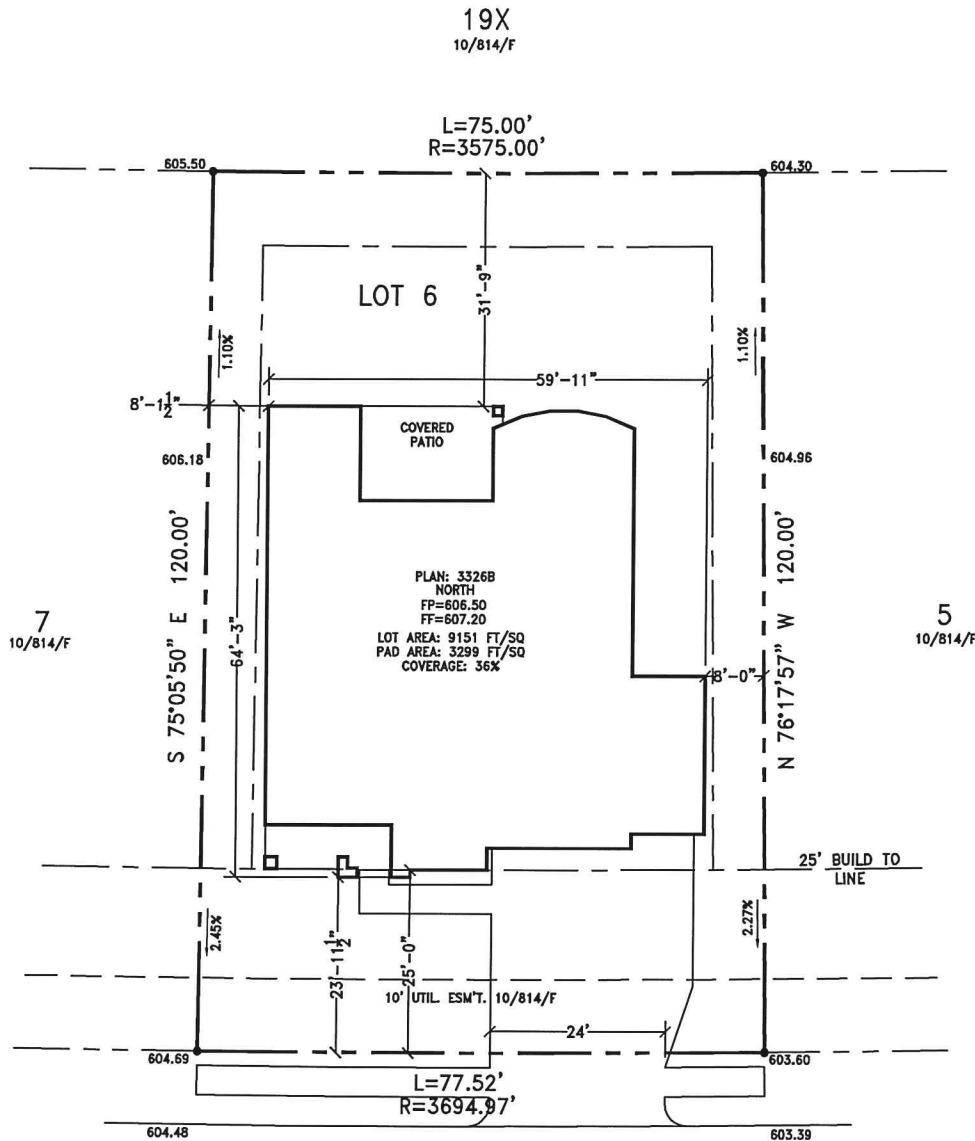


NOTE: THIS SITE PLAN IS FOR APPROVAL OF PROPOSED IMPROVEMENT BY CITY BUILDING INSPECTIONS AND NOT TO BE CONSIDERED WITH AN ACTUAL OF THE GROUND SURVEY CONDUCTED UNDER THE SUPERVISION OF A REGISTERED PROFESSIONAL LAND SURVEYOR.

BEARINGS BASED ON RECORDED SUBDIVISION PLAT SHOWN HEREIN, UNLESS OTHERWISE NOTED.



Lot 5, Block 7, SOUTHPONTE, PHASE 1A, SECTION 1, an addition to the City of Mansfield, Johnson County, Texas, according to the map or plat thereof recorded in Volume 10, Page 814, Drawer F of the Plat Records of Johnson County, Texas.

REFERENCE NO. 160429003
GF# NO TITLE WORK
JOB # DE3011
5/4/16
6/8/16

SOD: 586 YRD/SQ
CONC: 1380 FT/SQ

This drawing was prepared from information furnished by the home builder. Builder should review this drawing to ensure compliance with all zoning and building code regulations for this property. Before construction of any kind, builder or contractor shall verify all property lines, side yard setbacks and easements in order to comply with all federal, state and local codes, ordinances and restrictions. Street, alley and sidewalk locations are for illustrative purposes only, refer to development plans for construction, builder should confirm that this layout has no conflicts with inlets, transformers, topography or other structures.

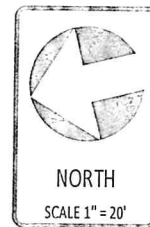
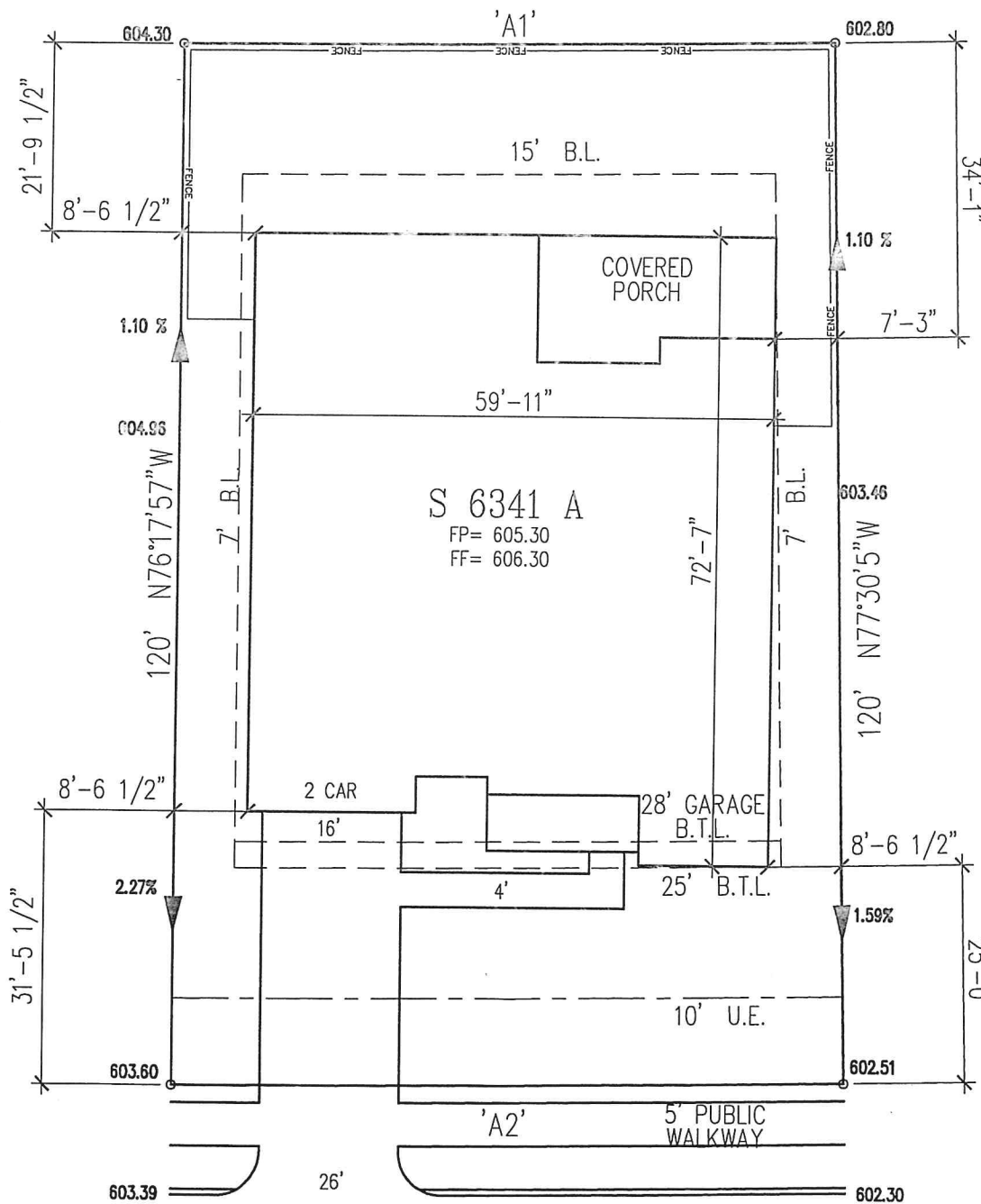
NOTES:

NOT FOR CONSTRUCTION WITHOUT CITY APPROVAL.
ALL TIES MUST BE FIELD CHECKED.
HOUSE DRAWN FROM FOUNDATION PLAN ONLY.
CHECK OVERALL DIMENSIONS.
DO NOT BUILD IN EASEMENTS WITHOUT SPECIFIC INSTRUCTIONS.
ALL ELEVATIONS, PROPOSED OR OTHERWISE, BY GRADING PLAN DATED: _____
THIS PLOT PLAN IS NOT A SUBSTITUTE FOR A GRADING PLAN.
ASSUMES SLAB OF GRADE AND SLAB THICKNESS OF 8.5 INCHES AND ASSUMES FINISHED GRADE TO MATCH EXISTING GRADE AT PROPERTY CORNERS.



PLANTATION HOMES

ARC TABLE				
ARC	LEN.	RAD.	CHRD. BRG.	CHRD. LEN.
'A1'	75'	3575'	S13°5'59"W	75'
'A2'	77.52'	3694.97'	N13°5'59"E	77.52'



I do hereby certify that this drawing or plan and related specifications meet all local requirements and are in local conformity with V.A. minimum property requirements.		JK 11/30/16
APPROVED		BY: NATHAN COZAD

IMPERVIOUS COVERAGE

HOUSE:	4127 SQFT
FLATWORK:	1137 SQFT
SOD:	4870 SQFT
LOT:	9151 SQFT
FENCE:	162 FT
COVERAGE:	45.10 %

DALLAS SQ. FT

1ST FLOOR LIV. AREA	3015 SQ. FT.
GARAGE AREA	595 SQ. FT.
PORCH/PATIO AREA	474 SQ. FT.
TOTAL AREA UNDER ROOF	4084 SQ. FT.

NO FIELD ADJUSTMENTS

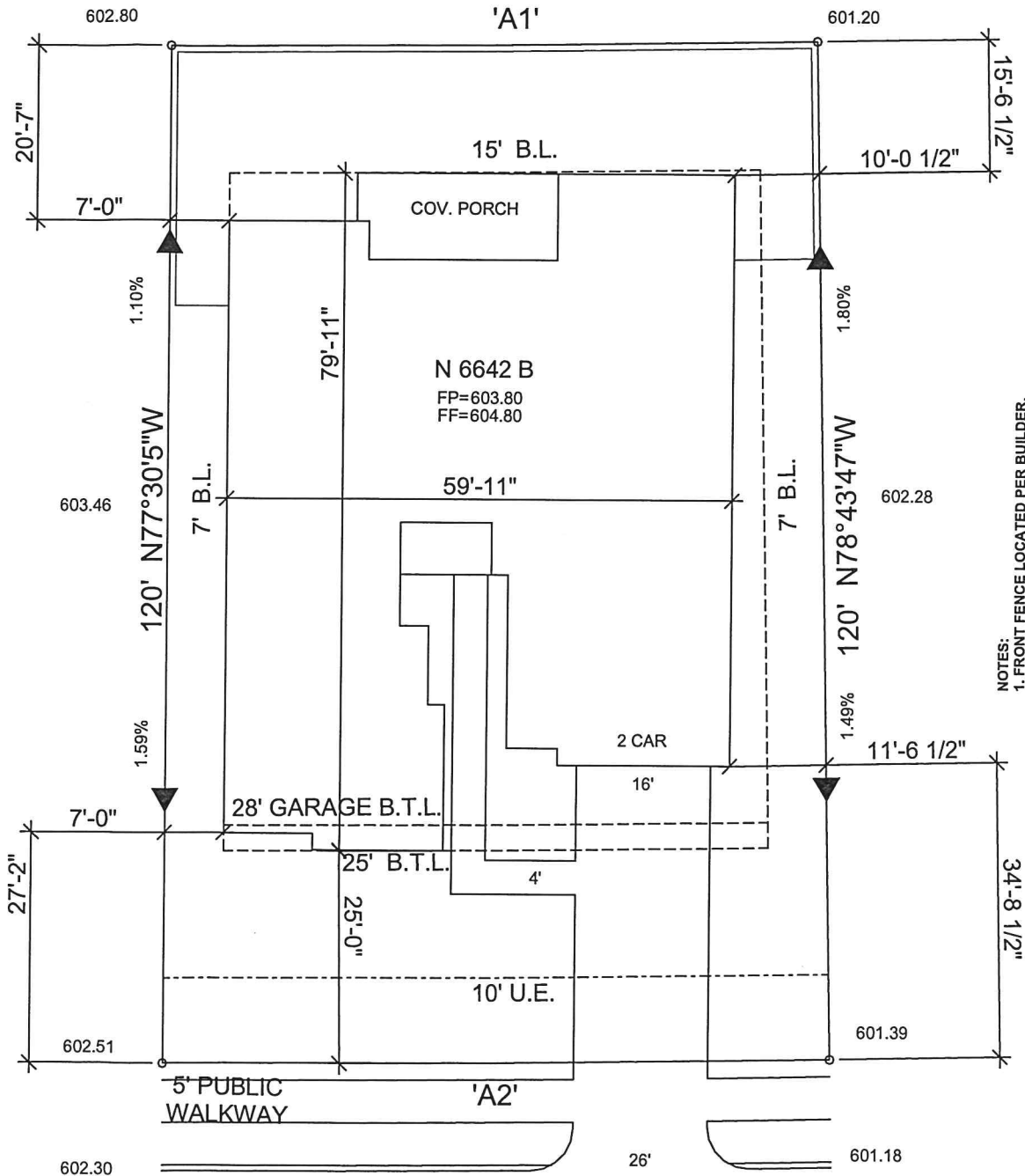
1107 STONEWALL DRIVE

ARC TABLE				
ARC	LEN.	RAD.	CHRD. BRG.	CHRD. LEN.
'A1'	76.64'	3575'	S11°53'4"W	76.64'
'A2'	79.22'	3694.97'	N11°53'4"E	79.22'



NORTH
SCALE 1" = 20'

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The measurements, dimensions, and other specifications shown on this document are guidelines for construction use only. The actual specifications of the finished structure may vary. This document may not be relied on as a representation of what the completed structure will look like.



- NOTES:
1. FRONT FENCE LOCATED PER BUILDER.
 2. VERIFY GRADING IN FIELD.
 3. VERIFY BUILDING SETBACKS AND/OR EASEMENTS IN FIELD

ADDRESS SPECIFIC REVISIONS			
#	DESCRIPTION	DATE	INT.
1	REQUEST COMPLETE	02/10/17	HD
I DO HEREBY CERTIFY THAT THIS DRAWING SET & RELATED SPECIFICATIONS MEET ALL LOCAL REQUIREMENTS & ARE IN LOCAL CONFORMITY WITH V.A. MINIMUM PROPERTY REQUIREMENTS			
APPROVED BY: NATHAN COZAD			

PLAN SQFT.	
TOTAL AREA UNDER ROOF	4072
LIVING	
FIRST FLOOR	3207
SLAB	
GARAGE	565
PATIO/PORCH	300

IMPERVIOUS COVERAGE	
HOUSE:	4106 SQFT
FLATWORK:	1282 SQFT
SOD:	548 SQYD
LOT:	9351 SQFT
COVERAGE:	43.91 %
FENCE:	146 FT

NO FIELD
ADJUSTMENTS

David Weekley Homes
CN/M5/EM
Date: 08/14/15
Scale: 1"=20'
Rev: 3/18/16 HD

03
Lot:
07
Block:
01
Sect:

Proj. No.: 1866
Job No.: 0003
SOUTH POINTE MANOR
1109 STONEWALL DRIVE
MANSFIELD, TX

NORTH
6642-B
PLT-1
PITNEY
DALLAS
ENGINEERED

1109 STONEWALL DRIVE