



WINDOW SCHEDULE				
WINDOW TYPE	WIDTH	HEIGHT	TYPE	HEAD HEIGHT
A	3'-0"	7'-0"	FIXED	8'-0"
B	3'-0"	1'-6"	FIXED	9'-6"
C	3'-0"	5'-0"	FIXED	7'-0"
D	7'-0"	2'-0"	FIXED	8'-0"
E	4'-0"	7'-0"	FIXED	8'-0"
F	4'-0"	1'-6"	FIXED	10'-0"
G	3'-0"	6'-0"	SINGLE-HUNG	8'-0"
H	5'-0"	5'-0"	FIXED	8'-0"
I	3'-6"	1'-6"	FIXED	8'-0"
J	3'-0"	4'-0"	FIXED	8'-0"
K	4'-0"	1'-6"	FIXED	8'-0"

NOTE:  
ALL WINDOWS ARE VINYL WITH LOW-E GLASS, DOUBLE GLAZED. R-VALUE TO MEET CODE.

DOOR SCHEDULE				
NUMBER	WIDTH	HEIGHT	HINGE	TYPE
1	3'-0"	8'-0"	RIGHT	EXT. FULL LITE
2	16'-0"	8'-0"	OVERHEAD	GARAGE
3	3'-0"	6'-8"	LEFT	EXT. SOLID CORE
4	2'-4"	8'-0"	RIGHT	SOLID CORE
5	2'-8"	8'-0"	RIGHT	SOLID CORE
6	2'-8"	8'-0"	RIGHT	SOLID CORE
7	6'-0"	8'-0"	SLIDER	EXT. FULL LITE
8	2'-8"	8'-0"	RIGHT	EXT. FULL LITE
9	2'-8"	8'-0"	LEFT	SOLID CORE
10	2'-4"	8'-0"	RIGHT	SOLID CORE
11	3'-0"	8'-0"	RIGHT/LEFT	SOLID CORE DOUBLE
12	2'-4"	8'-0"	LEFT	SOLID CORE
13	2'-4"	8'-0"	LEFT	SOLID CORE
14	6'-0"	8'-0"	SLIDER	EXT. FULL LITE
15	2'-4"	8'-0"	LEFT	SOLID CORE
16	2'-4"	8'-0"	RIGHT	SOLID CORE
17	2'-8"	8'-0"	RIGHT	SOLID CORE
18	4'-0"	8'-0"	RIGHT/LEFT	SOLID CORE DOUBLE
19	4'-0"	8'-0"	RIGHT/LEFT	SOLID CORE DOUBLE
20	2'-8"	8'-0"	RIGHT	SOLID CORE
21	2'-4"	8'-0"	LEFT	SOLID CORE
22	2'-8"	8'-0"	RIGHT	SOLID CORE
23	4'-0"	8'-0"	RIGHT/LEFT	SOLID CORE DOUBLE
24	2'-4"	8'-0"	POCKET	SOLID CORE
25	2'-4"	8'-0"	POCKET	SOLID CORE
26	2'-4"	8'-0"	POCKET	SOLID CORE
AA	3'-0"	8'-0"		CASED OPENING
BB	2'-8"	0'-0"		CASED OPENING
CC	2'-8"	0'-0"		CASED OPENING
DD	3'-0"	8'-0"		CASED OPENING

ABBREVIATIONS:  
DW, EB ARCH - DRY WALL EYEBROW ARCH.  
EXT - EXTERIOR

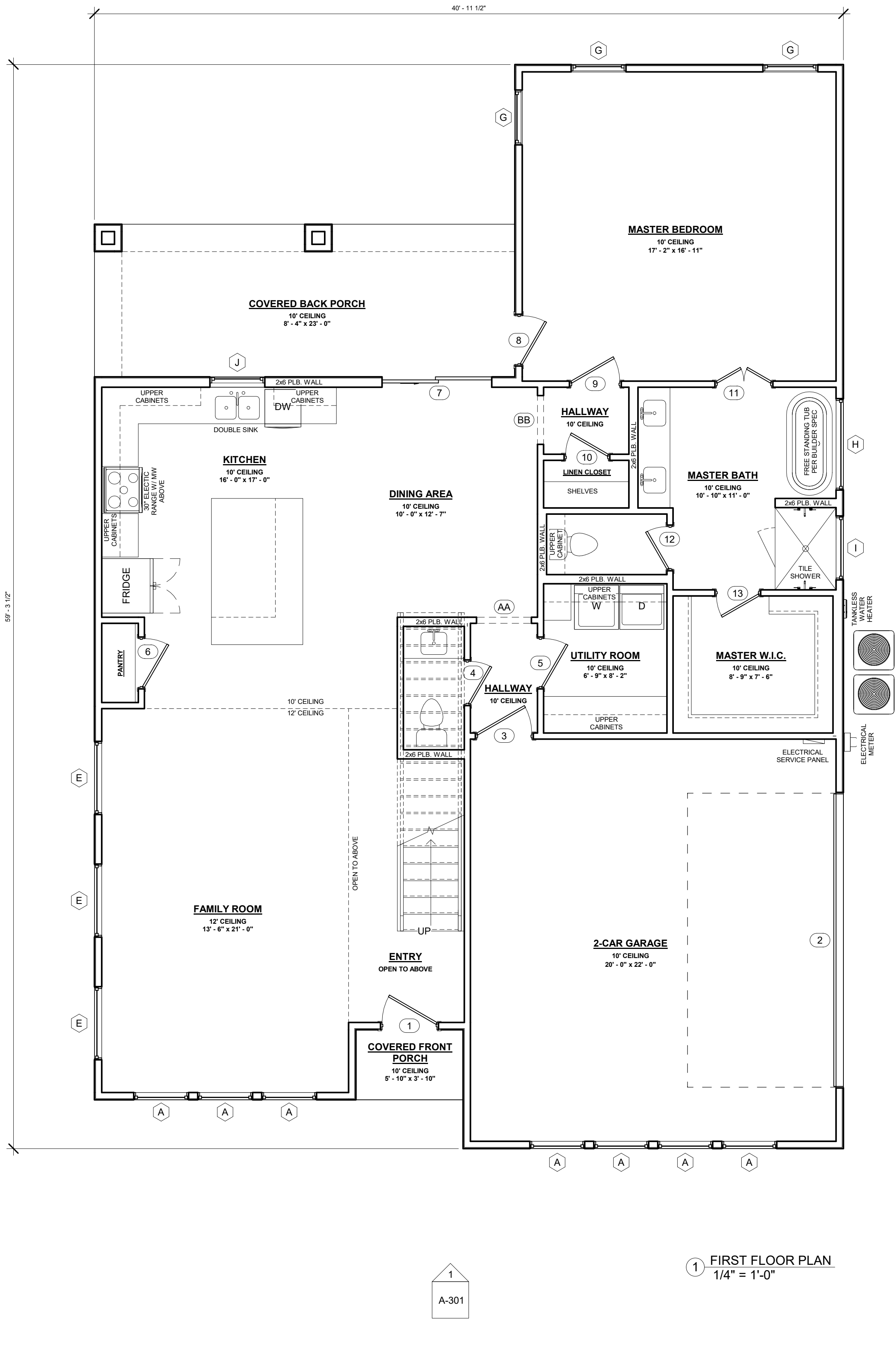
GENERAL PLAN NOTES:

- 1.) GLAZING IN HAZARDOUS LOCATIONS SHALL MEET REQUIREMENT OF IRC CODE SECTION E608.4, WHICH SHALL BE VERIFIED BY INSPECTOR IN FIELD.
- 2.) ALL SLEEPING ROOM EGRESS WINDOWS ARE TO MEET THE REQUIREMENTS OF SECTION R310 AND WILL BE FIELD VERIFIED.
- 3.) CASED DOOR OPENINGS PER BUILDER SPEC.
- 4.) UPPER CABINETS IN KITCHEN PER OWNER SPEC.
- 5.) UPPER CABINETS IN UTILITY PER OWNER SPEC.
- 6.) TILE SHOWER WITH GLASS SURROUND UNLESS NOTED OTHERWISE.
- 7.) UPPER CABINETS ABOVE TOILETS PER OWNER SPEC.
- 8.) CLOSET SHELVES PER OWNER SPEC.
- 9.) ALL WALLS ARE DIMENSIONED 4" NOMINAL, BRICK 5", NOMINAL.
- 10.) PROVIDE 3/8" WATER LINE TO REFRIGERATOR.
- 11.) ALL WATER HEATERS ARE TO BE 18" A.F.F.
- 12.) AIR CONDITIONER CONDENSER MUST BE 3" ABOVE GRADE.
- 13.) IN ABSENCE OF STRUCTURAL ENGINEER PREPARED BY BUILDER, USE TABLE R602.3 IN THE INTERNATIONAL RESIDENTIAL CODE.
- 14.) REFER TO ENGINEER DRAWINGS FOR ALL FOUNDATIONS.
- 15.) CHECK PLANS FOR LEVEL CHANGES, FLOOR OUTLETS, AND PLUMBING FIXTURE LOCATIONS.

GENERAL NOTES:

- 1.) These plans are intended to provide the basic construction information necessary to substantially complete this structure. These plans must be verified and checked completely by the builder. Any discrepancy, error, and/or omission found is to be brought to the attention of the designer before any construction work or purchases have been made.
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- 3.) Contractor must verify all dimensions and scale drawings.

AREA TOTALS	
FIRST FLOOR PLAN	1487 SF
SECOND FLOOR PLAN	1318 SF
2-CAR GARAGE	2805 SF
COVERED FRONT PORCH	473 SF
COVERED BACK PORCH	22 SF
COVERED BALCONY	192 SF
FOUNDATION	196 SF
FOUNDATION	410 SF
FOUNDATION	2175 SF
FOUNDATION	2175 SF
TOTAL UNDER ROOF: 3,688 SF	



1 FIRST FLOOR PLAN  
1/4" = 1'-0"

EXHIBIT D

ALMAGUER  
EXHIBIT D  
PAGE 1 OF 11  
ZC#23-007

Mymarla Estates  
880 Turner Way  
Warnell WM W Survey  
Mansfield, Texas 76063  
Plan A

PRELIM.  
REVIEW  
April 06, 2023

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Title  
FIRST FLOOR  
PLAN

Sheet  
A-101

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WINDOW SCHEDULE				
WINDOW TYPE	WIDTH	HEIGHT	TYPE	HEAD HEIGHT
A	3' - 0"	7' - 0"	FIXED	8' - 0"
B	3' - 0"	1' - 6"	FIXED	9' - 6"
C	3' - 0"	5' - 0"	FIXED	7' - 0"
D	7' - 0"	2' - 0"	FIXED	8' - 0"
E	4' - 0"	7' - 0"	FIXED	8' - 0"
F	4' - 0"	1' - 6"	FIXED	10' - 0"
G	3' - 0"	6' - 0"	SINGLE-HUNG	8' - 0"
H	5' - 0"	5' - 0"	FIXED	8' - 0"
I	3' - 6"	1' - 6"	FIXED	8' - 0"
J	3' - 0"	4' - 0"	FIXED	8' - 0"
K	4' - 0"	1' - 6"	FIXED	8' - 0"

NOTE:  
ALL WINDOWS ARE VINYL WITH LOW-E GLASS, DOUBLE GLAZED. R-  
VALUE TO MEET CODE.

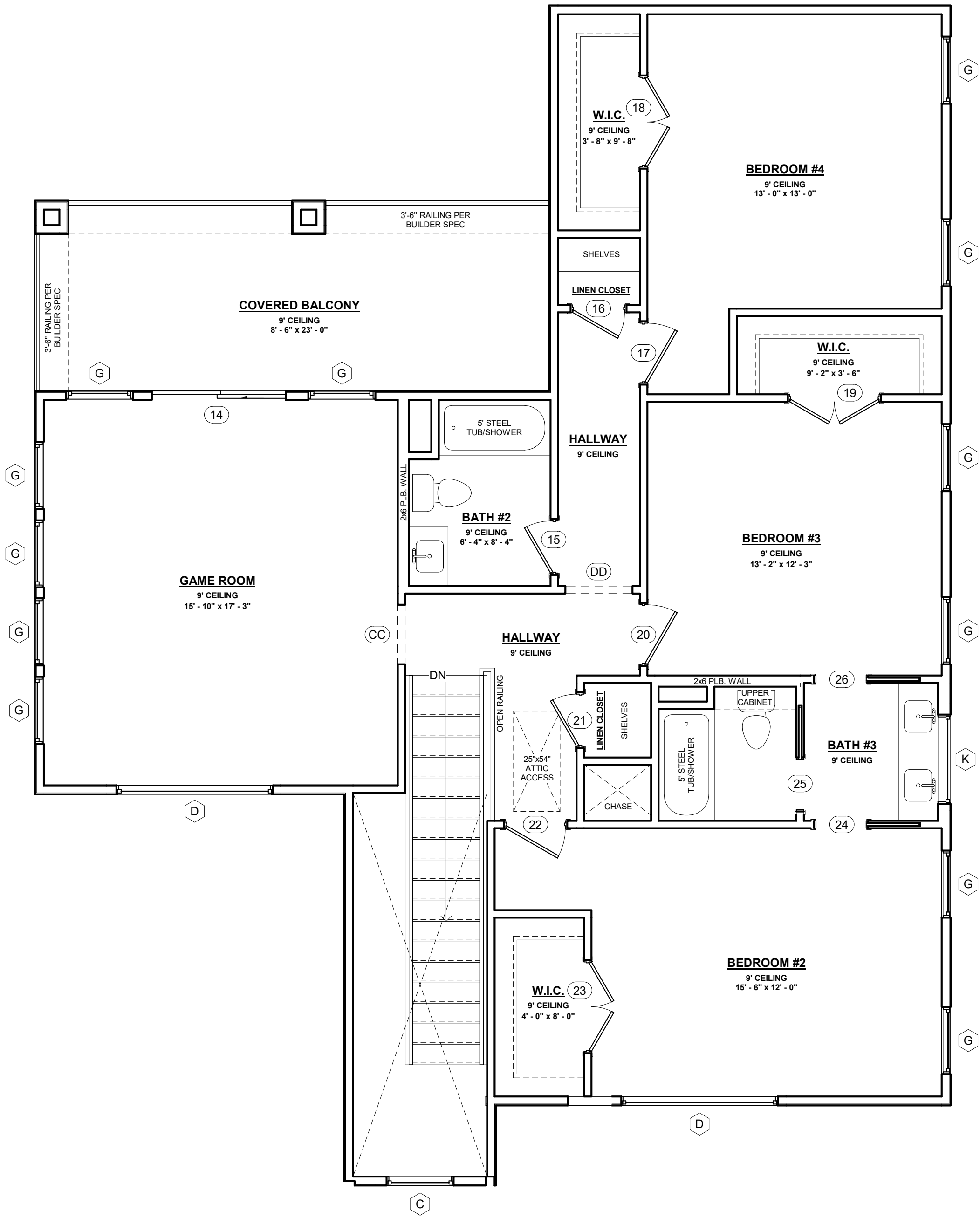
DOOR SCHEDULE				
NUMBER	WIDTH	HEIGHT	HINGE	TYPE
1	3' - 0"	8' - 0"	RIGHT	EXT. FULL LITE
2	16' - 0"	8' - 0"	OVERHEAD	GARAGE
3	3' - 0"	6' - 8"	LEFT	EXT. SOLID CORE
4	2' - 4"	8' - 0"	RIGHT	SOLID CORE
5	2' - 8"	8' - 0"	RIGHT	SOLID CORE
6	2' - 8"	8' - 0"	RIGHT	SOLID CORE
7	6' - 0"	8' - 0"	SLIDER	EXT. FULL LITE
8	2' - 8"	8' - 0"	RIGHT	EXT. FULL LITE
9	2' - 8"	8' - 0"	LEFT	SOLID CORE
10	2' - 4"	8' - 0"	RIGHT	SOLID CORE
11	3' - 0"	8' - 0"	RIGHT/LEFT	SOLID CORE DOUBLE
12	2' - 4"	8' - 0"	LEFT	SOLID CORE
13	2' - 4"	8' - 0"	LEFT	SOLID CORE
14	6' - 0"	8' - 0"	SLIDER	EXT. FULL LITE
15	2' - 4"	8' - 0"	LEFT	SOLID CORE
16	2' - 4"	8' - 0"	RIGHT	SOLID CORE
17	2' - 8"	8' - 0"	RIGHT	SOLID CORE
18	4' - 0"	8' - 0"	RIGHT/LEFT	SOLID CORE DOUBLE
19	4' - 0"	8' - 0"	RIGHT/LEFT	SOLID CORE DOUBLE
20	2' - 8"	8' - 0"	RIGHT	SOLID CORE
21	2' - 4"	8' - 0"	LEFT	SOLID CORE
22	2' - 8"	8' - 0"	RIGHT	SOLID CORE
23	4' - 0"	8' - 0"	RIGHT/LEFT	SOLID CORE DOUBLE
24	2' - 4"	8' - 0"	POCKET	SOLID CORE
25	2' - 4"	8' - 0"	POCKET	SOLID CORE
26	2' - 4"	8' - 0"	POCKET	SOLID CORE
AA	3' - 0"	8' - 0"		CASED OPENING
BB	2' - 8"	0' - 0"		CASED OPENING
CC	2' - 8"	0' - 0"		CASED OPENING
DD	3' - 0"	8' - 0"		CASED OPENING

ABBREVIATIONS:  
DW EB ARCH - DRY WALL EYEBROW ARCH.  
EXT - EXTERIOR

**GENERAL PLAN NOTES:**

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- 5.) UPPER CABINETS IN UTILITY PER OWNER SPEC.
- 6.) TILE SHOWER WITH GLASS SURROUND UNLESS NOTED OTHERWISE.
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- 15.) CHECK PLANS FOR LEVEL CHANGES, FLOOR OUTLETS, AND PLUMBING FIXTURE LOCATIONS.

AREA TOTALS	
FIRST FLOOR PLAN	1487 SF
SECOND FLOOR PLAN	1318 SF
	2805 SF
2-CAR GARAGE	473 SF
	473 SF
COVERED FRONT PORCH	22 SF
COVERED BACK PORCH	192 SF
COVERED BALCONY	196 SF
	410 SF
FOUNDATION	2175 SF
	2175 SF
<b>TOTAL UNDER ROOF: 3,688 SF</b>	

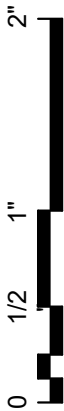


1 SECOND FLOOR PLAN  
1/4" = 1'-0"

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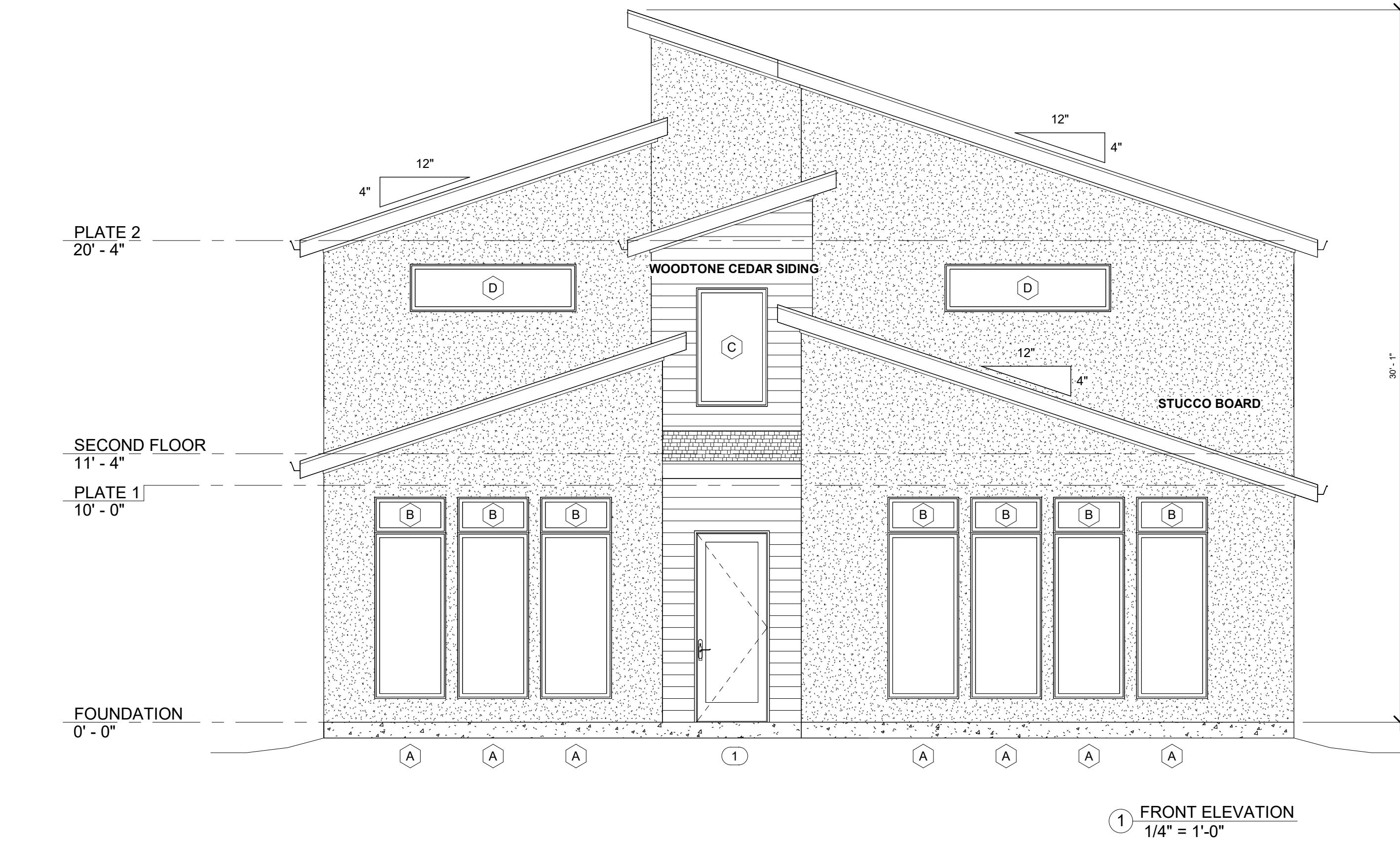
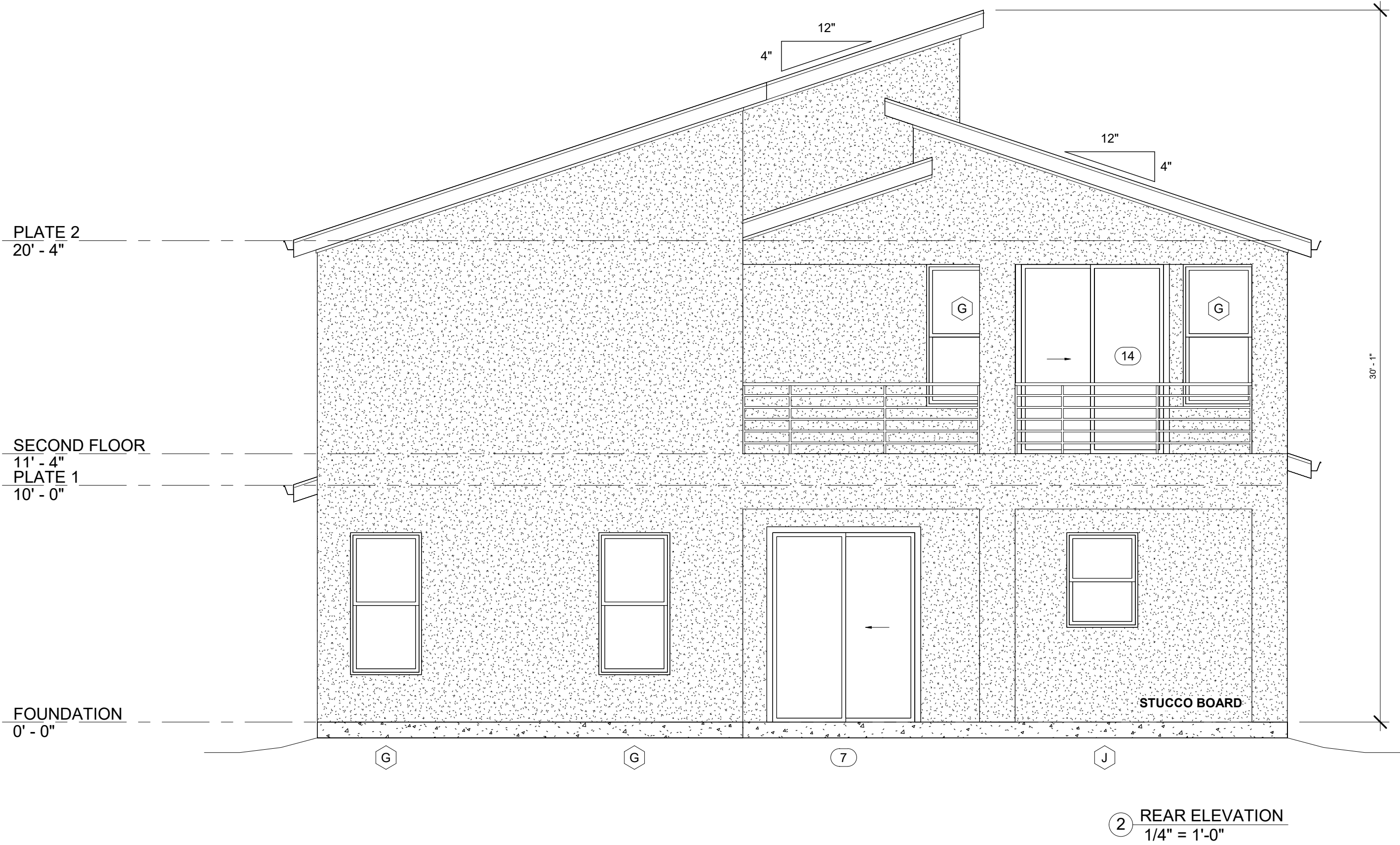




**GENERAL NOTES:**  
1.) REFER TO DOOR AND WINDOW SCHEDULE ON SHEET A-101.

**REAR MATERIAL PERCENTAGE:**  
STUCCO BOARD: 100%

**FRONT MATERIAL PERCENTAGE:**  
STUCCO BOARD: 80%  
WOODTONE CEDAR SIDING: 20%



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1.) REFER TO DOOR AND WINDOW SCHEDULE ON SHEET A-101.

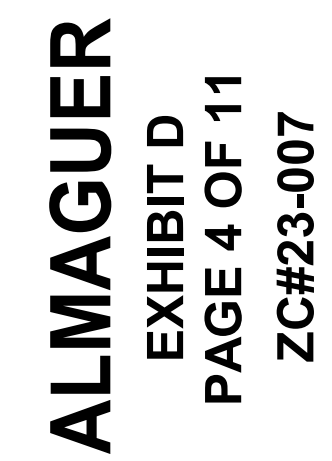
**STUCCO BOARD: 95%**  
**WOODTONE CEDAR SIDING: 5%**

**STUCCO BOARD: 95%**  
**WOODTONE CEDAR SIDING: 5%**

**STUCCO BOARD: 90%**  
**WOODTONE CEDAR SIDING: 10%**

**STUCCO BOARD: 90%**  
**WOODTONE CEDAR SIDING: 10%**

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**Mymerla Estates  
880 Turner Way  
Warnell WM W Survey  
Mansfield, Texas 76063  
Plan A**

**PRELIM.  
REVIEW**

**April 06, 2023**

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Title  
**ELEVATIONS**

Sheet

**A-302**

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WINDOW SCHEDULE				
Type Mark	WIDTH	HEIGHT	TYPE	HEAD HEIGHT
A	5'-0"	5'-0"	FIXED	8'-0"
B	2'-0"	5'-0"	FIXED	8'-8"
C	5'-0"	5'-0"	FIXED	6'-8"
D	4'-0"	1'-0"	FIXED	6'-8"
E	3'-0"	5'-0"	FIXED	8'-0"
F	2'-0"	5'-0"	FIXED	8'-0"
G	3'-0"	5'-0"	CASEMENT	8'-0"
H	3'-0"	5'-0"	CASEMENT	6'-8"
I	6'-0"	6'-0"	FIXED	8'-0"
J	3'-0"	6'-0"	SINGLE-HUNG	6'-8"
K	3'-0"	5'-0"	SINGLE-HUNG	6'-8"

NOTE:  
ALL WINDOWS ARE VINYL WITH LOW-E GLASS, DOUBLE GLAZED. R-VALUE TO MEET CODE.

AREA TOTALS	
FIRST FLOOR LIVING	1096 SF
SECOND FLOOR LIVING	1393 SF
2-CAR GARAGE	452 SF
COVERED FRONT PORCH	25 SF
COVERED BACK BALCONY	113 SF
	138 SF
FOUNDATION	1573 SF
	1573 SF
TOTAL UNDER ROOF: 3,079 SF	

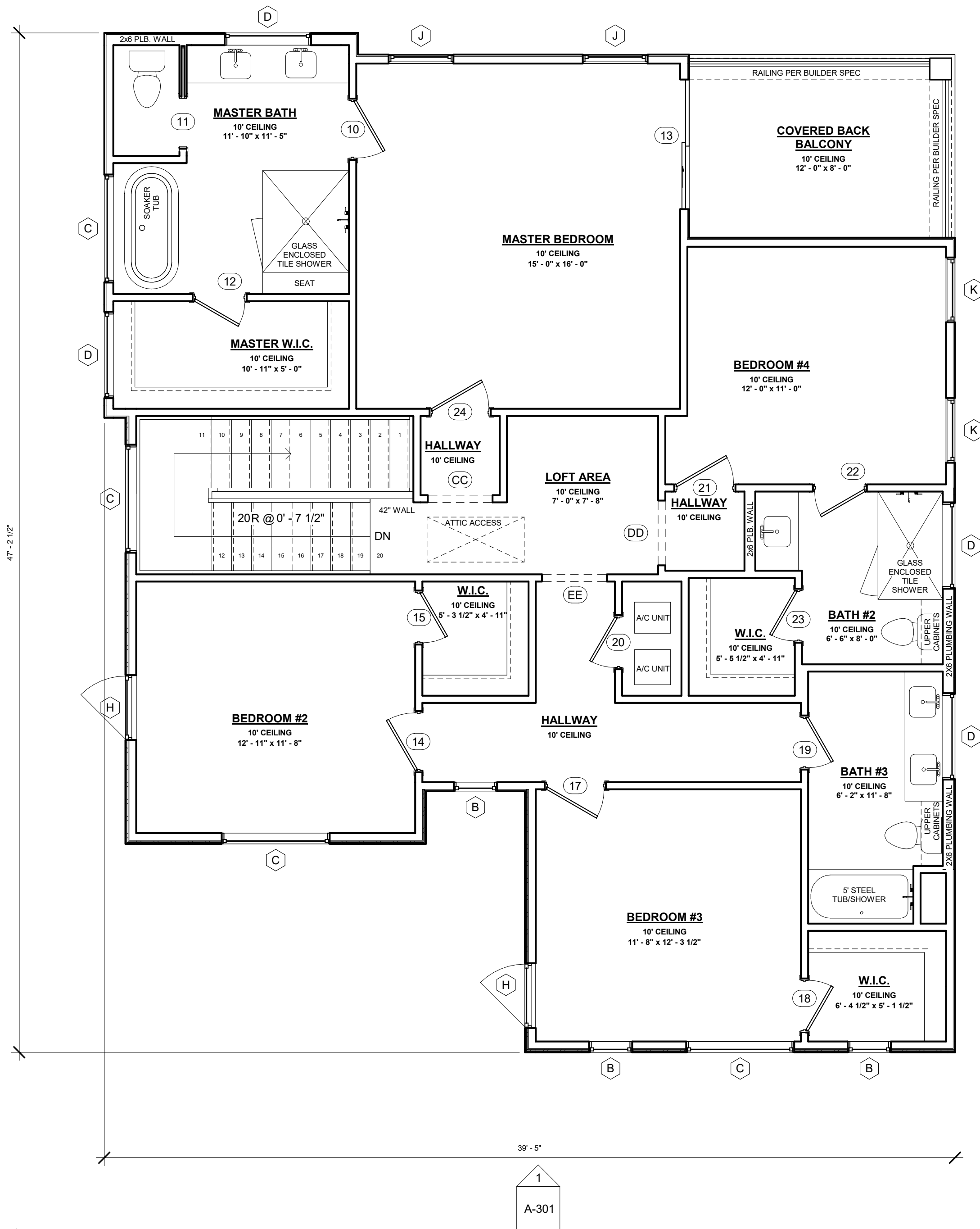
#### GENERAL PLAN NOTES:

- 1.) GLAZING IN HAZARDOUS LOCATIONS SHALL MEET REQUIREMENT OF IRC CODE SECTION R308.4, WHICH SHALL BE VERIFIED BY INSPECTOR IN FIELD.
- 2.) ALL SLEEPING ROOM EGRESS WINDOWS ARE TO MEET THE REQUIREMENTS OF SECTION R310 AND WILL BE FIELD VERIFIED.
- 3.) CASED DOOR OPENINGS PER BUILDER SPEC.
- 4.) UPPER CABINETS IN KITCHEN PER BUILDER SPEC.
- 5.) UPPER CABINETS IN UTILITY PER BUILDER SPEC.
- 6.) TILE SHOWER WITH GLASS SURROUND UNLESS NOTED OTHERWISE.
- 7.) UPPER CABINETS ABOVE TOILETS PER BUILDER SPEC.
- 8.) CLOSET SHELVES PER BUILDER SPEC.
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- 10.) PROVIDE 3/8" WATER LINE TO REFRIGERATOR.
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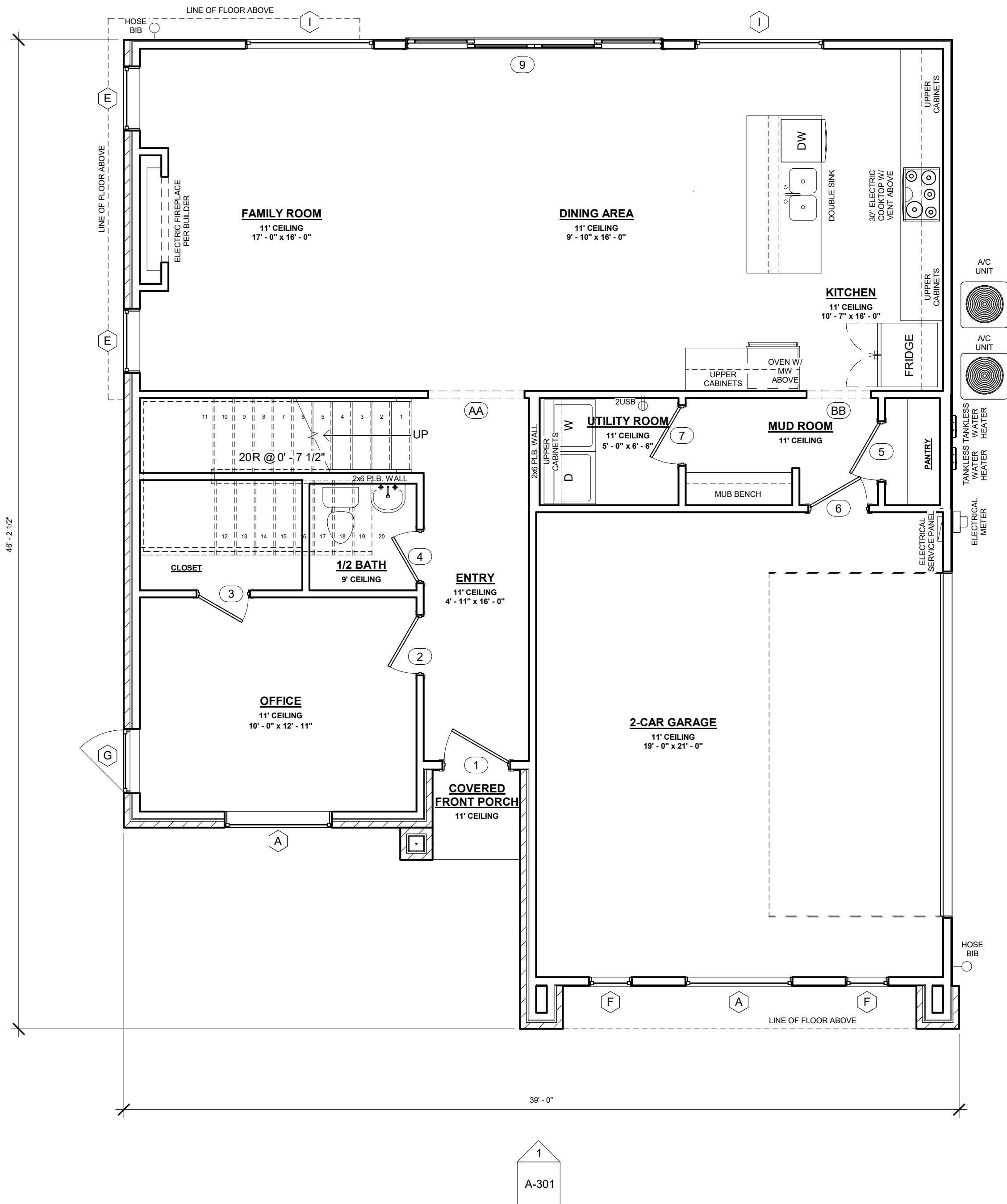
DOOR SCHEDULE				
NUMBER	WIDTH	HEIGHT	HINGE	TYPE
1	3'-0"	8'-0"	RIGHT	EXT. FULL LITE
2	2'-8"	6'-8"	RIGHT	HOLLOW CORE
3	2'-4"	6'-8"	RIGHT	HOLLOW CORE
4	2'-4"	6'-8"	LEFT	HOLLOW CORE
5	2'-8"	6'-8"	RIGHT	HOLLOW CORE
6	2'-8"	6'-8"	LEFT	EXT. SOLID CORE
7	2'-8"	6'-8"	RIGHT	HOLLOW CORE
9	12'-0"	8'-0"	SLIDER	EXT. FULL LITE DOUBLE
10	2'-8"	6'-8"	LEFT	HOLLOW CORE
11	2'-4"	6'-8"	POCKET	HOLLOW CORE
12	2'-4"	6'-8"	RIGHT	HOLLOW CORE
13	6'-0"	6'-8"	SLIDER	EXT. FULL LITE
14	2'-8"	6'-8"	LEFT	HOLLOW CORE
15	2'-4"	6'-8"	LEFT	HOLLOW CORE

DOOR SCHEDULE				
NUMBER	WIDTH	HEIGHT	HINGE	TYPE
17	2'-8"	6'-8"	RIGHT	HOLLOW CORE
18	2'-4"	6'-8"	RIGHT	HOLLOW CORE
19	2'-4"	6'-8"	LEFT	HOLLOW CORE
20	2'-4"	6'-8"	RIGHT	HOLLOW CORE
21	2'-8"	6'-8"	LEFT	HOLLOW CORE
22	2'-4"	6'-8"	LEFT	HOLLOW CORE
23	2'-4"	6'-8"	RIGHT	HOLLOW CORE
24	2'-8"	6'-8"	LEFT	HOLLOW CORE
25	16'-0"	8'-0"	OVERHEAD	GARAGE
AA	4'-6"	6'-8"		DW OPENING
BB	3'-0"	6'-8"		DW OPENING
CC	3'-0"	6'-8"		DW OPENING
DD	3'-0"	6'-8"		DW OPENING
EE	3'-0"	6'-8"		DW OPENING

ABBREVIATIONS:  
DW: DW ARCH - DRY WALL EYEBROW ARCH.  
EXT: EXTERIOR



2 SECOND FLOOR PLAN  
1/4" = 1'-0"



1 FIRST FLOOR PLAN  
1/4" = 1'-0"

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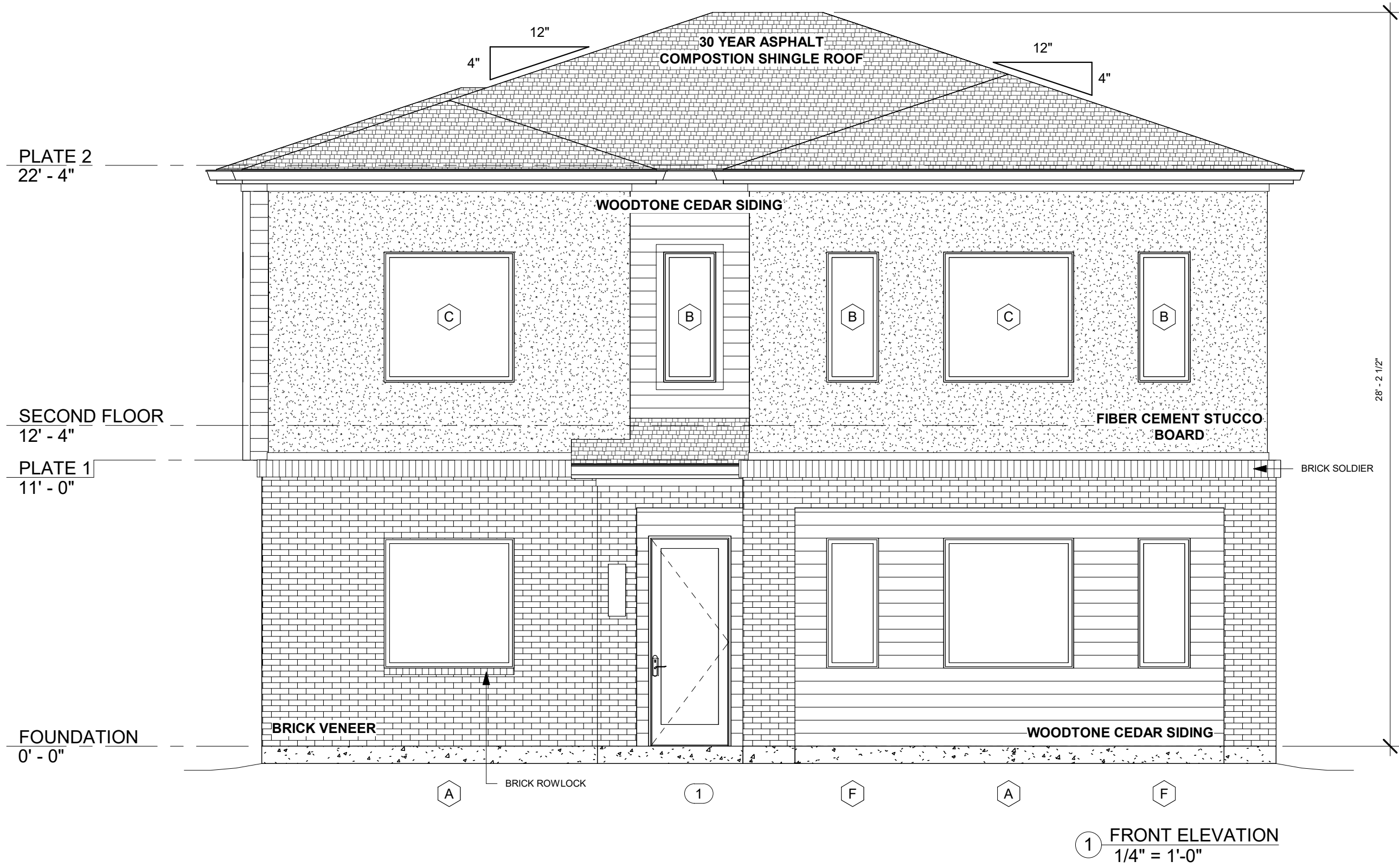
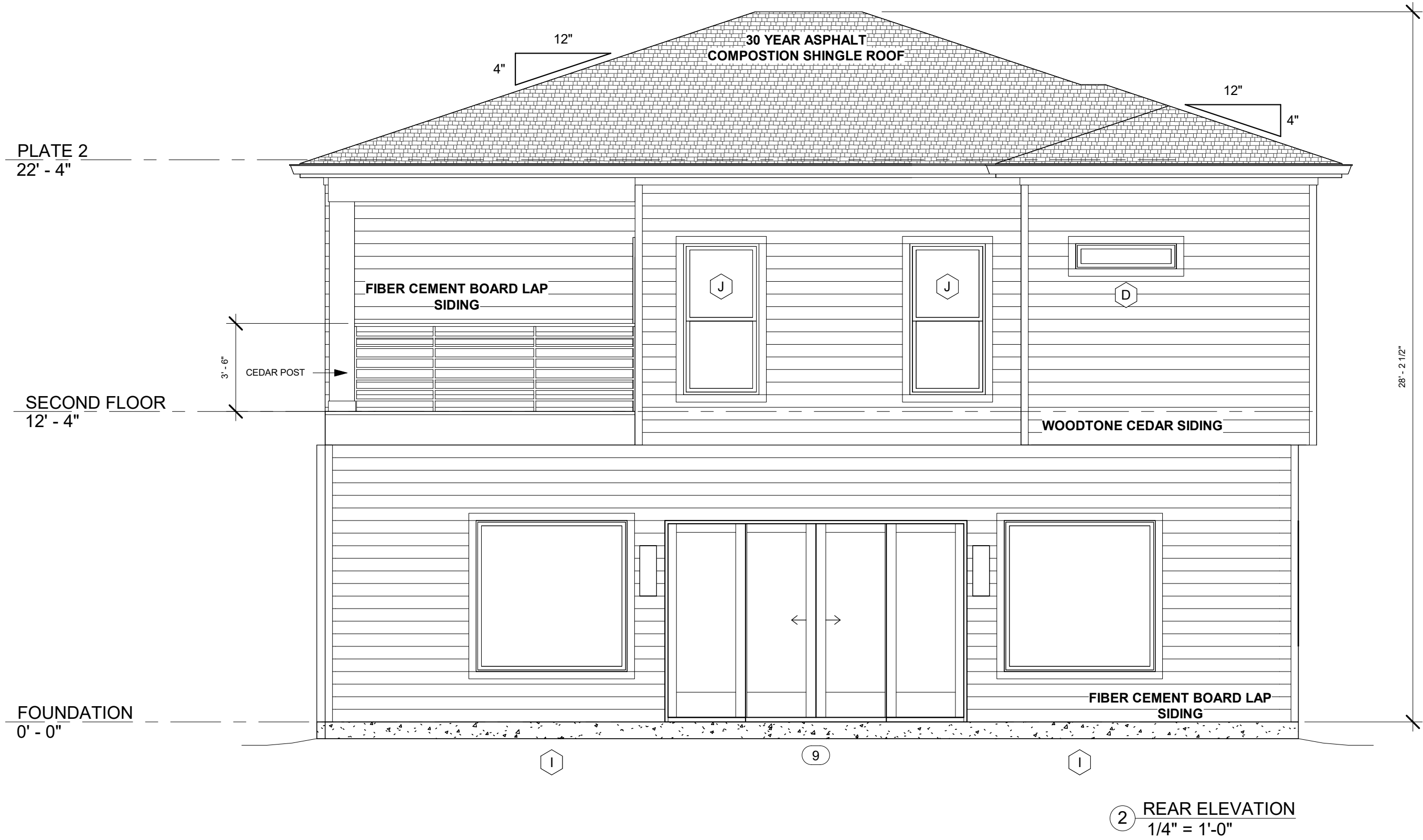


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**GENERAL NOTES:**  
1.) REFER TO DOOR AND WINDOW SCHEDULE ON SHEET A-101.

**REAR MATERIAL PERCENTAGE:**  
FIBER CEMENT LAP SIDING: 85%  
WOODTONE CEDAR SIDING: 15%

**FRONT MATERIAL PERCENTAGE:**  
STUCCO BOARD: 45%  
BRICK VENEER: 35%  
WOODTONE CEDAR SIDING: 20%



**EXHIBIT D**

**ALMAGUER**  
EXHIBIT D  
PAGE 6 OF 11  
ZC#23-007

**Mymarla Estates**  
880 Turner Way  
Wannell WM W Survey  
Mansfield, Texas 76063  
Plan B

**PRELIM.  
REVIEW**  
April 06, 2022

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**A-301**

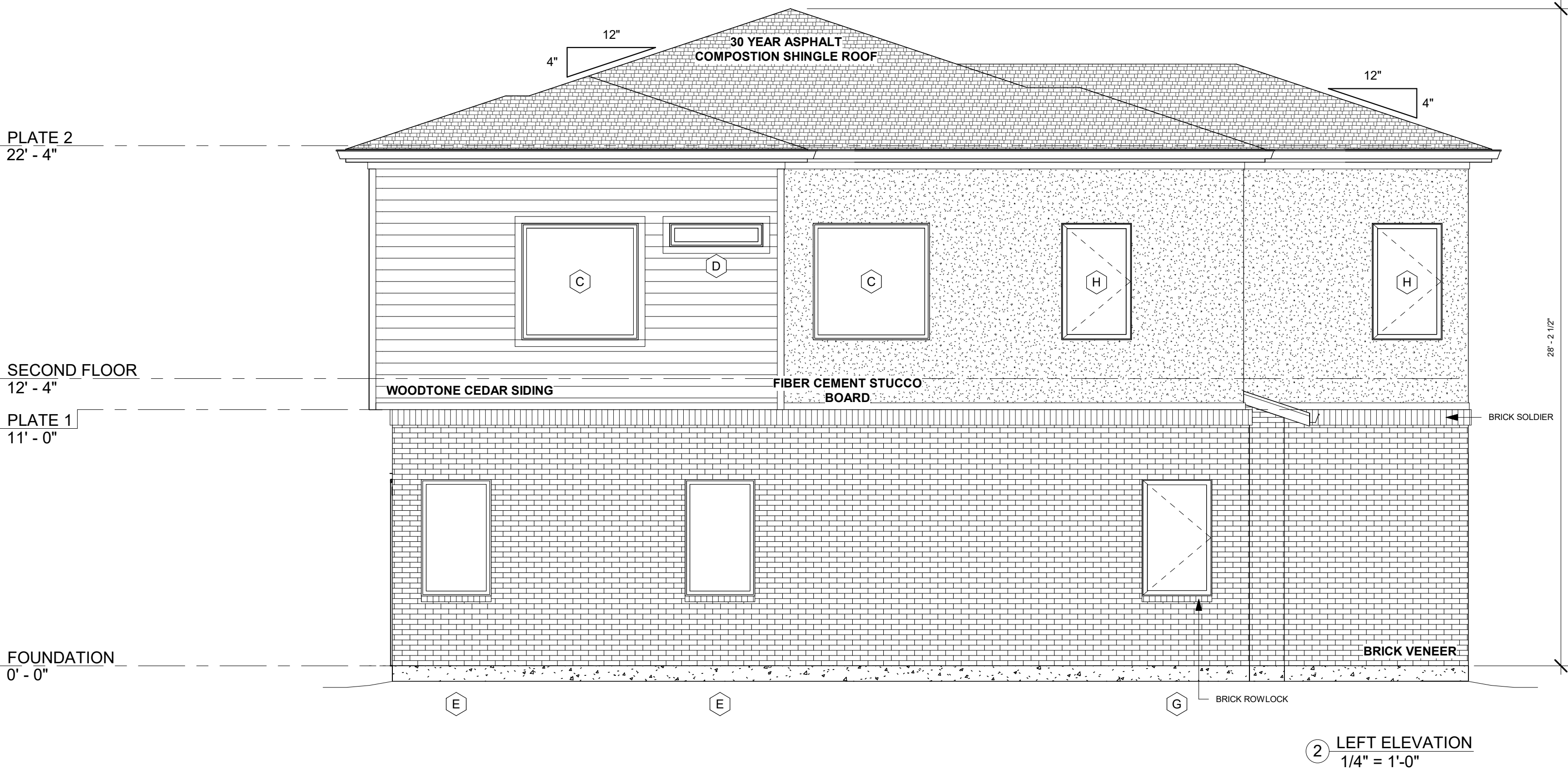
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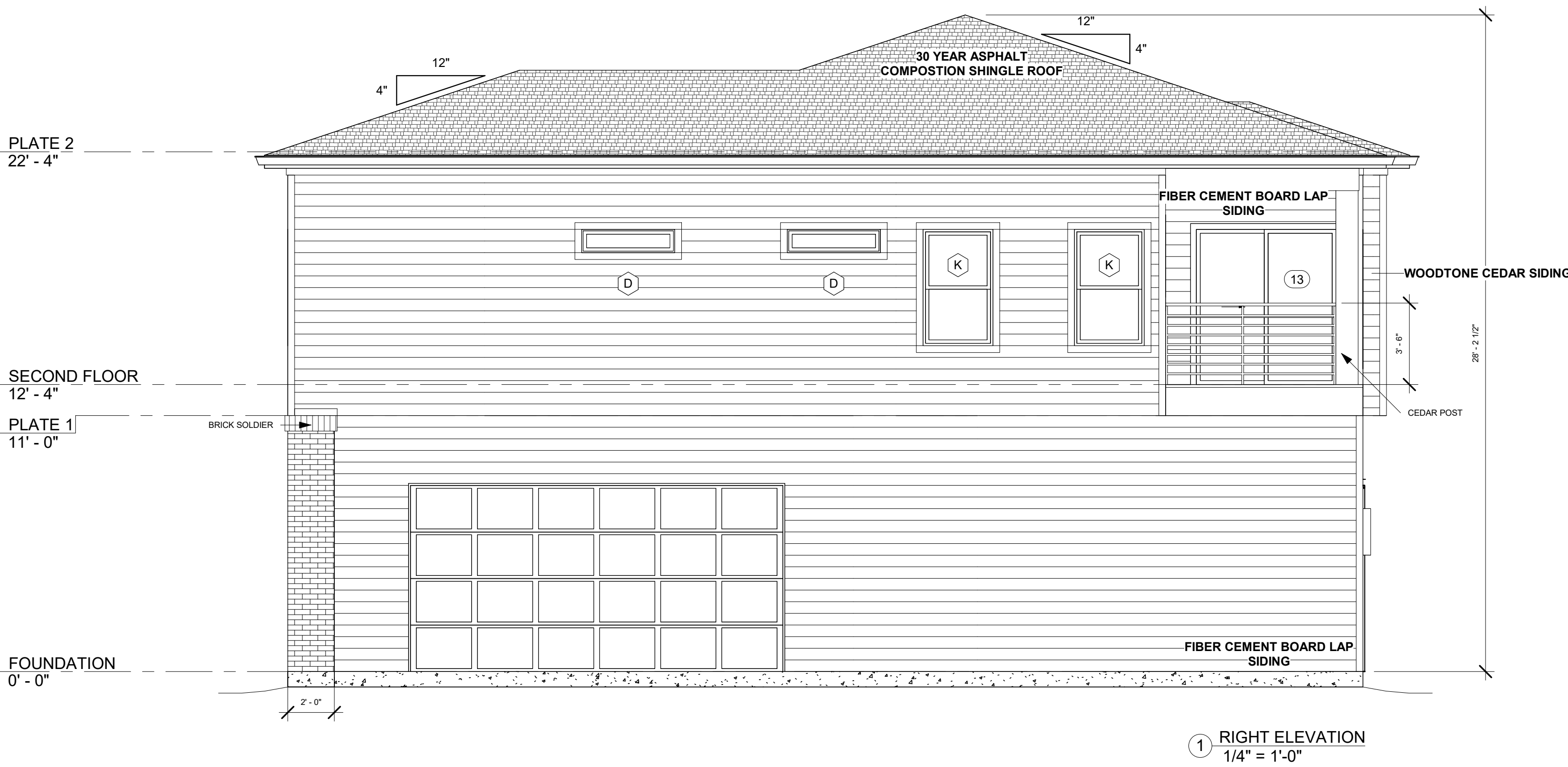


**GENERAL NOTES:**  
1.) REFER TO DOOR AND WINDOW SCHEDULE ON SHEET A-101.

**LEFT MATERIAL PERCENTAGE:**  
  
STUCCO BOARD: 35%  
WOODTONE CEDAR SIDING: 15%  
BRICK VENEER: 50%



**RIGHT MATERIAL PERCENTAGE:**  
  
FIBER CEMENT LAP SIDING: 93%  
BRICK VENEER: 5%  
WOODTONE CEDAR SIDING: 2%



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AREA TOTALS	
FIRST FLOOR LIVING	1745 SF
SECOND FLOOR LIVING	1049 SF
TOTAL LIVING	2794 SF
COVERED FRONT PORCH	30 SF
COVERED BACK PORCH	259 SF
COVERED BALCONY	129 SF
	419 SF
2-CAR GARAGE	426 SF
	426 SF
FOUNDATION	2460 SF
	2460 SF
TOTAL UNDER ROOF: 3,638 SF	

WINDOW SCHEDULE				
WINDOW TYPE	WIDTH	HEIGHT	TYPE	HEAD HEIGHT
A	3' - 0"	6' - 0"	SINGLE-HUNG	8' - 0"
B	3' - 0"	1' - 6"	FIXED	9' - 6"
C	2' - 0"	2' - 0"	FIXED	8' - 0"
D	4' - 0"	4' - 0"	FIXED	8' - 0"
E	4' - 0"	1' - 0"	FIXED	8' - 0"
F	3' - 0"	6' - 0"	FIXED	8' - 0"
G	2' - 0"	4' - 0"	SINGLE-HUNG	8' - 0"
<b>NOTE:</b> ALL WINDOWS ARE VINYL WITH LOW-E GLASS, DOUBLE GLAZED. R-VALUE TO MEET CODE.				

DOOR SCHEDULE					
NUMBER	WIDTH	HEIGHT	HINGE	TYPE	
1	3' - 0"	8' - 0"	RIGHT	EXT. FULL LITE 5-PANEL	
2	16' - 0"	8' - 0"	OVERHEAD	GARAGE	
3	2' - 8"	8' - 0"	LEFT	EXT. SOLID CORE	
4	3' - 0"	8' - 0"	RIGHT/LEFT	SOLID CORE DOUBLE	
5	2' - 4"	8' - 0"	RIGHT	SOLID CORE	
6	2' - 8"	8' - 0"	LEFT	SOLID CORE	
7	2' - 4"	8' - 0"	LEFT	SOLID CORE	
8	2' - 4"	8' - 0"	RIGHT	SOLID CORE	
9	12' - 0"	8' - 0"	SLIDER	EXT. FULL LITE DOUBLE	
10	2' - 8"	8' - 0"	RIGHT	SOLID CORE	
11	2' - 4"	8' - 0"	LEFT	SOLID CORE	
12	3' - 0"	8' - 0"	RIGHT/LEFT	SOLID CORE DOUBLE	
13	2' - 4"	8' - 0"	RIGHT	SHOWER	
14	2' - 4"	8' - 0"	RIGHT	SOLID CORE	
15	6' - 0"	8' - 0"	SLIDER	EXT. FULL LITE	
16	2' - 8"	8' - 0"	RIGHT	SOLID CORE	
17	2' - 8"	8' - 0"	RIGHT	SOLID CORE	
18	2' - 4"	8' - 0"	POCKET	SOLID CORE	
19	2' - 4"	8' - 0"	LEFT	SOLID CORE	
20	2' - 4"	8' - 0"	LEFT	SOLID CORE	
21	2' - 4"	8' - 0"	RIGHT	SOLID CORE	
22	2' - 4"	8' - 0"	POCKET	SOLID CORE	
23	2' - 8"	8' - 0"	LEFT	SOLID CORE	
24	2' - 4"	8' - 0"	LEFT	SOLID CORE	
25	2' - 0"	6' - 8"	RIGHT	ATTIC DOOR	
27	4' - 0"	6' - 8"	RIGHT/LEFT	SOLID CORE DOUBLE	
28	2' - 4"	8' - 0"	RIGHT	SOLID CORE	
29	2' - 0"	6' - 8"	LEFT	ATTIC DOOR	
AA	3' - 0"	8' - 0"		DW OPENING	
BB	4' - 6"	8' - 0"		DW OPENING	
CC	3' - 0"	8' - 0"		DW OPENING	
DD	2' - 4"	7' - 0"		CABINET FRONT	
EE	3' - 0"	8' - 0"		DW OPENING	
FF	3' - 0"	8' - 0"		DW OPENING	

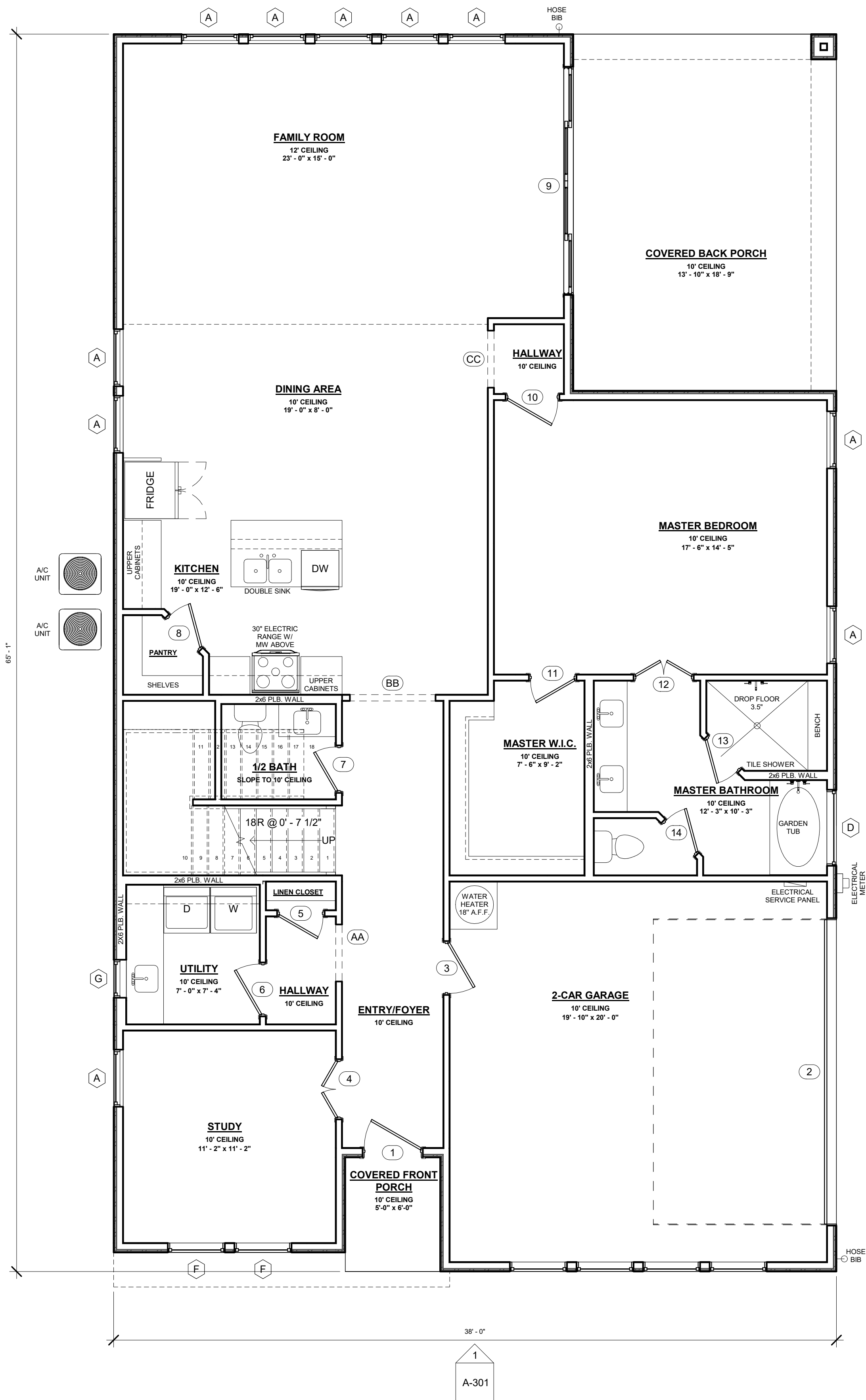
ABBREVIATIONS:  
DW EB ARCH - DRY WALL EYEBROW ARCH.  
EXT - EXTERIOR

#### GENERAL PLAN NOTES:

- 1.) GLAZING IN HAZARDOUS LOCATIONS SHALL MEET REQUIREMENT OF IRC CODE SECTION R308.4, WHICH SHALL BE VERIFIED BY INSPECTOR IN FIELD.
- 2.) ALL SLEEPING ROOM EGRESS WINDOWS ARE TO MEET THE REQUIREMENTS OF SECTION R310 AND WILL BE FIELD VERIFIED.
- 3.) CASED DOOR OPENINGS PER BUILDER SPEC.
- 4.) UPPER CABINETS IN KITCHEN PER OWNER SPEC.
- 5.) UPPER CABINETS IN UTILITY PER OWNER SPEC.
- 6.) TILE SHOWER WITH GLASS SURROUND UNLESS NOTED OTHERWISE.
- 7.) UPPER CABINETS ABOVE TOILETS PER OWNER SPEC.
- 8.) CLOSET SHELVES PER OWNER SPEC.
- 9.) ALL WALLS ARE DIMENSIONED 4" NOMINAL BRICK 5", NOMINAL.
- 10.) PROVIDE 3/8" WATER LINE TO REFRIGERATOR.
- 11.) ALL WATER HEATERS ARE TO BE 18" A.F.F.
- 12.) AIR CONDITIONER CONDENSER MUST BE 3" ABOVE GRADE.
- 13.) IN ABSENCE OF STRUCTURAL ENGINEER PREPARED BY BUILDER, USE TABLE R602.3 IN THE INTERNATIONAL RESIDENTIAL CODE.
- 14.) REFER TO ENGINEER DRAWINGS FOR ALL FOUNDATIONS.
- 15.) CHECK PLANS FOR LEVEL CHANGES, FLOOR OUTLETS, AND PLUMBING FIXTURE LOCATIONS.
- 16.) WATER HEATER TO BE LOCATED IN ATTIC.

#### GENERAL NOTES:

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- 2.) These plans are designed to be in substantial compliance with current city adopted International Residential Code. The construction shall conform to all national, state, and local building codes and ordinances. These codes shall take precedence over anything noted in these drawings.
- 3.) Contractor must verify all dimensions and scale drawings.



1 FIRST FLOOR PLAN  
1/4" = 1'-0"

ALMAGUER  
EXHIBIT D  
PAGE 8 OF 11  
ZC#23-007

Mymarla Estates  
880 Tuner Way  
Warnell WM W Survey  
Mansfield, Texas 76063  
Plan C

PRELIM.  
REVIEW

April 06, 2023

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Title  
FIRST FLOOR  
PLAN

Sheet

A-101

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AREA TOTALS	
FIRST FLOOR LIVING	1745 SF
SECOND FLOOR LIVING	1049 SF
TOTAL LIVING	2794 SF
COVERED FRONT PORCH	30 SF
COVERED BACK PORCH	259 SF
COVERED BALCONY	129 SF
2-CAR GARAGE	419 SF
	426 SF
FOUNDATION	2460 SF
	2460 SF
TOTAL UNDER ROOF: 3,638 SF	

WINDOW SCHEDULE				
WINDOW TYPE	WIDTH	HEIGHT	TYPE	HEAD HEIGHT
A	3' - 0"	6' - 0"	SINGLE-HUNG	8' - 0"
B	3' - 0"	1' - 6"	FIXED	9' - 6"
C	2' - 0"	2' - 0"	FIXED	8' - 0"
D	4' - 0"	4' - 0"	FIXED	8' - 0"
E	4' - 0"	1' - 0"	FIXED	8' - 0"
F	3' - 0"	6' - 0"	FIXED	8' - 0"
G	2' - 0"	4' - 0"	SINGLE-HUNG	8' - 0"

NOTE:  
ALL WINDOWS ARE VINYL WITH LOW-E GLASS, DOUBLE GLAZED. R-  
VALUE TO MEET CODE.

DOOR SCHEDULE				
NUMBER	WIDTH	HEIGHT	HINGE	TYPE
1	3' - 0"	8' - 0"	RIGHT	EXT. FULL LITE 5-PANEL
2	16' - 0"	8' - 0"	OVERHEAD	GARAGE
3	2' - 8"	8' - 0"	LEFT	EXT. SOLID CORE
4	3' - 0"	8' - 0"	RIGHT/LEFT	SOLID CORE DOUBLE
5	2' - 4"	8' - 0"	RIGHT	SOLID CORE
6	2' - 8"	8' - 0"	LEFT	SOLID CORE
7	2' - 4"	8' - 0"	LEFT	SOLID CORE
8	2' - 4"	8' - 0"	RIGHT	SOLID CORE
9	12' - 0"	8' - 0"	SLIDER	EXT. FULL LITE DOUBLE
10	2' - 8"	8' - 0"	RIGHT	SOLID CORE
11	2' - 4"	8' - 0"	LEFT	SOLID CORE
12	3' - 0"	8' - 0"	RIGHT/LEFT	SOLID CORE DOUBLE
13	2' - 4"	8' - 0"	RIGHT	SHOWER
14	2' - 4"	8' - 0"	RIGHT	SOLID CORE
15	6' - 0"	8' - 0"	SLIDER	EXT. FULL LITE
16	2' - 8"	8' - 0"	RIGHT	SOLID CORE
17	2' - 8"	8' - 0"	RIGHT	SOLID CORE
18	2' - 4"	8' - 0"	POCKET	SOLID CORE
19	2' - 4"	8' - 0"	LEFT	SOLID CORE
20	2' - 4"	8' - 0"	LEFT	SOLID CORE
21	2' - 4"	8' - 0"	RIGHT	SOLID CORE
22	2' - 4"	8' - 0"	POCKET	SOLID CORE
23	2' - 8"	8' - 0"	LEFT	SOLID CORE
24	2' - 4"	8' - 0"	LEFT	SOLID CORE
25	2' - 0"	6' - 8"	RIGHT	ATTIC DOOR
27	4' - 0"	6' - 8"	RIGHT/LEFT	SOLID CORE DOUBLE
28	2' - 4"	8' - 0"	RIGHT	SOLID CORE
29	2' - 0"	6' - 8"	LEFT	ATTIC DOOR
AA	3' - 0"	8' - 0"		DW OPENING
BB	4' - 6"	8' - 0"		DW OPENING
CC	3' - 0"	8' - 0"		DW OPENING
DD	2' - 4"	7' - 0"		CABINET FRONT
EE	3' - 0"	8' - 0"		DW OPENING
FF	3' - 0"	8' - 0"		DW OPENING

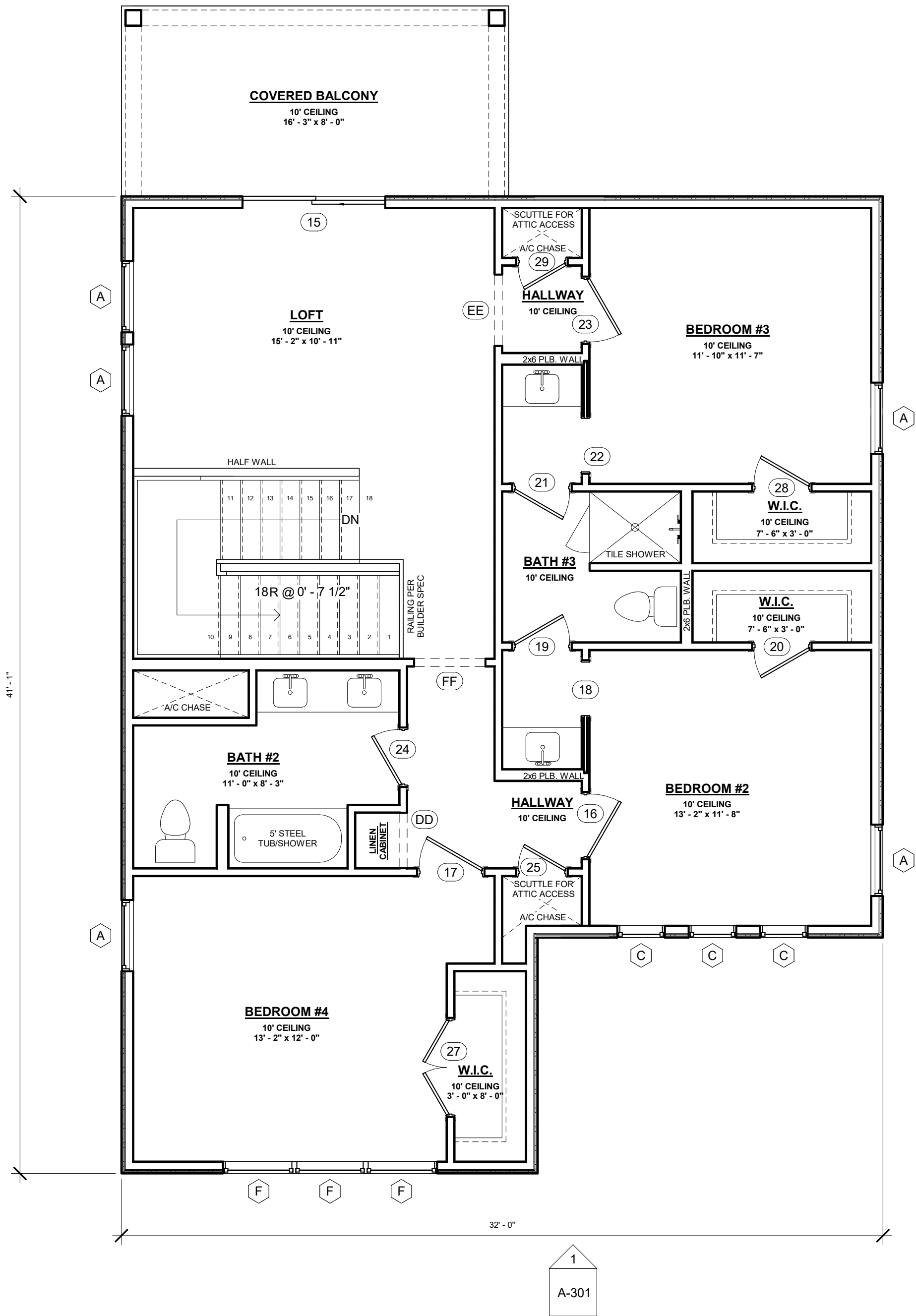
ABBREVIATIONS:  
DW EB ARCH - DRY WALL EYEBROW ARCH.  
EXT - EXTERIOR

GENERAL PLAN NOTES:

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1 SECOND FLOOR PLAN  
1/4" = 1'-0"

EXHIBIT D

ALMAGUER  
EXHIBIT D  
PAGE 9 OF 11  
ZC#23-007

Mymerla Estates  
880 Tuner Way  
Warnell WM W Survey  
Mansfield, Texas 76063  
Plan C

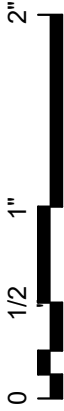
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Title  
SECOND FLOOR  
PLAN

Sheet  
A-102

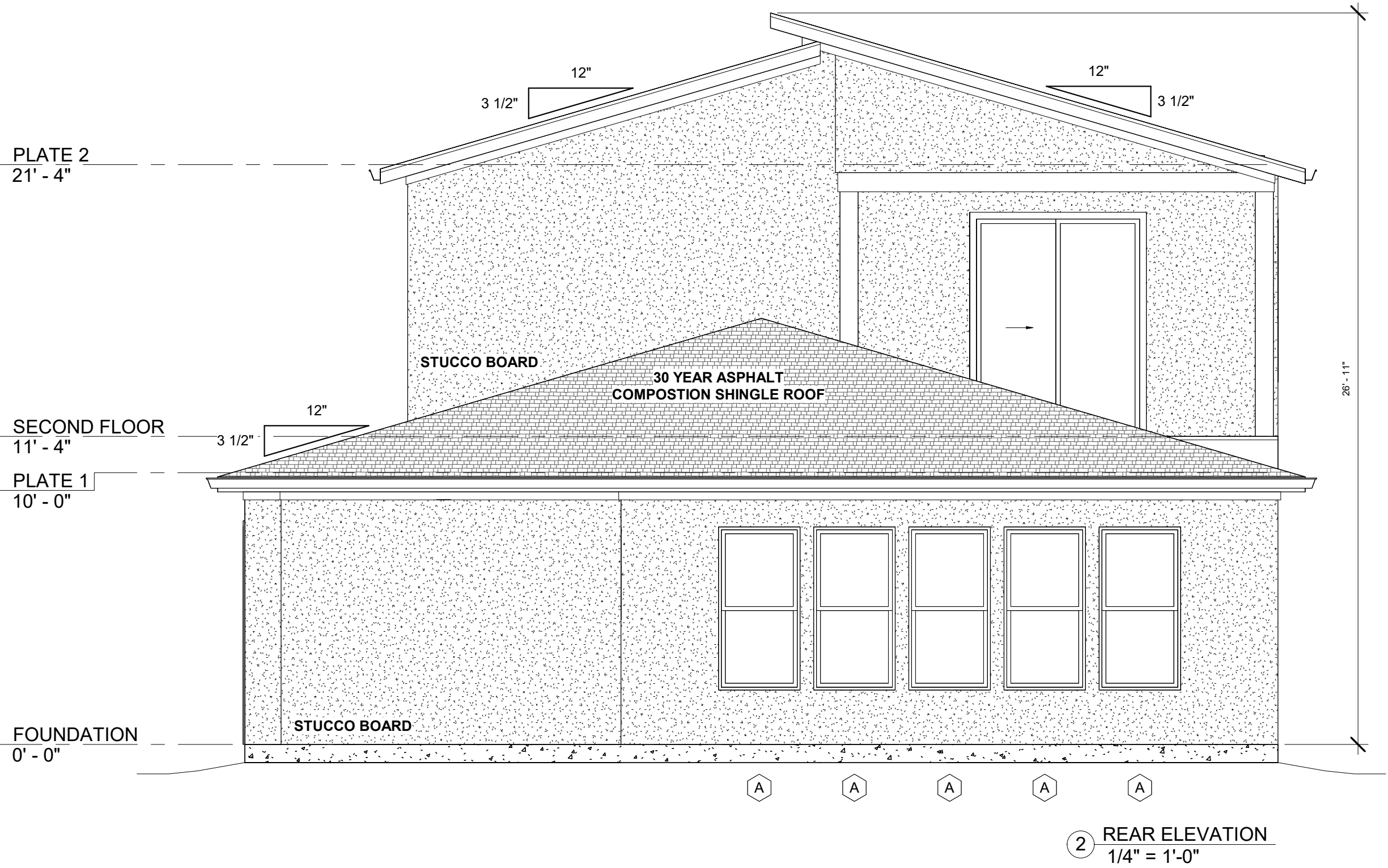




**GENERAL NOTES:**  
1.) REFER TO DOOR AND WINDOW SCHEDULE ON SHEET A-101.

**REAR MATERIAL PERCENTAGE:**  
STUCCO BOARD 100%

**FRONT MATERIAL PERCENTAGE:**  
STUCCO BOARD: 100%



**GENERAL NOTES:**  
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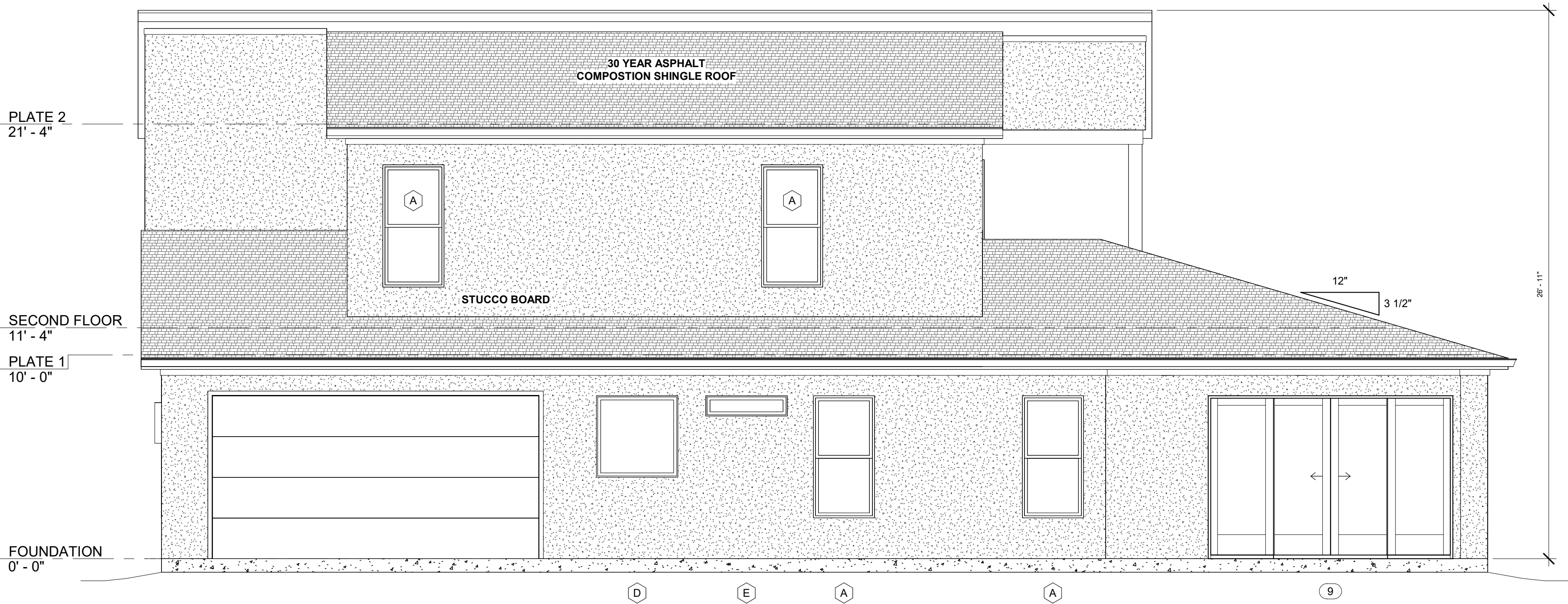


**GENERAL NOTES:**  
1.) REFER TO DOOR AND WINDOW SCHEDULE ON SHEET A-101.

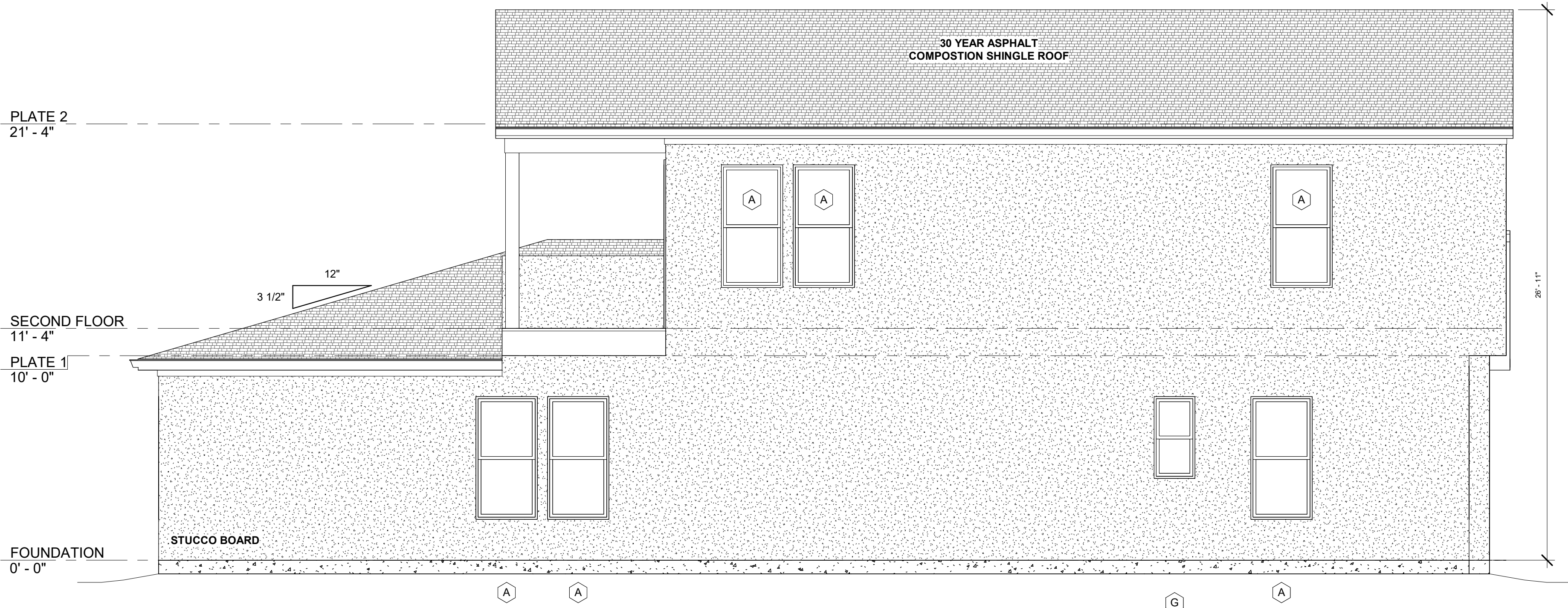
**RIGHT MATERIAL PERCENTAGE:**  
**STUCCO BOARD: 100%**

**LEFT MATERIAL PERCENTAGE:**  
**STUCCO BOARD: 100%**

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① RIGHT ELEVATION  
1/4" = 1'-0"



② LEFT ELEVATION  
1/4" = 1'-0"

**EXHIBIT D**

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**ELEVATIONS**

Sheet  
**A-302**

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