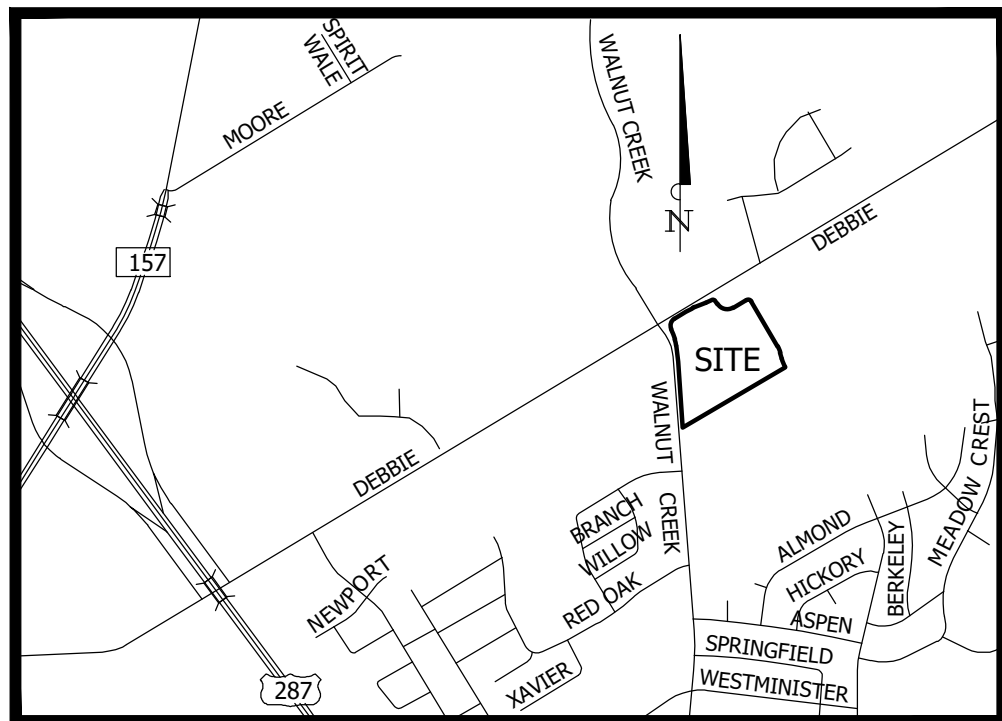




VICINITY MAP
NOT TO SCALE
MANSFIELD, TEXAS

LEGEND

N NORTH
S SOUTH
E EAST
W WEST

DEGREES
MINUTES/FEET
SECONDS/INCHES

D.R.T.C.T.
DEED RECORDS
TARRANT COUNTY, TEXAS

P.R.T.C.T.
PLAT RECORDS
TARRANT COUNTY, TEXAS

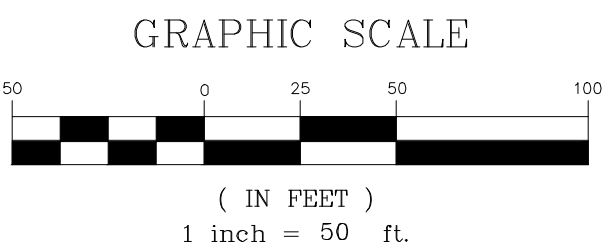
O.P.R.T.C.T.
OFFICIAL PUBLIC RECORDS
TARRANT COUNTY, TEXAS

B.L.
BUILDING LINE

◆ STREET NAME CHANGE

C.A. & U.E.
COMMON ACCESS
AND UTILITY EASEMENT

U.E.
UTILITY EASEMENT



CCAL WALNUT CREEK PRIVATE
SCHOOL, LLC
INSTRUMENT NUMBER D214241788
O.P.R.T.C.T.
ZONED: C-2

PLACE OF
BEGINNING
FOUND 1/2" CAPPED
IRON ROD STAMPED
"WEIR & ASSOC. INC."
NAD-1983 COORDINATE
SYSTEM (2011)
TEXAS NORTH CENTRAL ZONE
GRID COORDINATES
N: 6902705.07
E: 2390144.68

BANNISTER
ENGINEERING

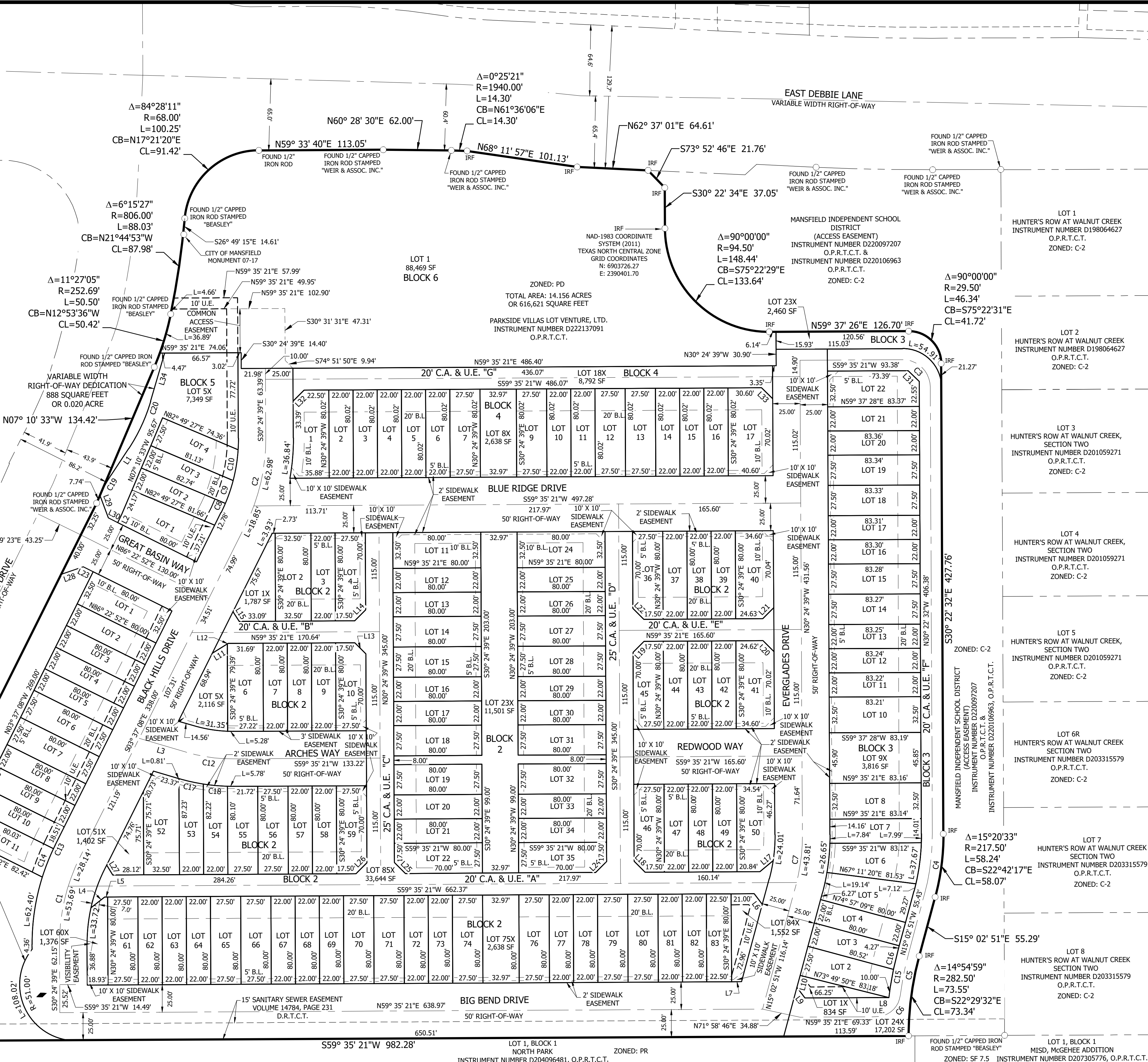
240 North Mitchell Road | Mansfield, TX 76063 | 817.842.2094 | 817.842.2095 fax
TBPLS REGISTRATION NO. 10193823 PROJECT NO.: 090-22-005

B:\Clients\090 (Sherburg Development)\090-22-005 (Parkside Townhome - Mansfield)\Survey see 090-21-013\090-22-005 Plat.dwg
9/11/2022 7:45:18 AM

HENRY MCGEEHEE SURVEY
ABSTRACT NUMBER 998

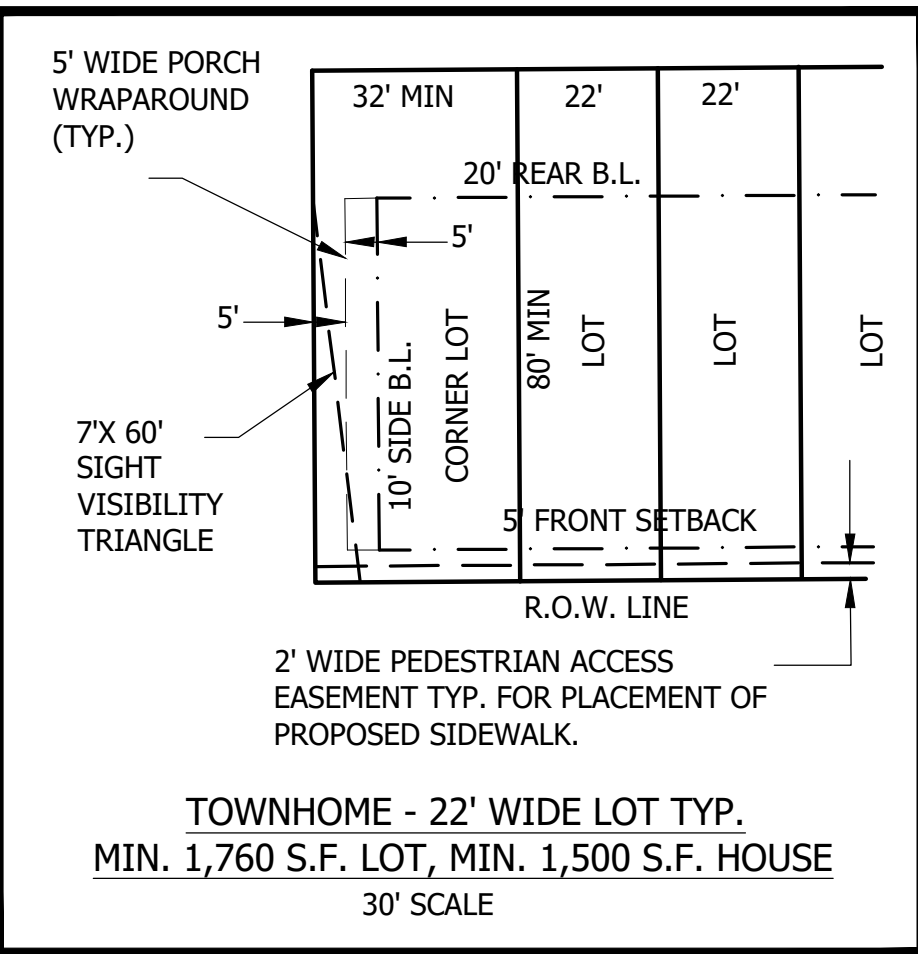
CCAL WALNUT CREEK PRIVATE
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GRID COORDINATES
N: 6902705.07
E: 2390144.68



General Notes:

- All bearings shown herein are based upon the Texas State Plane Coordinate System, NAD83 (2011), Texas North Central Zone (4202). Based on City of Mansfield GPS Monument Number 7-07. All distances shown herein are surface distances.
- Notice: Selling a portion of any lot in this addition by metes and bounds is a violation of state law and City Ordinance and is subject to penalties imposed by law.
- According to surveyor's interpretation of information shown on the National Flood Insurance Program (NFIP) "Flood Insurance Rate Map" (FIRM), Community Panel No. 48439C0460K, dated September 25, 2009. The property appears to lie within Zone "X", defined as "Areas determined to be outside the 0.2% annual chance floodplain" zone and within Zone "X" (Shaded), defined as "Areas of 0.2% annual chance flood; areas of 1% annual chance flood with average depths of less than 1 foot of with drainage areas less than 1 square mile; and areas protected by levees from 1% annual chance flood" zone as defined by the U.S. Department of Housing and Urban Development, Federal Insurance Administration, or the Federal Emergency Management Agency.
- The above referenced "FIRM" map is for use in administering the "NFIP"; it does not necessarily show all areas subject to flooding, particularly from local sources of small size, which could be flooded by severe, concentrated rainfall coupled with inadequate local drainage systems. There may be other streams, creeks, low areas, drainage systems or other surface or subsurface conditions existing on or near the subject property which are not studied or addressed as a part of the "NFIP".
- This plat does not alter or remove existing covenants or restrictions, if any, on this property.
- Lot 1X allows pedestrian access to Lot 1X, Block 3 allows pedestrian access.
- All Private Common Access Easements are to be maintained by the Home Owner's Association and to serve Parkside Estates and Lot 23X, Block 3.
- The Common Access Easements serve Parkside Estates and Lot 1, Block 6.
- No trees, bushes, fences, walls or anything over 2' in height is allowed within the visibility triangles/easements.
- Lot 9X, Block 3 will allow for emergency access.
- See Line Table and Curve Table on Sheet No. 2



PRELIMINARY PLAT
PARKSIDE ESTATES
14.156 acres out of the
Henry McGehee Survey, Abstract Number 998
City of Mansfield, Tarrant County, Texas
128 Residential Lots, 13 Open Space Lots, 3 Alley Lots and 1 Commercial Lot
Preparation Date: June 2022
Revision Date: September 2022
SHEET 1 OF 3 SD#22-035

ENGINEER / SURVEYOR:
BANNISTER ENGINEERING, LLC
240 NORTH MITCHELL ROAD
MANSFIELD, TEXAS 76063
CONTACT: MICHAEL DAVIS, RPLS
PHONE: 817-842-2094
Mike@bannistereng.com

OWNER:
PARKSIDE VILLAS LOT VENTURE, LTD.
8214 WESTCHESTER DRIVE, SUITE 900
DALLAS, TEXAS 75225
JOHN ARNOLD - DIRECTOR
PHONE: 214-888-8859

DEVELOPER:
PARKSIDE VILLAS LOT VENTURE, LTD.
8214 WESTCHESTER DRIVE, SUITE 900
DALLAS, TEXAS 75225
HUMBERTO JOHNSON JR. PE
SKORBURG COMPANY