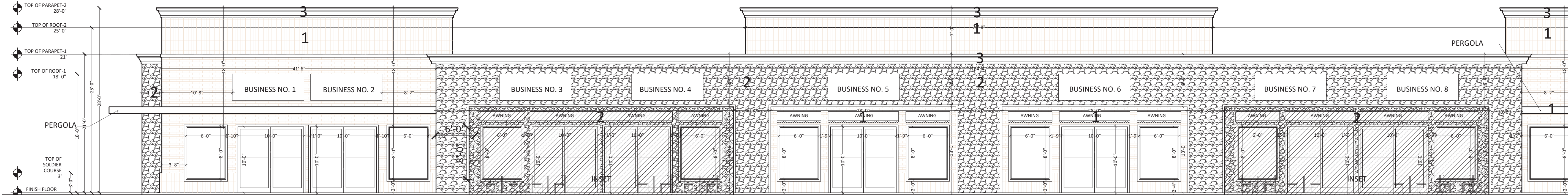
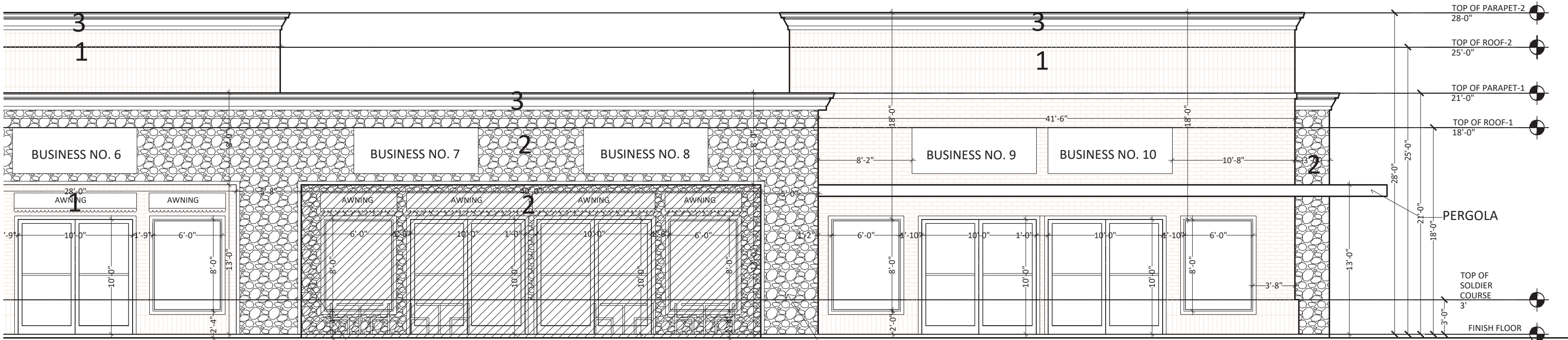


EXHIBIT C: BUILDING ELEVATIONS
ZC#22-014



FRONT ELEVATION(WEST)

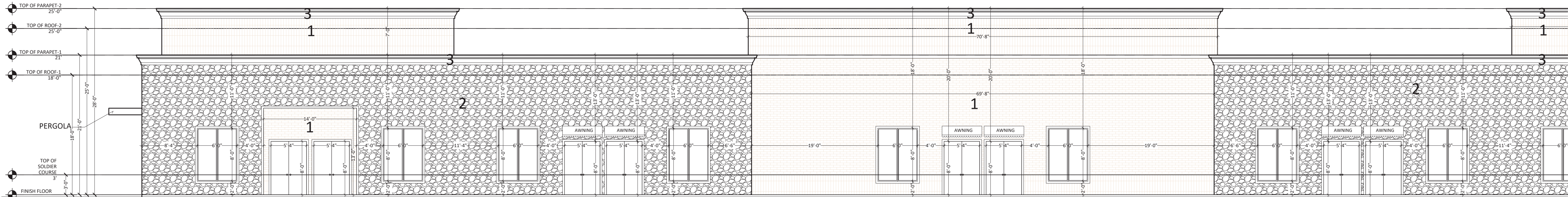
SCALE: $\frac{1}{8}"=1'$



FRONT ELEVATION(WEST)

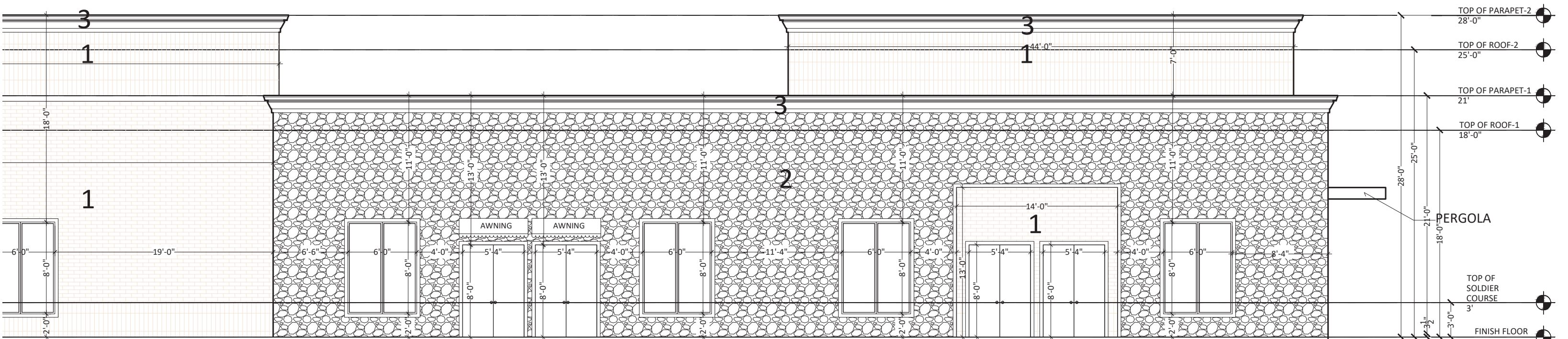
SCALE: $\frac{1}{8}"=1'$

MATERIALS CALCULATION (FRONT SIDE)		
	AREA	RATIO
DOORS AND WINDOWS	1576 SQF	23.3 %
BRICK(LIGHT BROWN)	2267 SQF	33.6 %
STACKED STONE(DARK BROWN)	1860 SQF	27.6 %
OTHERS	1044 SQF	15.5 %
TOTAL	6748 SQF	100%



REAR ELEVATION(EAST)

SCALE: $\frac{1}{8}"=1'$



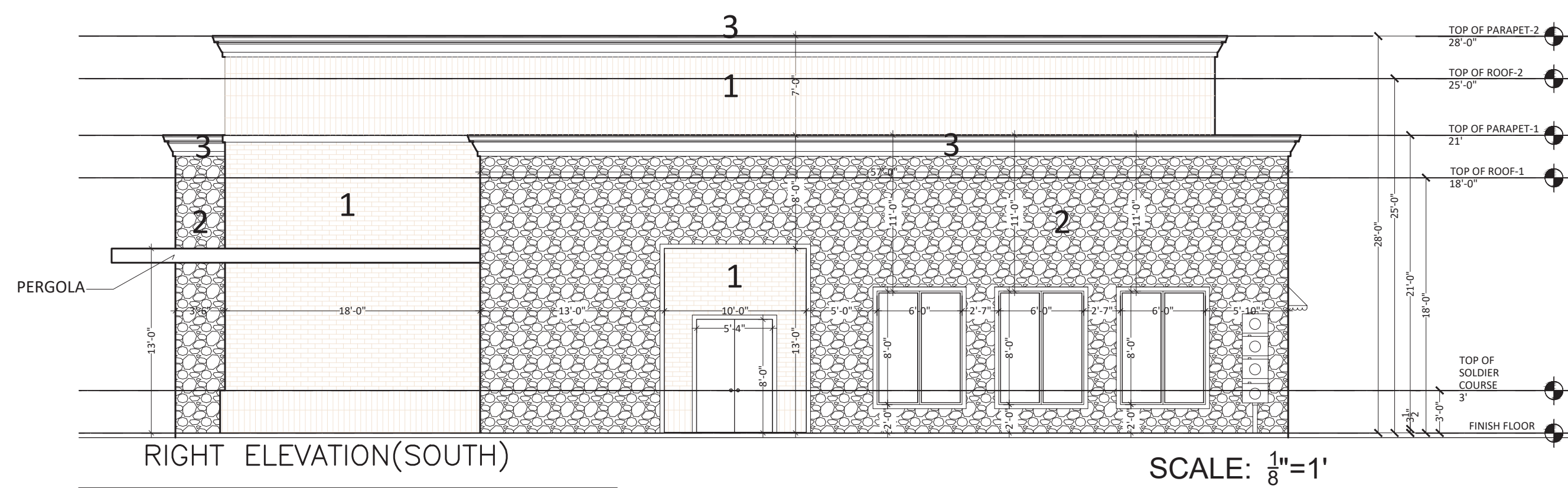
REAR ELEVATION(EAST)

SCALE: $\frac{1}{8}"=1'$

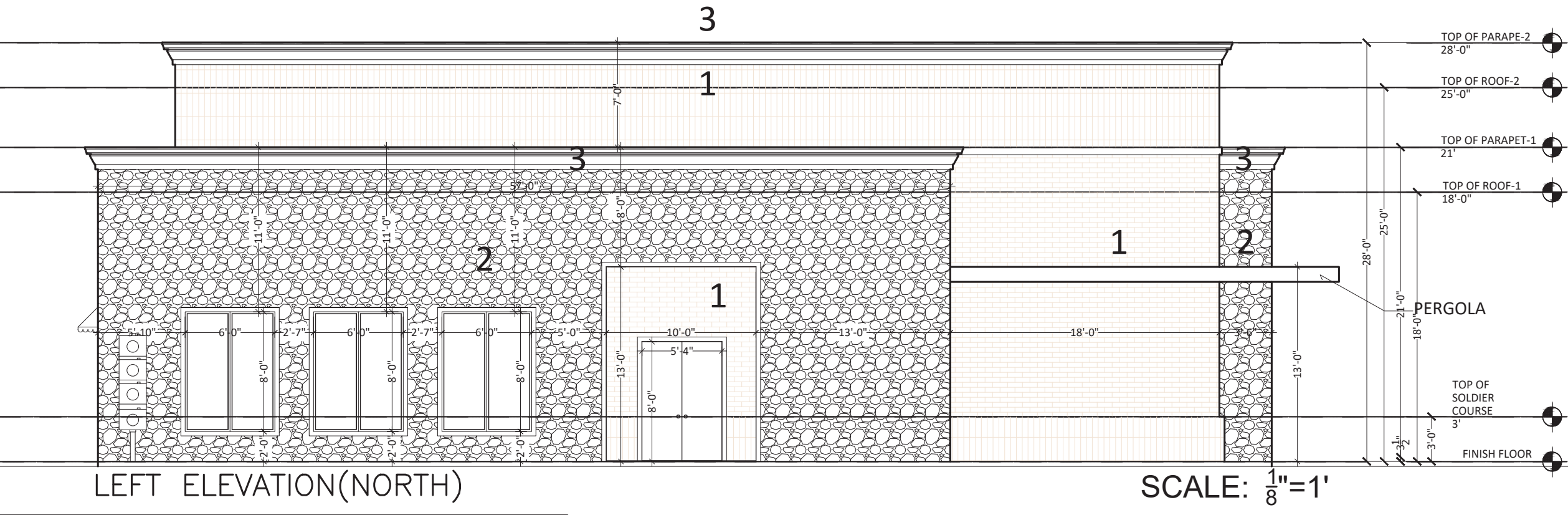
MATERIALS CALCULATION (REAR SIDE)		
	AREA	RATIO
DOORS AND WINDOWS	911 SQF	13.5 %
BRICK(LIGHT BROWN)	2398 SQF	35.5 %
STACKED STONE(DARK BROWN)	2576 SQF	38.2 %
OTHERS	863 SQF	12.8 %
TOTAL	6748 SQF	100%

DESIGNED: OMID ESMAILI	DRAWN: OMID ESMAILI	CHECKED: OMID ESMAILI	DATE: 11/11/2022	SCALE: SEE PLAN	NO.	DATE
DEVELOPER:	SOIL ENGINEER:	REPORT#	DATE			
PLANS PREPARED BY: 1020 Ventures Group	ARCHITECT:	LICENSE NO.	EXP. DATE			
700 N HOLLAND RD, MANSFIELD, TX						
BUILDING ELEVATIONS						
RAHHA ESTATES COMMERCIAL						
2.960 ACRES						
CITY OF MANSFIELD, TARRANT COUNTRY, TEXAS						
DATE OF PREPARATION: 2022-12-14						
PLAN CHECK:						
PERMIT:						
SHEET NO						
EL-1						

EXHIBIT C: BUILDING ELEVATIONS
ZC#22-014



MATERIALS CALCULATION (RIGHT SIDE)		
	AREA	RATIO
DOORS AND WINDOWS	187 SQF	8.2 %
BRICK(LIGHT BROWN)	891 SQF	39.1 %
STACKED STONE(DARK BROWN)	868 SQF	38.2 %
OTHERS	329 SQF	14.5.8%
TOTAL	2275 SQF	100%

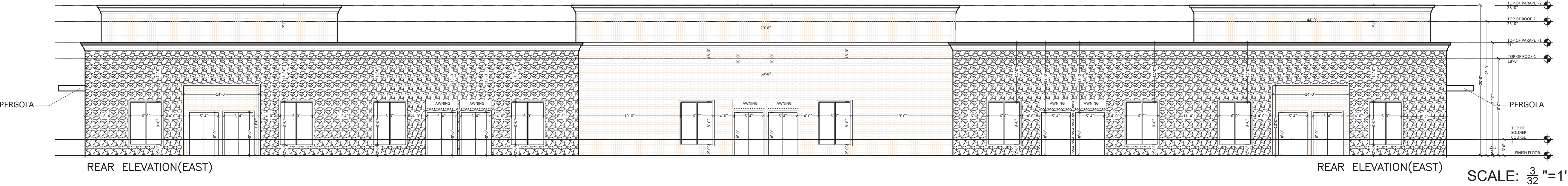
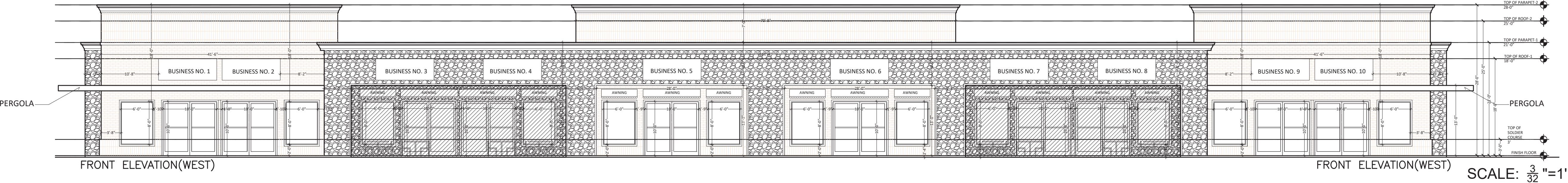


MATERIALS CALCULATION (LEFT SIDE)		
	AREA	RATIO
DOORS AND WINDOWS	187 SQF	8.2 %
BRICK(LIGHT BROWN)	891 SQF	39.1 %
STACKED STONE(DARK BROWN)	868 SQF	38.2 %
OTHERS	329 SQF	14.5.8%
TOTAL	2275 SQF	100%

- All non-residential buildings shall be designed to include no less than four of the architectural elements from the list below. Buildings over 20,000 square feet must include a minimum of six of the architectural elements listed below.
- (a) Canopies, awnings, arcades, covered walkways or porticoes;
 - (b) Recesses/projections, columns, pilasters projecting from the plane;
 - (c) Varied roof heights for pitched, peaked, sloped or flat roof styles;
 - (d) Articulated cornice line;
 - (e) Arches;
 - (f) Display windows, faux windows or decorative windows;
 - (g) Architectural details (such as tile work and molding) or accent materials integrated into the building facade;
 - (h) Integrated planters or wing walls that incorporate landscaping and sitting areas or outdoor patios;
 - (i) Offsets, reveals or projecting ribs used to express architectural or structural bays;
 - (j) Other architectural features approved by the Director of Planning.

In elevation design item a, c, d, f, g, h, and i are shown.

MATERIALS			
1	BRICK LIGHT BROWN		3 OTHERS(CORNICE, DOORS AND WINDOWS CASING, ...) WHITE
2	STACKED STONE DARK BROWN		



DESIGNED BY: OMID ESMAELI	7	DATE
DRAWN BY: OMID ESMAELI	6	NO.
CHECKED BY:	5	REVISIONS
DATE:	4	
SCALE:	3	
SEE PLAN	2	
	1	

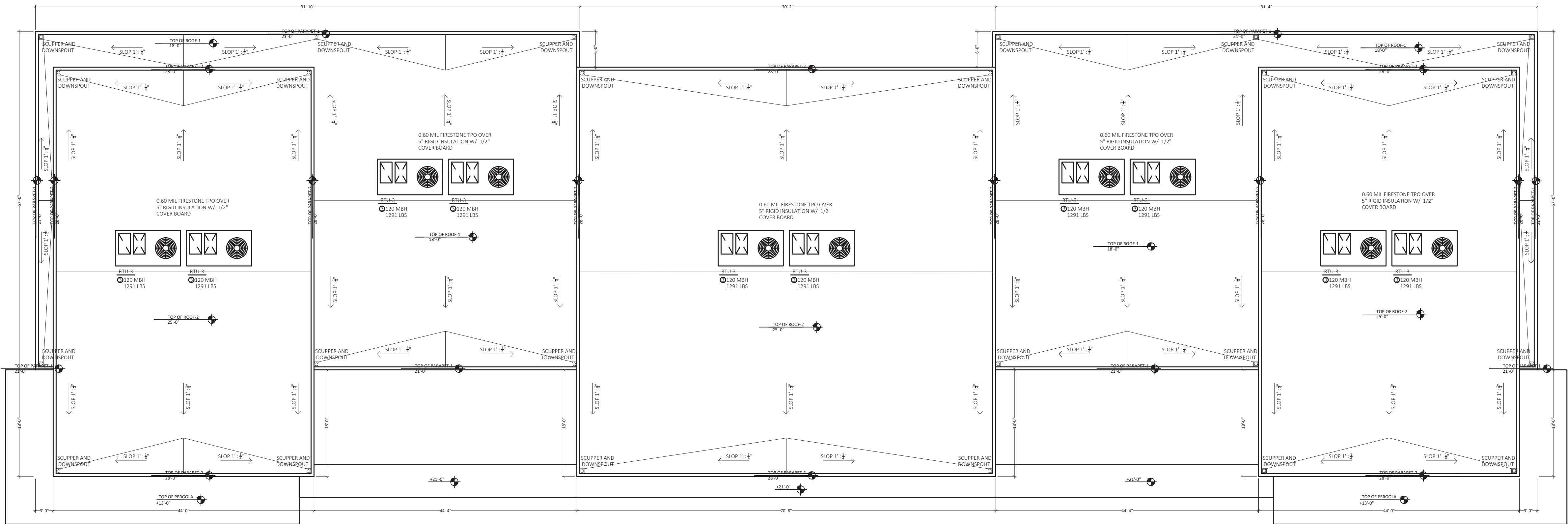
DEVELOPER:	REPORT#	DATE
SOIL ENGINEER:		

PLANS PREPARED BY: 1020 Ventures Group	LICENSE NO.	EXP. DATE
ARCHITECT:		

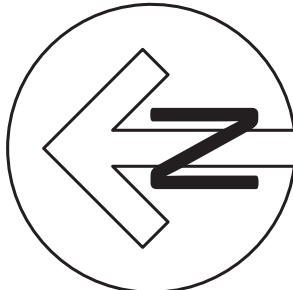
700 N HOLLAND RD, MANSFIELD, TX	BUILDING ELEVATIONS
RAHAL ESTATES COMMERCIAL	2,960 acres
CITY OF MANSFIELD, TARRANT COUNTRY, TEXAS	DATE OF PREPARATION: 2022-12-14

PLAN CHECK:	SHEET NO
PERMIT:	EL-2

EXHIBIT C: BUILDING ELEVATIONS
ZC#22-014



ROOF PLAN SCALE: 3/32"=1'



- NOTES THIS SHEET**
- SEE SHEETS M0.1-M0.4 FOR SPECIFICATIONS, LEGENDS, GENERAL NOTES, SCHEDULES AND DETAILS.
 - ROOFTOP UNIT (RTU-#) TO BE INSTALLED ON 14" CURB. ROUTE CONDENSATE DRAIN LINE TO NEAREST ROOF DRAIN AND SPILL WITH CODE APPROVED AIR GAP. UNIT SHALL BE LOCATED WITHIN EXISTING STRUCTURAL "LOADING ZONE" ALLOCATED FOR ROOFTOP EQUIPMENT.
 - MAKE-UP AIR UNIT (MAU-1) TO BE INSTALLED PER MANUFACTURER'S REQUIREMENTS. ROUTE CONDENSATE DRAIN LINE TO NEAREST ROOF DRAIN AND SPILL WITH CODE APPROVED AIR GAP. UNIT SHALL BE LOCATED WITHIN EXISTING STRUCTURAL "LOADING ZONE" ALLOCATED FOR ROOFTOP EQUIPMENT. MAU-1 PROVIDED BY OTHERS, INSTALLED BY MECHANICAL CONTRACTOR.
 - KITCHEN EXHAUST FAN (KEF-1) TO BE INSTALLED PER MANUFACTURER'S REQUIREMENTS. LOCATE FAN SO THAT A MINIMUM 10'-0" CLEARANCE FROM ANY AIR INTAKE DEVICE IS MAINTAINED. MAU-1 PROVIDED BY OTHERS, INSTALLED BY MECHANICAL CONTRACTOR.
 - SEE KITCHEN HOOD AND ASSOCIATED EQUIPMENT DRAWINGS FOR HOOD SIZE, EXHAUST RATES, ETC. HOOD AND KITCHEN EXHAUST FAN ARE FURNISHED BY MARCO'S PIZZA DISTRIBUTING. HOOD SIZED AT 2,000 CFM EXHAUST RATE PER OWNER/EQUIPMENT REQUIREMENTS. MAKE-UP AIR FOR HOOD EXHAUST PROVIDED VIA MAKE-UP AIR UNIT, MAU-1, AND EDU-2. SEE SHEET M0.2 FOR ADDITIONAL INFORMATION. SEE SHEET M2.1-2.3 FOR HOOD SUBMITTAL INFORMATION. SHEET M2.1, 2.2, 3 SHOWN FOR REFERENCE ONLY. ACTUAL SUBMITTAL SHALL BE PROVIDED BY KITCHEN EQUIPMENT SUPPLIER.
 - PROVIDE 14" GREASE EXHAUST AIR DUCT UP TO KEF-1 ON ROOF. GREASE DUCT SHALL BE SCHIEBLER FLYE-GUARD PRE-FABRICATED DOUBLE WALL, UL LISTED FOR GREASE EXHAUST DUCTWORK APPLICATION, ZERO CLEARANCE DUCT, OR EQUAL. PROVIDE ALL TRANSITIONS, FITTINGS, EXTENSIONS AND SUPPORTS AS REQUIRED. SUBSTITUTION OF FIELD FABRICATED DUCTWORK SHALL REQUIRE APPROVAL OF PROJECT MANAGER PRIOR TO BID OR ANY WORK AND VERIFICATION WITH ENGINEER FOR SIZING OF DUCTWORK. PROVIDE GREASE CLEANOUTS IN ALL ELBOWS IN KITCHEN GREASE LADEN EXHAUST DUCT AS REQUIRED BY MECHANICAL CODE.
 - 24"x12" MAKE-UP AIR DROPS DOWN TO HOOD OPENING. TYPICAL OF THREE (3).
 - MECHANICAL CONTRACTOR SHALL PROVIDE AND INSTALL RETURN AIR GRILLE IN VERTICAL DROP OF RA DUCT.
 - NEW 8" COMBINED EXHAUST DUCT UP TO CODE APPROVED ROOF CAP.

700 N HOLLAND RD, MANSFIELD, TX		PLAN CHECK:	
BUILDING ELEVATIONS		PERMIT:	
RAHALH ESTATES COMMERCIAL		SHEET NO	
2.960 acres		EL-3	
CITY OF MANSFIELD, TARRANT COUNTRY, TEXAS			
DATE OF PREPARATION: 2022-12-14			
PLANS PREPARED BY:		DESIGNED:	
		OMID ESMAELI	
		DRAWN:	
		OMID ESMAELI	
		CHECKED:	
		DATE:	
		SCALE:	
		SEE PLAN	
		NO.	
		DATE	
		REVISIONS	