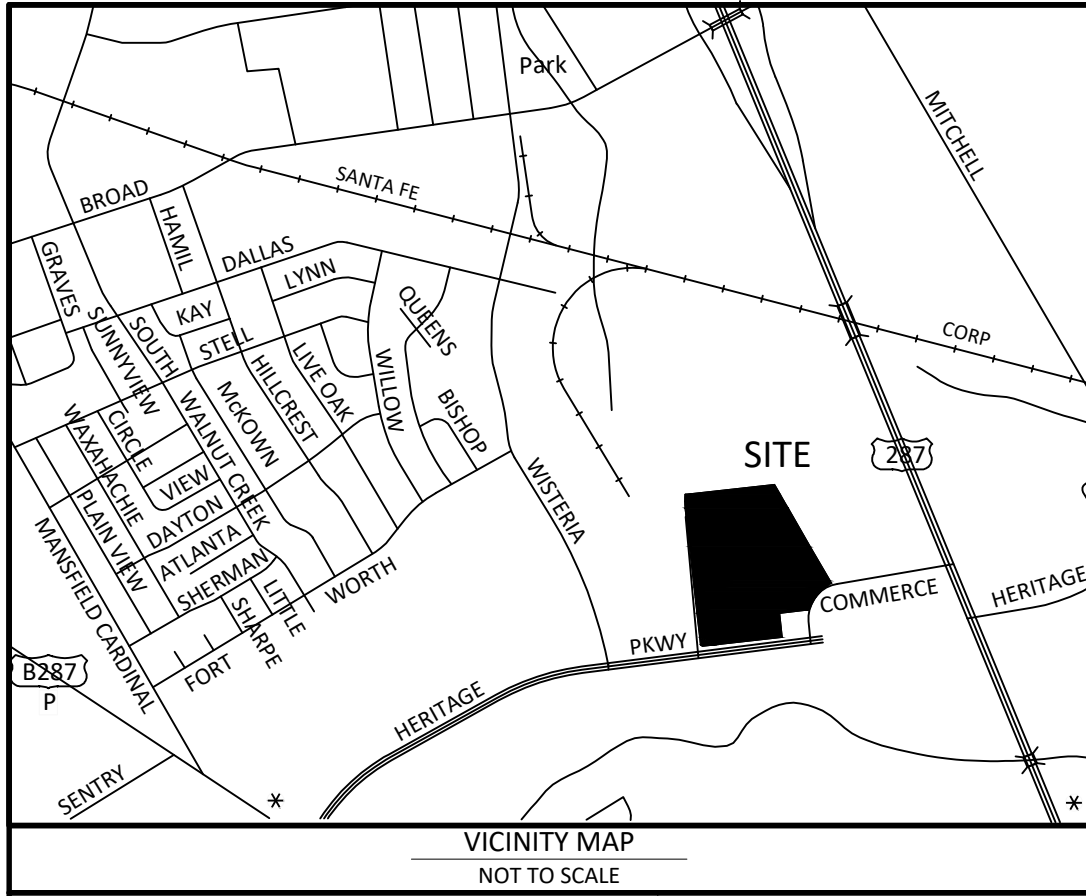




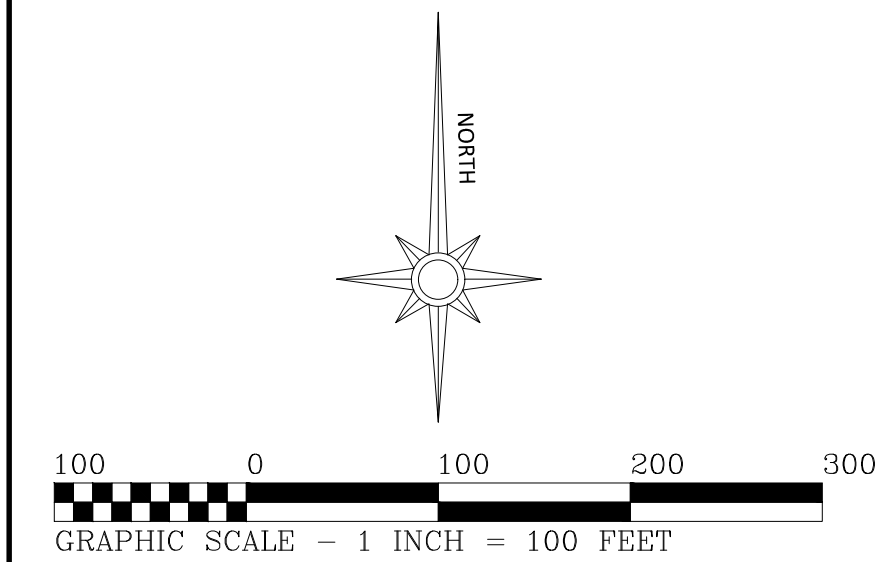
CONDITIONS OF ACCEPTANCE OF DRAINAGE AND FLOODWAY EASEMENTS

THIS PLAT IS PROPOSED BY THE OWNERS OF PROPERTIES DESCRIBED HEREIN (HEREINAFTER REFERRED TO AS "PROPERTY OWNERS") AND IS APPROVED BY THE CITY OF MANSFIELD SUBJECT TO THE FOLLOWING CONDITIONS WHICH SHALL BE BINDING UPON THE PROPERTY OWNERS, HIS HEIRS, GRANTEES, SUCCESSORS AND ASSIGNS.

NO OBSTRUCTION TO THE FLOW OF STORM WATER RUN-OFF SHALL BE PERMITTED BY FILLING OR BY CONSTRUCTION OF ANY TYPE OF DAM, BUILDING, BRIDGE, FENCE, OR ANY OTHER STRUCTURE WITHIN THE DRAINAGE EASEMENT SHOWN HEREIN ON THIS PLAT, UNLESS APPROVED BY THE CITY OF MANSFIELD. PROVIDED, HOWEVER, IT IS UNDERSTOOD THAT IN THE EVENT IT BECOMES NECESSARY FOR THE CITY OF MANSFIELD TO ERECT DRAINAGE FACILITIES IN ORDER TO IMPROVE THE STORM DRAINAGE THAT MAY BE OCCASIONED BY THE STREETS AND ALLEYS IN OR ADJACENT TO THE SUBDIVISION, THEN IN SUCH EVENT, THE CITY OF MANSFIELD SHALL HAVE THE RIGHT TO ENTER SAID DRAINAGE EASEMENT AT ANY POINT OR POINTS TO ERECT, CONSTRUCT AND MAINTAIN ANY FACILITY DEEMED NECESSARY FOR DRAINAGE PURPOSES.

THE PROPERTY OWNERS WILL BE RESPONSIBLE FOR MAINTAINING SAID DRAINAGE EASEMENT. THE PROPERTY OWNERS SHALL KEEP SAID DRAINAGE EASEMENT CLEAN AND FREE OF DEBRIS, SILT, HIGH WEEDS, AND ANY SUBSTANCE WHICH WOULD RESULT IN UNSANITARY OR UNDESIRABLE CONDITIONS. THE PROPERTY OWNERS SHALL BE RESPONSIBLE FOR RECOMMENDED OR REQUIRED MAINTENANCE OF ANY PRIVATE STORM WATER FACILITY LOCATED ON THE PROPERTY IN PROPER FUNCTIONING CAPACITY. THE CITY OF MANSFIELD SHALL HAVE THE RIGHT OF INGRESS AND EGRESS FOR THE PURPOSE OF INSPECTING AND SUPERVISING MAINTENANCE WORK DONE BY THE PROPERTY OWNERS. IF AT ANY TIME THE PROPERTY OWNERS FAIL TO SATISFY ANY OF THEIR FOREMENTIONED RESPONSIBILITIES OR OBLIGATIONS, THE CITY OF MANSFIELD, UPON TEN (10) DAYS PRIOR NOTICE TO THE OWNERS, MAY ENTER SAID DRAINAGE EASEMENT AT ANY POINT OR POINTS TO PERFORM MAINTENANCE OR CLEAN-UP, AND BILL THE PROPERTY OWNERS THE COST INCURRED, OR PLACE A LIEN ON SAID PROPERTIES IF THE BILL IS NOT PAID WITHIN THIRTY (30) DAYS OF ITS MAILING.

SAID DRAINAGE EASEMENT, AS IN THE CASE OF ALL DRAINAGE EASEMENTS, IS SUBJECT TO STORM WATER OVERFLOW AND EROSION TO AN EXTENT WHICH CANNOT BE SPECIFICALLY DEFINED. THE CITY OF MANSFIELD SHALL NOT BE HELD LIABLE FOR ANY DAMAGES RESULTING FROM THE OCCURRENCE OF THESE NATURAL PHENOMENA OR THE FAILURE OF ANY FACILITIES WITHIN SAID DRAINAGE EASEMENT. FURTHER, THE CITY OF MANSFIELD WILL NOT BE RESPONSIBLE FOR EROSION CONTROL OR ANY DAMAGE TO PRIVATE PROPERTIES OR PERSONS RESULTING FROM THE FLOW OF WATER WITHIN SAID DRAINAGE EASEMENT AND PROPERTIES.



AFTER RECORDING RETURN TO:

CITY OF MANSFIELD
1200 E. BROAD STREET
MANSFIELD, TX 76063

PURPOSED NOTE:

THE PURPOSE OF THIS PLAT IS TO CREATE TWO LOTS.

FLOOD NOTE:

EXCEPT AS SHOWN, ALL OF THIS PROPERTY LIES WITHIN A 100-YEAR FLOOD HAZARD ZONE. ACCORDING TO THE NATIONAL FLOOD INSURANCE PROGRAM'S FLOOD INSURANCE RATE MAP FOR TARRANT COUNTY, TEXAS, AND INCORPORATED AREAS, COMMUNITY-PANEL NUMBER 48439C0490 K, MAP REVISED SEPTEMBER 25, 2009.

NOTE:

SELLING A PORTION OF ANY LOT IN THIS ADDITION BY METES AND BOUNDS IS A VIOLATION OF STATE LAW AND CITY ORDINANCE AND IS SUBJECT TO PENALTIES IMPOSED BY LAW.

BEARING BASE:
THE BEARINGS SHOWN HEREON ARE BASED ON THE STATE PLANE COORDINATE SYSTEM, TEXAS NORTH CENTRAL ZONE 4202, NORTH AMERICAN DATUM OF 1983, REALIZATION OF 2011, NO SCALE AND NO PROJECTION

OWNER:
CITY OF MANSFIELD
1200 E BROAD STREET
MANSFIELD, TEXAS 76063

SURVEYOR:

BRITTAIN & CRAWFORD
LAND SURVEYING &
TOPOGRAPHIC MAPPING
TEL (817) 926-0211
FAX (817) 926-9347
P.O. BOX 11374 • 3908 SOUTH FREEWAY
FORT WORTH, TEXAS 76110
EMAIL: admin@brittain-crawford.com
WEBSITE: www.brittain-crawford.com
FIRM CERTIFICATION# 1019000

STATE OF TEXAS COUNTY OF TARRANT

WHEREAS, the CITY OF MANSFIELD, acting by and through the undersigned, their duly authorized agent, is the sole owner of five tracts of land located in the D. McQUEEN SURVEY, Abstract No. 1025, City of Mansfield, Tarrant County, Texas, including all of Lots 1, 2 & 3, Block A, Hillcrest Business Park, Section One, according to the plats recorded in Cabinet A, Slide 164; and Cabinet A, Slide 919, of the Plat Records of Tarrant County, Texas. Said City of Mansfield ownership is reflected in the deeds recorded in Volume 13536, Page 57, and Instrument No. D213306258, D217285025, and D213260002, of the Deed Records of Tarrant County, Texas. The foregoing tracts of land contain a total of 26.512 acres of land, and being more particularly described as follows:

LEGAL DESCRIPTION

BEING 26.512 acres of land located in the D. McQUEEN SURVEY, Abstract No. 1025, City of Mansfield, Tarrant County, Texas, and containing all of Lots 1, 2 & 3, Block A, Hillcrest Business Park, Section One, an addition to the City of Mansfield, Tarrant County, Texas, according to the plats recorded in Cabinet A, Slide 164, and Cabinet A, Slide 919, of the Plat Records of Tarrant County, Texas, and all of the tract of land conveyed to the City of Mansfield, by the deed recorded in Instrument No. D217285025, of the Deed Records of Tarrant County, Texas, and a portion of the tract of land conveyed to the City of Mansfield, by the deed recorded in County Clerk's File No. D213260002, of the Deed Records of Tarrant County, Texas. Said 26.512 acres of land being more particularly described by metes and bounds as follows:

BEGINNING at a 1/2" iron rod found at the most Westerly Southwest corner of aforesaid Lot 1, Block A, Hillcrest Business Park, Section One, being the intersection of the North right-of-way line of said Justice Lane and the West boundary line of said East right-of-way line of Justice Lane (a 60 foot wide public right-of-way);

THENCE N 06° 22' 11" W 1133.39 feet, along the East right-of-way line of said Justice Lane and the West boundary line of said Lots 1, 2 and 3, Hillcrest Business Park, Section One, to a 1/2" iron rod found at the Northwest corner of said Lot 3;

THENCE S 83° 36' 50" W 60.00 feet, crossing the North terminus of the right-of-way of said Justice Lane, to a 1/2" iron rod found in the West right-of-way line of said Justice Lane, lying in the East boundary line of Lot 1, Block B, of aforesaid Hillcrest Business Park, Section One, recorded in Cabinet A, Slide 1088, of the Plat Records of Tarrant County, Texas;

THENCE NORTHERLY 113.01 feet, along the East boundary line of said Lot 1, Block B, with a curve to the right, having a radius of 680.00 feet, a central angle of 09° 31' 20", and a chord bearing N 01° 39' 48" W 112.88 feet, to a 1/2" iron rod marked "Brittain & Crawford" set;

THENCE N 83° 36' 50" E 805.69 feet, crossing the aforesaid tract of land conveyed to the City of Mansfield, by the deed recorded in Instrument No. D213260002, of the Deed Records of Tarrant County, Texas, to a 1/2" iron rod marked "Brittain & Crawford" set;

THENCE S 29° 55' 38" E 595.47 feet, along the Northeast boundary line of aforesaid Lot 3, Block A, Hillcrest Business Park, Section One, to a 1/2" iron rod found at the Southeast corner of said Lot 3, lying at the Northeast corner of the tract of land conveyed to the City of Mansfield, by the deed recorded in Instrument No. D217285025, of the Deed Records of Tarrant County, Texas;

THENCE along the Northeast boundary line of said City of Mansfield Tract, as follows:

- S 30° 02' 44" E 323.14 feet, to a 1/2" iron rod found;
- S 28° 18' 29" E 23.16 feet, to a 1/2" iron rod found in the North right-of-way line of Commerce Drive (a 70 foot wide public right-of-way);

THENCE SOUTHWESTERLY 291.82 feet, along the Northwest right-of-way line of said Commerce Drive, with a curve to the left, having a radius of 410.00 feet, a central angle of 40° 46' 51", and a chord bearing S 39° 38' 50" W 285.70 feet, to a 1/2" iron rod found at the Southeast corner of aforesaid City of Mansfield Tract, recorded in Instrument No. D217285025, of the Deed Records of Tarrant County, Texas, also being the Northeast corner of the tract of land conveyed to Bobby Davis, by the deed recorded in Instrument No. D207098336, of the Deed Records of Tarrant County, Texas;

THENCE S 83° 36' 54" W 247.94 feet, along the North boundary line of said Davis Tract, to a 1/2" iron rod found at the Northwest corner of said Davis Tract, lying in the East boundary line of aforesaid Lot 1, Block A, Hillcrest Business Park, Section One;

THENCE S 06° 22' 13" E 199.42 feet, along the East boundary line of said Lot 1, Block A, to a 1/2" iron rod marked "Brittain & Crawford" set at the Southeast corner of said Lot 1, lying in the North right-of-way line of aforesaid Heritage Parkway;

THENCE along the South boundary line of said Lot 1, Block A, Hillcrest Business Park, Section One and the North right-of-way line of said Heritage Parkway, as follows:

- S 83° 38' 03" W 662.85 feet, to a 1/2" iron rod marked "Brittain & Crawford" set;
- N 51° 21' 57" W 21.21 feet, to the POINT OF BEGINNING containing 26.512 acres of land.

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

THAT, the CITY OF MANSFIELD, being the sole owner of the above described parcel, acting by and through the undersigned, its duly authorized agent, does hereby add to the herein above described property as **LOTS 1R & 2R, BLOCK 1, MANSFIELD POLICE STATION**, an addition to the City of Mansfield, Tarrant County, Texas, and does dedicate to the public use the streets and easements as shown thereon.

WITNESS MY HAND at Mansfield, Tarrant County, Texas, this ____ day of _____, 2023.

CITY OF MANSFIELD

By:
Title:

STATE OF TEXAS
COUNTY OF TARRANT

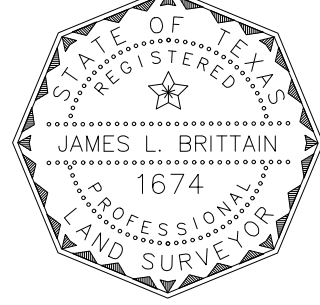
BEFORE ME, the undersigned, a Notary Public in and for said County and State, on this day personally appeared _____ known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and consideration therein expressed, and in the capacity therein stated.

Given under my hand and seal of office this ____ day of _____, 2023.

Notary Public in and for the State of Texas

STATE OF TEXAS
COUNTY OF TARRANT

THIS is to certify that I, JAMES L. BRITTAIN, a Registered Professional Land Surveyor of the State of Texas, having platted the above subdivision from an actual survey on the ground, and that all lot corners, and angle points, and points of curve shall be properly marked on the ground, and that this plat correctly represents that survey made by me or under my direction or supervision.



REPLAT

LOT 1R AND 2R, BLOCK 1 MANSFIELD POLICE STATION

BEING A REVISION OF LOT 1, BLOCK A, HILLCREST BUSINESS PARK ACCORDING TO THE PLAT FILED IN CABINET A, SLIDE 164, P.R.T.C.T. AND BEING A REVISION OF LOT 2 AND 3, BLOCK A, HILLCREST BUSINESS PARK, ACCORDING TO THE PLAT FILED IN CABINET A, SLIDE 919 AND 6.092 ACRES IN THE D. McQUEEN SURVEY, ABSTRACT No. 1025, MANSFIELD, TARRANT COUNTY, TEXAS.

2 LOTS, 26.512 ACRES

PREPARED: JULY 2022

SD#22-046

(CHAD) ...Projects\Su\MANSFIELD\MAIN JAIL 2021\MAN JAIL PLAT.dwg

SIN FIN #885

Course	Bearing	Distance	Curve	Radius	Length	Delta	Chord	Chord Bear.
L1	N 83°37'19" E	83.39'	C1	30.00'	19.34'	36°56'44"	19.01'	S 77°54'19" E
L2	S 06°22'41" E	24.00'	C2	30.00'	47.12'	90°00'00"	42.43'	N 38°37'19" E
L3	S 20°24'43" E	25.60'	C3	54.00'	84.82'	90°00'00"	76.37'	N 38°37'19" E
L4	S 06°22'33" E	42.50'	C4	10.00'	15.71'	90°00'00"	14.14'	S 38°37'19" W
L5	N 06°22'33" W	14.20'	C5	54.00'	80.85'	85°47'15"	73.51'	S 38°30'56" W
L6	S 06°22'41" E	14.18'	C6	30.00'	44.92'	85°47'02"	40.84'	S 36°31'03" W
L7	N 06°22'41" W	8.18'	C7	30.00'	7.35'	14°02'10"	7.33'	S 13°23'38" E
L8	N 06°22'36" W	55.49'	C8	30.00'	7.35'	14°02'10"	7.33'	S 13°23'38" E
L9	N 14°13'22" E	23.21'	C9	20.00'	11.18'	32°01'15"	11.03'	S 22°23'10" E
L10	N 06°22'28" W	48.43'	C10	20.00'	11.17'	32°00'02"	11.03'	N 09°37'28" E
L11	S 54°38'01" W	17.50'	C11	20.00'	31.42'	90°00'09"	28.28'	N 51°22'37" W
L12	S 83°37'19" W	75.73'	C12	20.00'	31.42'	90°00'00"	28.28'	S 38°37'19" W
L13	N 04°28'08" E	58.16'	C13	20.15'	11.08'	31°30'39"	10.94'	S 22°19'54" E
L14	S 82°57'43" W	42.17'	C14	20.15'	11.08'	31°29'41"	10.94'	N 09°33'43" E
L15	S 04°33'44" W	45.57'	C15	50.00'	78.54'	90°00'00"	70.71'	N 38°37'19" E
L16	N 83°34'43" E	28.35'	C16	25.00'	39.27'	89°59'51"	35.35'	N 38°37'23" E
L17	N 83°37'19" E	144.15'	C17	30.00'	10.79'	20°35'54"	10.73'	N 03°55'25" E
L18	N 06°22'41" W	18.65'	C18	29.37'	10.79'	21°02'43"	10.73'	N 03°55'20" E
L19	N 66°22'41" W	73.49'	C19	30.00'	47.17'	90°04'46"	42.46'	N 51°24'56" W
L20	N 83°37'19" E	10.00'	C20	30.00'	15.18'	28°59'18"	15.02'	S 69°07'40" W
L21	S 06°22'41" E	73.49'	C21	30.00'	15.18'	28°59'18"	15.02'	S 69°07'40" W
L22	S 06°22'41" E	27.35'	C22	30.00'	19.24'	36°45'05"	18.91'	S 65°14'59" W
L23	N 83°37'19" E	5.06'	C23	30.00'	47.12'	89°59'57"	42.43'	N 51°22'40" W
L24	S 06°22'41" E	26.00'	C24	30.00'	47.12'	90°00'00"	42.43'	N 38°37'19" E
L25	S 83°37'19" W	20.00'	C25	30.00'	47.12'	89°59'57"	42.43'	S 51°22'41" E
L26	N 06°22'41" W	24.70'	C26	30.01'	47.63'	90°56'10"	42.78'	S 38°08'53" W
L27	S 83°37'19" W	149.21'	C27	30.00'	19.31'	36°52'12"	18.97'	N 77°56'36" W
L28	N 83°37'19" E	15.42'	C28	70.25'	40.55'	33°04'33"	39.99'	N 79°50'59" W
L29	N 02°57'44" W	55.24'	C29	36.45'	46.46'	73°01'30"	43.38'	N 26°47'57" W
L30	N 09°10'19" E	22.25'	C30	131.31'	77.34'	33°44'51"	76.23'	N 07°09'38" W
L31	S 68°54'19" E	18.62'	C31	85.85'	25.17'	16°47'56"	25.08'	N 15°38'06" W
L32	N 79°05'02" E	82.18'	C32	24.56'	38.86'	90°39'45"	34.93'	N 38°11'32" E
L33	S 02°57'44" E	46.85'	C33	11.50'	16.54'	82°22'25"	15.15'	S 55°13'37" E
			C34	58.27'	27.01'	26°33'33"	26.77'	S 01°49'35" E
			C35	83.47'	26.11'	17°55'11"	26.00'	S 02°29'36" W
			C36	28.29'	46.91'	95°01'06"	41.72'	S 55°32'02" E
			C37	49.53'	42.39'	49°01'41"	41.10'	S 78°11'58" E
			C38	42.62'	103.99'	139°46'40"	80.05'	S 14°07'35" W
			C39	5.00'	5.24'	60°00'00"	5.00'	N 36°22'41" W
			C40	15.00'	15.71'	60°00'00"	15.00'	S 36°22'41" E
			C41	31.12'	30.87'	56°50'07"	29.62'	N 32°03'24" W
			C42	2.00'	4.20'	120°16'00"	3.47'	N 50°57'41" E
			C43	10.00'	5.44'	31°10'32"	5.37'	S 84°29'35" E
			C44	20.00'	27.17'	77°49'56"	25.13'	S 61°26'51" E
			C45	20.00'	32.82'	90°00'53"	29.26'	S 24°28'33" W
			C46	31.12'	11.50'	21°10'35"	11.44'	S 79°36'36" W

APPROVED BY THE CITY OF MANSFIELD

APPROVED BY: _____
20 _____
P & Z COMMISSION CHAIRMAN

ATTEST: _____
20 _____
PLANNING & ZONING SECRETARY