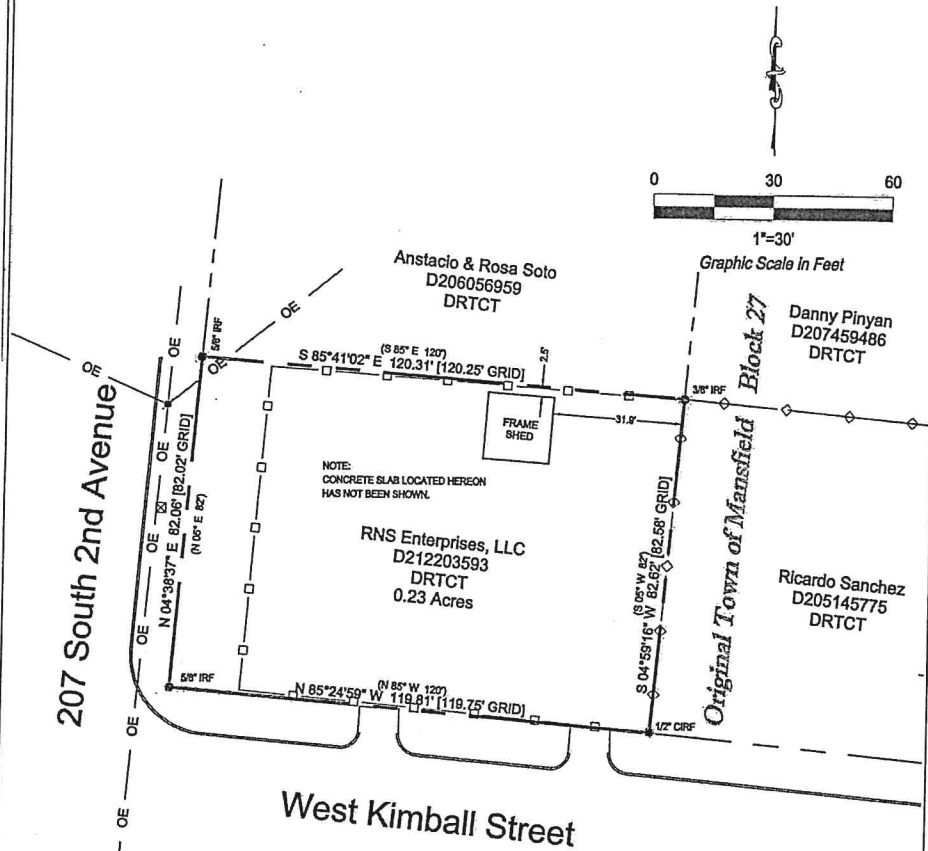


# Great Southwestern Land Surveyors, LLC

600 Strada Circle, Suite 100 • Mansfield • Texas • 76063 • 817-330-0110 T • 817-330-0115 F



I hereby affirm that this plat represents a survey made on the ground on March 20, 2015, and that it substantially conforms to the Professional and Technical Standards of the Texas Board of Professional Land Surveying.

*W. Michael Evans*  
**W. Michael Evans**  
 Registered Professional Land Surveyor No. 4715

- Notes:**
1. Unless otherwise shown hereon, bearings, grid distances, and coordinates shown hereon are referenced to the Texas Coordinate System of 1983, North Central Zone, and are based on the North American Datum of 1983, the combined grid factor is 0.99953172224, and the angle of convergence is -0°44'23".
  2. Distances shown hereon that are not indicated to be "Grid" distances are Surface distances.
  3. This survey has been made according to the information provided by Reason Title according to the Title Commitment Letter issued by said firm in connection with its GP #2017-140154-RU issued on February 24, 2015 at 8:00 AM.
  4. For a description of this tract, see the field notes attached hereto and, by this reference, made a part hereof.



## LEGEND:

- GRF = Capped Iron Rod Found
- GRS = Capped Iron Rod Set
- IRF = Iron Rod Found
- Y = Fire Hydrant
- W = Water Meter
- G = Gas Meter
- P = Power Pole
- C = Chain Link Fence
- W = Wooden Privacy Fence
- OE = Overhead Electric Line
- (XXX) = Record Data

## PLAT SHOWING

0.23 acres of land

and being a part of

**BLOCK 27**

**Original Town of Mansfield**

Tarrant County

Texas

according to the plat filed of record in Volume 63,  
 Page 53, Plat Records of Tarrant County, Texas

Firm Registration No. 10263400

DRAWN: SDI

DATE: 03/21/2015

JOB NO. 88029

PAGE 1 of 2

FIELD NOTES

0.23 acres of land  
being a portion of  
Block 27  
Original Town of Mansfield  
Tarrant County  
Texas

All that certain lot, tract, or parcel of land situated in the city of Mansfield, Tarrant County Texas, and being a portion of Block 27, Original Town of Mansfield, according to the plat filed of record in Volume 63, page 53, Plat Records of Tarrant County, Texas, and being that same tract of land conveyed to RNS Enterprises, LLC, according to the deed filed of record under County Clerk File #D212203593 in the Official Public Records of Tarrant County, Texas, and being described more particularly by metes and bounds as follows:

BEGINNING at a 5/8 inch iron rod found at the intersection of the North line of W. Kimball Street and the East line of South 2<sup>nd</sup> Avenue, said point being the southwest corner of said Block 27, and the southwest corner of said RNS Enterprises, LLC, tract, for the southwest corner of this tract;

THENCE N 04°38'37" E, along the west line said RNS Enterprises, LLC, tract, and along the east line of said South 2<sup>nd</sup> Avenue, a distance of 82.06 feet [82.06 feet GRID], to a 5/8 inch iron rod found, the southwest corner of that certain tract of land conveyed to Anastacio and Rosa Soto according to the deed filed of record under County Clerk file #D206056959, Official Public Records of Tarrant County, Texas, for the northwest corner of this tract;

THENCE S 85°41'02" E, along the north line of said RNS Enterprises, LLC, tract and along the south line of said Soto tract, a distance of 120.31 feet [120.25 feet GRID] to a 3/8 inch iron rod found, the southeast corner of said Soto tract, the northeast corner of said RNS Enterprises, LLC, tract, the southwest corner of that certain tract of land conveyed to Danny Pinyan according to the deed filed of record under County Clerk File #D207459486, Official Public Records of Tarrant County, Texas, and the northwest corner of that certain tract of land conveyed to Ricardo Sanchez according to the deed filed of record under County Clerk File #D205145775, Official Public Records of Tarrant County, Texas, for the northeast corner of this tract;

THENCE S 04°59'16" W, along the east line of said RNS Enterprises, LLC, tract, and along the west line of said Sanchez tract, a distance of 82.62 feet [82.58 feet GRID] to a 1/2 iron rod with yellow plastic found in the north line of West Kimball Street, said point being the southeast corner of said RNS Enterprises, LLC, tract, and the southwest corner of said Sanchez tract, for the southeast corner of this tract

THENCE N 85° 24'59" W, along the south line of said RNS Enterprises, LLC, tract, and along the north line of said West Kimball Street, a distance of 119.81 feet [119.75 feet GRID] to the Place of Beginning, and containing 0.23 acres of land, more or less.



PLANNED DEVELOPMENT REGULATIONS

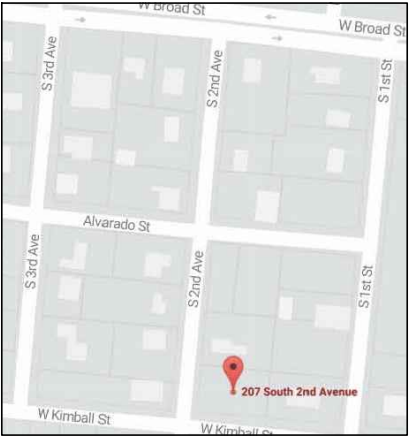
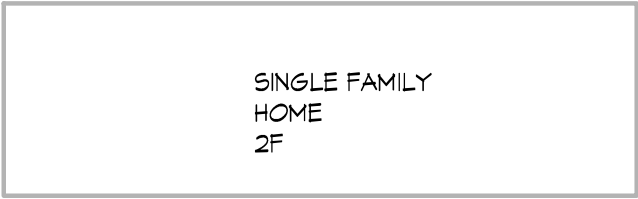
Land Use - Single family detached houses  
Minimum Lot Width - 55 ft  
Minimum Front Setback - 3 ft  
Minimum Rear Setback-15 ft  
Minimum Front Porch Size - 70 SF, 7 ft in depth  
Minimum Side Setback - As shown on the site plan  
Minimum Floor Area - 1900 SF for house on corner lot  
1400 SF for house on interior lot  
Minimum Off-Street Parking - 2 spaces per house  
Maximum Height - 2 stories plus attic  
Maximum Lot Coverage - 85%

ARCHITECTURAL STANDARDS

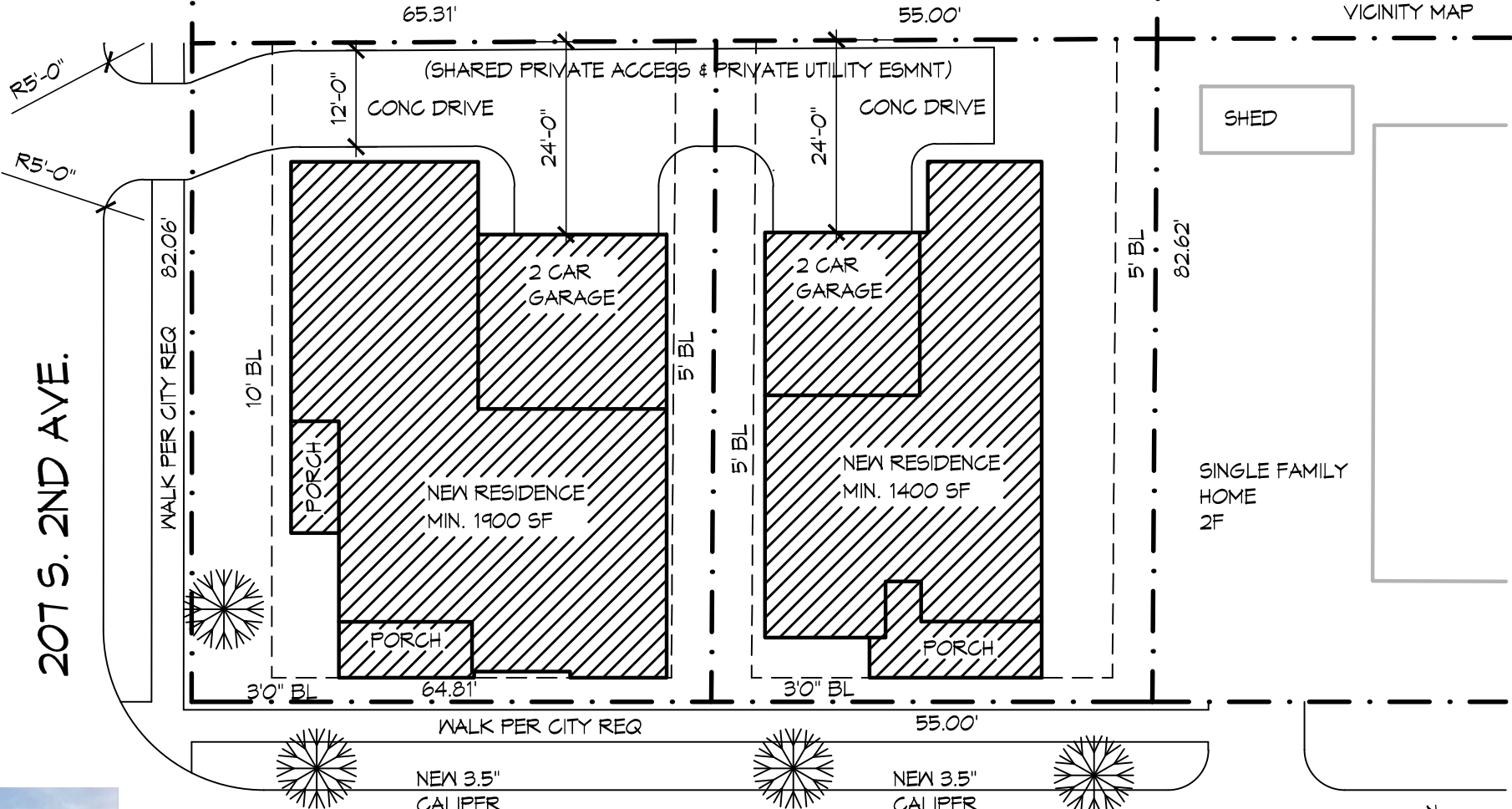
The front elevation design must include a porch  
Porch columns must be at least 6" X 6" wood or wood appearance  
Roofs must be a simple gable or hip form with no more than four primary ridges; Minimum roof pitch 4:12.  
Windows seen from the street are required to be wood, look like wood, or be wood with vinyl or aluminum cladding  
Off-street parking must be in the rear of the house or lot  
Top of window must be no lower than 2' below the top plate  
Roof shingles must be three dimensional. Metal roofs are limited to no more than 20% of the total roof area.  
Facade must be at least 75 % cementitious fiber board, no more than 25% brick or stone materials.  
Any chimney on the exterior wall must be 100% brick or stone  
Exposed rafter tails and corbels are encouraged  
The exterior elevations of the new houses must vary from each other in terms of color, architectural features, roof form, and combination of cladding materials.

LANDSCAPING STANDARDS

Two trees per lot with a minimum caliper size of 3.5 inches  
At least 50% of the foundation facing the street must be planted with shrubbery or flower beds.  
Lawns and landscaping must be irrigated with an irrigation system.  
Trees along W. Kimball will need to be placed a minimum 2' from back of curb.

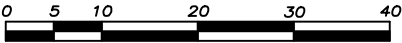
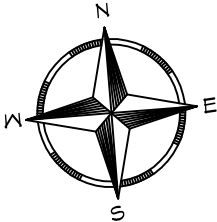


VICINITY MAP



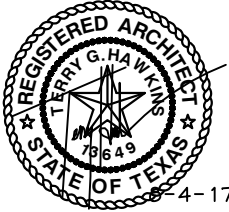
PROPOSED CONCEPT ELEVATIONS

THE PROPOSED DEVELOPMENT WILL BE IN COMPLETE ACCORDANCE WITH THE PROVISIONS OF THE APPROVED PLANNED DEVELOPMENT DISTRICT AND THAT ALL DEVELOPMENT PLANS RECORDED HEREUNDER SHALL BE BINDING UPON THE APPLICANT THEREOF, HIS SUCCESSORS AND ASSIGNS, AND SHALL LIMIT AND CONTROL ALL BUILDING PERMITS.



Scale: 1" = 20'

OWNER: HARRIS COOK PROPERTIES  
309 E. BROAD ST.  
MANSFIELD, TX 76063  
817-473-3333



172187

207 S.  
2ND AVE.

207 S. 2ND AVE.  
LOT 6 BLOCK 27  
ORIGINAL TOWN OF MANSFIELD  
MANSFIELD  
TARRANT COUNTY

DATE: 7-7-17 PD1  
8-4-17

EXHIBIT B  
PAGE 1 OF 2

SHEET Title:

DEVELOPMENT  
PLAN  
1" = 20'0"



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SHEET No.:

ZC#17-012

**EXHIBIT B**

DEVIATIONS FROM BASED ZONING DISTRICT  
ZC#17-012

Subject Property: 0.23 out of Block 27, Original Town of Mansfield, located at 207 S 2nd Ave

Proposed Use: Single family detached houses

Based Zoning District: SF-7.5/16

Section	Requirement	Provided
4500B	Min. Lot Area 7,500 sf	4,510 sf
4500B	Max. Lot Coverage 45%	85%
4500B	Min. Lot Width 65 ft	55 ft
4500B	Min. Lot Depth 110 ft	82 ft
4500B	Min. Front Yard 25 ft	3 ft
4500B	Min. Side Yard 5 & 10 ft	5 ft
4600D.8	Min. 8:12 roof pitch	4:12 which is characteristic of cottage or craftsman style architecture
4600C	Min. Masonry 80%	Min. 75% cementitious fiber board
7300Z.1.a	Provide 3 trees with at least 1 in front yard	2 trees in front of house, none in the limited rear yard