

PLANNED DEVELOPMENT REGULATIONS

Land Use - Single family detached houses
Minimum Lot Width - 50 ft
Minimum Front Setback - 20 ft
Minimum Rear Setback - 15ft
Minimum Front Porch Size - 70 SF, 7 ft in depth
Minimum Side Setback - 5 ft
Minimum Floor Area - 1,600 SF
Off-Street Parking - 2 spaces per house
Maximum Height - 2 stories plus attic
Maximum Lot Coverage - 85%

ARCHITECTURAL STANDARDS APPLICABLE TO THE NEW RESIDENCE

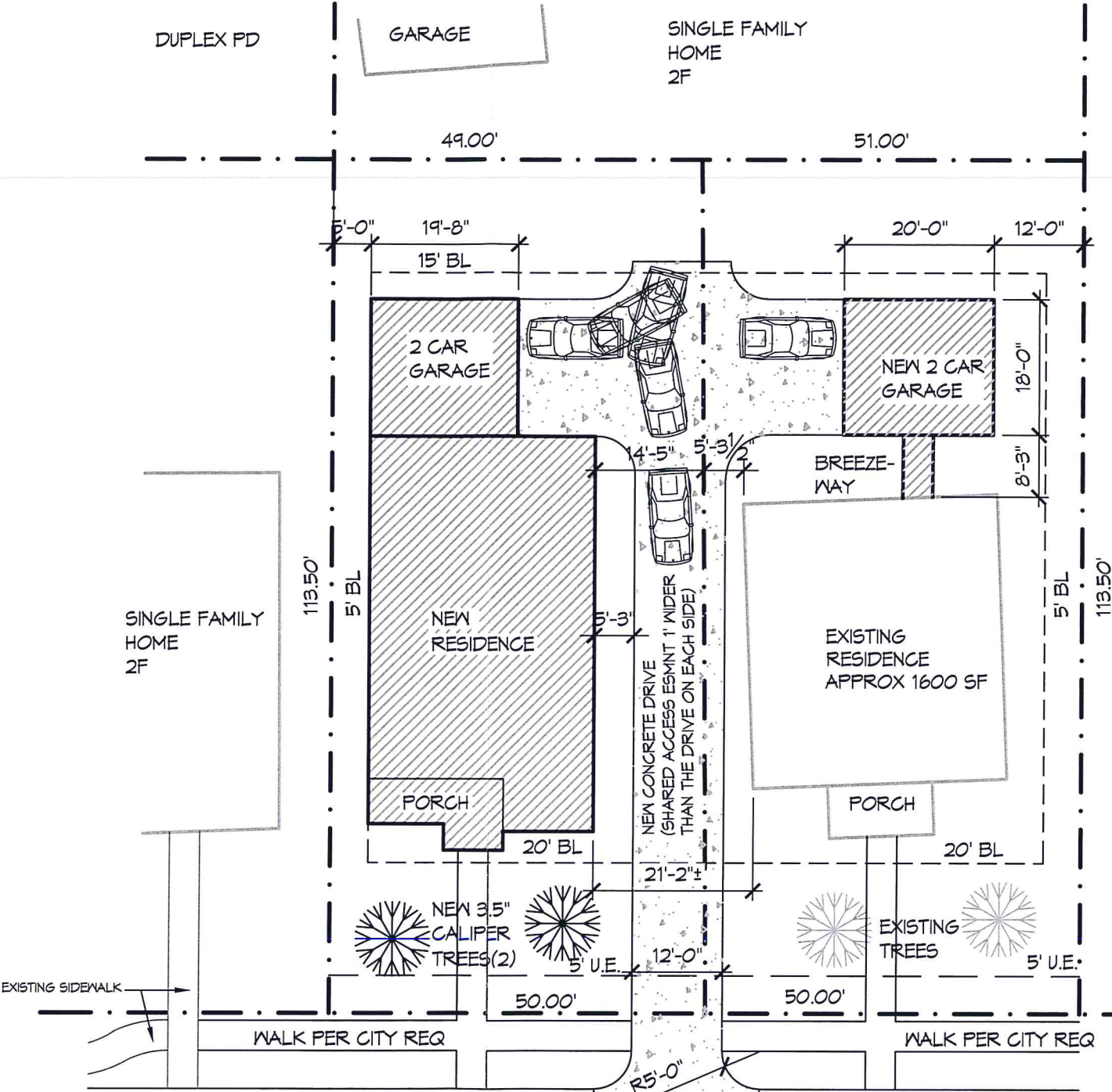
The front elevation design must include a porch
Porch columns must be at least 6" X 6" wood or wood appearance
Roofs must be a simple gable or hip form with no more than four primary ridges; Minimum roof pitch 4:12.
Windows seen from the street are required to be wood, look like wood, or be wood with vinyl or aluminum cladding
Off-street parking must be in the rear of the house or lot
Top of window must be no lower than 2' below the top plate
Roof shingles must be three dimensional . Metal roofs are limited to no more than 20% of the total roof area.
Facade must be at least 75 % cementitious fiber board, no more than 25% brick or stone materials.
Any chimney on the exterior wall must be 100% brick or stone
Exposed rafter tails and corbels are encouraged
The exterior elevation of the new house must vary from the elevation of the existing house at 204 S 2nd Ave in terms of color, architectural features, roof form, and combination of cladding materials.

LANDSCAPING STANDARDS APPLICABLE TO THE NEW RESIDENCE

Two trees per lot with a minimum caliper size of 3.5 inches
At least 50% of the foundation facing the street must be planted with shrubbery or flower beds.
Lawns and landscaping must be irrigated with an irrigation system.

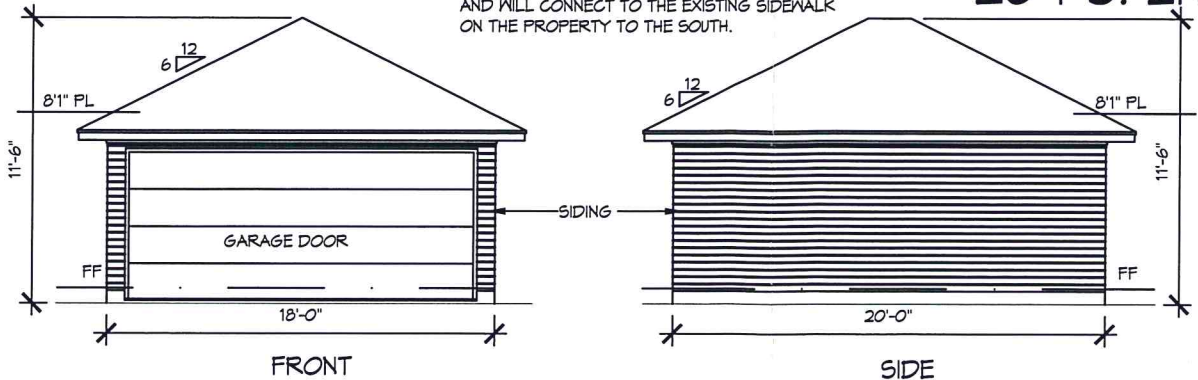


PROPOSED CONCEPT ELEVATION

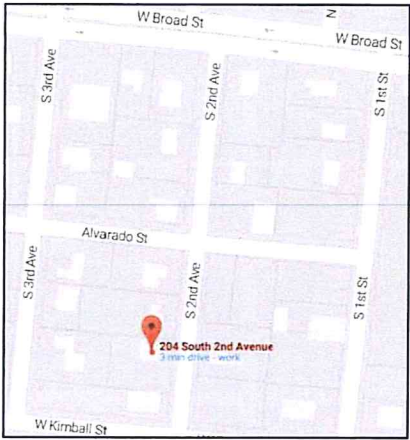


THE CITY SIDEWALK WILL BE CONSTRUCTED TO CITY SPECIFICATIONS BY THE APPLICANT FOR THE ENTIRE WIDTH OF THE APPLICANTS PROPERTY AND WILL CONNECT TO THE EXISTING SIDEWALK ON THE PROPERTY TO THE SOUTH.

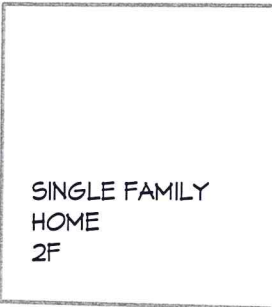
204 S. 2ND AVE.



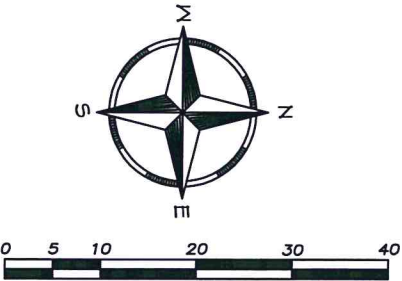
PROPOSED GARAGE ELEVATIONS



VICINITY MAP



THE PROPOSED DEVELOPMENT WILL BE IN COMPLETE ACCORDANCE WITH THE PROVISIONS OF THE APPROVED PLANNED DEVELOPMENT DISTRICT AND THAT ALL DEVELOPMENT PLANS RECORDED HEREUNDER SHALL BE BINDING UPON THE APPLICANT THEREOF, HIS SUCCESSORS AND ASSIGNS, AND SHALL LIMIT AND CONTROL ALL BUILDING PERMITS.



Scale: 1" = 20'

OWNER: HARRIS COOK PROPERTIES
309 E. BROAD ST.
MANSFIELD, TX 76063
817-473-3333



172188

204 S. 2ND AVE.

204 S. 2ND AVE.
LOT 4 BLOCK 30
ORIGINAL TOWN OF MANSFIELD
MANSFIELD
TARRANT COUNTY

DATE: 7-7-17 PD1
8-4-17

EXHIBIT B
PAGE 1 OF 2

SHEET Title:

DEVELOPMENT
PLAN
1" = 20'0"



214 N. WALNUT CREEK DR. MANSFIELD TEXAS 76063
817.471.1324 METRO 817.471.3893 FAX

ARCHITECTS

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SHEET No.:

ZC#17-011