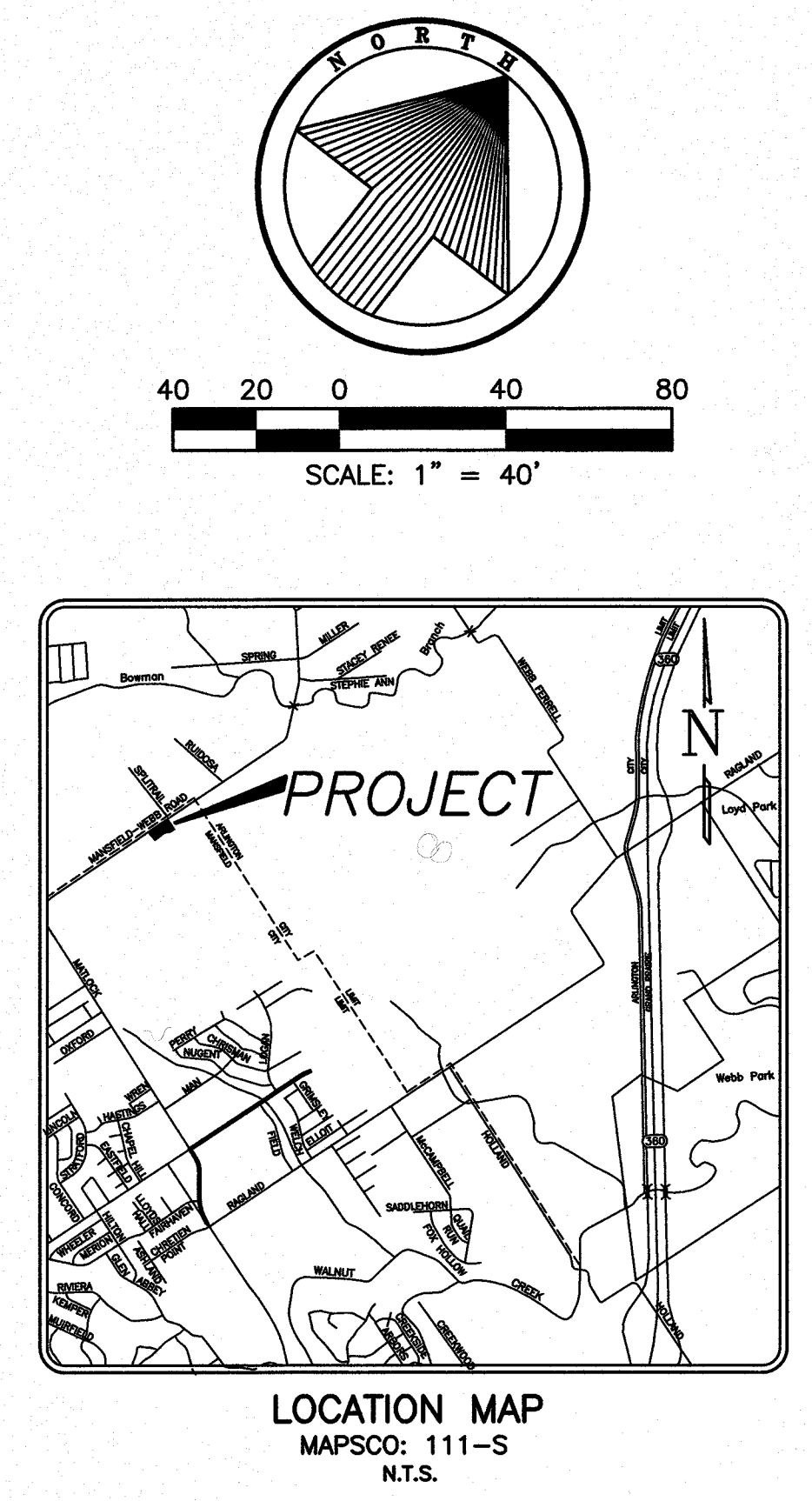
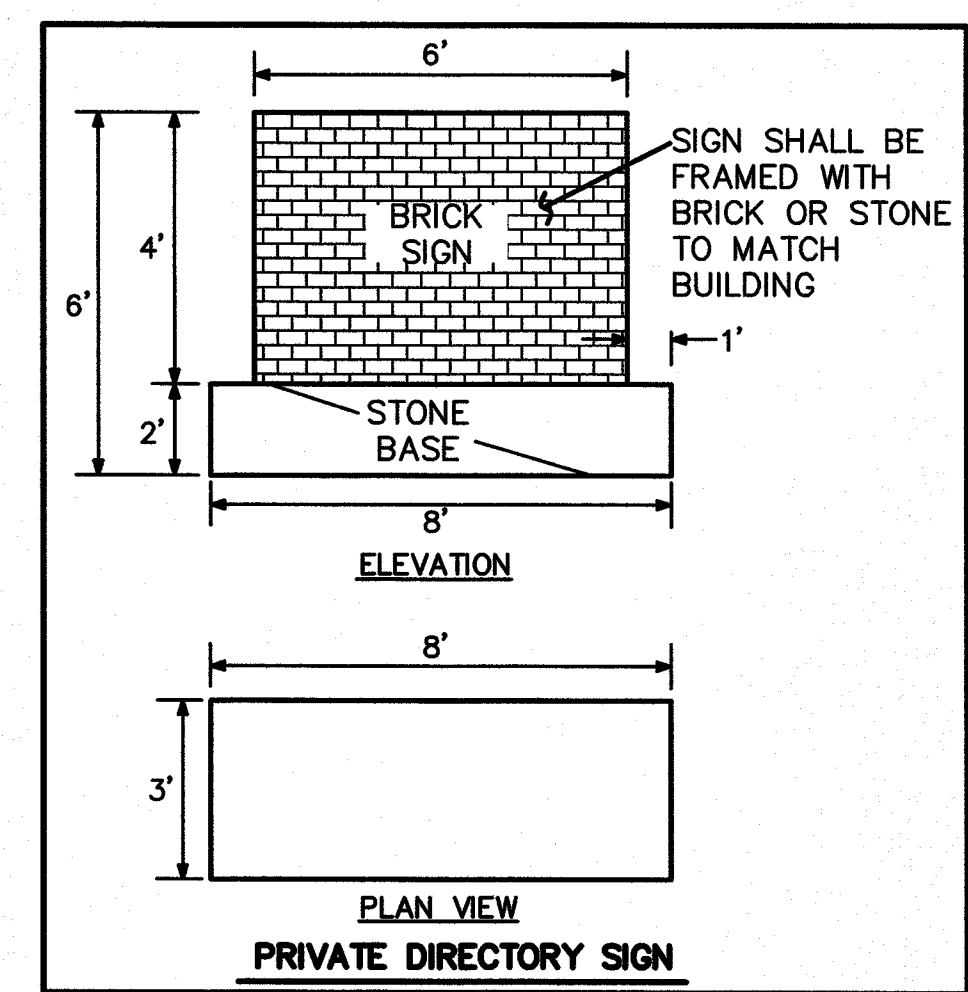
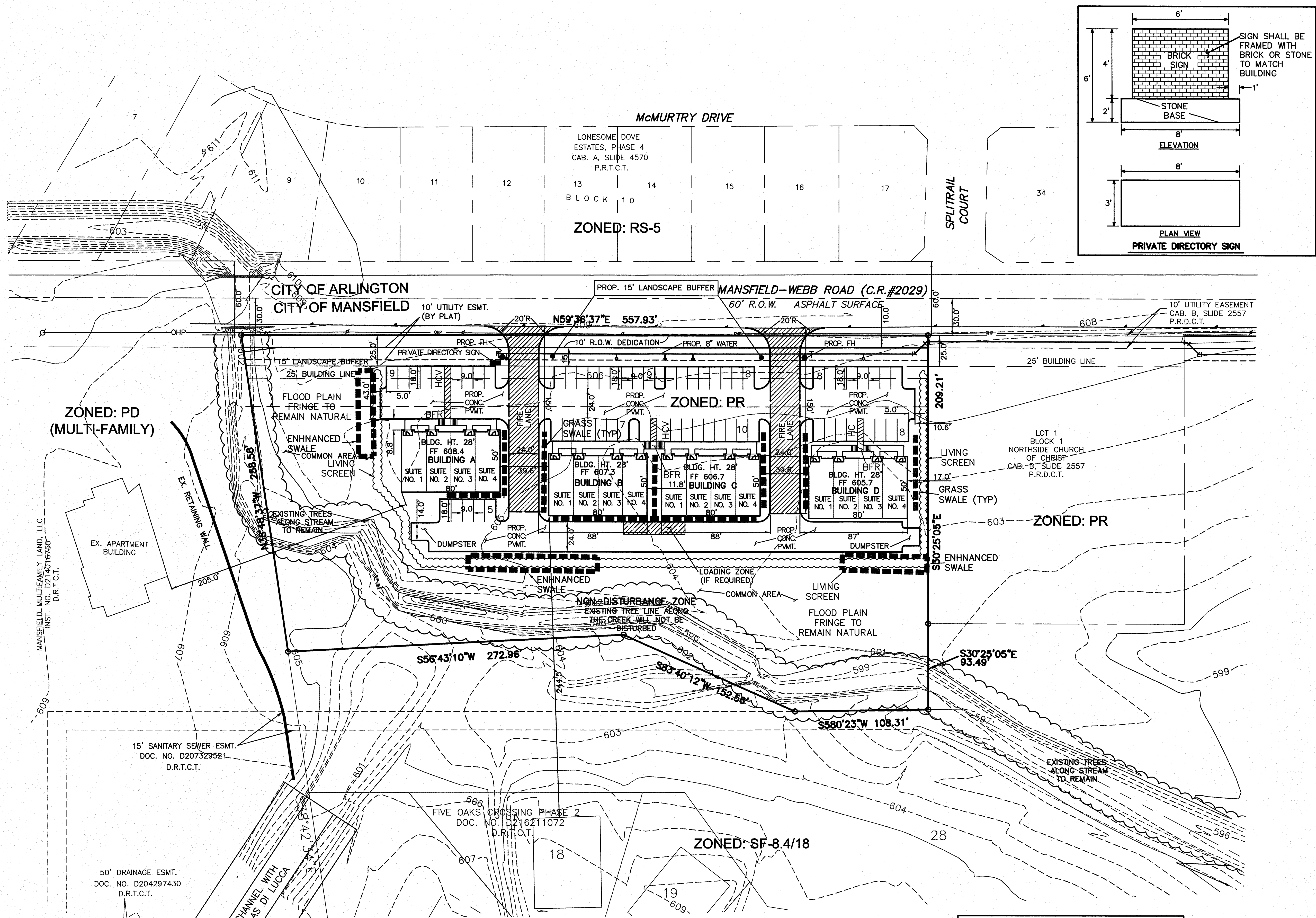




PROJECT SITE DATA:	
GENERAL:	
Name of Project:	Mansfield-Webb Office Center
Proposed Use:	C-2 Commercial Business District
Existing Zoning District:	PR (Pre-Development District)
Proposed Zoning District:	PD
County:	Tarrant
OVERALL SITE:	
FAR (Floor Area Ratio)	11%
Gross Site Area:	3.296 Acres
Open Space (Greenbelt, Flood Plain Fringe)	1.55 Acres
Landscape Buffer	0.206 Acres
PARKING	
4 Buildings @ 4,000 S.F.	TOTAL 16,000 S.F.
Parking ratio:	1:250
Parking req'd:	Varies by use per section 7200B plus modification herein
Parking provided:	64 Spaces
ZONING (CITY OF MANSFIELD)	
PR	Pre-Development District
PD	Planned Development
SF-8.4/18	Single Family Residential District - (Min. 8,400sf lots)
ZONING (CITY OF ARLINGTON)	
RS-5	Single-Family Detached Residential (Min. 5,000sf Lots)

MODIFICATIONS TO ZONING:

Perimeter Screening:
1) A living screen will be used in lieu of a masonry screening wall.

Parking:
1) Required parking for medical office shall be 1 space per 250 sq. ft. of building area.

Street Landscape Setback:
1) Street Landscape setback shall be 15 feet.

WATER QUALITY NOTES:

1. POST-CONSTRUCTION WATER QUALITY SYSTEMS WILL BE PROVIDED AS A TREATMENT TRAIN:
A. GRASS SWALES FOR PRIMARY TREATMENT
B. ENHANCED SWALES FOR WQv TREATMENT

2. THE IMPROVEMENTS SHOWN ARE CONCEPTUAL. ACTUAL SIZES AND LOCATION OF WATER QUALITY SYSTEMS WILL BE ESTABLISHED IN FINAL DESIGN.

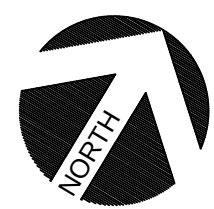
- NOTES:**
- There will be no Outside Storage as part of this development.
 - A mandatory owners association will be responsible for the maintenance of the landscaping and common areas shown hereon.
 - The owners association and associated documents shall be filed in accordance with the City of Mansfield policies. These documents must be reviewed by the City Attorney prior to filing the final plat. The documents shall be filed with the final plat at Tarrant County when deemed necessary by the attorney. The documents shall be submitted in a timely manner to allow for a minimum of 60 days review. Failure to submit the documents or incomplete documents may result in delay of construction, acceptance of the subdivision or delay in approval of a building permit. The City does not accept the responsibility for any delays in construction, approval or acceptance of the subdivision caused by the failure to submit the association documents or the inaccuracy of the documents.
 - The proposed development will be in accordance with the provisions of the approved Planned Development District and all Development Plans recorded hereunder shall be binding upon the applicant thereof, his successors and assigns, and shall limit and control all building permits.

LEGEND	
HCV	Handicap Van Accessible
HC	Handicap
BFR	Barrier Free Ramp
1	Parking Spaces

OWNER/APPLICANT:
JAMES JOHNSTON
21 TRANQUIL POND
FRISCO, TEXAS 75034
972-668-7710

ENGINEER:
MACATEE ENGINEERING, LLC
3519 MILES ST.
DALLAS, TEXAS 75209
(214) 373-1180

EXHIBIT "B"
CASE NO. ZC#16-016
DEVELOPMENT PLAN
SITE PLAN
MANSFIELD-WEBB OFFICE CENTER
JAMES GRIMSLEY SURVEY, ABSTRACT NO. 578
CITY OF MANSFIELD, TARRANT COUNTY, TEXAS
3.296 AC. OR 143,488 SQ. FT.
1 LOT
JANUARY 2017



1

LANDSCAPE PLAN - EXHIBIT "D"

SCALE: 1" = 30'-0"



OWNER/APPLICANT:
JAMES JOHNSTON
21 TRANQUIL POND
FRISCO, TEXAS 75034
972-668-7710

ENGINEER:
MACATEE ENGINEERING, LLC
3519 MILES ST.
DALLAS, TEXAS 75209
(214) 373-1180

LANDSCAPE ARCHITECT:
E. BROOKE ASSOCIATES, LLC
8624 FERGUSON RD. #570527
DALLAS, TEXAS 75228
(817) 219-2665

JAMES GRIMSLEY SURVEY, ABSRTACT NO. 578
CITY OF MANSFIELD, TARRANT COUNTY, TEXAS
3.296 AC. OR 143,488 SQ. FT.

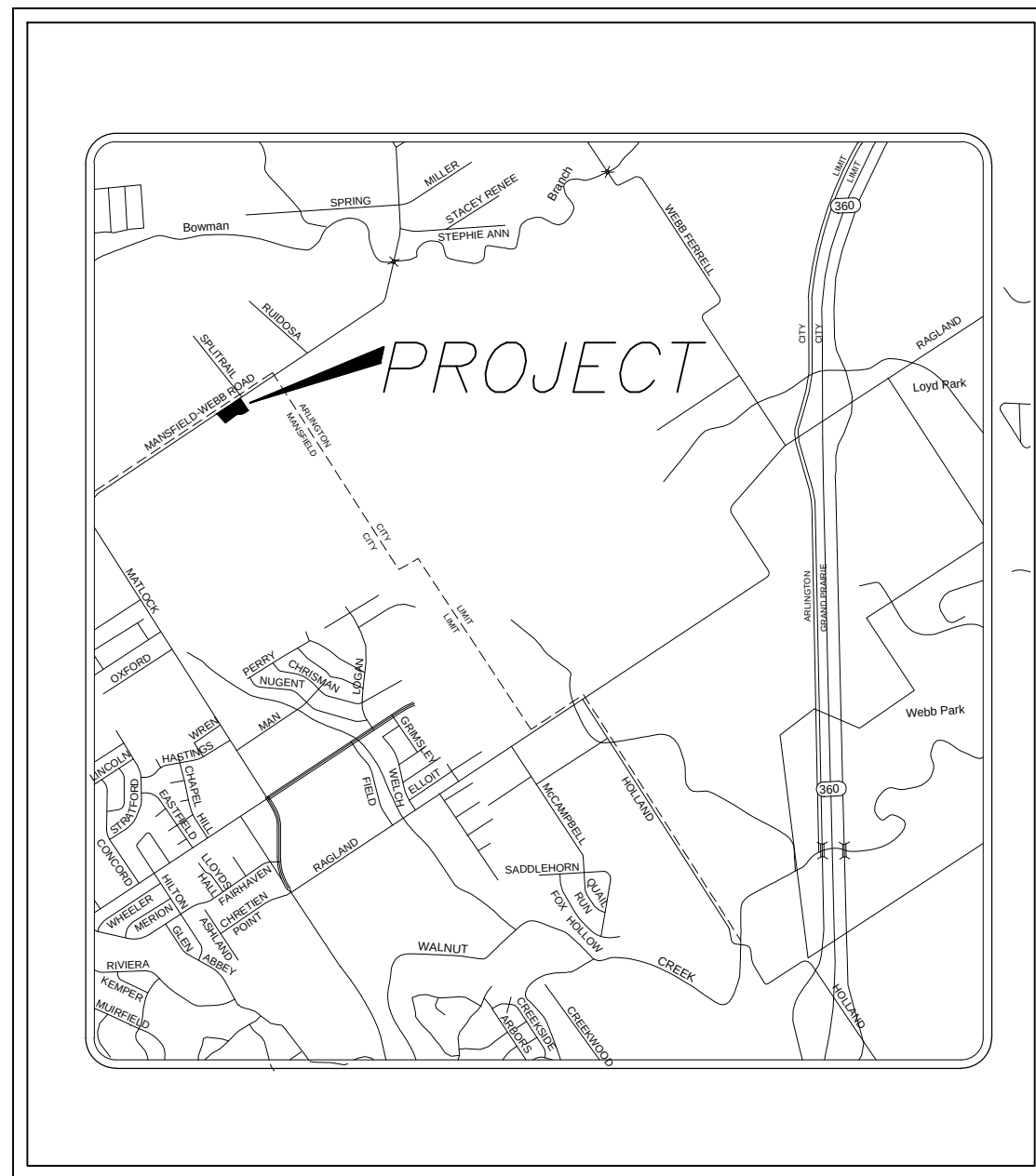
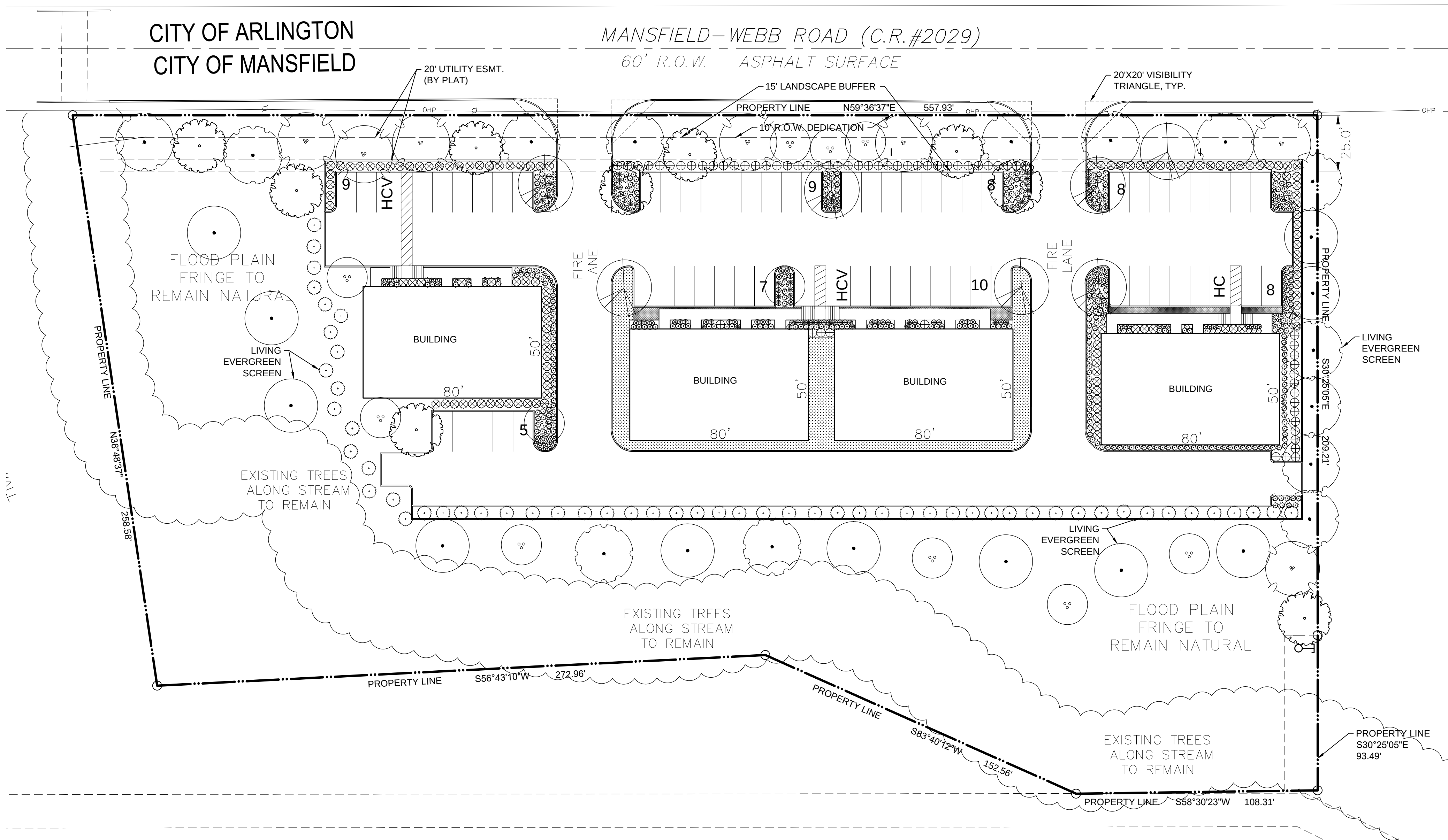
SEPTEMBER 2016

PLANT MATERIAL LIST SUMMARY CHART					
QNTY	SYM	COMMON NAME	BOTANICAL NAME	SIZE	HT NOTES
CANOPY TREES					
9	AP	LIVE OAK	<i>Quercus Virginia</i>	3.5" CAL.	EVERGREEN*
14	AP	AFGHAN PINE	<i>Pinus elderica</i>	3.5" CAL.	EVERGREEN*
9	AE	AMERICAN ELM	<i>Ulmus americana</i>	3.5" CAL.	SINGLE TRUNK
11	LE	LACEBARK ELM	<i>Ulmus parvifolia</i>	3.5" CAL.	SINGLE TRUNK
9	BO	BUR OAK	<i>Quercus macrocarpa</i>	3.5" CAL.	SINGLE TRUNK
ORNAMENTAL TREES					
8	VA	VITEX	<i>Vitex agnus-castus</i>	30 GAL.	8'-10' HGT.
SHRUBS					
58	WM	WAX MYRTLE	<i>Myrica cerifera</i>	15 GAL.	EVERGREEN; MIN. 8' HGT*
120	SY	SOFT LEAF YUCCA	<i>Yucca recurvifolia</i>	5 GAL.	AS SHOWN
63	TS	TEXAS SAGE	<i>Leucophyllum frutescens</i> 'green cloud'	5 GAL.	AS SHOWN
93	PA	PARRY AGAVE	<i>Agave parryi</i>	3 GAL.	AS SHOWN
274	LB	LITTLE BLUESTEM	<i>Schizachyrium scoparium</i>	3 GAL.	AS SHOWN
38	CF	PURPLE CONE FLOWER	<i>Echinacea purpurea</i>	1 GAL.	AS SHOWN
111	AP	BLACKFOOT DAISY	<i>Melampodium leucanthum</i>	1 GAL.	AS SHOWN
GROUNDCOVERS					
287	CB	COMMON BERMUDA	<i>Cynodon dactylon</i>		SOD - SY
MULCH MATERIAL					
1012	DC	DECOMPOSED GRANITE**			SY
* SPECIES USED FOR THE LIVING SCREEN ALONG THE SOUTHERN AND WESTERN PROPERTY LINES FOLLOWING THE CREEK BED.					
** DECOMPOSED GRANITE TO BE USED AS MULCH THROUGHOUT ALL PLANT BED AREAS					

SUMMARY CHART - BUFFERYARDS/SETBACKS							
Location of Buffer Yard or Setback	Required / Provided	Length	Width/Type	Canopy Trees	Ornamental Trees	Shrubs	Screening Wall / Device Height & Material
North	Required	558'	BY 15'	18			3' MIN LIVING SCREEN
	Provided		15'	18	3	87	3' MIN LIVING SCREEN
East	Required	302'	BY 10'	10; 7 EVERGREEN TREES			6' MASONRY WALL* LIVING SCREEN PROVIDED BY EVERGREEN TREES/SHRUBS
	Provided		10'	10		33	6' MASONRY WALL**
South	Required	533'	BY 20'	21			LIVING SCREEN PROVIDED BY EXISTING AND NEW VEGETATION
	Provided		20'	8 EVERGREEN TREES	4	25 EVERGREEN SHRUBS; MIN 8' TALL AT PLANTING	6' MASONRY WALL**
West	Required	258'	BY 10'	10			LIVING SCREEN PROVIDED BY EXISTING AND NEW VEGETATION
	Provided		10'	4 EVERGREEN TREES	2	25 EVERGREEN SHRUBS; MIN 8' TALL AT PLANTING	6' MASONRY WALL**

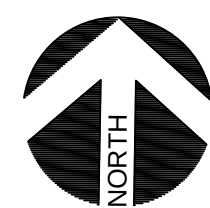
* THE REQUIRED 6' MASONRY WALL IS TO BE REPLACED BY A LIVING SCREEN WALL AS AN ALTERNATE ALONG THE EASTERN BORDER OF THE PROPERTY; THE LIVING SCREEN WILL CONSIST OF EVERGREEN TREES AND SHRUBS AS SHOWN ON THE PLAN.

** THE REQUIRED 6' MASONRY WALL IS TO BE REPLACED BY A LIVING SCREEN WALL AS AN ALTERNATE ALONG THE SOUTHERN AND WESTERN BORDERS OF THE PROPERTY; THE LIVING SCREEN WILL CONSIST OF THE NATURAL EXISTING VEGETATION OF THE CREEK DURING SPRING AND SUMMER MONTHS AND WILL CONSIST OF NEW EVERGREEN TREES SHRUBS AS SHOWN ON THE PLAN DURING THE



VICINITY MAP

NTS



SITE INFORMATION

ZONING DISTRICT: PD
PROPERTY AREA: 143,584 SF
3.296 ACRES

PROPOSED USE: COMMUNITY BUSINESS

LANDSCAPE REQUIREMENTS

BUFFER YARDS: SEE CHART
SCREENING WALLS: SEE CHART

PARKING LOT INTERNAL LANDSCAPING

REQUIRED TREES:
• 1 PER 10 P/S= 6 TREES
• 1 PER LANDSCAPE ISLAND= 9 TREES
• 1 PER PARKING END CAP= 3 TREES
TOTAL REQUIRED : 18 TREES
TOTAL PROVIDED: 18 TREES

FOUNDATION AREA LANDSCAPING

4' MINIMUM LANDSCAPE STRIP ADJACENT TO ALL BUILDING FACADES FACING A PUBLIC STREET OR PUBLIC ENTRANCE.

OTHER LANDSCAPE AREAS

REQUIRED AREA: 14,358 SF
10% OF SITE
PLANTING AREA: 13,436 SF
TURF AREA: 2,583 SF
TOTAL PLANTING AREA PROVIDED: 16,019 SF
11% OF SITE

OPEN SPACE
GREENBELT; FLOODPLAIN FRINGE: 1.55 ACRES

CASE NO. ZC#16-016

MANSFIELD - WEBB OFFICE CENTER
CITY OF MANSFIELD, TEXAS

E. BROOKE
ASSOCIATES

8624 Ferguson Rd #570527
Dallas, Texas 75228
817-219-2665
erin@ebrooke.com

E. BROOKE
ASSOCIATES

DATE PREPARED: 10/19/2016
DATE REVISED: 01/02/2017
01/18/2017

