



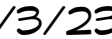
Date: May 22, 2023
Re: New Cabana
830 Columbia Ct.
Mansfield, Tx 76063

To whom it may concern:

On behalf of my client, I am requesting a variance to the height restriction for an accessory structure. The structure has been designed to complement the existing structure with exterior materials and roof pitch. The height of the structure is proposed to be 22'-5" and total square footage is 680 sf.

To be noted that there are similar structures in this neighborhood which have been granted a similar variance.

Sincerely,
Terry Hawkins
Architect



VAN DYKE
CABANA

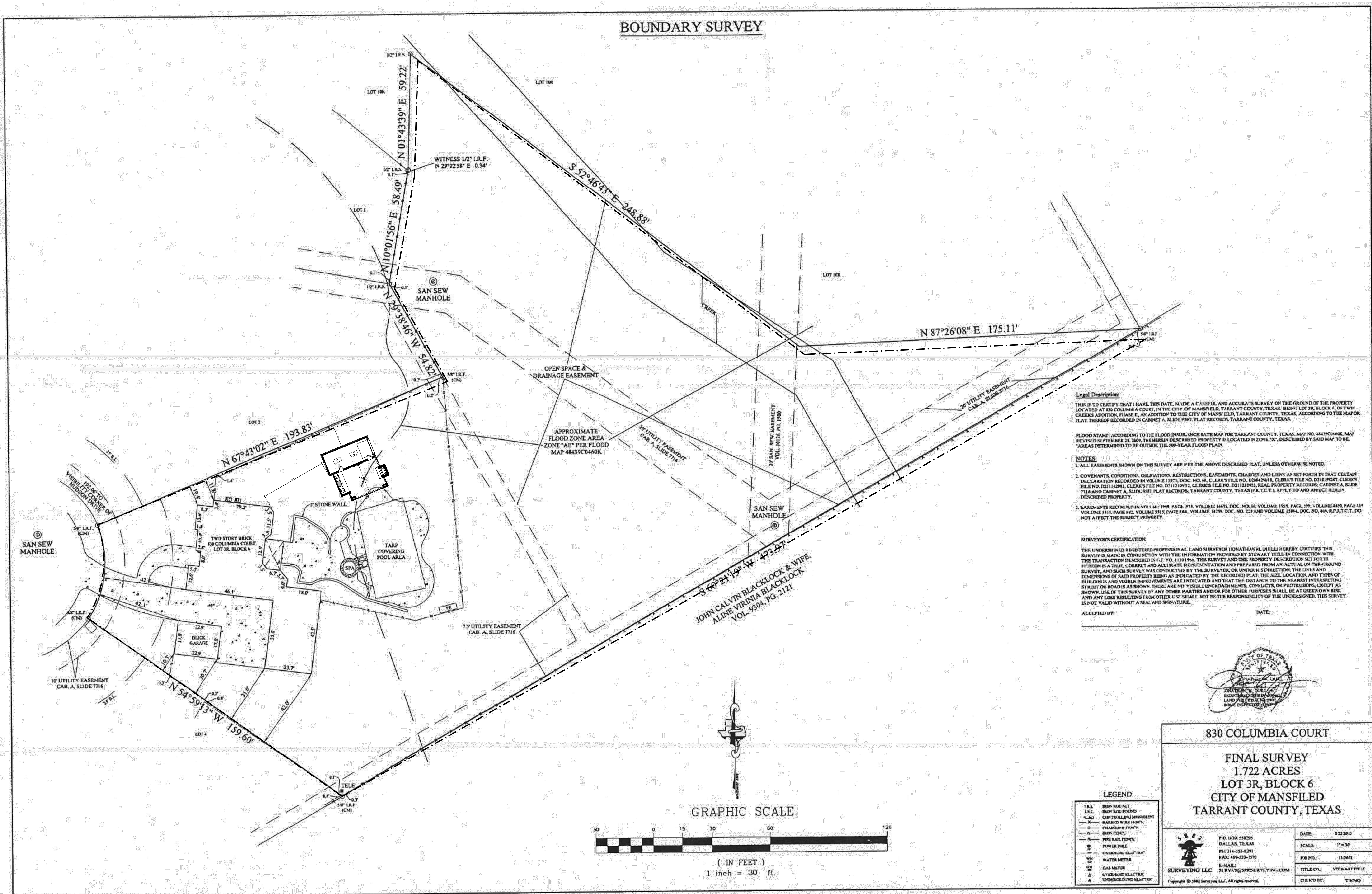
01-03-23
03-24-23
04-04-23
05-22-23

1. CONTRACTOR TO VERIFY ALL DIMENSIONS PRIOR TO BEGINNING CONSTRUCTION. NOTIFY ARCHITECT OF ANY DISCREPANCIES IMMEDIATELY.
2. COMPLY WITH ALL APPLICABLE STATE AND LOCAL DISCREPANCIES AND ORDINANCES.
3. ALL ELECTRICAL OUTLETS AT NET AREAS (INCL. GARAGE) TO BE 5 FT.
4. INTERIOR ELECTRICAL OUTLETS TO BE WEATHER PROOF.
5. ALL GLAZING WITHIN 20" HORIZ. DISTANCE FROM JAMB OF EXTERIOR DOOR TO BE TEMPERED GLASS.
6. PLUMBING WALLS AT TOILETS TO BE 2X6 STUDS.
7. ALL DIMENSIONS ARE TO FACE OF STUD OR FACE OF JOIST UNLESS OTHERWISE NOTED.
8. ALL DIMENSIONS ARE FOR NOMINAL 4" STUD (ACTUAL 3 1/2" STUD).
9. PROVIDE 1/8" W/RED W/RED IN SERIES SMOKE DETECTORS OR PER LOCAL CODE REQUIREMENTS.
10. FINISH AND DOOR LOCATIONS ARE AS INDICATED ON PLANS AT WDM. 4 DOOR LOCATIONS.

SITE
PLAN
1" = 20'0"



SP-1





223494

YAN DYKE
CABANA

830 COLUMBIA COURT
LOT 3R BLOCK 6
TWIN CREEKS ADDT. PH 2
MANSFIELD, TX
TARRANT COUNTY

DATE: 12-01-22
01-03-23
03-24-23
04-04-23

GENERAL NOTES:

1. CONTRACTOR TO VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION. NOTIFY ARCHITECT OF ANY DISCREPANCIES IMMEDIATELY.
2. CONFORMANCE TO ALL APPLICABLE STATE AND LOCAL CODES AND ORDINANCES.
3. ALL ELECTRICAL OUTLETS AT NET AREAS INCL.
4. ALL EXTERIOR ELECTRICAL OUTLETS TO BE WEATHER PROOF.
5. FINISH FLOORING TO BE 3/4" THICK.
6. EXTERIOR DOORS TO BE TYPED GLASS.
7. ALL DIMENSIONS ARE TO FACE OF STUD OR BRICK. ALL DIMENSIONS ARE FOR NORMAL 4" STUD.
8. PROVIDE 100' AREA IN SERIES SHOCK DETECTORS OR PER LOCAL CODE REQUIREMENTS.
9. FINISH FLOORING TO BE INDICATED ON PLANS AT NEW 1 DOOR LOCATIONS.

SHEET Title:

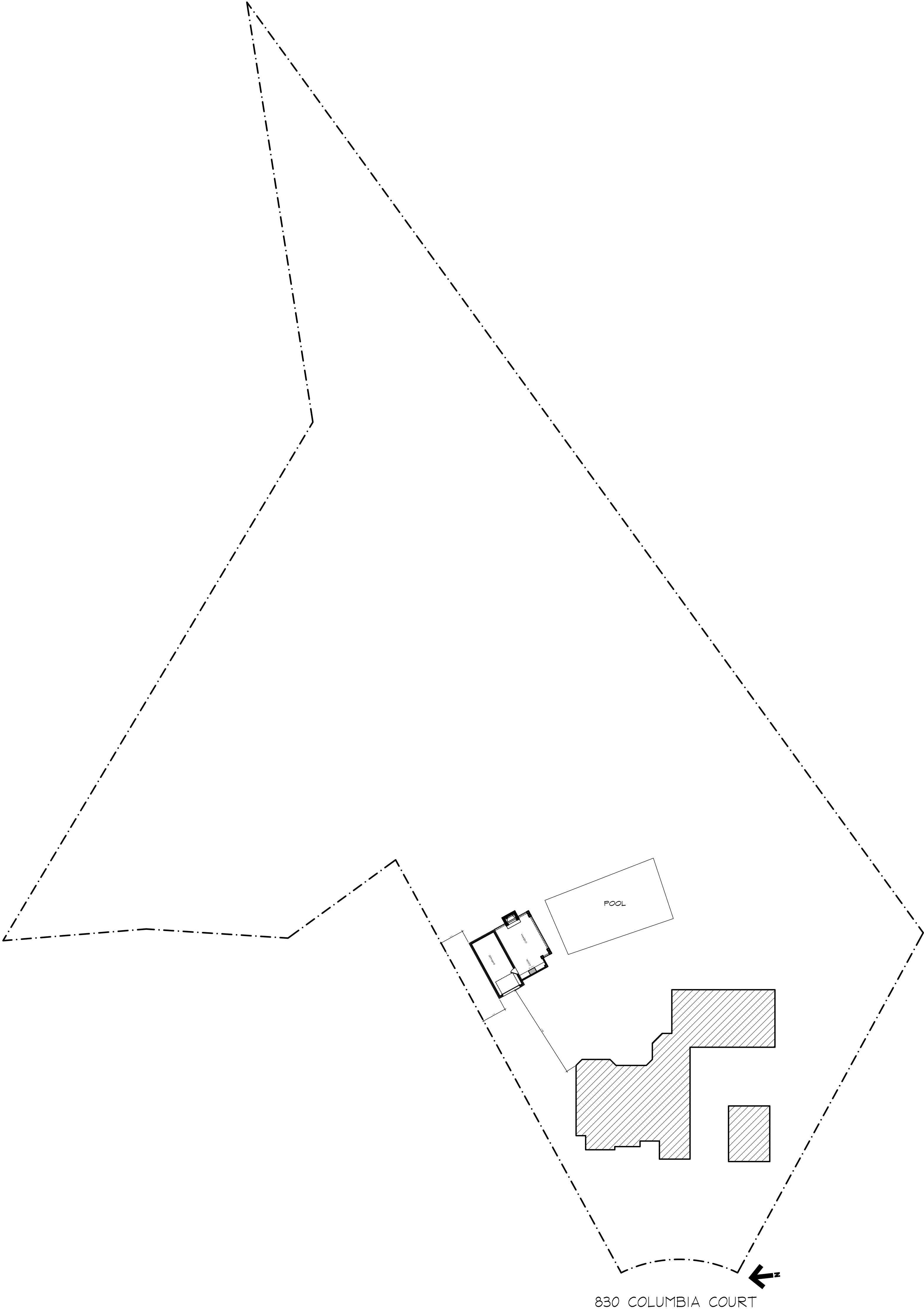
SITE
PLAN
1" = 20'0"

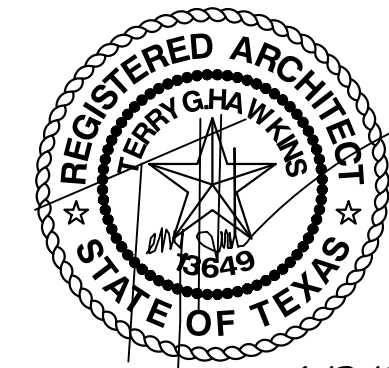


218 N. MAIN ST. CREEK CR. MANSFIELD, TEXAS 76063
817.477.1329 PHONE 817.477.1325 FAX
ARCHITECTS

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SHEET No.:

SP-1





1/3/23

223494

VAN DYKE
CABANA

830 COLUMBIA COURT
LOT 3R BLOCK 6
TWIN CREEKS ADDT. PH 2
MANSFIELD, TX
TARRANT COUNTY

DATE: 12-07-22
01-03-23
03-24-23
04-04-23

- GENERAL NOTES:
1. CONTRACTOR TO VERIFY ALL DIMENSIONS PRIOR TO BEGINNING CONSTRUCTION. NOTIFY ARCHITECT OF ANY DISCREPANCIES IMMEDIATELY.
 2. CONTRACTOR TO OBSERVE ALL APPLICABLE STATE AND LOCAL CODES AND ORDINANCES.
 3. ALL ELECTRICAL OUTLETS AT NET AREAS (INCL. GARAGES) TO BE 6' F.I.
 4. ALL EXTERIOR ELECTRICAL OUTLETS TO BE WEATHER PROOF.
 5. ALL GLAZING WITHIN 2'0" HORIZ. DISTANCE FROM JAMB OF EXTERIOR DOORS TO BE TEMPERED GLASS.
 6. PLUMBING WALLS AT TOILETS TO BE 2X6 STUDS.
 7. ALL DIMENSIONS ARE TO FACE OF STUD OR FACE OF BRICK. ALL DIMENSIONS ARE FOR NOMINAL 4" STUD (ACTUAL 5-1/2" STUD).
 8. PROVIDE 120V, WIRED IN SERIES SMOKE DETECTORS OR PER LOCAL CODE REQUIREMENTS.
 9. WINDOW AND DOOR SIZES ARE AS INDICATED ON PLANS AT KEYN. 1 DOOR LOCATIONS.

SHEET Title:

ELEVATIONS
ROOF PLAN
SCALE: 1/4" = 1'0"



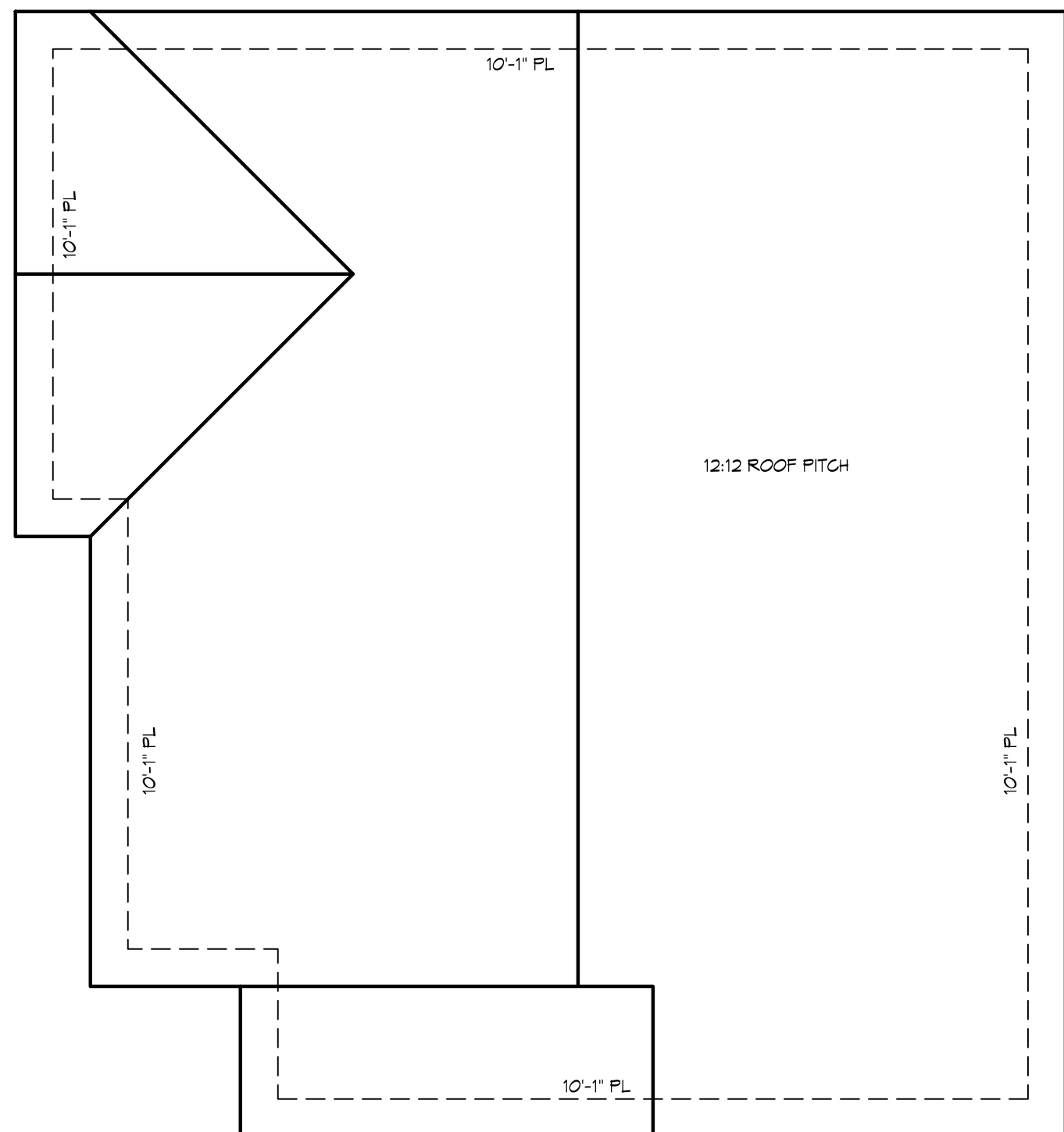
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ARCHITECTS

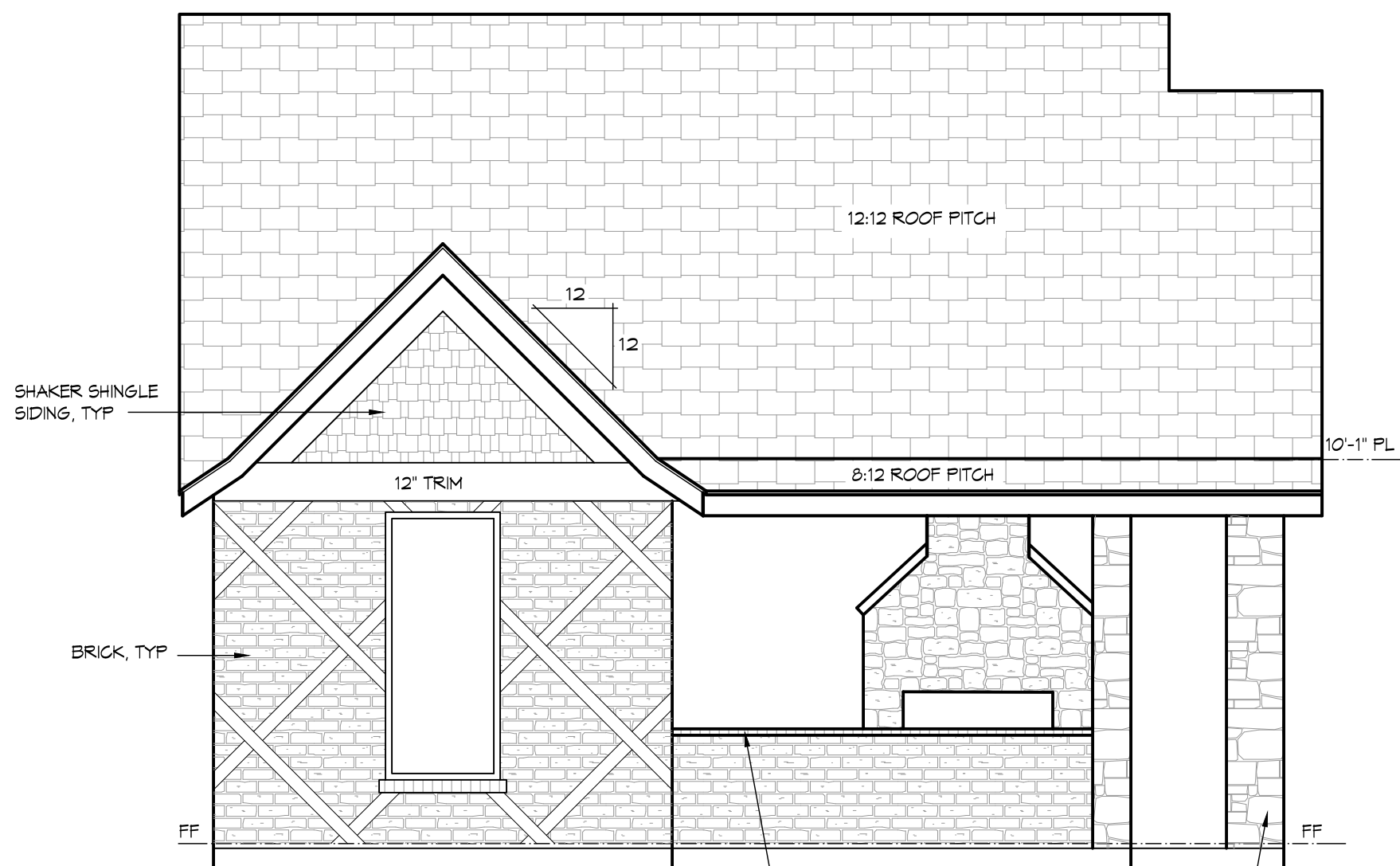
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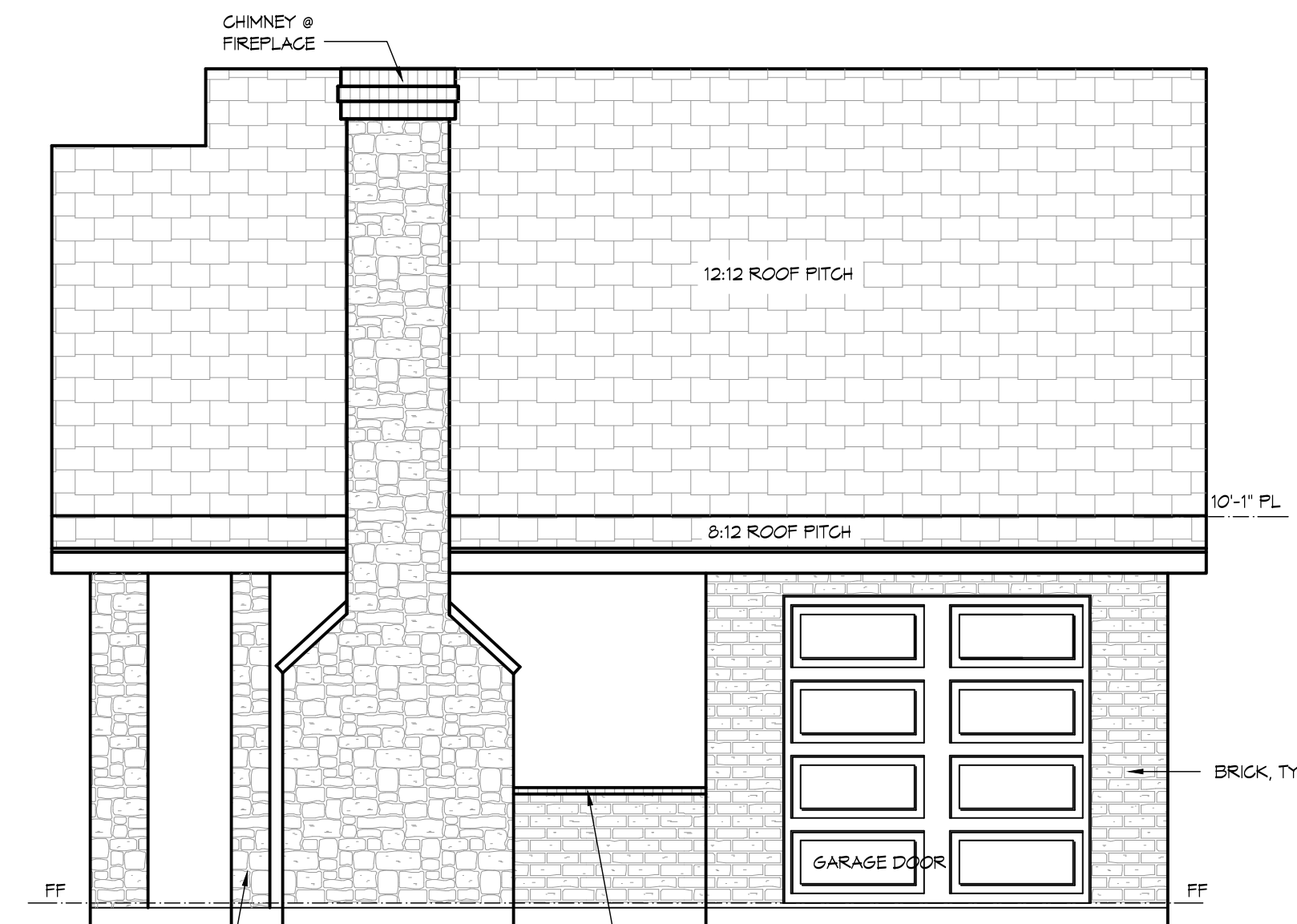
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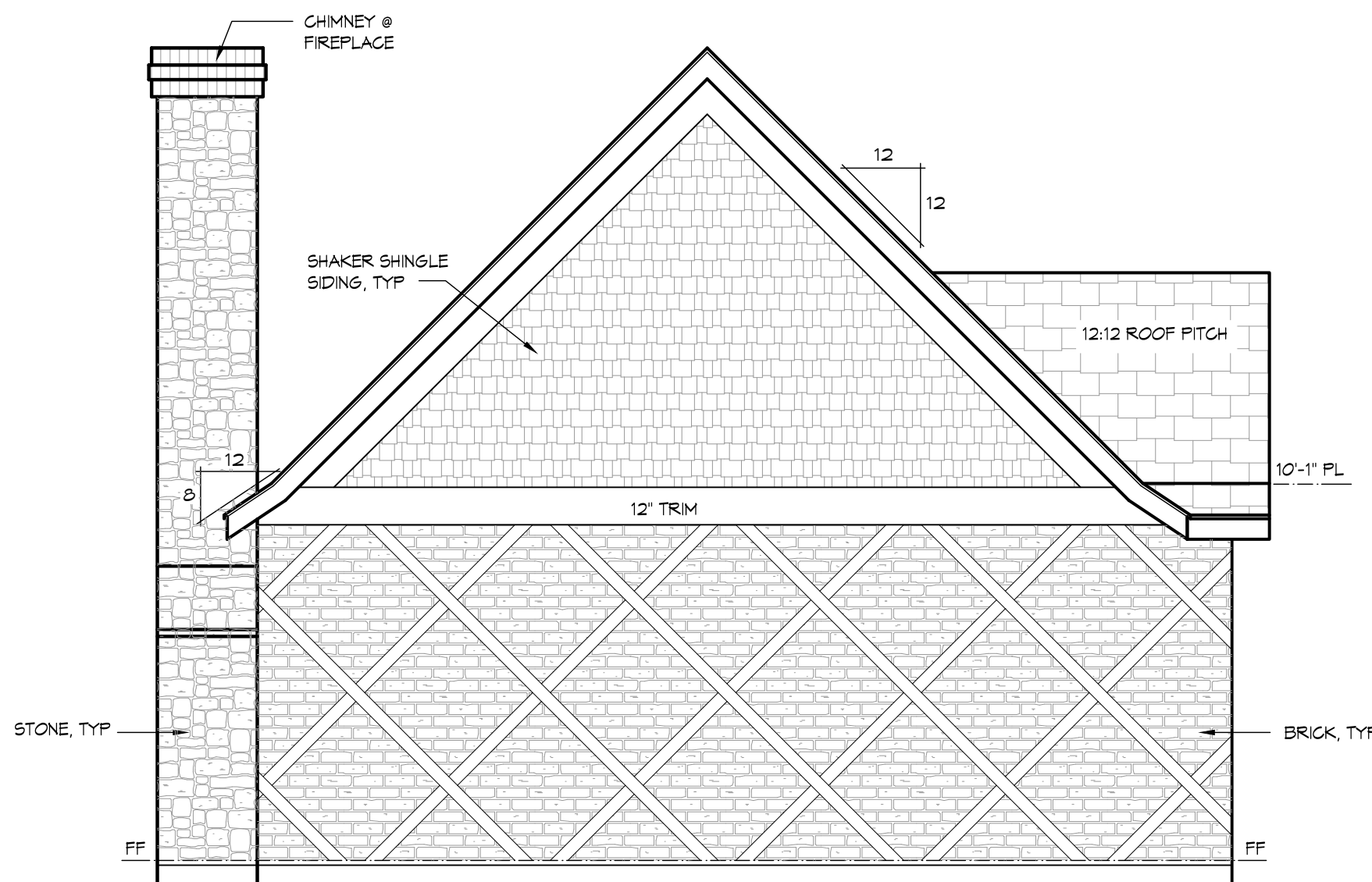
ROOF PLAN
1/8" = 1'-0" (22x34 PRINT SIZE)
1/16" = 1'-0" (11x17 PRINT SIZE)



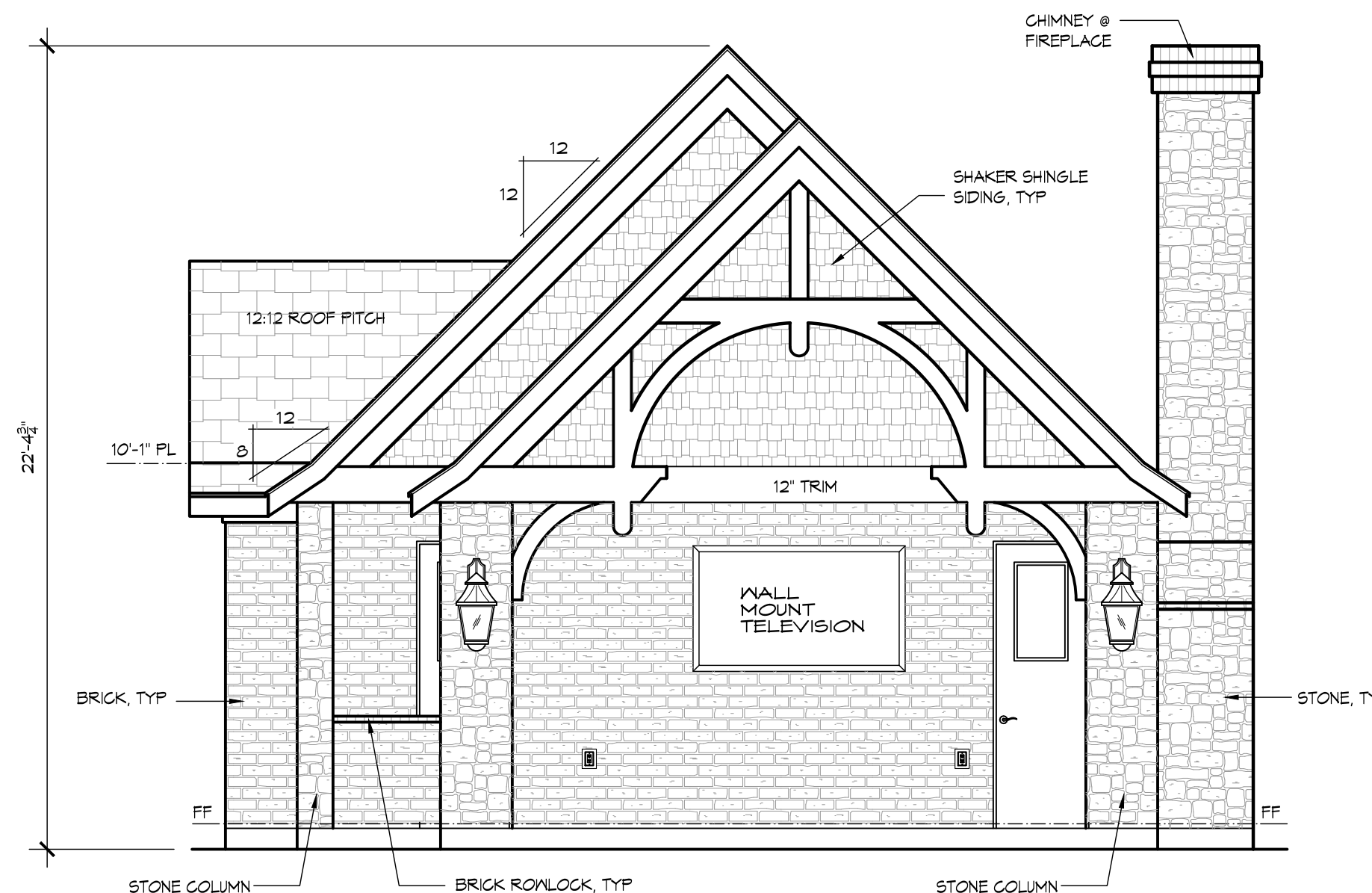
LEFT ELEVATION
1/8" = 1'-0" (22x34 PRINT SIZE)
1/16" = 1'-0" (11x17 PRINT SIZE)



RIGHT ELEVATION
1/8" = 1'-0" (22x34 PRINT SIZE)
1/16" = 1'-0" (11x17 PRINT SIZE)



REAR ELEVATION
1/8" = 1'-0" (22x34 PRINT SIZE)
1/16" = 1'-0" (11x17 PRINT SIZE)



FRONT ELEVATION
1/4" = 1'-0" (22x34 PRINT SIZE)
1/8" = 1'-0" (11x17 PRINT SIZE)