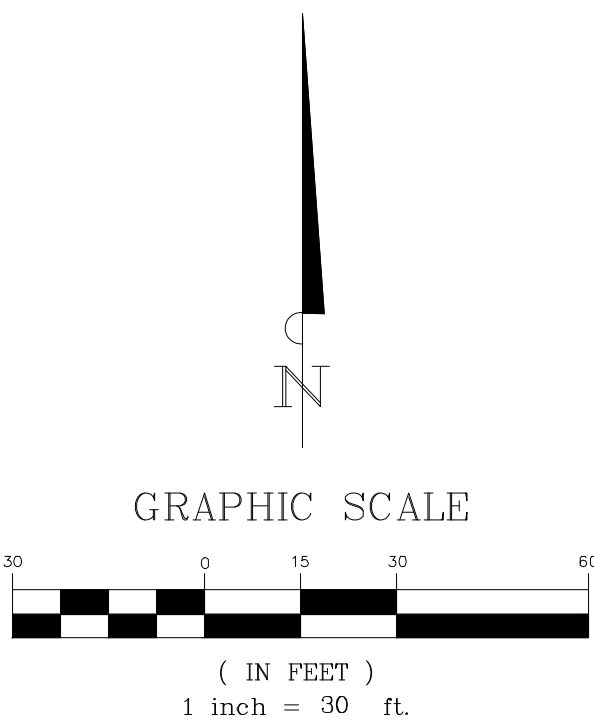


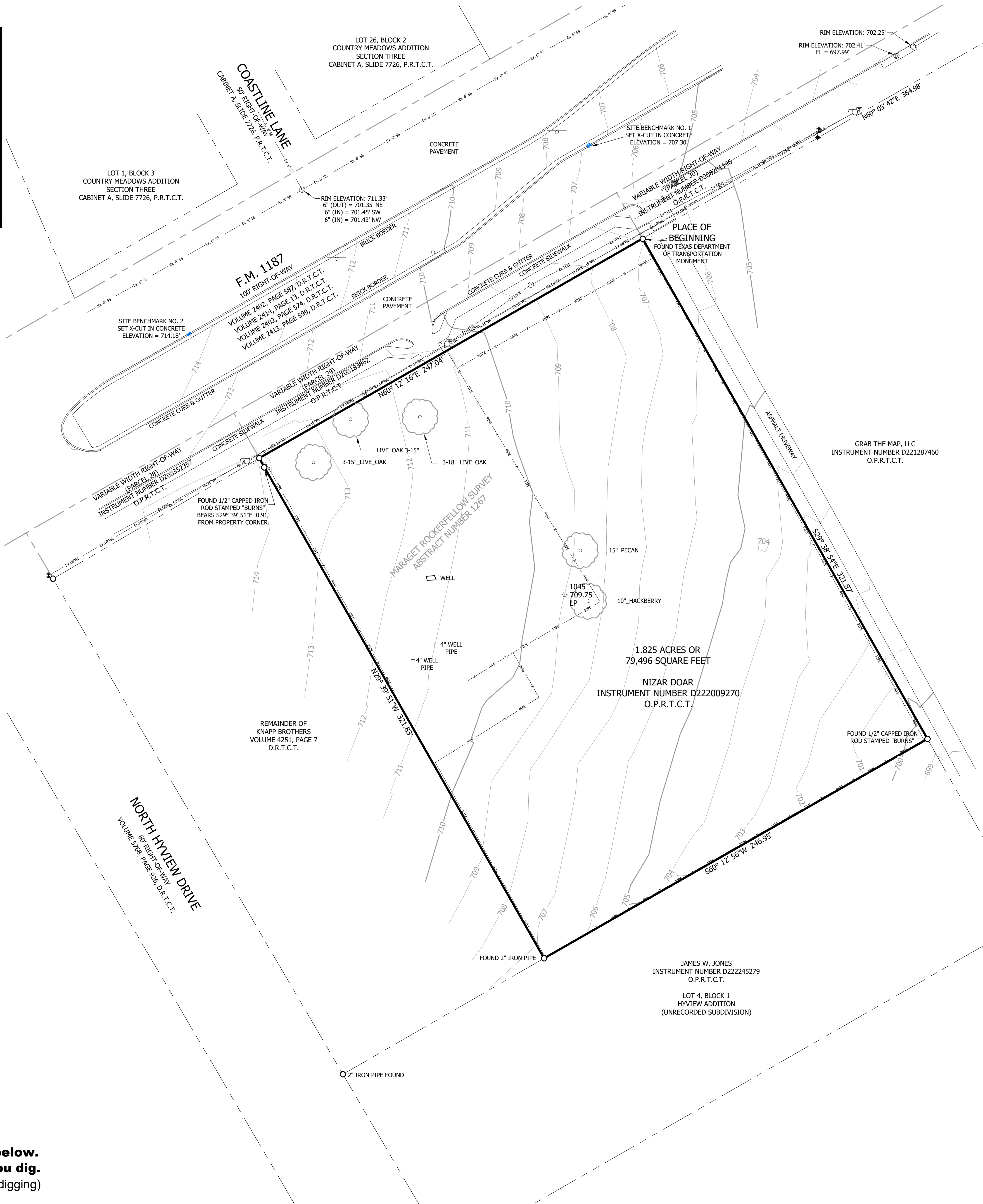
VICINITY MAP  
NOT TO SCALE  
MANSFIELD, TEXAS



LEGEND	
O.P.R.T.C.T.	OFFICIAL PUBLIC RECORDS TARRANT COUNTY, TEXAS
D.R.T.C.T.	DEED RECORDS TARRANT COUNTY, TEXAS
P.R.T.C.T.	PLAT RECORDS TARRANT COUNTY, TEXAS
#	PARKING COUNT
⊗	GREASE TRAP
⊗	AIR CONDITIONER UNIT
⊗	UTILITY PIN FLAG
⊗	GAS MANHOLE
⊗	GAS MARKER
⊗	GAS METER
⊗	TRANSFORMER
⊗	ELECTRIC METER
⊗	TELEPHONE RISER
⊗	MAIL BOX
⊗	SIGN
⊗	ELECTRIC RISER
⊗	POWER POLE
⊗	LIGHT
⊗	SANITARY SEWER MANHOLE
⊗	CLEAN-OUT
⊗	FIRE HYDRANT
⊗	WATER VALVE
⊗	WATER METER
⊗	WATER MANHOLE
⊗	FIRE WATER CONNECTION
⊗	IRRIGATION CONTROL VALVE
⊗	TRAFFIC SIGNAL
⊗	BOLLARD
⊗	GRATE INLET
⊗	STORM MANHOLE
N	NORTH/NORTHING
S	SOUTH
E	EAST/EASTING
W	WEST
°	DEGREES
'	MINUTES/FEET
"	SECONDS/INCHES
FEMA ZONE	
~500'	FEMA BASE FLOOD ELEVATION
#	TITLE COMMITMENT ITEM
-EX_GAS-	GAS LINE
-EX_WL-	WATER LINE
-EX_SS-	SEWER LINE
-EX_SD-	STORM DRAIN LINE
-EX_OHE-	OVERHEAD UTILITY
-EX_TEL-	UNDERGROUND TELEPHONE
-EX_UGE-	BURIED ELECTRIC
-EX_CATV-	BURIED CABLE LINE
-EX_FOC-	BURIED FIBER OPTIC
-GDRL-	GUARD RAIL
-CHLK-	CHAIN LINK FENCE
-WIRE-	WIRE FENCE
-WOOD-	WOOD FENCE
-METAL-	METAL FENCE
-IRON-	IRON FENCE
-PIPE-	PIPE RAIL FENCE
-SILT-	SILT FENCE
-	GUY WIRE



Know what's below.  
Call before you dig.  
(@ least 48 hours prior to digging)



#### LEGAL LAND DESCRIPTION:

BEING 1.825 acres (79,496 square feet) out of the Margaret Rockerfellow Survey, Abstract No. 1267, City of Mansfield, Tarrant County, Texas; said 1.825 acres (79,496 square feet) of land being all of that certain tract of land described in a General Warranty Deed to Nizar Doar (hereinafter referred to as Doar tract), as recorded in Instrument Number D222009270, Official Public Records, Tarrant County, Texas (O.P.R.T.C.T.); said 1.825 acres (79,496 square feet) of land being more particularly described, by metes and bounds, as follows:

**BEGINNING** at a Texas Department of Transportation monument for the Northeastly corner of said Doar tract, same being the Northwestly corner of that certain tract of land described in a Warranty Deed with Vendor's Lien to Grab the Map, LLC (hereinafter referred to as Grab the Map tract), as recorded in Instrument Number D221287460, O.P.R.T.C.T., same also being the existing Southeastly right-of-way line of F.M. 1187 (variable width right-of-way), as recorded in Instrument Number D208183862, O.P.R.T.C.T.;

**THENCE** South 29 degrees 38 minutes 54 seconds East, departing the existing Southeastly right-of-way line of said F.M. 1187, with the common line between said Doar tract and said Grab the Map tract, a distance of 321.87 feet to a one-half inch iron rod with plastic cap stamped "BURNS" found for the Southeastly corner of said Doar tract, same being the Northeastly corner of that certain tract of land described in a Warranty Deed with Vendor's Lien to James W. Jones (hereinafter referred to as Jones tract), as recorded in Instrument Number D22245279, O.P.R.T.C.T.;

**THENCE** South 60 degrees 12 minutes 56 seconds West, departing the Southwestly line of said Grab the Map tract, with the common line between said Doar tract and said Jones tract, a distance of 246.95 feet to a two inch pipe found for the Southwestly corner of said Doar tract, same being the Southeastly corner of the remainder of that certain tract of land described in a Warranty Deed with Vendor's Lien to Knapp Brothers (hereinafter referred to as Knapp Brothers tract), as recorded in Volume 4251, Page 7, Deed Records, Tarrant County, Texas;

**THENCE** North 29 degrees 39 minutes 51 seconds West, departing the Northwestly line of said Jones tract, with the common line between said Doar tract and the remainder of said Knapp Brothers tract, a distance of 321.83 feet to a one-half inch iron rod with plastic cap stamped "BURNS" found for the Northwestly corner of said Doar tract, same being the Northeastly corner of said Knapp Brothers tract, same also being the existing Southeastly right-of-way line of said F.M. 1187;

**THENCE** North 60 degrees 12 minutes 16 seconds East with the common line between said Doar tract and the existing Southeastly right-of-way line of said F.M. 1187, a distance of 247.04 feet to the **PLACE OF BEGINNING**, and containing a calculated area of 1.825 acres (79,496 square feet) of land.

#### GENERAL NOTES:

- The tract shown herein and described above was not abstracted by the surveyor. Additional easements or other encumbrances, whether of record or not may affect the subject tract.
- According to surveyor's interpretation of information shown on the National Flood Insurance Program (NFIP) "Flood Insurance Rate Map" (FIRM), Community Panel No. 48439C0460K, dated September 25, 2009. The property appears to lie within Zone "X" and the entire property lies within a "Areas determined to be outside the 0.2% annual chance floodplain" zone as defined by the U.S. Department of Housing and Urban Development, Federal Insurance Administration, or the Federal Emergency Management Agency.
- The above referenced "FIRM" map is for use in administering the "NFIP"; it does not necessarily show all areas subject to flooding, particularly from local sources of small size, which could be flooded by severe, concentrated rainfall coupled with inadequate local drainage systems. There may be other streams, creeks, low areas, drainage systems or other surface or subsurface conditions existing on or near the subject property which are not studied or addressed as a part of the "NFIP".
- The surveyor has made no attempt to locate or define hazardous waste areas, habitats, endangered species or any other environmentally sensitive areas on the tract of land shown hereon; nor does this survey make any representations of being an environmental assessment of the tract of land shown hereon.
- The surveyor has made no attempt to locate or define archeological sites, historical sites or undocumented cemeteries on the tract of land shown hereon; nor does this survey make any representation of being an archeological or historical survey of the tract of land shown hereon.
- The surveyor has made no attempt to locate abandoned or plugged oil and gas wells, or any other wells on the tract of land shown hereon; nor has the surveyor made any attempt to research same with the Railroad Commission of Texas or any other State agency; nor has the surveyor investigated any mineral or royalty interests in the tract of land shown hereon.
- Existing utilities shown hereon are from above ground visible features coupled together with maps and plans provided to the surveyor. The surveyor does not make any representation of being a Quality Level A or B sub-surface utility survey of the tract of land shown hereon. Underground electric, gas and telephone lines shown hereon are from above ground markings associated with "Texas 811" dig request number 2286211201.
- All found monuments shown hereon are deemed to be controlling monuments.
- All bearings shown herein are Texas State Plane Coordinate System, NAD83 (2011), Texas North Central Zone (4202). All distances shown herein are surface distances.
- SOURCE BENCHMARK:** City of Mansfield MON-BC7 monument, being an aluminum disc in concrete monument found on the Northwest side of Newt Patterson Road, 0.6 of a mile Southeast of F.M. 1187 at a 90 degree bend to the right, 14 feet from the right-of-way fence.  
Elevation = 634.405'
- This survey was prepared without the benefit of title encumbrance research.

#### SURVEYORS CERTIFICATE TO:

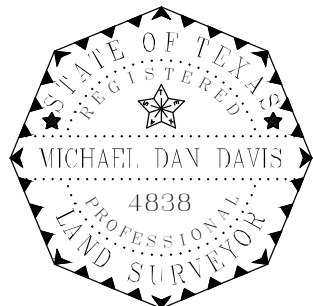
Nizar Doar, and their heirs and assigns:

I, Michael Dan Davis, a Registered Professional Land Surveyor in the State of Texas, do hereby certify that this map or plat and the survey on which it is based were made in accordance with and complies with the current Texas Society of Professional Surveyors Standards and Specifications for a Category 1A, Condition 2 Survey. The field work was completed on December 28, 2022.

**PRELIMINARY**  
January 11, 2023

Michael Dan Davis  
Registered Professional Land Surveyor No. 4838  
BANNISTER ENGINEERING, LLC  
T.B.P.L.S. REGISTRATION NO. 10193823  
240 NORTH MITCHELL ROAD  
MANSFIELD, TEXAS 76063  
Office (817) 842-2094

DATE:



PROJECT:

Address: 1863 F.M. Road 1187  
Being 1.825 acres or (79,496 square feet) out of the  
Margaret Rockerfellow Survey, Abstract No. 1267  
City of Mansfield, Tarrant County, Texas

CATEGORY 1A,  
CONDITION 2  
LAND  
TITLE  
SURVEY

PROJECT NO.:  
385-22-001

SCALE: 1" = 30'

DRAWN BY: sa

CKD BY: md2

SHEET NUMBER

1 OF 1

**BANNISTER**  
ENGINEERING  
240 North Mitchell Road | Mansfield, TX 76063 | 817.842.2094 | 817.842.2095 fax  
TBPLS REGISTRATION NO. 10193823



## EXHIBIT "A"

### LEGAL LAND DESCRIPTION:

BEING 1.825 acres (79,496 square feet) out of the Margaret Rockerfellow Survey, Abstract No. 1267, City of Mansfield, Tarrant County, Texas; said 1.825 acres (79,496 square feet) of land being all of that certain tract of land described in a General Warranty Deed to Nizar Doar (hereinafter referred to as Doar tract), as recorded in Instrument Number D222009270, Official Public Records, Tarrant County, Texas (O.P.R.T.C.T.); said 1.825 acres (79,496 square feet) of land being more particularly described, by metes and bounds, as follows:

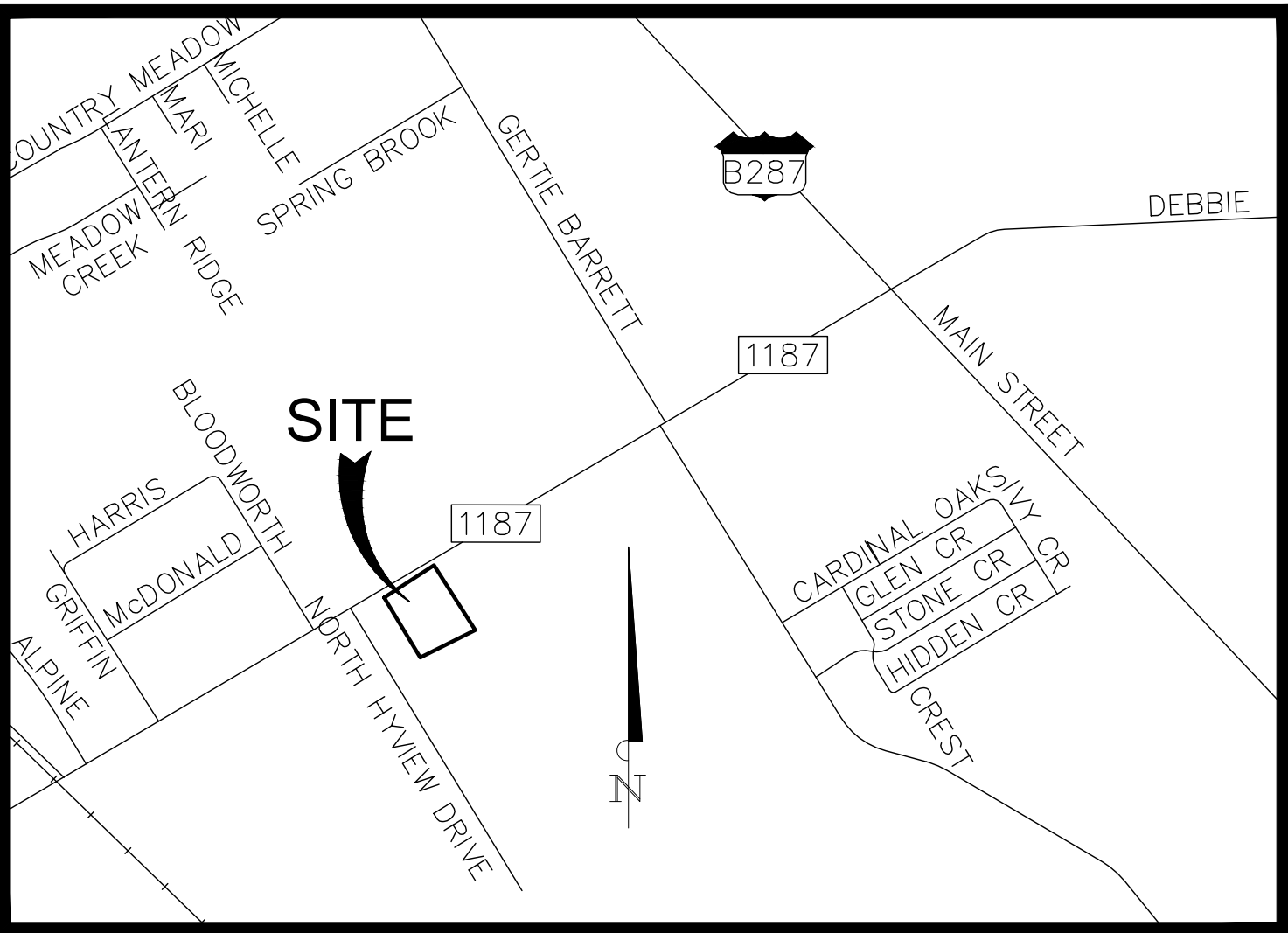
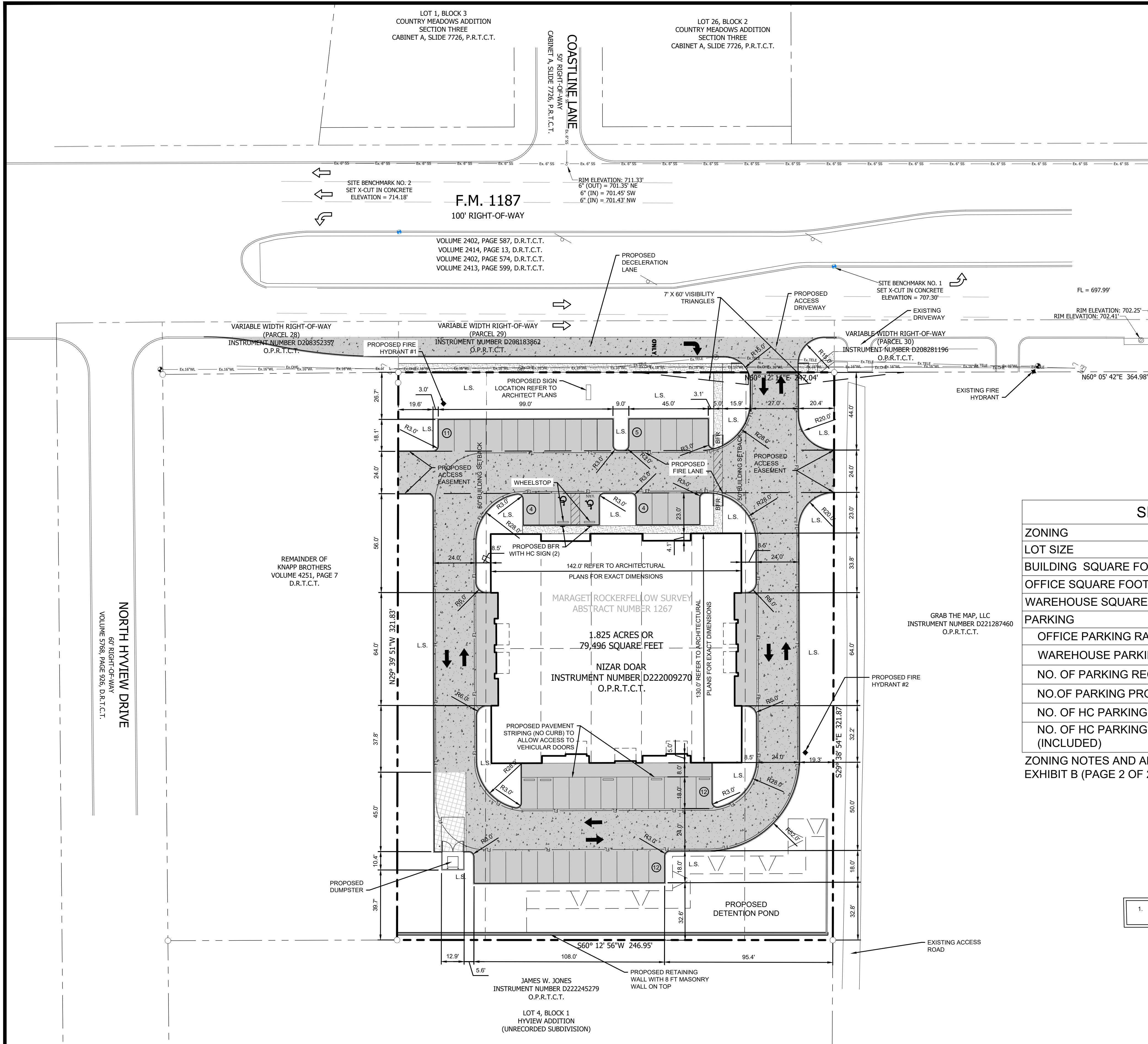
BEGINNING at a Texas Department of Transportation monument for the Northeasterly corner of said Doar tract, same being the Northwesterly corner of that certain tract of land described in a Warranty Deed with Vendor's Lien to Grab the Map, LLC (hereinafter referred to as Grab the Map tract), as recorded in Instrument Number D221287460, O.P.R.T.C.T., same also being the existing Southeasterly right-of-way line of F.M. 1187 (variable width right-of-way), as recorded in Instrument Number D208183862, O.P.R.T.C.T.;

THENCE South 29 degrees 38 minutes 54 seconds East, departing the existing Southeasterly right-of-way line of said F.M. 1187, with the common line between said Doar tract and said Grab the Map tract, a distance of 321.87 feet to a one-half inch iron rod with plastic cap stamped "BURNS" found for the Southeasterly corner of said Doar tract, same being the Northeasterly corner of that certain tract of land described in a Warranty Deed with Vendor's Lien to James W. Jones (hereinafter referred to as Jones tract), as recorded in Instrument Number D222245279, O.P.R.T.C.T.;

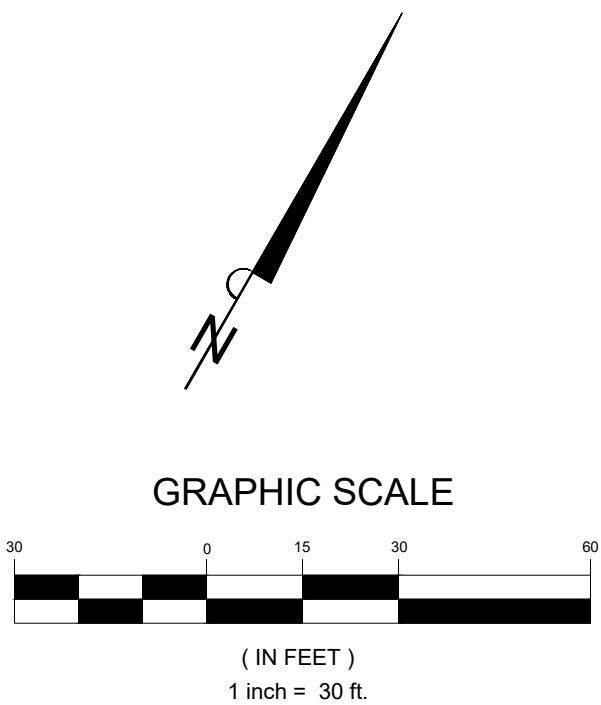
THENCE South 60 degrees 12 minutes 56 seconds West, departing the Southwesterly line of said Grab the Map tract, with the common line between said Doar tract and said Jones tract, a distance of 246.95 feet to a two inch pipe found for the Southwesterly corner of said Doar tract, same being the Southeasterly corner of the remainder of that certain tract of land described in a Warranty Deed with Vendor's Lien to Knapp Brothers (hereinafter referred to as Knapp Brothers tract), as recorded in Volume 4251, Page 7, Deed Records, Tarrant County, Texas;

THENCE North 29 degrees 39 minutes 51 seconds West, departing the Northwesterly line of said Jones tract, with the common line between said Doar tract and the remainder of said Knapp Brothers tract, a distance of 321.83 feet to a one-half inch iron rod with plastic cap stamped "BURNS" found for the Northwesterly corner of said Doar tract, same being the Northeasterly corner of said Knapp Brothers tract, same also being the existing Southeasterly right-of-way line of said F.M. 1187;

THENCE North 60 degrees 12 minutes 16 seconds East with the common line between said Doar tract and the existing Southeasterly right-of-way line of said F.M. 1187, a distance of 247.04 feet to the PLACE OF BEGINNING, and containing a calculated area of 1.825 acres (79,496 square feet) of land.



VICINITY MAP  
NOT TO SCALE  
MANSFIELD, TEXAS



SITE DATA SUMMARY TABLE	
ZONING	PLANNED DEVELOPMENT
LOT SIZE	1.82 ACRES
BUILDING SQUARE FOOTAGE	18,640 S.F.
OFFICE SQUARE FOOTAGE	9,320 S.F. (50%)
WAREHOUSE SQUARE FOOTAGE	9,320 S.F. (50%)
PARKING	
OFFICE PARKING RATIO	1 PER 300 S.F.
WAREHOUSE PARKING RATIO	1 PER 3000 S.F. OF FLOOR AREA
NO. OF PARKING REQUIRED	36 SPACES
NO. OF PARKING PROVIDED	45 SPACES
NO. OF HC PARKING REQUIRED	2 SPACES
NO. OF HC PARKING PROVIDED (INCLUDED)	2 SPACES

ZONING NOTES AND ALLOWABLE COMMERCIAL USES ARE FOUND ON EXHIBIT B (PAGE 2 OF 2)

GENERAL NOTES

1. NO TREES, SIGNS OR ANYTHING OVER 2' IN HEIGHT IS ALLOWED WITHIN THE 7' X 60' VISIBILITY TRIANGLES.

LEGEND

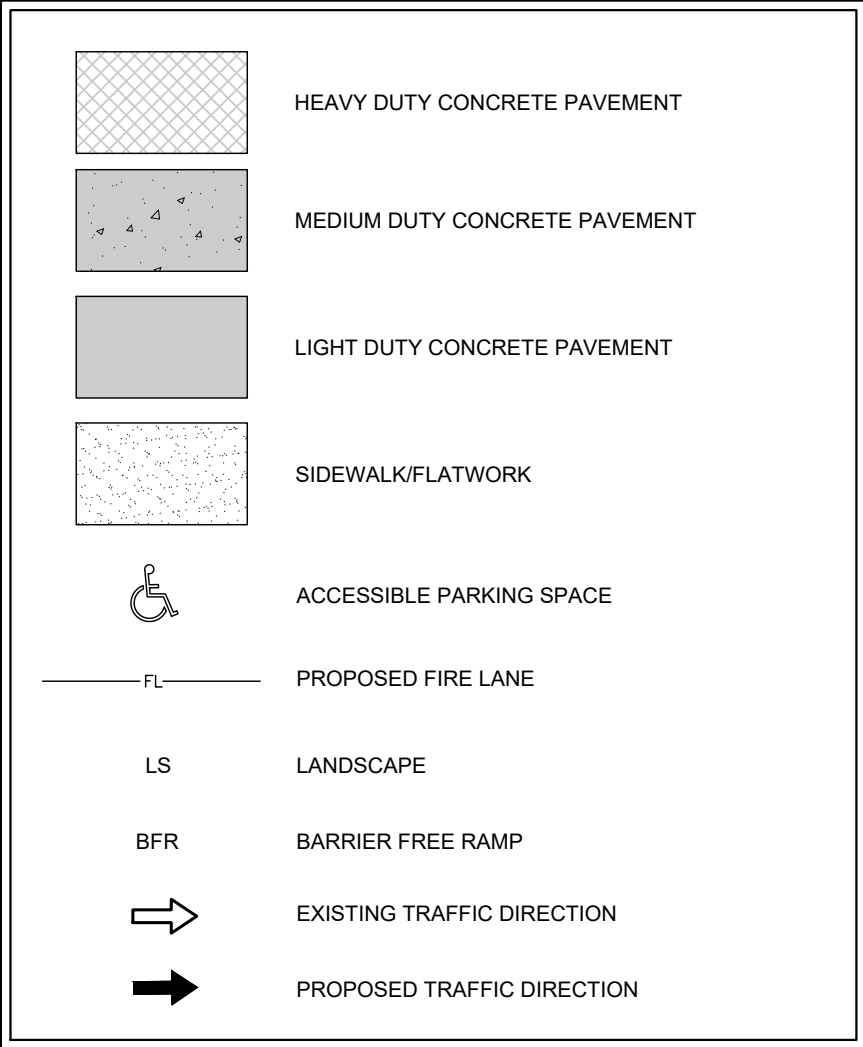


EXHIBIT B (PAGE 1 OF 2)  
DEVELOPMENT PLAN  
DEBBIE LANE  
BUSINESS PARK  
ZC#23-003  
1863 FM 1187  
City of Mansfield  
Tarrant County  
Date Prepared: MAY 25, 2023



CONTACT: HECTOR SOTELO, P.E.  
EMAIL: hsetelo@bannistereng.com

ZONING NOTES

- 1. THE PROPOSED PLANNED DEVELOPMENT FOR A FLEX OFFICE WAREHOUSE FACILITY SHALL INCLUDE ALL RETAIL AND FLEX OFFICE WAREHOUSE USES PERMITTED IN THE EXISTING C-2 ZONING DISTRICT WITH WAREHOUSE TO OFFICE/SHOWROOM AT A MAXIMUM OF 50% WAREHOUSE IN ADDITION TO THE ALLOWABLE USES LISTED HEREIN.
- 2. THE SIDE YARD SETBACK REQUIREMENT OF 52.5' SHALL BE REDUCED TO 50.0'.
- 3. ELEVATIONS ARE PROVIDED ON EXHIBIT C TO SHOW MINIMUM DESIGN STANDARDS ASSOCIATED WITH THE FINAL BUILDING.

ALLOWABLE USES:

- a. RETAIL, PROVIDED THAT THE SPECIFIC USE SHALL BE FURTHER LIMITED TO:
  - i. APPAREL STORE
  - ii. ARTS AND CRAFTS STORE
  - iii. ART GALLERY
  - iv. AUTO PART OR ACCESSORY SALES (INDOOR)
  - v. BAKERY (NO DRIVE-THROUGH FACILITY).
  - vi. BIKE SHOP
  - vii. CAFÉ (NO DRIVE-THROUGH FACILITY)
  - viii. COFFEE SHOP (NO DRIVE-THROUGH FACILITY)
  - ix. CORNER MARKET OR CONVENIENCE GOODS STORE PROVIDED THAT:
    - A MINIMUM OF 40 PERCENT OF ITS RETAIL SALES AND DISPLAY AREA SHALL BE DEDICATED EXCLUSIVELY TO THE SALE OF A GENERAL LINE OF FOOD AND BEVERAGES THAT ARE INTENDED FOR HOME PREPARATION AND CONSUMPTION;
    - A MINIMUM OF 20 PERCENT OF ITS RETAIL SPACE AND DISPLAY AREA SHALL BE DEDICATED EXCLUSIVELY TO THE SALE OF PERISHABLE GOODS INCLUDING DAIRY, FRESH PRODUCE, FRESH MEATS, POULTRY, FISH AND FROZEN FOODS;
    - A MAXIMUM 10 PERCENT OF ITS RETAIL SPACE AND DISPLAY AREA OF THE CORNER MARKET MAY BE DEVOTED TO THE SALE OF ALCOHOL FOR OFF-SITE CONSUMPTION; AND
    - THE RETAIL SALE OF DISCOUNT AND USED MERCHANDISE IS EXPRESSLY PROHIBITED.
  - x. FLORIST
  - xi. FURNITURE SALES (NEW ONLY)
  - xii. GIFT STORE
  - xiii. HARDWARE STORE
  - xiv. HOBBY, TOY OR GAME STORE
  - xv. ICE CREAM PARLOR (NO DRIVE-THROUGH FACILITY)
  - xvi. JEWELRY STORE
  - xvii. PET SUPPLIES STORE
  - xviii. PHARMACY (NO DRIVE-THROUGH FACILITY)
  - xix. RESTAURANT (NO DRIVE-THROUGH FACILITY)
  - xx. MOBILE FOOD VENDOR
- b. PERSONAL SERVICE, PROVIDED THAT THE SPECIFIC USE SHALL BE FURTHER LIMITED TO:
  - i. BARBER
  - ii. DAY SPA
  - iii. DRY CLEANER (NO DRIVE-THROUGH FACILITY)
  - iv. FITNESS STUDIO
  - v. HAIRDRESSER
  - vi. PET GROOMING
  - vii. SALON
  - vii. SHOE REPAIR
  - ix. TAILOR
- c. OFFICE
- d. MEDICAL CLINIC
- e. VETERINARIAN OFFICE (WITHOUT OUTSIDE ANIMAL RUN OR PENS)
- f. MAIL CENTER (MAY BE LOCATED WITHIN OR ADJACENT TO CORNER MARKET OR CONVENIENCE GOODS STORE OR FOOD SERVICE ESTABLISHMENT)
- g. SHOWROOM / OFFICE WAREHOUSE (SHOWROOM OR OFFICE MUST BE A MINIMUM OF 50% OF THE OVERALL BUILDING USE)
- h. STORAGE OR SALES WAREHOUSE (STORAGE OR WAREHOUSE CANNOT EXCEED 50% OF THE OVERALL BUILDING USE)

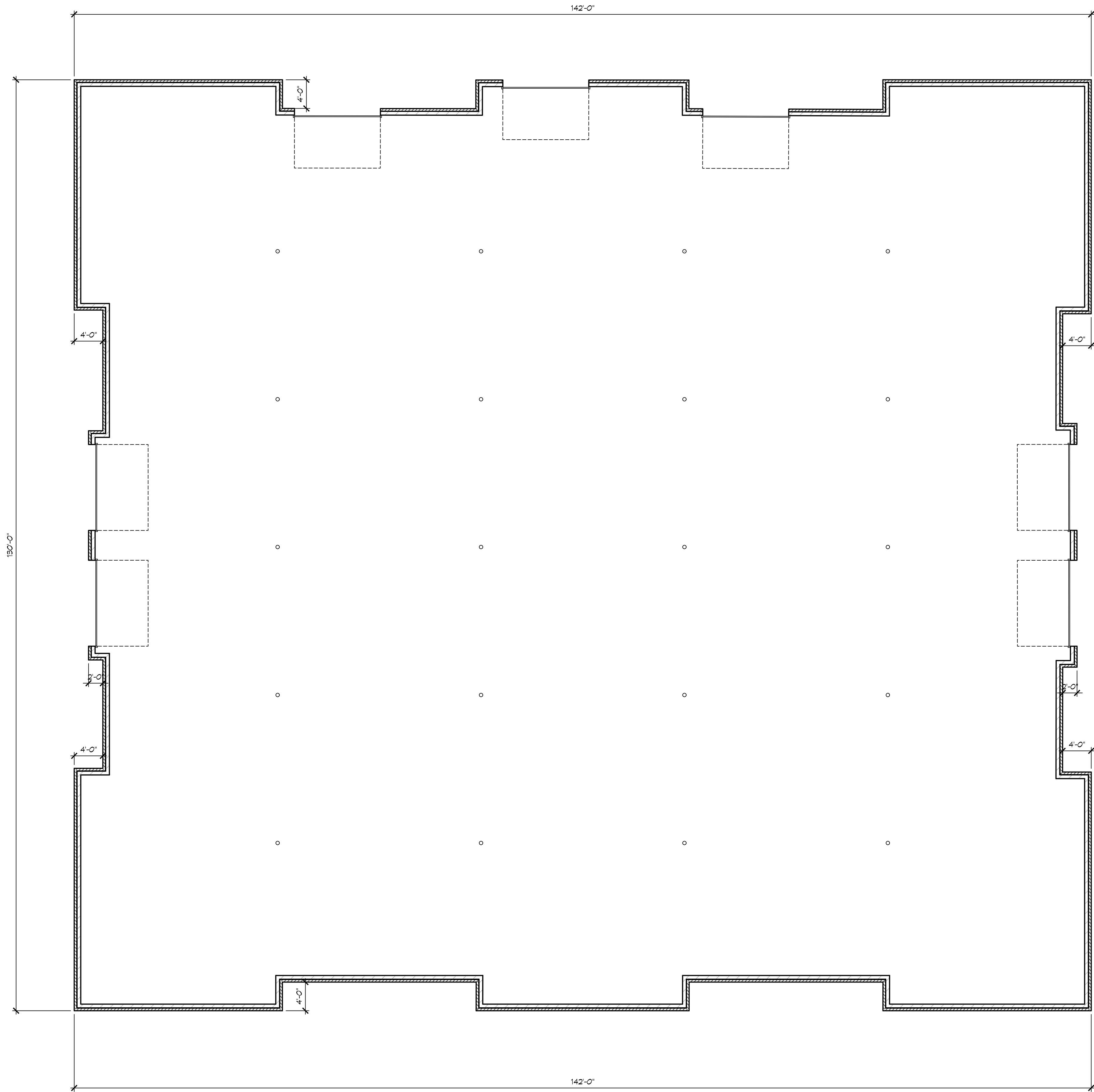


CONTACT: HECTOR SOTELO, P.E.  
EMAIL: hsotelo@bannistereng.com

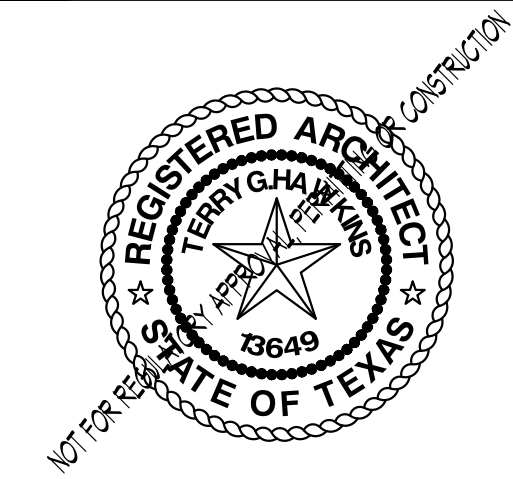
EXHIBIT B (PAGE 2 OF 2)  
DEVELOPMENT PLAN  
DEBBIE LANE  
BUSINESS PARK

ZC#23-003  
1863 FM 1187  
City of Mansfield  
Tarrant County  
Date Prepared: MAY 25, 2023





230460



DEBBIE LANE  
BUSINESS PARK

1863 FM 1187  
LOT ---- BLOCK ----  
----  
MANSFIELD, TEXAS  
----

DATE: 2-6-23 PD1  
2-09-23 PD2  
3-13-23 PD3  
3-21-23 PD4  
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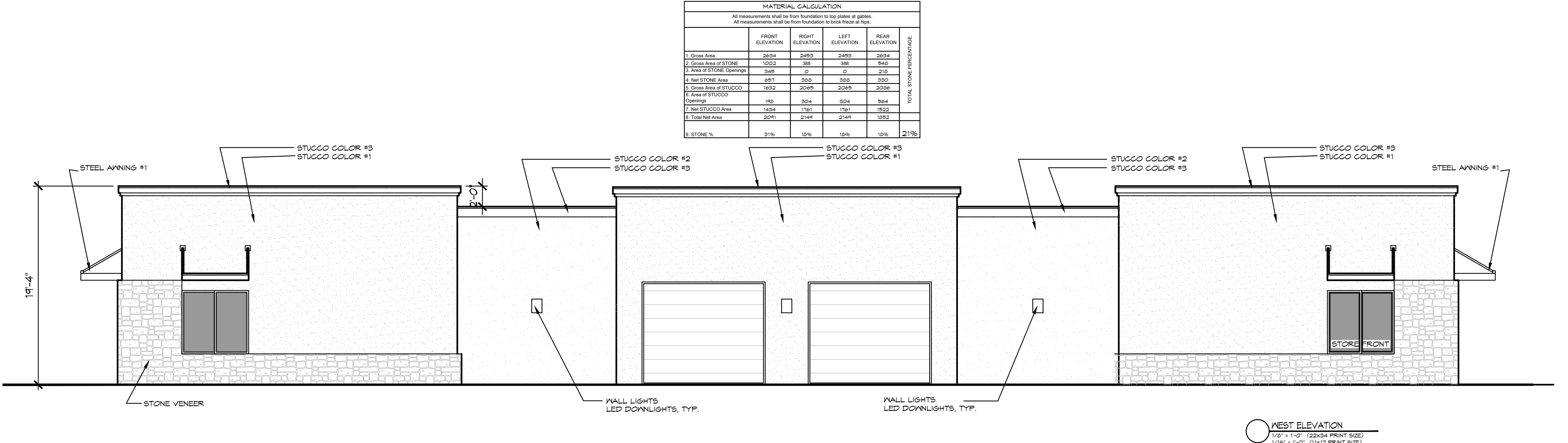
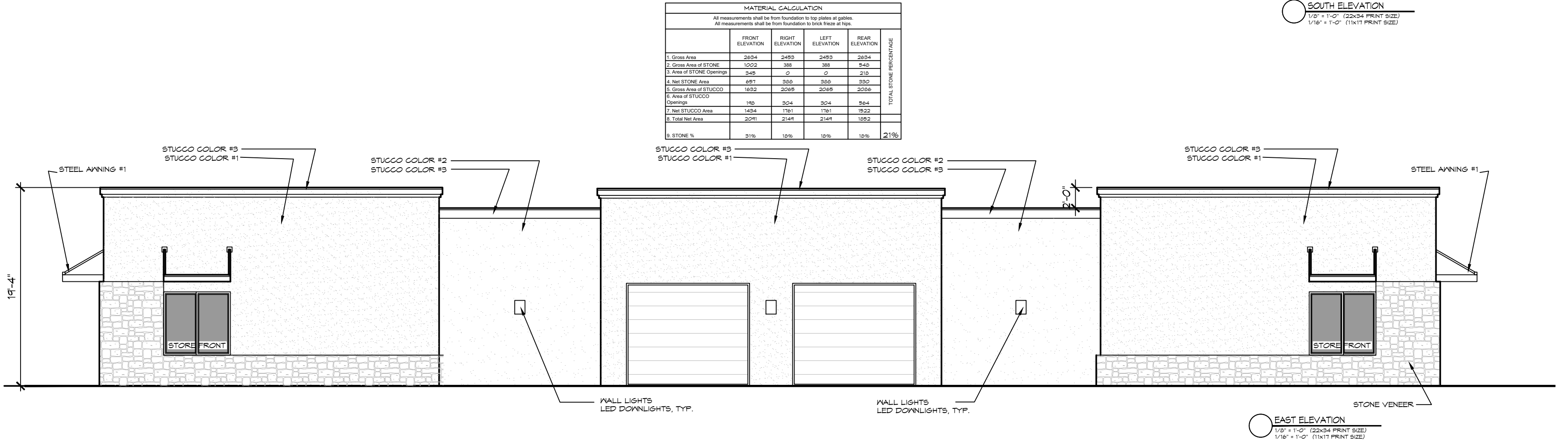
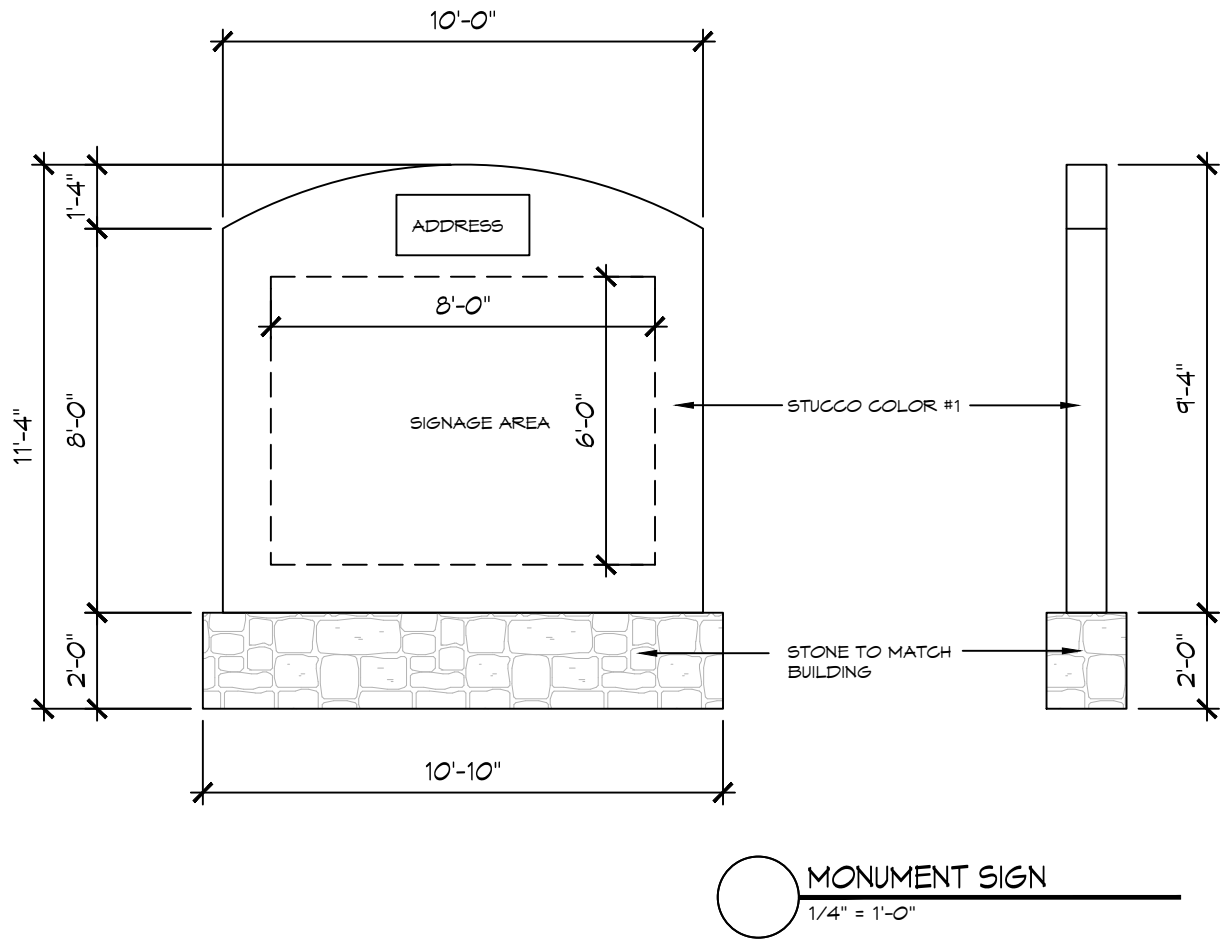
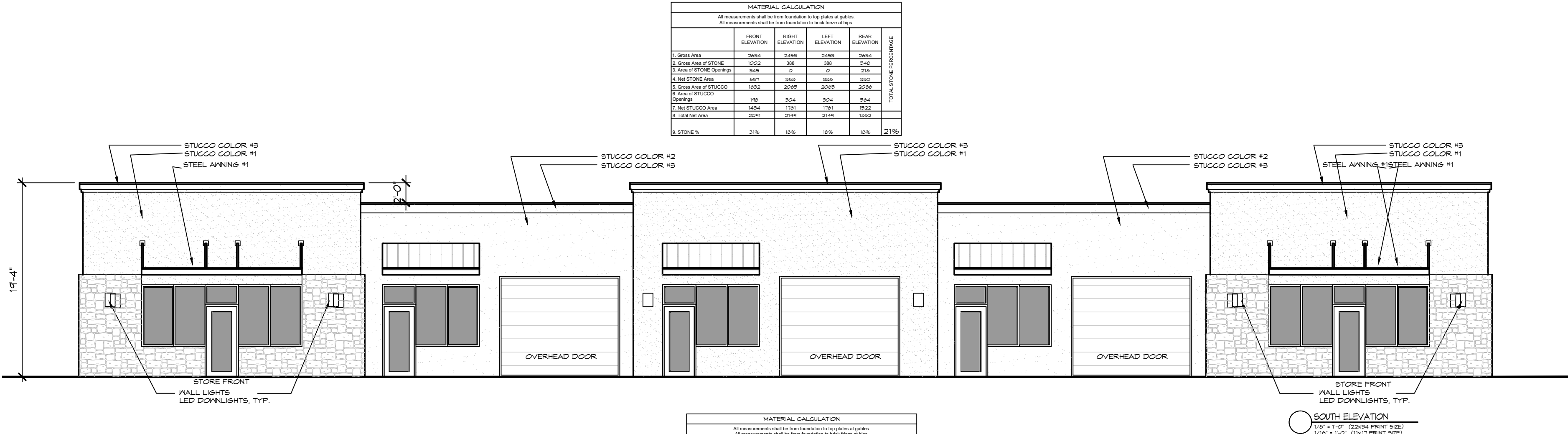
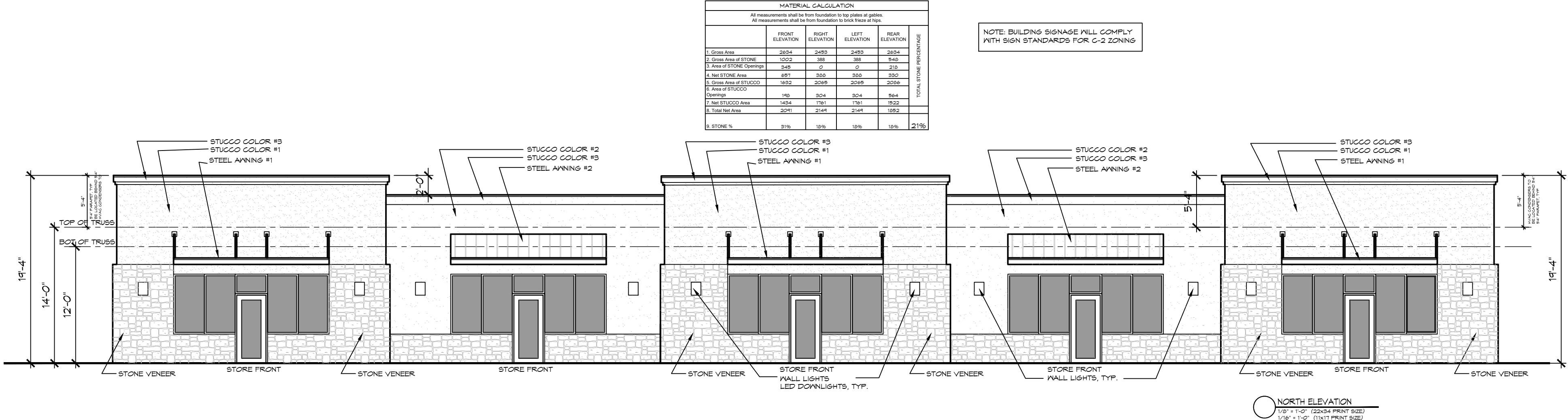
SHEET Title:  
  
FLOOR  
PLAN  
  
1/8"=1'-0"

No.10  
DESIGN  
GROUP

218 N. WALNUT CREEK DR.    MANSFIELD TEXAS 76063  
817.471.1324 METRO    817.471.3853 FAX

ARCHITECTS

© COPYRIGHT 2023 NO. 10 DESIGN GROUP  
SHEET No.:  
  
A1-1



Case No. (ZC#23-003) 1863 FM 1187 C-2 to PD

230460



DEBBIE LANE  
BUSINESS PARK

1863 FM 1187  
LOT ---- BLOCK ----  
MANSFIELD, TEXAS  
----

DATE: 2-6-23 PD1  
2-09-23 PD2  
3-13-23 PD3  
3-21-23 PD4  
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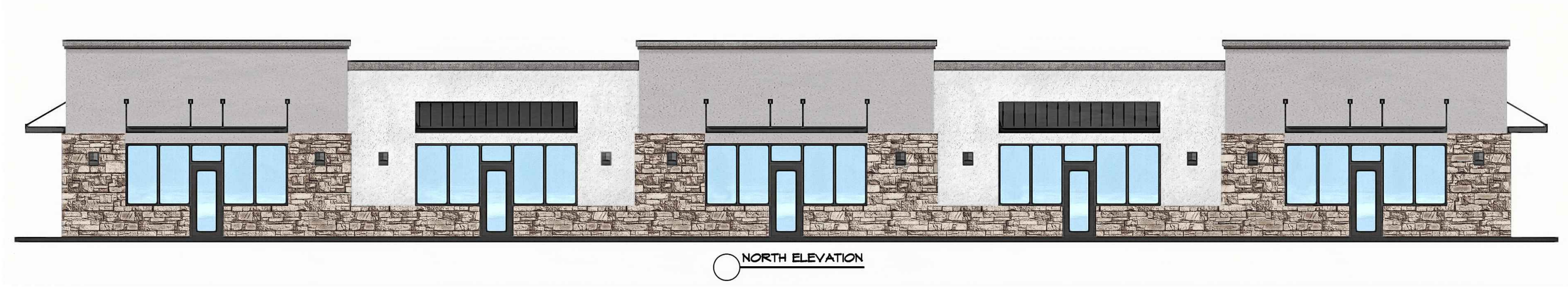
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DESIGN  
GROUP**  
211 N. WALNUT CREEK DR. MANSFIELD TEXAS 76063  
817.471.1324 METRO 817.471.3853 FAX  
**ARCHITECTS**

© COPYRIGHT 2023 NO. 10 DESIGN GROUP

SHEET No.:

A2-1





NORTH ELEVATION  
1/8" = 1'-0" (250x4 PRINT SIZE)  
1/16" = 1'-0" (TENTH PRINT SIZE)



SOUTH ELEVATION  
1/8" = 1'-0" (250x4 PRINT SIZE)  
1/16" = 1'-0" (TENTH PRINT SIZE)



EAST ELEVATION  
1/8" = 1'-0" (250x4 PRINT SIZE)  
1/16" = 1'-0" (TENTH PRINT SIZE)



WEST ELEVATION  
1/8" = 1'-0" (250x4 PRINT SIZE)  
1/16" = 1'-0" (TENTH PRINT SIZE)

Case No. (ZC#23-003) 1863 FM 1187 C-2 to PD

230460



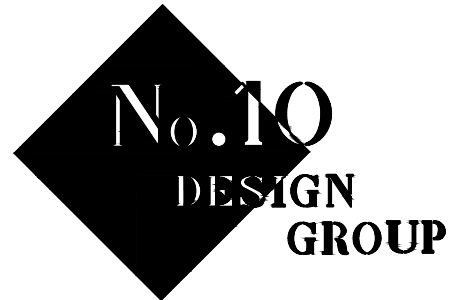
DEBBIE LANE  
BUSINESS PARK

1863 FM 1187  
LOT ---- BLOCK ----  
----  
MANSFIELD, TEXAS  
----

DATE: 2-6-23 PD1  
2-09-23 PD2  
3-13-23 PD3  
3-21-23 PD4  
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SHEET Title:

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214 N. WALNUT CREEK DR. MANSFIELD TEXAS 76063  
817.471.1324 METRO 817.471.3853 FAX  
ARCHITECTS

© COPYRIGHT 2023 NO. 10 DESIGN GROUP

SHEET No.:

A2-2














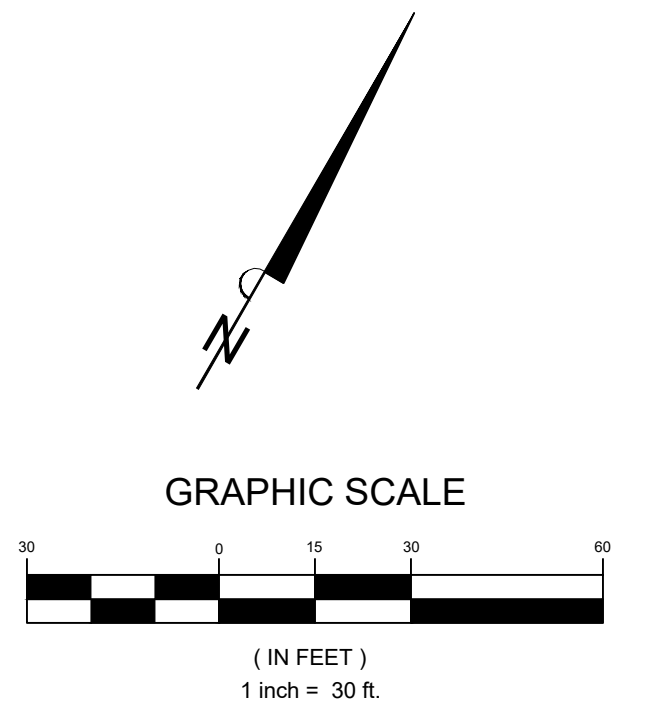


SUMMARY CHART - INT. PARKING LOT LANDSCAPING		
LOT 1	# OF REQ'D PARKING SPACES:	8
	# OF PROV'D PARKING SPACES:	48
	# OF TREE ISLANDS WITH TREES PROV'D:	2

## NOTE

1. The property owner, tenant or agent, shall be responsible for the maintenance of all required landscaping in a healthy, neat, orderly and live-growing condition at all times. This shall include mowing, edging, pruning, fertilizing, irrigation, weeding, and other such activities common to the maintenance of landscaping. Landscaped areas shall be kept free of trash, litter, weeds and other such materials not a part of the landscaping. Plant materials that die shall be replaced with plant materials of similar variety and size.
2. All areas disturbed by construction shall be fine graded and re-established by sod. These areas shall be irrigated and maintained until permanent stand of grass is achieved with a minimum of 70% coverage. This is to include all areas to the back of curb around the property.

PLANT SCHEDULE							
TREES	CODE	QTY	BOTANICAL / COMMON NAME	CONT	GAL	SIZE	NOTES
	LT	12	LAGERSTROEMIA INDICA 'TUSCARORA' / GRAPE MYRTLE	30 GAL	3'	6'-8'	FULL, MATCHING, SYMMETRICAL
	QM	6	QUERCUS MUEHLENBERGII / CHINKAPIN OAK	45 GAL.	3'	10'-12'	FULL, MATCHING, SYMMETRICAL
	QS	4	QUERCUS SHUMARDII / SHUMARD RED OAK	45 GAL.	3'	10'-12'	FULL, MATCHING, SYMMETRICAL
	QV	9	QUERCUS VIRGINIANA / SOUTHERN LIVE OAK	45 GAL.	3'	10'-12'	FULL, MATCHING, SYMMETRICAL
	UC	5	ULMUS CRASSIFOLIA / CEDAR ELM	45 GAL.	3'	10'-12'	FULL, MATCHING, SYMMETRICAL
	VA	14	VITEX AGNUS-CASTUS / CHASTE TREE	30 GAL.	3'	6'-8'	FULL, MATCHING, SYMMETRICAL
SHRUBS	CODE	QTY	BOTANICAL / COMMON NAME	CONT	SIZE	SPACING	NOTES
	IN2	10	ILEX X 'NELLIE R STEVENS' / NELLIE STEVENS HOLLY	15 GAL.	48" HT	PER PLAN	FULL, MATCHING, SYMMETRICAL
	LG	92	LEUCOPHYLLUM FRUTESCENS 'GREEN CLOUD' TM / GREEN CLOUD TEXAS RANGER	3 GAL	24" HT	PER PLAN	FULL, MATCHING, SYMMETRICAL
SHRUB AREAS	CODE	QTY	BOTANICAL / COMMON NAME	CONT	HEIGHT	SPACING	NOTES
	NP3	26	NASSELLA TENUISSIMA 'PONY TAILS' / MEXICAN FEATHERGRASS	1 GAL.	12" HT	24" O.C.	FULL, MATCHING, SYMMETRICAL
GROUND COVERS	CODE	QTY	BOTANICAL / COMMON NAME	NOTES			
	CT	PER PLAN	CYNODON DACTYLON 'TIF 419' / BERMUDA GRASS	SOLID 50P			
	EP	84	EVONYMUS COLORATUS / PURPLE WINTERCREEPER	1 GAL., 18" O.C., TRIANGULAR SPACING			



**EXHIBIT D**  
**LANDSCAPE PLAN**  
**DEBBIE LANE**  
**BUSINESS PARK**  
ZC#23-003  
1863 FM 1187  
City of Mansfield  
Tarrant County  
Date Prepared: MAY 25, 2023



**BANNISTER**  
ENGINEERING

240 North Mitchell Road | Mansfield, TX 76063 | 817.842.2094 | 817.842.2095 fax  
REGISTRATION # F-10599 (TEXAS)

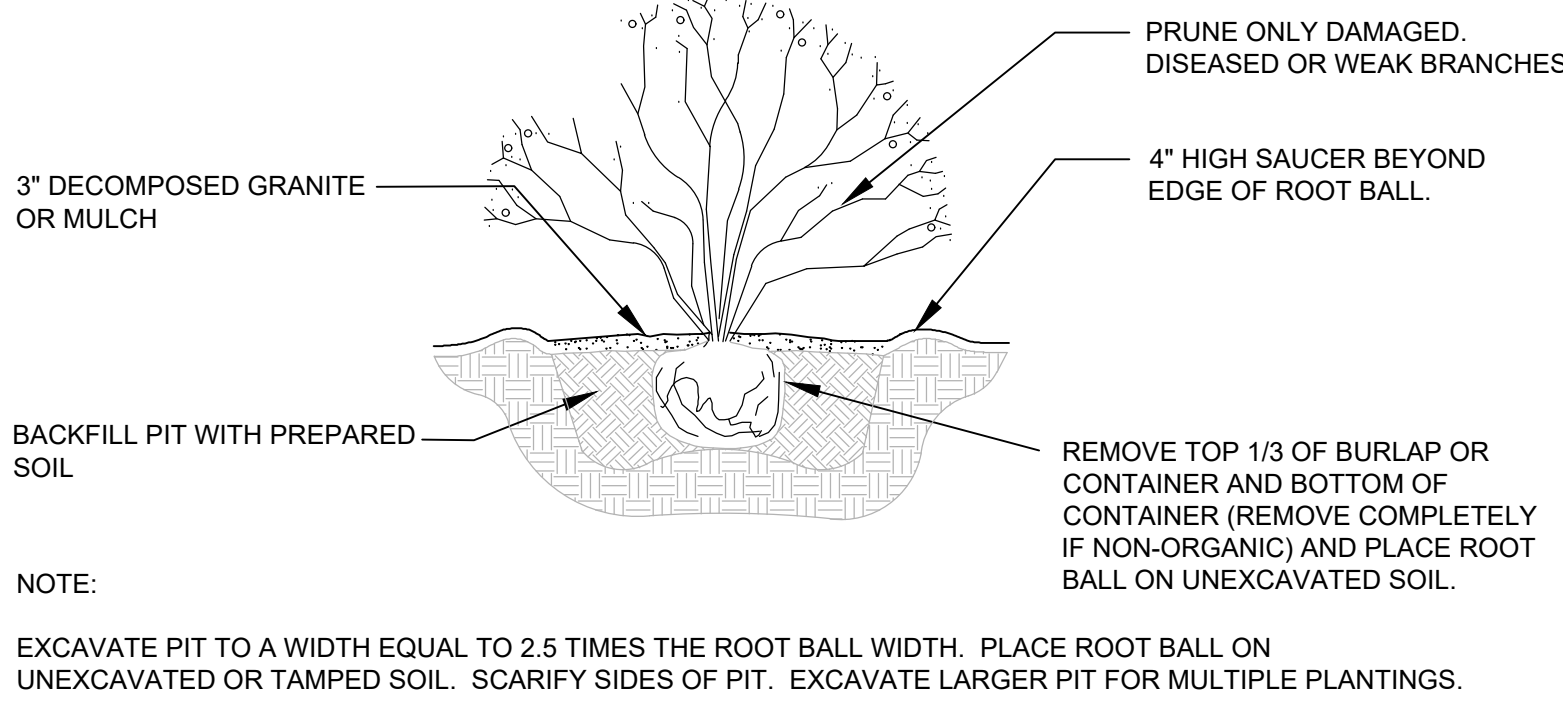
CONTACT: HECTOR SOTELO, P.E.  
EMAIL: [hsotelo@bannistereng.com](mailto:hsotelo@bannistereng.com)

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were prepared by, or  
under the supervision of:  
Drew J. Dubocq  
L.A.#3141  
05/24/2023



GENERAL NOTES :

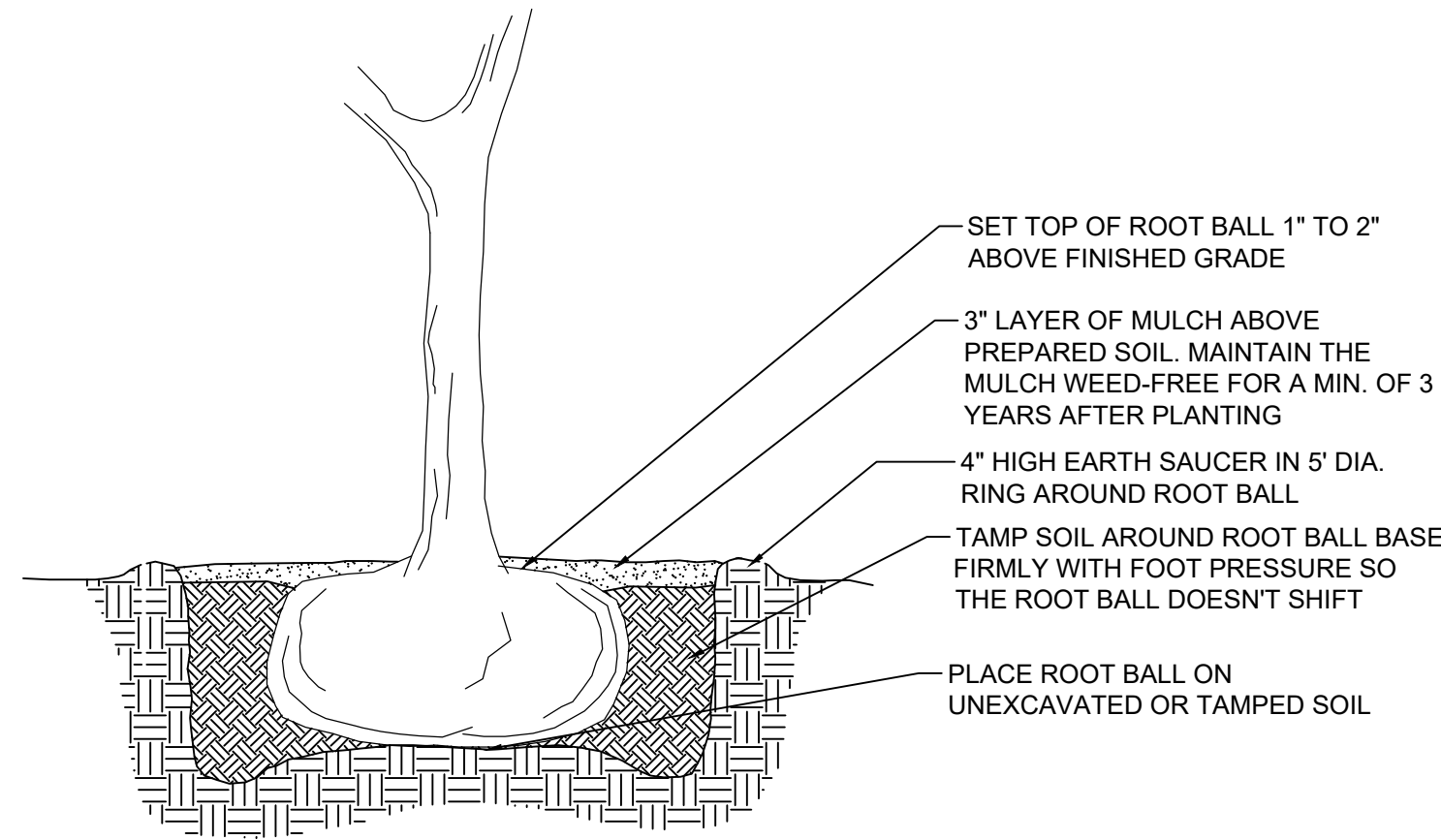
1. LOCATE ALL UTILITIES PRIOR TO DIGGING. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DAMAGE INCURRED BY HIS OR HER WORK.
2. CONTRACTOR SHALL ADVISE THE OWNER AND LANDSCAPE ARCHITECT OF ANY CONDITION FOUND ON SITE WHICH PROHIBITS INSTALLATION AS SHOWN ON THESE PLANS.
3. IF A DISCREPANCY BETWEEN DRAWINGS AND PLANT SCHEDULE IS FOUND, THE DRAWINGS SHALL TAKE PRECEDENT OVER THE PLANT SCHEDULE.
4. PLANT MATERIAL SHALL COMPLY WITH ALL SIZING AND GRADING STANDARDS OF THE LATEST EDITION OF 'AMERICAN STANDARD FOR NURSERY STOCK.'
5. CONTRACTOR SHALL STAKE OUT TREE LOCATIONS AND BED CONFIGURATION FOR APPROVAL BY OWNER PRIOR TO INSTALLATION.
6. SUBSTITUTIONS SHALL NOT BE MADE WITHOUT PRIOR WRITTEN AUTHORIZATION FROM THE OWNER OR LANDSCAPE ARCHITECT.
7. ALL DISTURBED AREAS NOT INDICATED AS PLANTING BEDS SHALL BE SODDED OR SEEDED BY CONTRACTOR TO PROVIDE AN ESTABLISHED TURF AREA.
8. CONTRACTOR SHALL REMOVE REASONABLE AMOUNT OF STONES, DEAD ROOTS, DETRITUS AND OTHER UNDESIRABLE MATERIAL FROM EXISTING SOIL.
9. IF ROCKS ARE ENCOUNTERED, REMOVE TO A DEPTH OF 3" AND ADD 3" OF FRIABLE FERTILE TOPSOIL TO ALL SODDED AREAS. CONTRACTOR TO ENSURE THAT SITE IS GRADED ACCORDING TO THE ENGINEER'S GRADING PLAN.
10. LAWN AREAS SHALL HAVE 3" MINIMUM FRIABLE TOPSOIL AND BE TREATED WITH FERTILIZER APPLIED AT A RATE OF 20 POUNDS PER 1,000 SQUARE FEET.
11. SOIL PREPARATION FOR PLANTING BEDS SHALL BE AS FOLLOWS:
  - 3" OF ORGANIC COMPOST
  - 20 POUNDS OF ORGANIC FERTILIZER / 1,000 SF OF BED AREA
  - TILL BED TO A DEPTH OF 6" TO 8"
  - CHECK SOIL ACIDITY. SOIL ACIDITY SHOULD RANGE FROM 5.0 TO 7.0 PH. REGULATE IF NECESSARY.
12. ALL PLANT BEDS SHALL BE TOP DRESSED WITH A MINIMUM 3" OF NATIVE HARDWOOD MULCH.
13. TREE PLANTING PITS SHALL BE CLEARED OF UNDESIRABLE MATERIAL AND BACKFILLED WITH PREPARED TOP SOIL. PLACE 1" OF COMPOST AND 3" OF SHREDDED HARDWOOD MULCH ON TOP OF ROOT BALL.
14. THE CONTRACTOR WILL BE HELD LIABLE FOR ANY DAMAGE CAUSED TO TREES DUE TO IMPROPER STAKING METHODS, INCLUDING ABSENCE OF STAKING THROUGHOUT THE WARRANTY PERIOD.
15. TREES SHALL BE PLANTED AT LEAST 2.5 FEET FROM ANY RIGHT-OF-WAY LINE, CURB, WALK OR FIRE HYDRANT, AND OUTSIDE ALL UTILITY EASEMENTS.
16. TREES SHALL BE PLANTED AT LEAST 8 FEET FROM ANY PUBLIC UTILITY LINE WHERE POSSIBLE. IN THE EVENT THIS IS NOT POSSIBLE, CONTRACTOR SHALL INSTALL A ROOT BARRIER, PER THE DETAIL(S) NOTED ON THIS SHEET.
17. TREES OVERHANGING WALKS AND PARKING AREAS SHALL HAVE A CLEAR TRUNK HEIGHT OF 7 FEET FROM FINISH SURFACE GRADE.
18. CONTRACTOR SHALL WARRANTY PLANT MATERIAL TO REMAIN ALIVE AND HEALTHY FOR A PERIOD OF ONE YEAR AFTER THE FINAL ACCEPTANCE. ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY CONDITION IN ACCORDANCE WITH THE SEASON. DEAD, DAMAGED OR DESTROYED PLANT MATERIAL SHALL BE REPLACED IN KIND WITHIN THIRTY DAYS. WARRANTY SHALL NOT INCLUDE DAMAGE FOR LOSS OF PLANT MATERIAL DUE TO NATURAL CAUSES, ACTS OF VANDALISM OR NEGLIGENCE ON THE PART OF THE OWNER.
19. LANDSCAPE AREAS SHALL BE KEPT FREE OF TRASH, LITTER AND WEEDS.
20. AN AUTOMATIC IRRIGATION SYSTEM SHALL BE PROVIDED TO MAINTAIN ALL LANDSCAPE AREAS. OVERSPRAY ON STREETS IS PROHIBITED.
22. INSTALLING CONTRACTOR TO MAINTAIN LANDSCAPING FOR 30 DAYS FROM OWNER OCCUPANCY TO ESTABLISH PLANTS AND GRASS, MOWING AND TRIMMING TO BE INCLUDED.
23. ALL AREAS DISTURBED BY CONSTRUCTION SHALL BE FINE GRADED AND RE-ESTABLISHED BY SOD. THESE AREAS SHALL BE IRRIGATED AND MAINTAINED UNTIL PERMANENT STAND OF GRASS IS ACHIEVED WITH A MINIMUM OF 70% COVERAGE. THIS IS TO INCLUDE ALL AREAS TO THE BACK OF CURB AROUND THE PROPERTY.
24. ANY HARDWOOD MULCHED BEDS ON SITE SHALL HAVE PERMEABLE WEED MAT INSTALLED PRIOR TO PLANT MATERIAL AND MULCH BEING INSTALLED.
25. ALL BEDDING AREAS WITH GROUND COVER (ASIAN JASMINE, WINTERCREEPER, ETC.) SHALL BE TOP DRESSED WITH HARDWOOD MULCH UNTIL GROUND COVER HAS COVERED AREA COMPLETELY.
26. ANY SWITCH GEAR DEVICES, ELECTRICAL TRANSFORMERS, TELEPHONE PEDESTALS, AND HVAC UNITS LOCATED ON THE PROPERTY ARE TO BE SCREENED. IF THESE DEVICES HAVE BEEN ALTERED FROM THE MOST RECENT PLANS, THE CONTRACTOR IS TO VERIFY PLACEMENT OF THESE UTILITIES AND CONTACT LANDSCAPE ARCHITECT FOR PLANT MATERIAL SPECIFICATIONS AND PLACEMENT.
27. LANDSCAPE CONTRACTOR SHALL NOT PLACE TOPSOIL OR MULCH ABOVE BRICK LEDGE OF THE BUILDING AND SHALL NOT BLOCK WEEP HOLES ON THE BUILDING.
28. IF THE GRADES ON SITE AT THE TIME THE LANDSCAPE CONTRACTOR IS SET TO BEGIN WORK DOES NOT ALLOW THE BRICK LEDGE AND WEEP HOLES TO REMAIN UNCOVERED, IT IS THE LANDSCAPE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE OWNER OR GENERAL CONTRACTOR IMMEDIATELY.



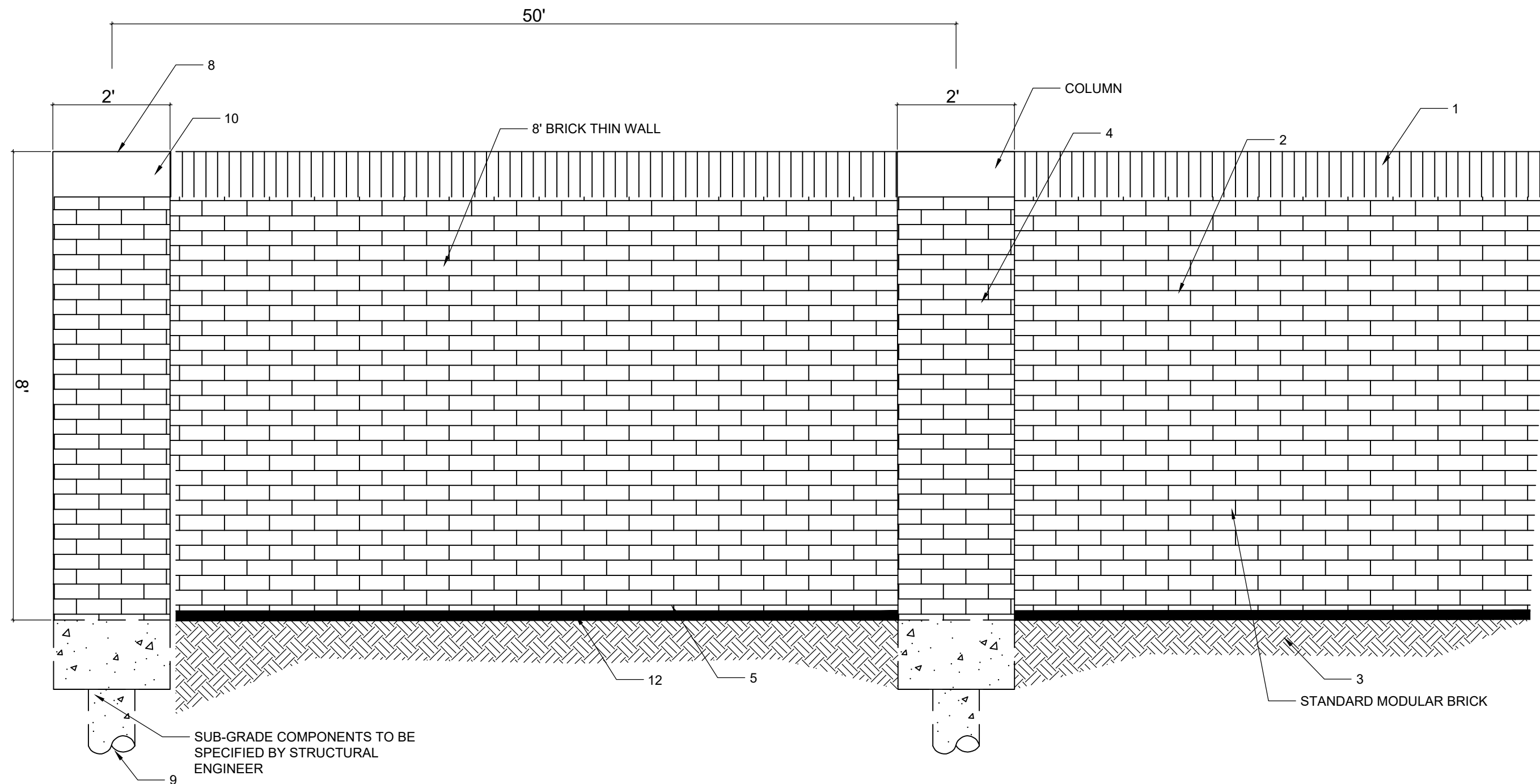
A SHRUB PLANTING DETAIL

NOTES:

1. DO NOT HEAVILY PRUNE THE TREE AT PLANTING. PRUNE ONLY CROSSOVER LIMBS, CO-DOMINANT LEADERS, AND BROKEN OR DEAD BRANCHES. SOME INTERIOR TWIGS AND LATERAL BRANCHES MAY BE PRUNED; HOWEVER, DO NOT REMOVE THE TERMINAL BUDS OF BRANCHES THAT EXTEND TO THE EDGE OF THE CROWN.
2. EACH TREE MUST BE PLANTED SUCH THAT THE TRUNK FLARE IS VISIBLE AT THE TOP OF THE ROOT BALL. TREES WHERE THE TRUNK FLARE IS NOT VISIBLE SHALL BE REJECTED. DO NOT COVER THE TOP OF THE ROOT BALL WITH SOIL.
3. REMOVE ALL TWINE, ROPE, WIRE AND BURLAP FROM TOP HALF OF THE ROOT BALL.
4. IF PLANT IS SHIPPED WITH A WIRE BASKET AROUND ROOT BALL, CUT THE WIRE BASKET IN FOUR PLACES AND FOLD DOWN 8\"/>

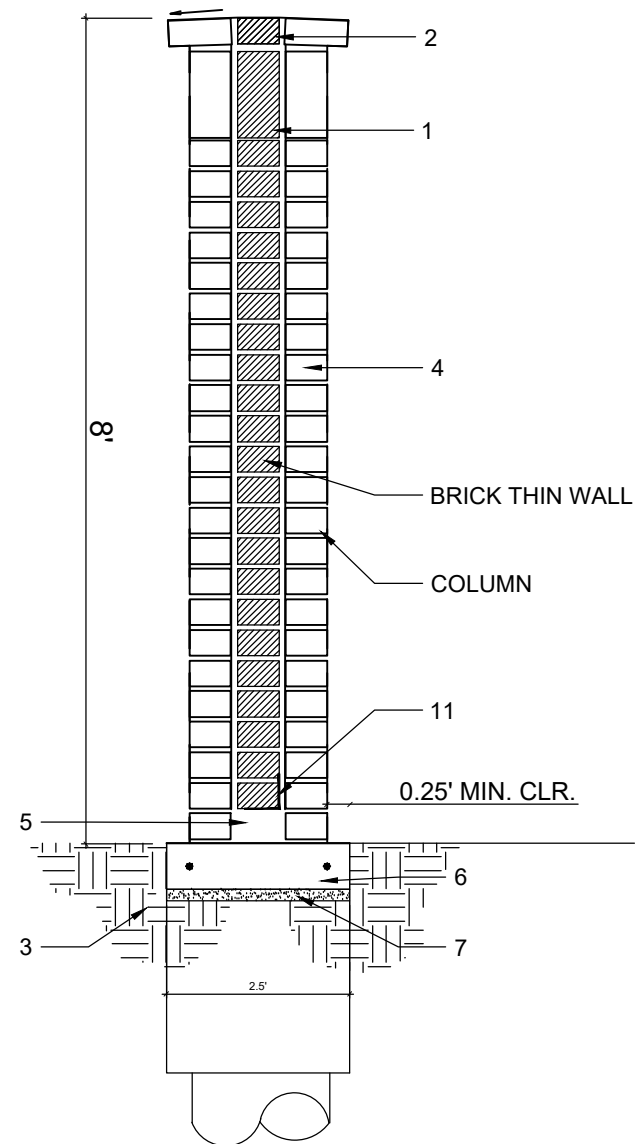


B TREE PLANTING DETAIL



C 8" MASONRY SCREEN WALL DETAIL

1. SOLDIER COURSE @ TOP OF WALL (SEE ELEVATION) STANDARD MASONRY H-REINFORCING. BRICK
2. STANDARD RUNNING BOND BRICK FACING W/ GRADE TO 95% OF ASH TO T-99 -SELECTION BY OWNER. REINFORCED W/ 1-NO. 9 GAUGE WIRE HORIZONTAL AT EACH COURSE. PROVIDE SLIGHT SLOPE @ TOP AS SHOWN TO FACILITATE DRAINAGE. DENSITY.
3. COMPACTED SUB
4. STANDARD 16" WIDE BRICK SUPPORT @ 12' OR 10' O.C.
5. BOTTOM COURSE WITH WEEP OPENINGS CONTINUOUS, 8" O.C. MIN.
6. CONCRETE MOV-STRIP W. (2) #4 BARS
7. 1" SAND SETTING BED
8. STANDARD 18"x18" COLUMN @ 60' OR 20' O.C. GRADE @ 12' O.C. MAX. (O.C. TO MATCH
9. 12"- PIER X DEPTH TO 8' MIN. BELOW EXISTING COLUMNS & BRICK SUPPORTS)
10. CAST STONE COLUMN CAP
11. 3"x3"xX GALVANIZED ANGLE IRON
12. 4" OPENING



ROOT ANCHOR ITEM #	ROOT BALL & CONTAINER SIZE	ANCHOR INSTALLATION DEPTH
15-BG	10 / 15 OR 17" ROOT BALL	12-18" MINIMUM DEPTH
30-BG	20 / 39 GALLON OR 22" ROOT BALL	18-24" MINIMUM DEPTH
45/65-BG	45 / 65 GALLON OR 27-30" ROOT BALL	24-30" MINIMUM DEPTH
100-BG	95 / 100 GALLON OR 36" ROOT BALL	30-36" MINIMUM DEPTH
150-BG	150 GALLON OR 42" ROOT BALL	48" MINIMUM DEPTH
200-BG	200 GALLON OR 48" ROOT BALL	48" MINIMUM DEPTH
300-BG	300 GALLON OR 58" ROOT BALL	48" MINIMUM DEPTH
CUSTOM-BG	ROOT BALLS LARGER THAN 60"	TBD

STEP 1:

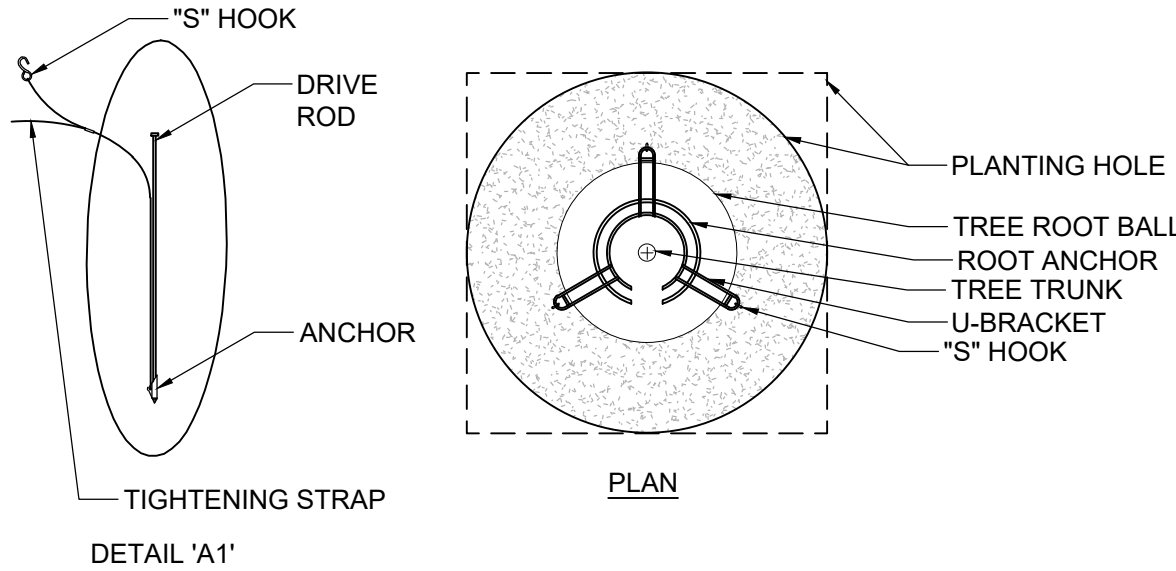
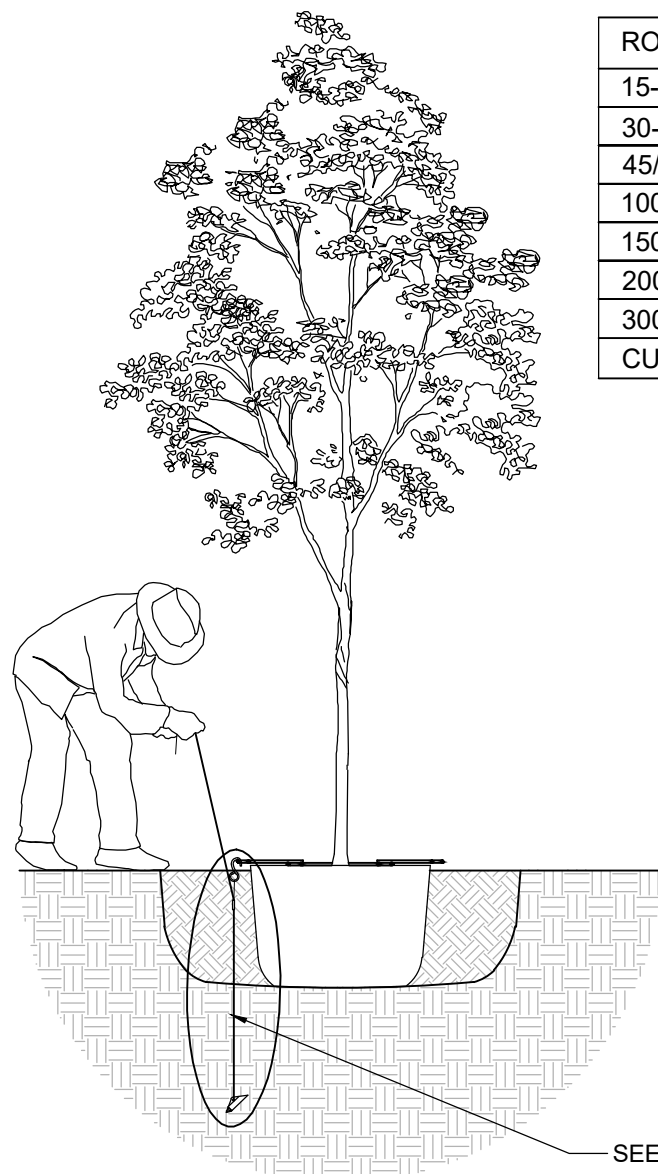
- SET TREE IN PLANTING PIT.
- PLACE ANCHOR WITH RING SIDE DOWN AGAINST TOP OF ROOT BALL.
- CENTER ROOT ANCHOR'S INNER RING(S) AROUND TRUNK OF TREE.
- ALIGN DRIVE ROD AS CLOSE AS POSSIBLE TO OUTSIDE EDGE OF U-BRACKET.

STEP 2:

- DRIVE ANCHOR STRAIGHT DOWN INTO UNDISTURBED SUBBASE SOIL.
- SEE CHART FOR RECOMMENDED DEPTHS PER TREE SIZE.

STEP 3:

- REMOVE DRIP ROD.
- REPEAT STEPS 1 & 2 FOR ALL THREE (3) ANCHOR LOCATIONS.
- PULL BACK ON STRAP APPROXIMATELY 3" FOR THE V-68 ANCHOR, OR 6" TO 7" FOR THE V-88 ANCHOR TO SET ANCHOR INTO A HORIZONTAL OR LOCKED POSITION. A FULCRUM MAY BE REQUIRED TO ASSIST IN SETTING THE ANCHOR.
- PLACE "S" HOOK OVER THE END OF THE U-BRACKET.
- PULL STRAP UP VERTICALLY UNTIL ROOT ANCHOR RINGS BITE INTO THE TOP OF THE ROOT BALL AND U-BRACKETS ARE SETTING FLUSH ON TOP OF THE ROOT BALL.
- TIE EXCESS STRAP OFF TO THE U-BRACKET ALLOWING ENOUGH REMAINING STRAP TO ADJUST TREE, IF NECESSARY.



D TREE STAKING DETAIL



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EMAIL: hsetelo@bannistereng.com

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