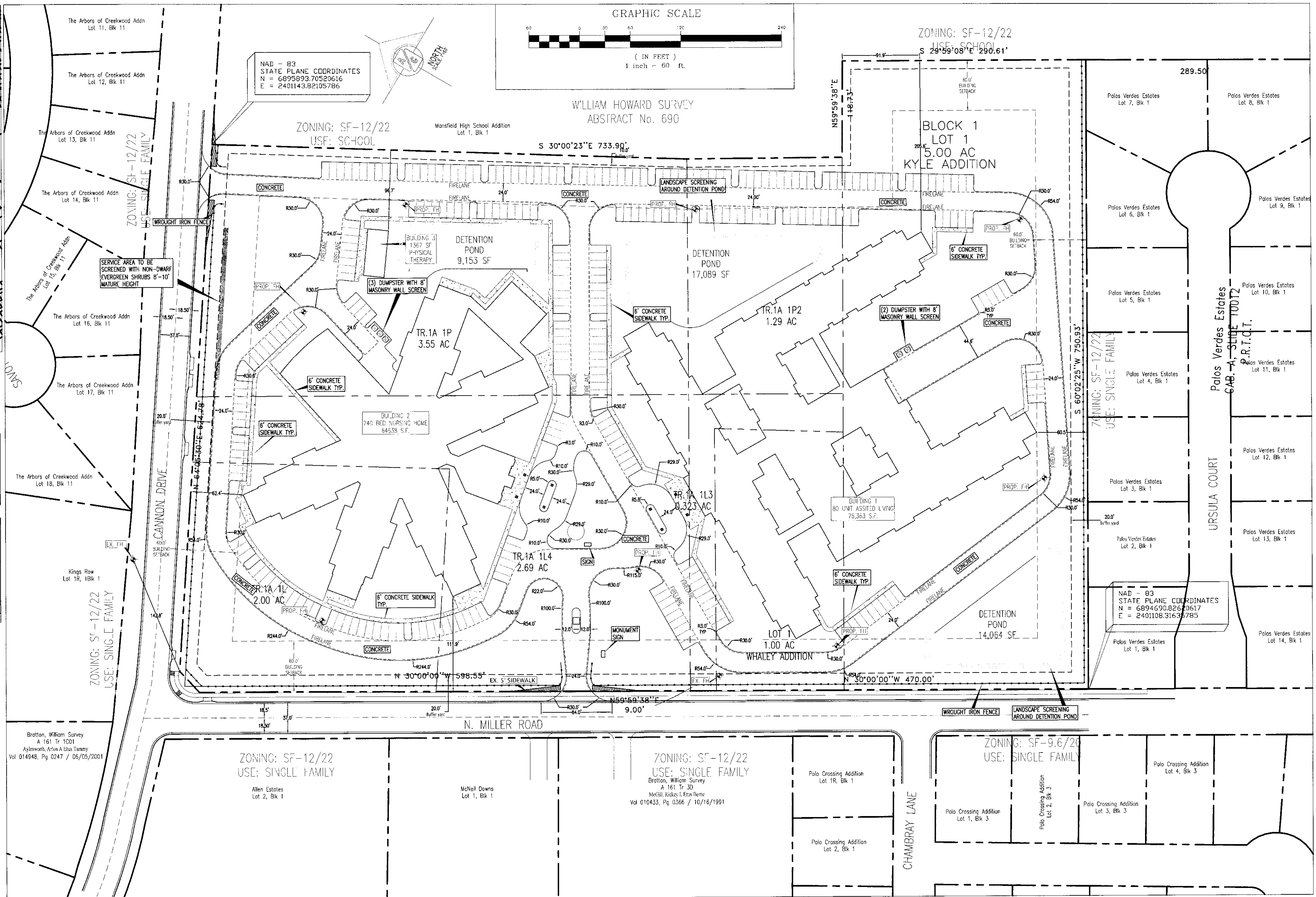
AUSTIN CIVIL ENGINEERING, INC.  
2708 SOUTH LAMAR BLVD., Ste. 200A  
AUSTIN, TEXAS 78704  
PHONE: (512) 306-0018  
FAX: (512) 306-0048

## DEVELOPER

SERENITY MANAGEMENT SERVICES OF AMERICA, INC.  
800 WEST ARBROOK BLVD. SUITE 210  
ARLINGTON, TX 76015  
817-468-1991

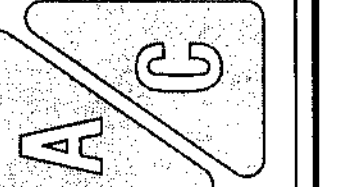
## ARCHITECT

DGA, LLC.  
WILLIAM A. DAVIS IV. AIA  
301 BRUSHY CREEK ROAD SUITE 106  
CEDAR PARK, TEXAS 78613  
PHONE (512) 335-2881  
FAX (512) 335-0828

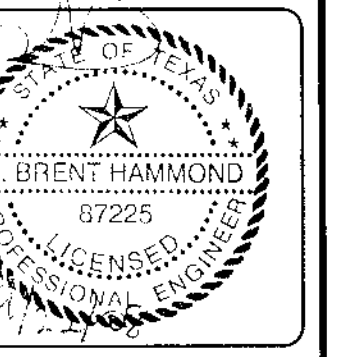


- 1) ALL PROPOSED DEVELOPMENT WILL BE IN COMPLETE ACCORDANCE WITH THE PROVISIONS OF THE APPROVED PLANNED DEVELOPMENT DISTRICT. ALL DEVELOPMENT PLANS RECORDED HERE UNDER SHALL BE BINDING UPON THE APPLICANT THEREOF, HIS SUCCESSOR AND ASSIGNS. THE PLANNED DEVELOPMENT DISTRICT SHALL LIMIT AND CONTROL ALL BUILDING PERMITS.
- 2) THE FOLLOWING ARE DEVIATIONS FROM THE CITY ORDINANCE:
  - a) SECTION 4600
  - b) SECTION 4600D
  - c) SECTION 7100
- 3) EXCEPT AS LISTED IN #2 ABOVE THE DEVELOPER WILL COMPLY WITH ALL ZONING ORDINANCE REQUIREMENTS AND ANY FUTURE AMENDMENT THEREOF.
- 4) ELECTRICAL TRANSFORMERS AND TELEPHONE LINE PEDESTALS LOCATED MORE THAN FIVE (5) FEET FROM A BUILDING, GAS METERS AND SATELLITE DISHES SHALL BE SCREENED BY A SCREENING WALL OR BY A HEDGEROW OF DENSE EVERGREEN SHRUBBERY OR PLANT MATERIAL TO FORM A VISUAL SCREEN USING PLANT MATERIALS APPROVED BY THE LANDSCAPE ADMINISTRATOR. SWITCH GEAR DEVICES SHALL BE SCREENED BY HEDGEROW OF DENSE EVERGREEN SHRUBBERY OR PLANT MATERIALS TO FORM A VISUAL SCREEN USING PLANT MATERIAL APPROVED BY THE LANDSCAPE ADMINISTRATOR. ALL OTHER TYPE OF SERVICE EQUIPMENT AND SERVICE AREAS SHALL BE SCREENED BY A SCREENING WALL.
- 5) THE PERMITTED USE FOR THIS DEVELOPMENT IS ASSISTED LIVING, NURSING HOME AND PHYSICAL THERAPY.

START DATE: RECEIPT OF PERMIT  
COMPLETION DATE: 18 MONTHS TO FOLLOW



AUSTIN CIVIL  
ENGINEERING, INC.



Development Plan  
Serenity at Mansfield  
Being 15.862 acres in the William Howard Survey,  
Abstract No. 690  
City of Mansfield, Tarrant County, Texas  
8/27/2008  
1 Lot

JOB: 06-050	DATE: 6/27/08
CAD: DA	CHECKED BY:
ENGINEER: BH	CHECKED BY:
SCALE: 1" = 60'	

DEVELOPMENT  
PLAN

SITE CIVIL PLAN  
of 1

Previously Approved Development Plan

ZC#07-006



**ZONING LIMITS FOR FUTURE COLBY CROSSING, PHASE 2**

BEING a portion of that certain tract of land in the William Howard Survey, Abstract Number 690, City of Mansfield, Tarrant County, Texas, described in a Warranty Deed with Vendor's Lien to Paul A. Sutton and Wife, Paula B. Sutton (hereinafter referred to as Sutton tract), as recorded in Volume 12220, Page 193, Deed Records, Tarrant County, Texas, and being all of that certain tract of land described as Lot 1, Block 1, Whaley Addition (hereinafter referred to as Whaley Addition), an addition to the City of Mansfield, Tarrant County, Texas, according to the plat recorded in Volume 388-166, Page 85, Plat Records, Tarrant County, Texas (P.R.T.C.T.) and being all of that certain tract of land described as Lot 1, Block 1, Kyle Addition (hereinafter referred to as Kyle Addition), an addition to the City of Mansfield, Tarrant County, Texas, according to the plat recorded in Volume 388-206, Page 55, P.R.T.C.T. and being all of that certain tract of land described in a Warranty Deed to Ronnie D. Whaley and wife, Wanda J. Whaley, as recorded in Volume 7512, Page 1609, Deed Records, Tarrant County, Texas (D.R.T.C.T.), now owned by Marilyn G. Richardson (hereinafter referred to as Richardson tract), as recorded in Instrument Number D219205849, Official Public Records, Tarrant County, Texas (O.P.R.T.C.T.), and being more particularly described, by metes and bounds, as follows:

**BEGINNING** at a one-half inch iron rod with plastic cap stamped "JLLANE" found for the existing Northeasterly right-of-way line of North Miller Road (variable width right-of-way), as recorded in Instrument Number D201181461, O.P.R.T.C.T., same being the Southerly corner of that certain tract of land described as Lot 1, Block 1, Tarrant Healthcare Realty Addition (hereinafter referred to as Lot 1), an addition to the City of Mansfield, Tarrant County, Texas, according to the plat recorded in Instrument Number D213320199, O.P.R.T.C.T., same also being the Westerly corner of said Richardson tract;

**THENCE** North 59 degrees 23 minutes 12 seconds East, departing the existing Northeasterly right-of-way line of North Miller Road and with the common line between said Richardson tract and said Lot 1, a distance of 625.72 feet to the Northerly corner of said Richardson tract, same being the Easterly corner of said Lot 1, same also being a Southwesterly line of that certain tract of land described as Lot 1, Block 1, Mansfield High School Addition (hereinafter referred to as Mansfield High School Addition), an addition to the City of Mansfield, Tarrant County, Texas, according to the plat recorded in Cabinet A, Slide 6072, P.R.T.C.T.;

**THENCE** South 29 degrees 33 minutes 12 seconds East with the common line between said Richardson tract and said Mansfield High School Addition, a distance of 317.91 feet to the Easterly corner of said Richardson tract, same being an angle point in the Southwesterly line of said Mansfield High School Addition, same also being the Northwesterly line of said Kyle Addition;

**THENCE** North 59 degrees 13 minutes 12 seconds East with the common line between said Kyle Addition and said Mansfield High School Addition, a distance of 118.20 feet to the Northerly corner of said Kyle Addition, same being an angle point in the Southwesterly line of said Mansfield High School Addition;

**THENCE** South 30 degrees 46 minutes 45 seconds East, continue with the common line between said Kyle Addition and said Mansfield High School Addition, a distance of 290.00 feet to the Easterly corner of said Kyle Addition, same being the Northerly corner of that certain tract of land described as Palos Verdes Estates (hereinafter referred to as Palos Verdes Estates), an addition to the City of Mansfield, Tarrant County, Texas, according to the plat recorded in Cabinet A, Slide 10012, P.R.T.C.T.;

**THENCE** South 59 degrees 12 minutes 53 seconds West, departing the Southwesterly line of said Mansfield High School Addition and with the common line between said Kyle Addition and said Palos Verdes Estates, passing at a distance of 746.30 feet, the Westerly corner of said Palos Verdes Estates, same being the existing Northeasterly right-of-way line of North Miller Road (variable width right-of-way), and continue with said course and with the common line between said Kyle Addition and the existing Northeasterly right-of-way line of said North Miller Road, a distance of 751.00 feet to the Southerly corner of said Kyle Addition;

**THENCE** North 30 degrees 46 minutes 45 seconds West, continue with the common line between said Kyle Addition and the existing Northeasterly right-of-way line of said North Miller Road, pass at a distance of 290.00 feet, the Westerly corner of said Kyle Addition, same being the Southerly corner of the aforesaid Whaley Addition and continue with said course and the common line between said Whaley Addition and the existing Northeasterly right-of-way line of said North Miller Road, pass at a distance of 433.01 feet, the Westerly corner of said Whaley Addition, same being a Southerly corner of said Richardson tract and continue with said course and the common line between said Richardson tract and the existing Northeasterly right-of-way line of said North Miller Road, a distance of 470.01 feet to an angle point;

**THENCE** North 59 degrees 12 minutes 53 seconds East, continue Richardson tract and the existing Northeasterly right-of-way line of said North Miller Road, a distance of 13.46 feet to an angle point;

**THENCE** North 30 degrees 36 minutes 26 seconds West, continue Richardson tract and the existing Northeasterly right-of-way line of said North Miller Road, a distance of 139.71 feet to the **PLACE OF BEGINNING**, and containing a calculated area of 9.612 acres (418,706 square feet) of land.



11/27/2019

Project No. 090-15-08 | Date: 11/26/2019 | Page 1 of 1 | Drawn by: SA | Checked by: MD2

**EXHIBIT "A"**  
**ZONING LIMITS DESCRIPTION**  
**FUTURE COLBY CROSSING, PHASE 2**  
**CITY OF MANSFIELD, TARRANT COUNTY, TEXAS**

**BANNISTER**  
**ENGINEERING**  
 240 North Mitchell Road | Mansfield, TX 76063 | 817.842.2094 | 817.842.2095 fax  
 TBPLS REGISTRATION NO. 10193823

SITE DATA SUMMARY:

BASE ZONING:	SF – 7.5/18
MAXIMUM HEIGHT:	35'
MAXIMUM LOT COVERAGE	55%, 65% ON 40' LOTS
GROSS DENSITY	4.89 UNITS PER ACRE
TOTAL OPEN SPACE AREA	39,136 S.F. (9.35%)
MINIMUM LOT WIDTH FOR CORNER LOTS	ALL CORNER LOTS SHALL BE AT LEAST 15' WIDER THAN THE MIN. LOT WIDTH.
MINIMUM STREET FRONTAGE	40'
STREETS:	50' R.O.W.
PAVEMENT:	29' BACK TO BACK
MIN. MASONRY PERCENTAGE:	80%
MINIMUM FRONT SETBACK ON ALL KNUCKLES AND CUL-DE-SACS	15'

LOT SIZE TYPE:	40' WIDE LOTS	50' WIDE LOTS	65' WIDE LOTS
NUMBER OF LOTS PROVIDED:	22	12	13
MINIMUM FLOOR AREA:	2,000 S.F.	2,000 S.F.	2,200 S.F.
MINIMUM LOT AREA:	4,100 S.F.	5,500 S.F.	7,280 S.F.
MINIMUM LOT WIDTH:	40'	50'	65'
MINIMUM LOT DEPTH:	100'	110'	110'
MINIMUM FRONT SETBACK:	20'	20'	20'
MINIMUM REAR SETBACK:	10'	10'	15' (SEE NOTE 1.B.)
MINIMUM INTERIOR SIDE YARD:	5'	5'	5' & 10' TOTAL=15'
MINIMUM EXTERIOR SIDE YARD: ADJACENT TO STREET	20'	20'	20'

OWNER:  
RICHARDSON, MARILYN G  
880 N MILLER RD  
MANSFIELD, TX  
76063-5817

**ENGINEER:**  
BANNISTER ENGINEERING, LLC  
240 NORTH MITCHELL ROAD  
MANSFIELD, TEXAS 76063  
(817) 842-2094  
CONTACT: CODY R. BROOKS,  
EMAIL: CODY@BANNISTERENG.

**SURVEYOR:**  
BANNISTER ENGINEERING, LLC  
240 NORTH MITCHELL ROAD  
MANSFIELD, TEXAS 76063  
(817) 842-2094  
CONTACT: MICHAEL DAVIS

**APPLICANT/DEVELOPER:**  
SKORBURG COMPANY  
8214 WESTCHESTER DRIVE  
SUITE 710  
DALLAS, TEXAS 75225  
CONTACT: JOHN ARNOLD  
214-535-2090

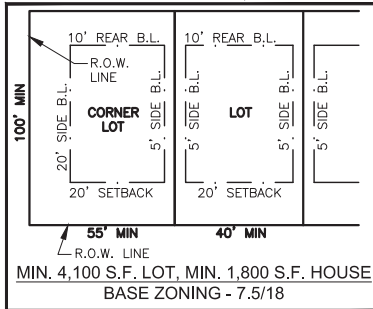
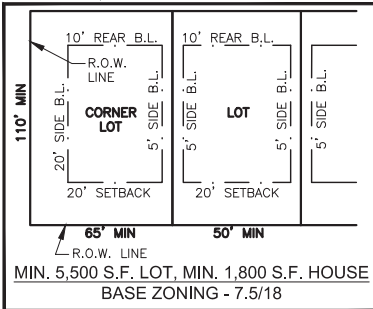
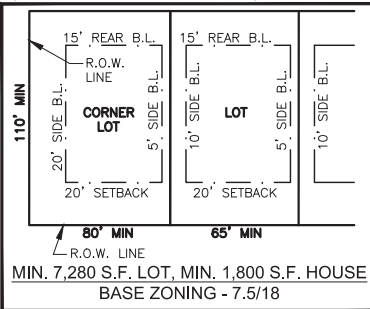
Being approximately 9.612 Acres of land  
situated in the William Howard Survey,  
Abstract No. 690

**BANISTER**  
ENGINEERING  
240 North Mitchell Road | Mansfield, TX 76063 | 817.842.2094 | 817.842.2095 fax  
REGISTRATION # F-10599 (TEXAS)  
CONTACT: CODY R. BROOKS, P.E.     [www.banistereng.com](http://www.banistereng.com)

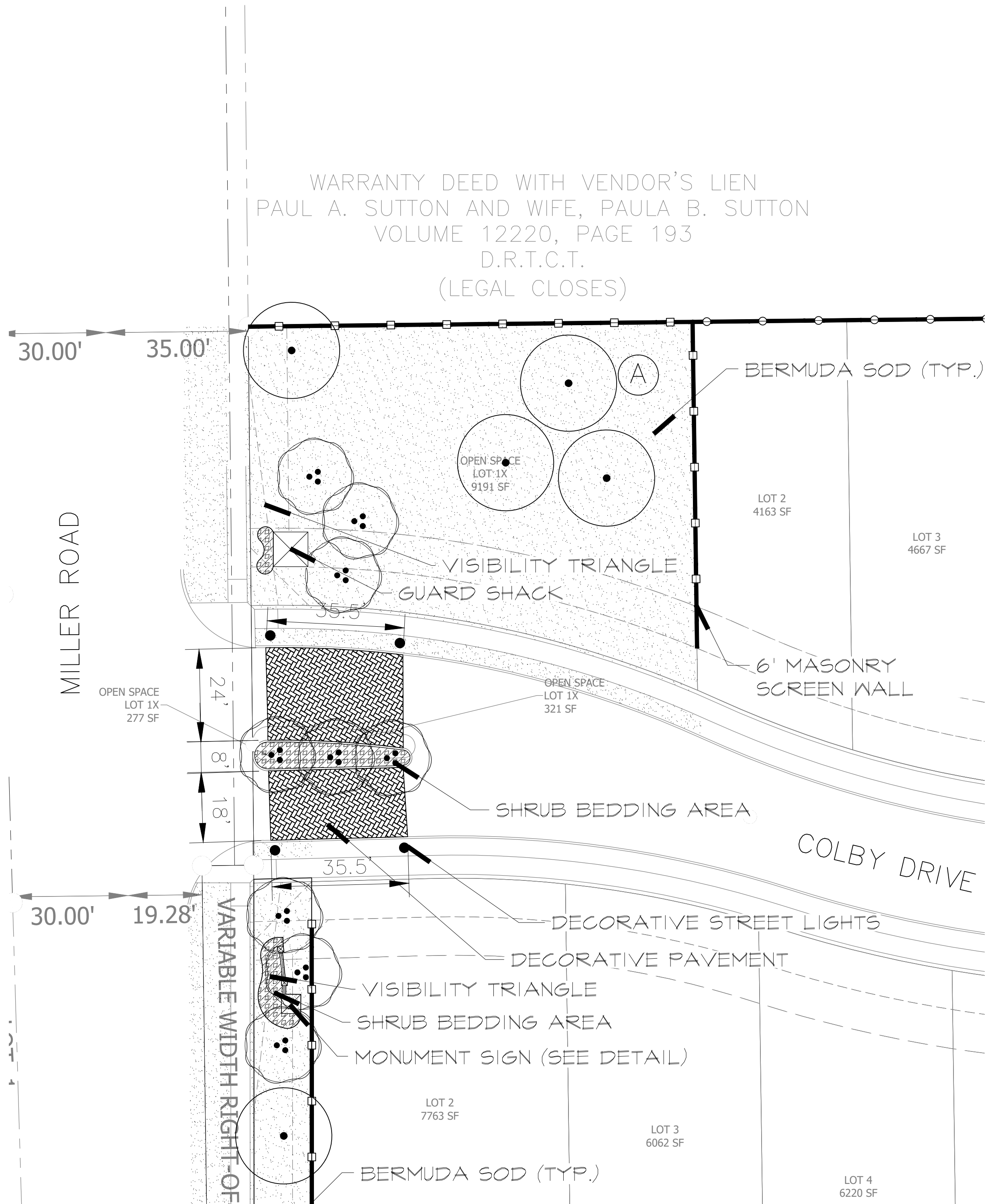
Date Prepared: 11/4/2019  
Date Revised: 12/23/2019

HOME OWNERS ASSOCIATION NOTES:

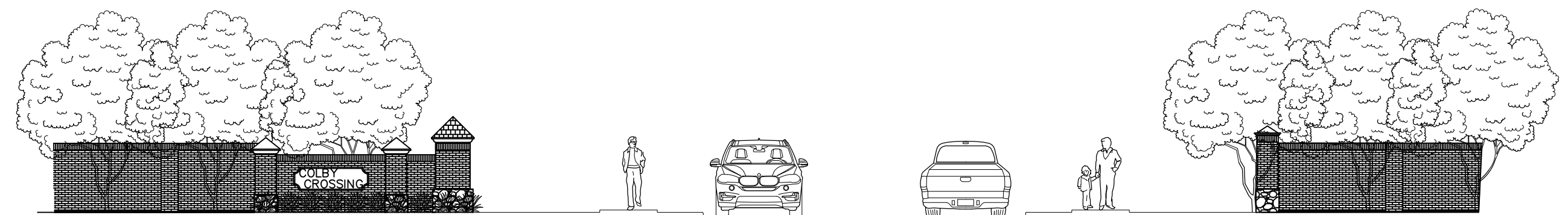
1. A MANDATORY HOMEOWNERS ASSOCIATION WILL BE RESPONSIBLE FOR THE MAINTENANCE OF THE MASONRY SCREENING WALL WITH MASONRY COLUMNS; THE WOOD FENCE WITH MASONRY COLUMNS; THE DECORATIVE METAL FENCE; THE WOOD FENCE ALONG THE NORTHERN AND WESTERN PERIMETER OF THE DEVELOPMENT; THE DECORATIVE STREET SIGN AND STREET LIGHT POLES AND MOUNTS; THE OPEN SPACE LOTS AND ALL LANDSCAPING AND IMPROVEMENTS THEREON; AND THE ENHANCED ENTRYWAY FEATURES, INCLUDING BUT NOT LIMITED TO, THE MEDIAN, LANDSCAPING, ANY NON-STANDARD PAVEMENT, THE ENTRANCE MASONRY WALLS AND SIGNAGE, AND THE DECORATIVE LIGHT FIXTURES.
2. THE OWNERS ASSOCIATION AND ASSOCIATED DOCUMENTS SHALL BE FILED IN ACCORDANCE WITH CITY OF MANSFIELD POLICIES. THESE DOCUMENTS MUST BE REVIEWED BY THE CITY ATTORNEY PRIOR TO FILING THE FINAL PLAT. THE DOCUMENTS SHALL BE FILED WITH THE FINAL PLAT AT TARRANT COUNTY WHEN DEEMED NECESSARY BY THE ATTORNEY. THE DOCUMENTS SHALL BE SUBMITTED IN TIMELY MANNER TO ALLOW FOR A MINIMUM OF 60 DAY REVIEW. FAILURE TO SUBMIT THE DOCUMENTS OR INCOMPLETE DOCUMENTS WILL RESULT IN A DELAY OF CONSTRUCTION. ACCEPTANCE OF THE SUBVISION OR DELAY IN APPROVAL OF A BUILDING PERMIT. THE CITY DOES NOT ACCEPT THE RESPONSIBILITY FOR ANY DELAYS IN CONSTRUCTION, APPROVAL OR ACCEPTANCE OF THE SUBVISION CAUSED BY FAILURE TO SUBMIT THE ASSOCIATION DOCUMENTS OR INACCURACY OF THE DOCUMENTS.



File: B:\Clients\090 (Storburg Development)\090-15-08 (Miller Road - Mansfield TX)\Civil\Exhibits\Concept Landscape Plan.dwg || Date Plotted: 12/23/2019 3:00 PM || Plotted By: draw



PRIMARY ENTRANCE (COLBY DRIVE)



SECONDARY ENTRANCE (CHAMBRAY LANE)

NOTES:

1. STREET LIGHTS SHALL BE ENHANCED (AND CONFORM WITH ONCOR AND CITY STANDARDS) WITH DECORATIVE BASE, POLE AND LIGHT STANDARDS. REFER TO EXHIBIT "C".

EXHIBIT "C"  
ENHANCED ENTRYWAY PLAN  
COLBY CROSSING PHASE 2

Being approximately 9.612 Acres of land  
situated in the William Howard Survey,  
Abstract No. 690  
City of Mansfield, Tarrant County, Texas

47 Single Family Lots - 6 Open Space Lots  
ZC#19-020

PAGE 1 OF 1

PRELIMINARY  
FOR REVIEW ONLY  
These documents are for  
Design Review and not  
intended for  
Construction, Bidding or  
Permit Purposes. They  
were prepared by, or  
under the supervision of:  
Drew J. Dubocq  
L.A.#3141  
12/23/2019

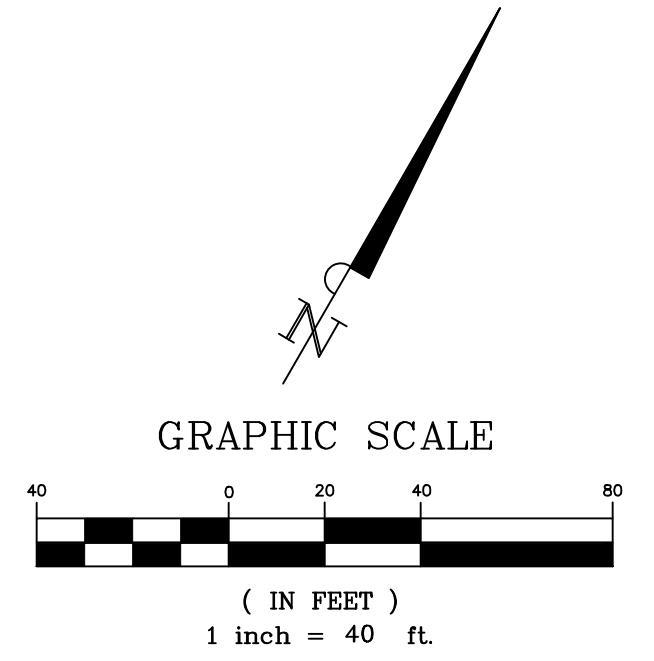
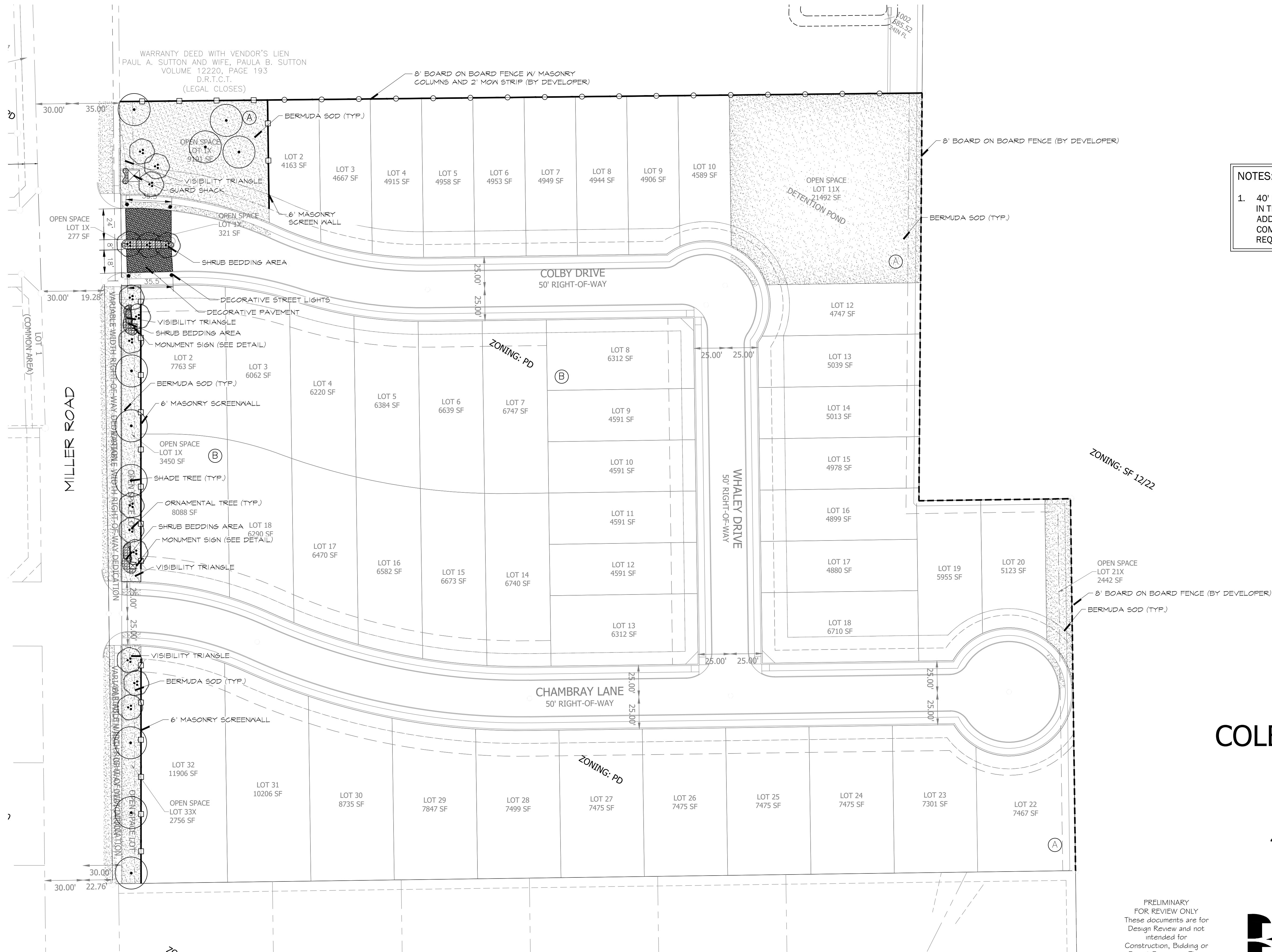
**BANNISTER**  
ENGINEERING  
240 North Mitchell Road | Mansfield, TX 76063 | 817.842.2094 | 817.842.2095 fax  
REGISTRATION # F-10599 (TEXAS)  
CONTACT: CODY R. BROOKS, P.E.

Date Prepared: 11/4/2019

Revised: 12/23/2019

BE JOB NO. 090-15-08





NOTES:

1. 40' LOTS SHALL HAVE 1 TREE IN THE FRONT YARD AND 1 TREE IN THE REAR YARD. 40' CORNER LOTS SHALL HAVE AN ADDITIONAL TREE IN THE SIDE YARD. ALL OTHER LOTS WILL COMPLY WITH THE CITY'S STANDARD LANDSCAPE REQUIREMENTS.

EXHIBIT "D"  
LANDSCAPE PLAN  
COLBY CROSSING PHASE 2

Being approximately 9.612 Acres of land  
situated in the William Howard Survey,  
Abstract No. 690  
City of Mansfield, Tarrant County, Texas

47 Single Family Lots - 6 Open Space Lots  
ZC#19-020

PAGE 1 OF 3

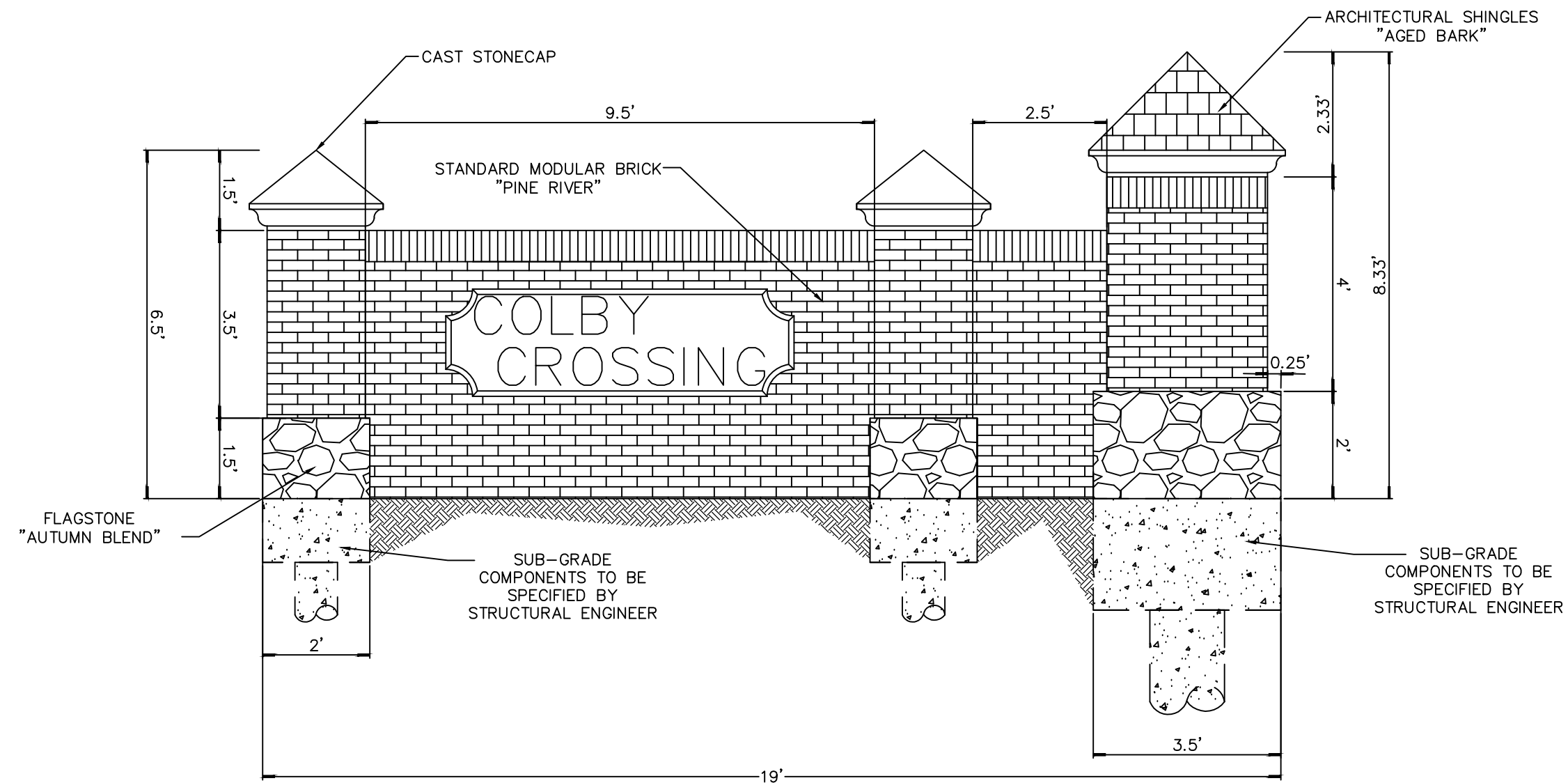
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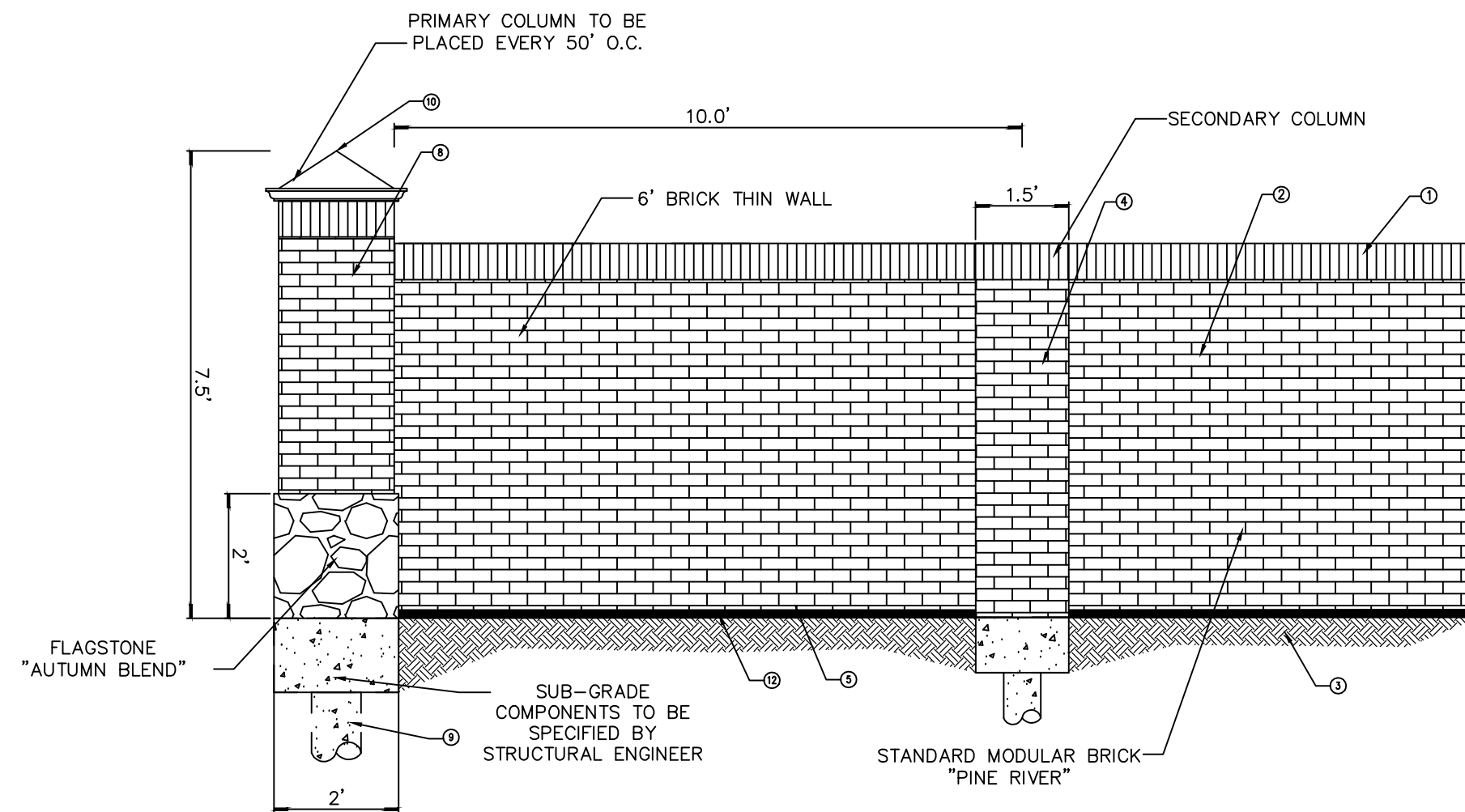
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under the supervision of:  
Drew J. Dubocq  
L.A.#3141  
12/23/2019

File: B:\Clients\090 (Storburg Development)\090-15-08 (Miller Road - Mansfield TX)\Civil\Exhibits\Concept Landscape Plan.dwg || Date Plotted: 12/23/2019 2:18 PM || Plotted By: draw

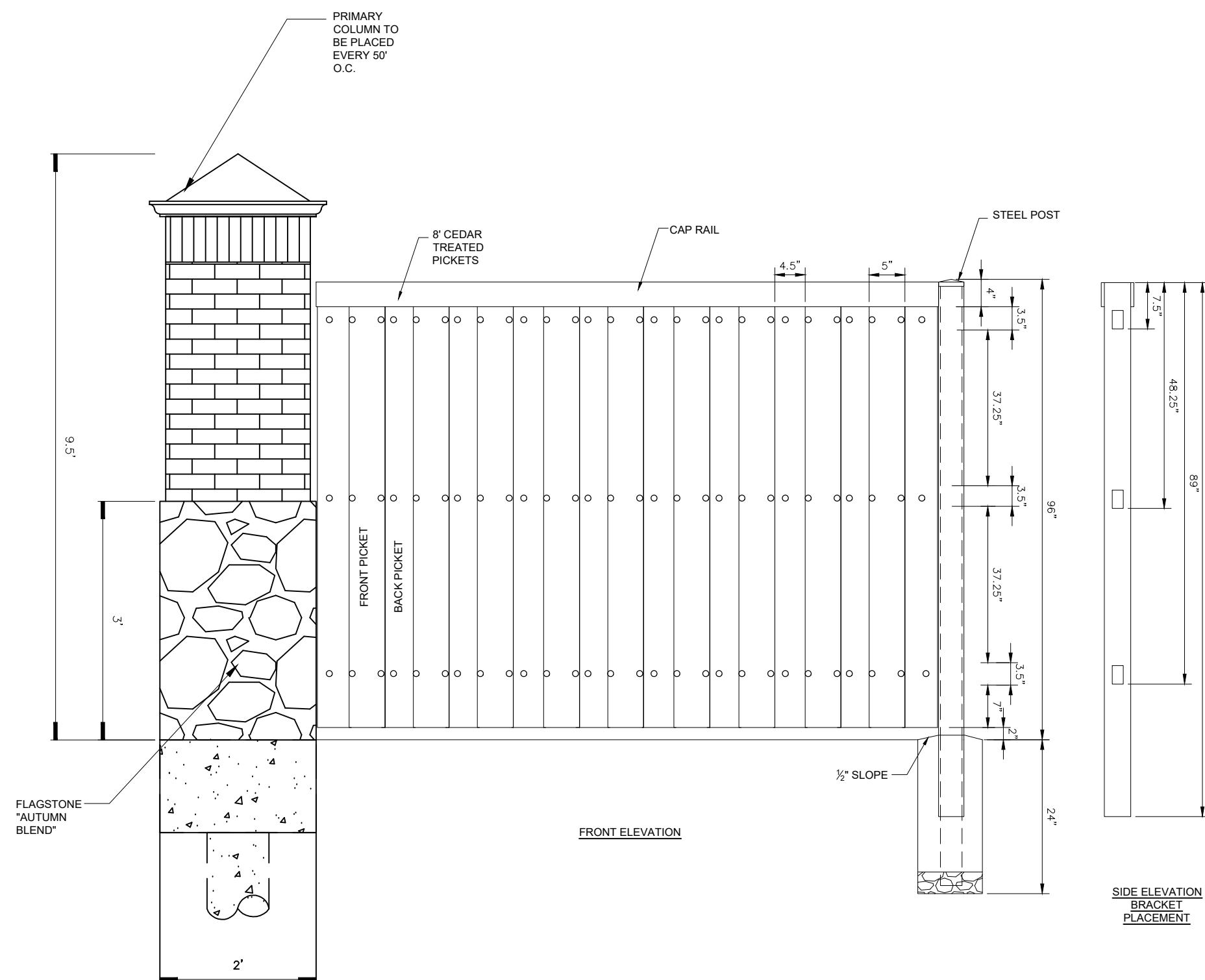
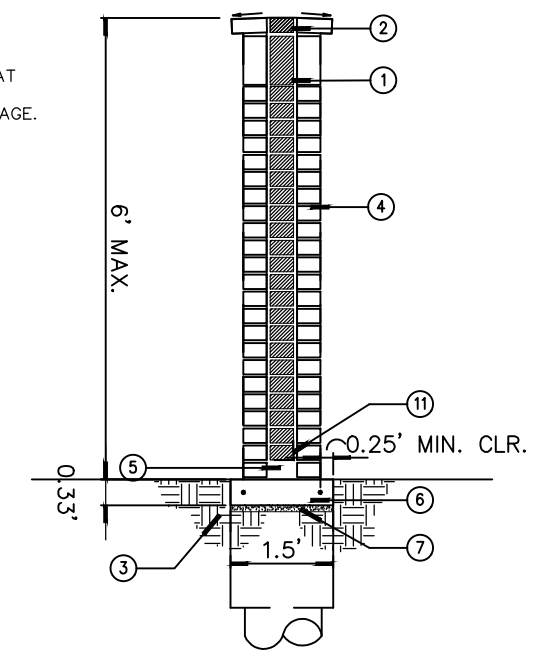


**A** MONUMENT SIGNAGE  
NOT TO SCALE

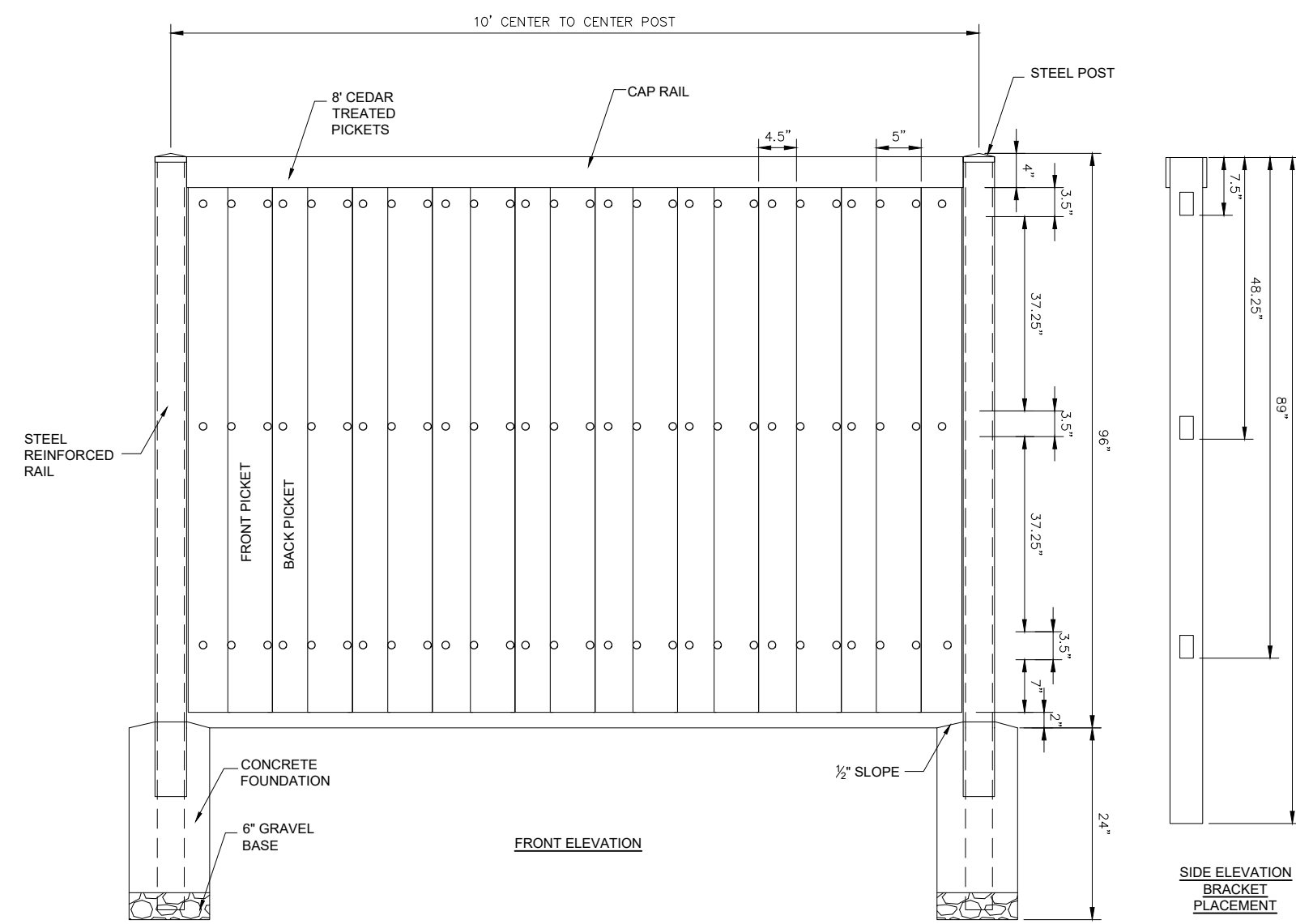


**B** 6' MASONRY WALL WITH MASONRY COLUMNS  
NOT TO SCALE

- ① SOLDIER COURSE @ TOP OF WALL (SEE ELEVATION).
- ② STANDARD RUNNING BOND BRICK FACING W/STANDARD MASONRY H-REINFORCING. BRICK SELECTION BY OWNER, REINFORCED W/ 1-NO. 9 GAUGE WIRE HORIZONTAL AT EACH COURSE, PROVIDE SLIGHT SLOPE @ TOP AS SHOWN TO FACILITATE DRAINAGE.
- ③ COMPACTED SUBGRADE TO 95% OF AASHTO T-99 DENSITY.
- ④ STANDARD 15" WIDE BRICK SUPPORT @ 12' OR 10' O.C.
- ⑤ BOTTOM COURSE WITH WEEP OPENINGS.
- ⑥ CONCRETE MOW-STRIP W/ (2) #4 BARS CONTINUOUS @ 8' O.C. MIN.
- ⑦ 1" SAND SETTING BED.
- ⑧ STANDARD 24"x24" COLUMN @ 60' OR 20' O.C.
- ⑨ 12"~ PIER x DEPTH TO 8" MIN. BELOW EXISTING GRADE @ 12' O.C. MAX. (O.C. TO MATCH COLUMNS & BRICK SUPPORTS)
- ⑩ CAST STONE COLUMN CAP.
- ⑪ 3"x3"x1" GALVANIZED ANGLE IRON.
- ⑫ 4" OPENING.



**C** 8' BOARD ON BOARD WOOD FENCE W/ MASONRY COLUMN  
NOT TO SCALE



**D** 8' BOARD ON BOARD WOOD FENCE  
NOT TO SCALE

## EXHIBIT "D" LANDSCAPING AND SCREENING DETAILS COLBY CROSSING PHASE 2

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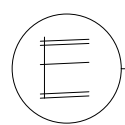
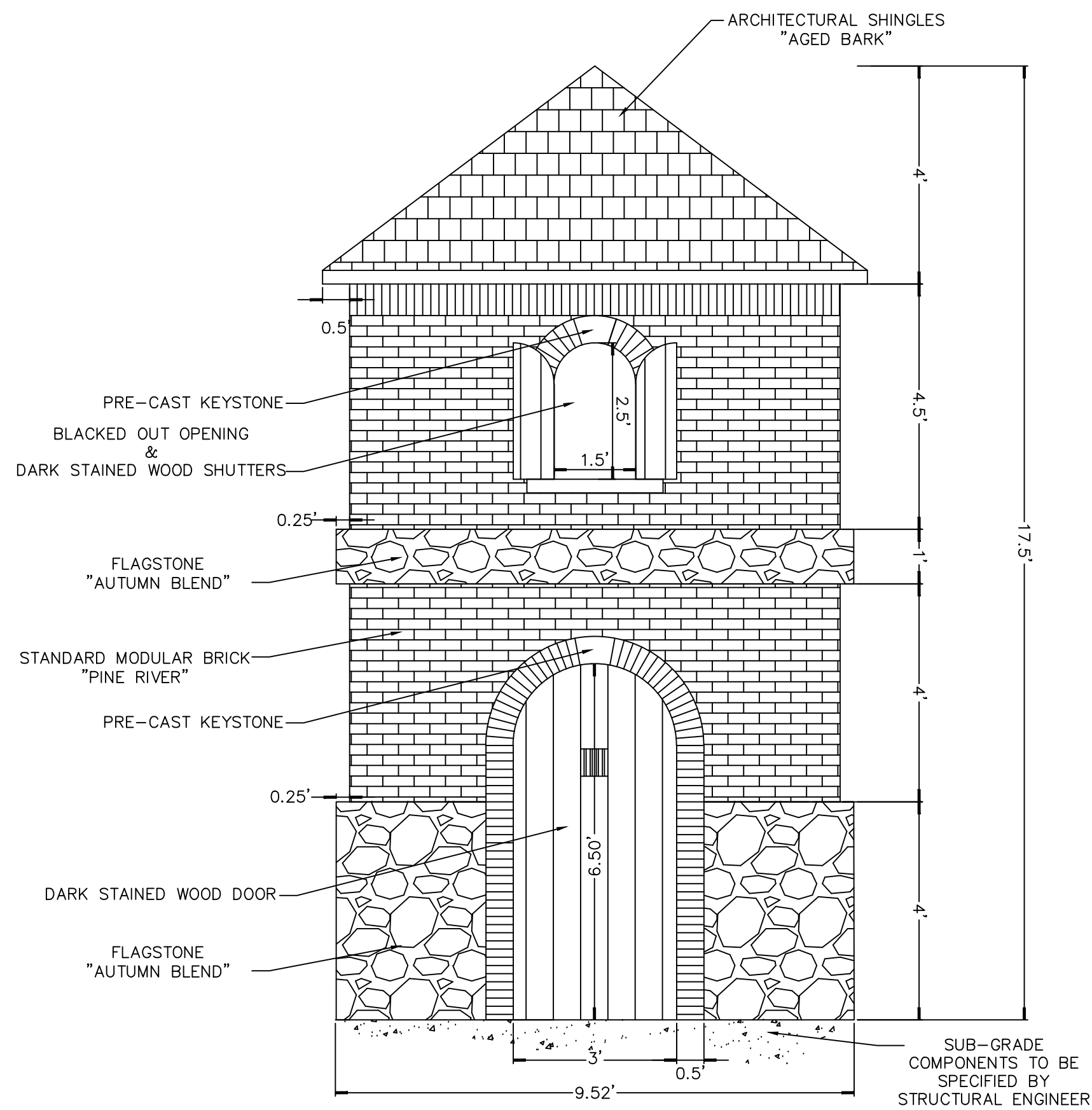
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UNMANNED GUARD SHACK

NOT TO SCALE

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