















(A)	PROP. CONCRETE SIDEWALK
(B)	ADA ACCESSIBLE CURB RAMP
(C)	PROP. CURB
(D)	ACCESSIBLE PARKING SPACE (TYP.)
(E)	90 DEGREE 9' X 18' PARKING SPACE [4" WIDE WHITE PAINTED STRIPE (TYP.)]
(F)	ADA ACCESSIBLE SIGN (TYP.)
(G)	PROP. GREASE TRAP (BY OTHERS)
(H)	PROP. DIRECTION SIGNAGE
(I)	PROP. BOLLARDS
(J)	PROP. DUMPSITE ENCLOSURE W/ GATES (REF. ARCH PLAN FOR DETAILS)
(K)	LANDSCAPE AREA
(L)	HORSESHOE IN-LAY (REF. ARCH PLAN FOR
(M)	PROP. TRANSFORMER PAD
(N)	STAMPED FLAGSTONE PAVEMENT (REF. ARCH PLAN FOR DETAIL)
(O)	PROP. 2" WATER METER
(P)	PROP. 1" IRR. METER
(Q)	PROP WHEEL STOP
(R)	EX. FH
(S)	PROP. FDC
(T)	PROP. MONUMENT SIGN
(U)	PROP. 2' - 4' RETAINING WALL
(V)	PROP. FIRE HYDRANT

	PROPERTY LINE
	FULL DEPTH SAWCUT
	PARKING STALL COUNT
	TRANSFORMER PAD
	PROPOSED WATER METER
	PROPOSED WATERMAIN
	PROPOSED SANITARY SEWER
	PROPOSED STORM SEWER
	PROPOSED RETAINING WALL
	EXISTING WATERMAIN
	EXISTING SANITARY SEWER
	EXISTING STORM SEWER
	PROPOSED 24' FIRELANE AND ACCESS EASEMENT
	EXISTING TREE TO REMAIN

2. DIMENSIONS SHOWN FOR BUILDING CORNERS ARE APPROXIMATE OUTSIDE BUILDING ENVELOPE FOR THE PURPOSES OF GRADING. CONTRACTOR SHALL USE ARCHITECT'S STRUCTURAL SLAB PLANS FOR FORM BOARD STAKING AND CONTRACTOR SHALL PROVIDE A FORM BOARD SURVEY, FOR APPROVAL BY THE OWNER, PRIOR TO POURING BUILDING SLABS.

3. THE CONTRACTOR FOR THE PROJECT SHALL NOT PLACE ANY PERMANENT PAVEMENT UNTIL ALL SLEEVING FOR ELECTRIC, GAS, TELEPHONE, CABLE TV, SITE IRRIGATION, OR ANY OTHER UNDERGROUND UTILITY HAS BEEN INSTALLED. IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO CONFIRM THAT ALL SLEEVING IS IN PLACE PRIOR TO POURING PAVEMENT.

DEVIATIONS FROM BASED ZONING DISTRICT		
PROPOSED USE		RESTAURANT, NO DRIVE-THRU
BASED ZONING DISTRICT		C-2, FREEWAY OVERLAY DISTRICT
SECTION	REQUIREMENT	PROVIDED
4600A	MASONRY 70%	MASONRY 30%-40%
TABLE 7100D	MAX. 1 WALL SIGN	10 WALL SIGNS
TABLE 7100D	MAX. SIGN WIDTH 10'-0"	SIGN WIDTH 11'-2"
7100 K.12	DIRECTIONAL SIGN MAX 3' HEIGHT & 4 SF AREA, NO BUSINESS NAME OR LOGO	5' HEIGHT & 10 SF, BUSINESS NAME & LOGO ON FRONT & BACK

SITE DATA SUMMARY TABLE	
LEGAL DESCRIPTION	LOT 4R3 & 4R2, BLOCK 1 MANFRIED HOSPITAL ADDITION
ZONING	C-2, COMMUNITY BUSINESS DISTRICT
PROPOSED USE	COMMERCIAL/ RESTAURANT
SITE AREA	90,111 SF (2.07 AC)
BUILDING AREA	7,240 SF
FLOOR AREA RATIO	0.080 : 1
BUILDING HEIGHT	25' - 0"
PARKING	
REQUIRED PARKING	73 SPACES = 1 SPACE PER 100 SQ. FT. FLOOR AREA
PROPOSED PARKING	149 SPACES
ADA STALLS REQ'D / PROVIDED	5 STALLS / 5 STALLS

***EXHIBIT B:
DEVELOPMENT PLAN***

FOR
SALTGRASS STEAKHOUSE
LOT 4R3 & 4R2, BLOCK 1
MANSFIELD HOSPITAL ADDITION
2.069 AC.
SITUATED IN THE SNYDER S. CALLENDER
SURVEY ABSTRACT NO. 359
CITY OF MANSFIELD, TARRANT COUNTY, TEXAS
ZC#17-021
DATE: NOVEMBER 17, 2017

DEVELOPER:
LANDRY'S INC.
1510 W. Loop South
Houston, TX 77027
Tel. No. (832) 985-2930
Contact: Bevan Hebert
Email: bhebert@ldry.com

CIVIL ENGINEER:
KIMLEY-HORN AND ASSOCIATES, INC.
12750 Merit Drive, Suite 1000
Dallas, Texas 75251
Tel. No. 972-770-1300
Contact: Jennifer Moore, P.E.
Email: jennifer.moore@kimley-horn.com

[illegible]

Kimley»»Horn

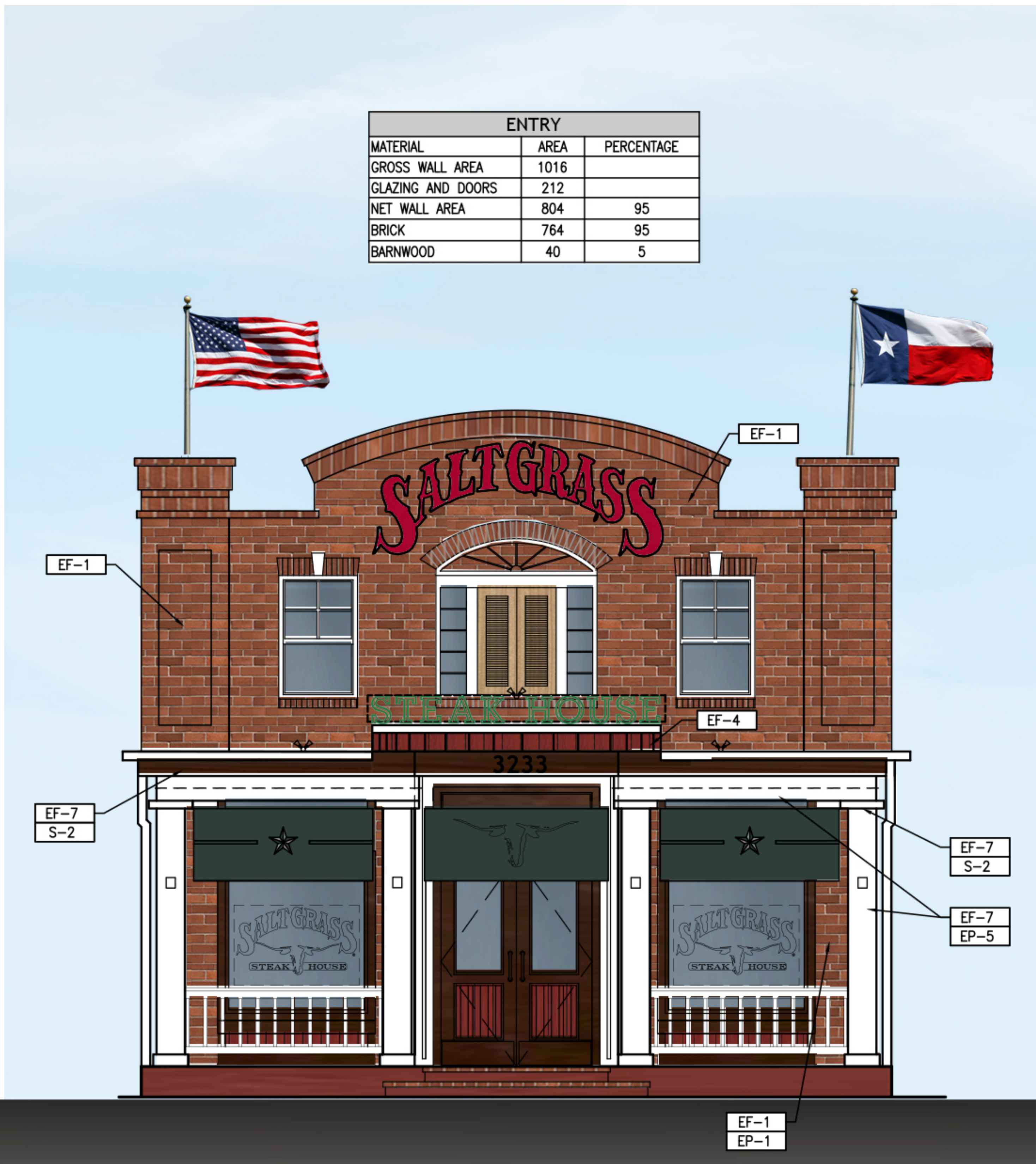
PRELIMINARY
FOR REVIEW ONLY
Not for construction or permit purposes
Kimley»Horn
Engineer: JENNIFER G. MOORE, P.E.
P.E. No. 124908 Date 11/14/2017

PROJECT No. 068681408	
DATE: NOV. 2017	
SCALE: AS SHOWN	
DESIGNED BY: JGM	
DRAWN BY: ABG	
CHECKED BY: SES	

SALTGRASS STEAKHOUSE
LOT 4R3 & 4R2, BLOCK 1
MANSFIELD HOSPITAL ADDITION
1768 & 1770 N. US 287
MANSFIELD, TEXAS

DEVELOPMENT PLAN

SHEET NUMBER
SITE



FRONT ELEVATION (ENTRY)
1/4" = 1' - 0"



RIGHT ELEVATION (WEST)
1/4" = 1' - 0"



LEFT ELEVATION (SOUTH)
1/4" = 1' - 0"

ARCHITECTURAL MATERIALS BREAKDOWN		
MATERIAL	AREA	PERCENTAGE
GROSS WALL AREA	7346	
GLAZING AND DOORS	526	
NET WALL AREA	6820	
WOOD	1071	16
HARDI	2601	38
BLOCK	648	10
EIFS	1399	21
BRICK	825	12
STONE	276	4
TOTAL PERCENTAGE		100

EXTERIOR PAINT

- EP-2 PAINT (BLACK)
- EP-3 PAINT (WHITE)
- EP-4 PAINT (YELLOW)
- EP-5 PAINT (WHITE)
- EP-6 PAINT (GREEN)
- EP-7 PAINT (YELLOW)
- EP-8 PAINT (RED)

EXTERIOR MATERIALS

- EF-1 BRICK [RED/ORANGE]
- EF-2 STONE
- EF-3 INTERNAL COLOR EIFS
- EF-4 BARN WOOD
- EF-5 HARDIE SIDING & TRIM BOARDS
- EF-6 SPLIT FACE CMU
- EF-7 WOOD

ROOFING

- R-1 TPO SINGLE PLY ROOF
- R-2 STANDING SEAM METAL ROOFING-GALVALUME

STAIN

- S-1 RANCH OAK
- S-2 ALMOND BROWN
- S-3 CEDAR NATURAL TONE
- S-4 GLOSS

ARCHITECT INFORMATION	
Peter Brown – Architect	
1431 Greenway Drive, Suite 510	
Irving, TX 75038	
(972)870-1288	
e-mail: PBrown@idstudio4.com	
Exhibit C, page 1 of 2	
Zoning Case - ZC#17-021	



MANSFIELD, TX



ARCHITECTURAL MATERIALS BREAKDOWN		
MATERIAL	AREA	PERCENTAGE
GROSS WALL AREA	7346	
GLAZING AND DOORS	526	
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EF-2 STONE

EF-3 INTERNAL COLOR EIFS

EF-4 BARN WOOD

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EF-7 WOOD

ROOFING

R-1 TPO SINGLE PLY ROOF

R-2 STANDING SEAM METAL
ROOFING-GALVALUME

STAIN

S-1 RANCH OAK

S-2 ALMOND BROWN

S-3 CEDAR NATURAL TONE

S-4 GLOSS

ARCHITECT INFORMATION
Peter Brown – Architect
1431 Greenway Drive, Suite 510
Irving, TX 75038
(972)870-1288
e-mail: PBrown@idstudio4.com
Exhibit C, page 2 of 2
Zoning Case - ZC#17-021



REAR ELEVATION (EAST)

1/4" = 1' - 0"



REAR SIDE ELEVATION (NORTH)

1/4" = 1' - 0"




MANSFIELD, TX



LOT 4R3-2, BLOCK 1
MANSFIELD HOSPITAL
DOC. NO. D213126036
O.P.R.T.C.T.





 x TREE PROTECTION FENCING
 TO REMAIN DURING CONSTRUCTION
 REFER TO 01/L1.01

4245 North Central Expy
Suite 501
Dallas, Texas 75205
214.865.7192 office

L1.01
PROJECT NUMBER:
SGS17021

PROJECT NUMBER

LOT 4R3-2, BLOCK 1
MANSFIELD HOSPITAL
DOC. NO. D213126036
O.P.R.T.C.T.

GENERAL LAWN NOTES

1. CONTRACTOR SHALL COORDINATE OPERATIONS AND AVAILABILITY OF EXISTING TOPSOIL WITH ON-SITE CONSTRUCTION MANAGER.
2. CONTRACTOR SHALL LEAVE LAWN AREAS 1" BELOW FINAL FINISHED GRADE PRIOR TO TOPSOIL INSTALLATION.
3. CONTRACTOR SHALL FINE GRADE AREAS TO ACHIEVE FINAL CONTOURS AS INDICATED ON CIVIL PLANS. ADJUST CONTOURS TO ACHIEVE POSITIVE DRAINAGE AWAY FROM BUILDINGS. PROVIDE UNIFORM ROUNDING AT TOP AND BOTTOM OF SLOPES AND OTHER BREAKS IN GRADE. CORRECT IRREGULARITIES AND AREAS WHERE WATER MAY STAND.
4. ALL LAWN AREAS SHALL BE FINE GRADED, IRRIGATION TRENCHES COMPLETELY SETTLED AND FINISH GRADE APPROVED BY THE OWNER'S CONSTRUCTION SUPERVISOR OR LANDSCAPE ARCHITECT PRIOR TO LAWN INSTALLATION.
5. CONTRACTOR SHALL REMOVE ALL ROCKS 3/4" DIAMETER AND LARGER, DIRT CLODS, STICKS, CONCRETE SPOILS, ETC. PRIOR TO PLACING TOPSOIL AND LAWN INSTALLATION.
6. CONTRACTOR SHALL MAINTAIN ALL LAWN AREAS UNTIL FINAL ACCEPTANCE. THIS SHALL INCLUDE, BUT NOT BE LIMITED TO: MOWING, WATERING, WEEDING, CULTIVATING, CLEANING AND REPLACING DEAD OR DAMAGED GRASS TO KEEP PLANTS IN A VIGOROUS, HEALTHY CONDITION.
7. CONTRACTOR SHALL GUARANTEE ESTABLISHMENT OF ACCEPTABLE TURF GRASS AND SHALL PROVIDE REPLACEMENT FROM LOCAL SUPPLY IF NECESSARY.

1. PLANT SOD BY HAND TO COVER INDICATED AREAS COMPLETELY. ENSURE EDGES OF SOD ARE TOUCHING. TOP DRESS JOINTS BY HAND WITH TOPSOIL TO FILL VOIDS.
2. ROLL GRASS AREAS TO ACHIEVE A SMOOTH, EVEN SURFACE, FREE FROM UNNATURAL UNDULATIONS.
3. WATER SOD THOROUGHLY AS SOD OPERATION PROGRESSES.
4. IF INSTALLATION OCCURS BETWEEN SEPTEMBER 1 AND MARCH 1, OVER-SEED BERMUDAGRASS SOD WITH WINTER RYEGRASS, AT A RATE OF FOUR (4) POUNDS PER ONE THOUSAND (1000) SQUARE FEET.

1. THE PROPERTY OWNER, TENANT OR AGENT, SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL REQUIRED LANDSCAPING IN A HEALTHY, NEAT, ORDERLY AND LIVE-GROWING CONDITION AT ALL TIME. THIS SHALL INCLUDE MOWING, EDGING, PRUNING, FERTILIZING, IRRIGATION, WEEDING, AND OTHER SUCH ACTIVITIES COMMON TO THE MAINTENANCE OF LANDSCAPING. LANDSCAPED AREAS SHALL BE KEPT FREE OF TRASH, LITTER, WEEDS AND OTHER SUCH MATERIALS NOT A PART OF THE LANDSCAPING. PLANT MATERIALS THAT DIE SHALL BE REPLACED WITH PLANT MATERIALS OF SIMILAR VARIETY AND SIZE.

SUMMARY CHART - BUFFERYARDS/SETBACKS					
Location Of Bufferyard Or Setback	Required / Provided	Length	Bufferyard Or Setback Width/Type	Canopy Trees	Screening Wall/Device Height & Material
North	Required	303	BY10	6	N/A
East	Provided	300	BY10	6	SW8
	Required		BY20	12	
South	Required	301	BY20	18 Existing	N/A
	Provided		BY10	6	
West	Required	300	20' Setback	8	N/A
	Provided			20' Setback	

Other Comments:

1. Tree plantings are reduced by 50% in North and South bufferyards.

# Of Required Parking Spaces	73
# Of Provided Parking Spaces	142
# Of Tree Islands Provided	19

SYMBOL	BOTANICAL NAME	COMMON NAME	QTY.	SIZE	REMARKS
TREES					
BO	<i>Quercus macrocarpa</i>	Bur Oak	8	6" cal.	container grown, 15' ht., 5' spread, 5' branching ht., matching
CM	<i>Lagerstroemia indica 'Natchez'</i>	Crepe Myrtle 'Natchez'	6	3" cal.	container grown, 3-5 trunk, no cross canes, 8' ht., 4' spread, matching
CP	<i>Pistacia chinensis</i>	Chinese Pistache	4	6" cal.	B&B, 15' ht., 5' spread, 5' branching ht., matching
ERC	<i>Juniperus virginiana</i>	Eastern Redcedar	4	6" ht.	B&B or container grown, full to base, 3' spread
LE	<i>Ulmus parvifolia 'Sempervirens'</i>	Lacebark Elm	12	6" cal.	container grown, 15' ht., 5' spread, 5' branching ht., matching
SO	<i>Quercus shumardii</i>	Shumard Red Oak	15	6" cal.	container grown, 15' ht., 5' spread, 5' branching ht., matching
VT	<i>Vitex agnus-castus</i>	Vitex	6	3" cal.	B&B or container grown, 8' ht., 4' spread, 3 trunk min.
SHRUBS/GROUNDCOVER					
AB	<i>Abelia grandiflora 'Edward Goucher'</i>	Dwarf Abelia 'Edward Goucher'	35	5 gal.	container full, 20" spread, 36" o.c.
DBH	<i>Ilex cornuta 'Burfordi Nana'</i>	Dwarf Burford Holly	64	36" ht.	container full, 24" spread, 36" o.c.
DCM	<i>Lagerstroemia 'Dwarf Lavender'</i>	Dwarf Crepe Myrtle 'Dwarf Lavender'	98	5 gal.	container full, 20" spread, 24" o.c.
LIR	<i>Liriope muscari 'Big Blue'</i>	Liriope 'Big Blue'	600	4" pots	container full top of center, 22" o.c.
LPG	<i>Spirea japonica 'Little Princess'</i>	Little Princess Spirea	79	5 gal.	full plant, 24" ht., 24" o.c.
MFS	<i>Nassella tenuissima</i>	Mexican Feathergrass	220	1 gal.	container full, 18" o.c.
RY	<i>Red Yucca</i>	Red Yucca	120	7 gal.	container full, 24" o.c.
SC	<i>Hesperaloe parviflora</i>	Seasonal Color	80	4" pots	container full, 12" o.c. selection by Owner
SJ	<i>Juniperus chinensis 'Sea Green'</i>	Sea Green Juniper	33	7 gal.	container full, 24" spread, 36" o.c.
TS	<i>Leucophyllum frutescens 'Green Cloud'</i>	Texas Sage 'Green Cloud'	27	7 gal.	container full, 20" spread, 36" o.c.
	<i>Cynodon dactylon</i>	Common Bermudagrass			refer to notes

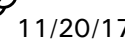
NOTE: ALL TREES SHALL HAVE STRAIGHT TRUNKS AND BE MATCHING WITHIN VARIETIES.
PLANT LIST IS AN AID TO BIDDERS ONLY. CONTRACTOR SHALL VERIFY ALL QUANTITIES ON PLAN.
ALL HEIGHTS AND SPREADS ARE MINIMUMS. ALL PLANT MATERIAL SHALL MEET OR EXCEED REMARKS AS INDICATED.

- 4245 North Central Expy
- Suite 501
- Dallas, Texas 75205
- 214.865.7192 office

CLIENT:

LANDRY'S RESTAURANTS, INC

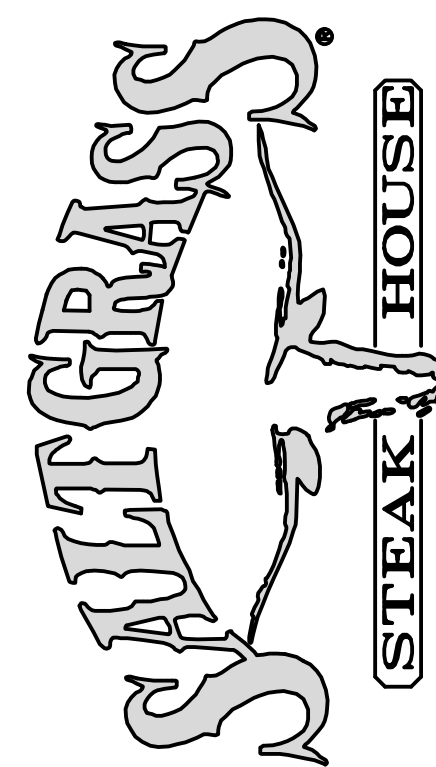
1510 WEST LOOP SOUTH
HOUSTON, TX 77027
(713) 386-7259
www.landrysinc.com



SALTGRASS STEAK HOUSE

1768-1770 N US Hwy 287
Mansfield TX

CLIENT: LANDRY'S RESTAURANTS, INC.
3551 Plano Parkway
The Colony, TX



DATE	DESCRIPTION
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△	DATE	DESCRIPTION
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LANDSCAPE
PLAN

L2.01

PROJECT NUMBER

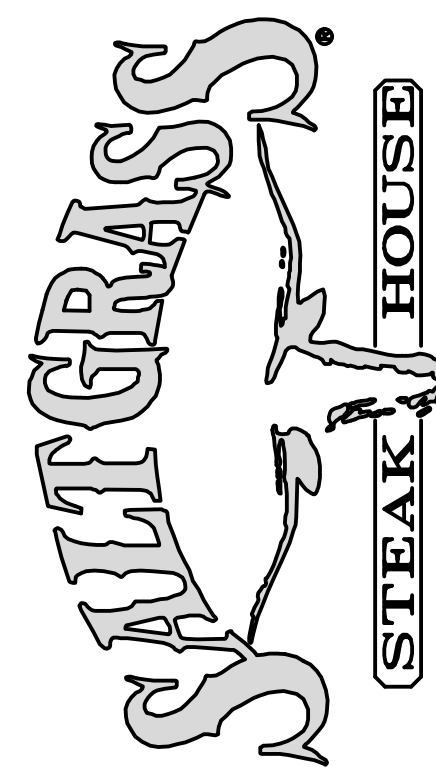
SGS17021



SALTGRASS STEAK HOUSE

1768-1770 N US Hwy 287
Mansfield, TX

CLIENT: LANDRY'S RESTAURANTS, INC.
3551 Plano Parkway
The Colony, TX.

[illegible]LANDSCAPE
ENLARGEMENT
PLAN

L2.02

PROJECT NUMBER

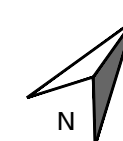
SGS17021



REFER TO L2.01 FOR PLANT LIST

EXHIBIT D
PAGE 2 OF 4
ZC#17-021

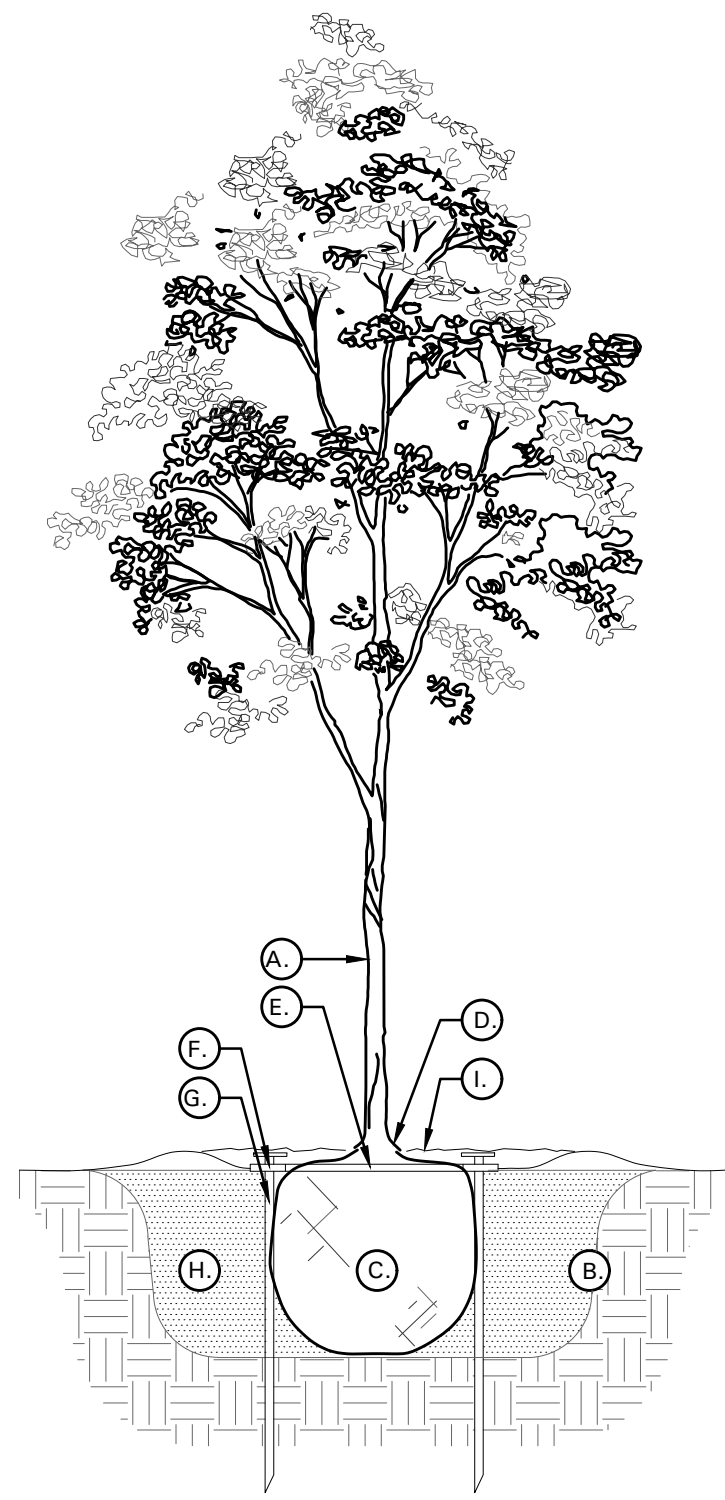
- 4245 North Central Expy
- Suite 501
- Dallas, Texas 75205
- 214.865.7192 office



SCALE: 1" = 10'-0"

Number of Bedrooms	Number of Homes
1	10
2	20
3	30
4	20
5	10
6	5
7	2
8	1
9	1
10	1
11	1
12	1
13	1
14	1
15	1
16	1
17	1
18	1
19	1
20	1

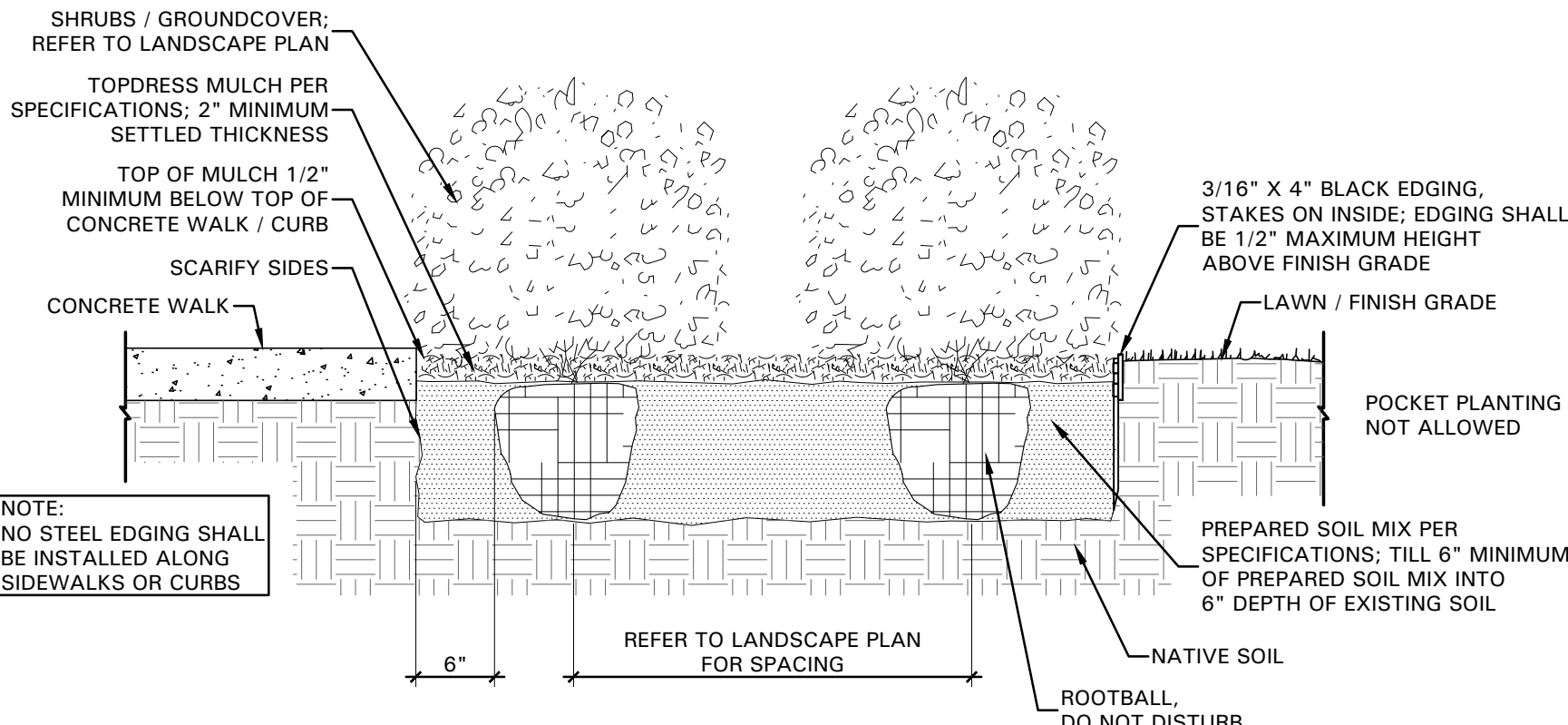




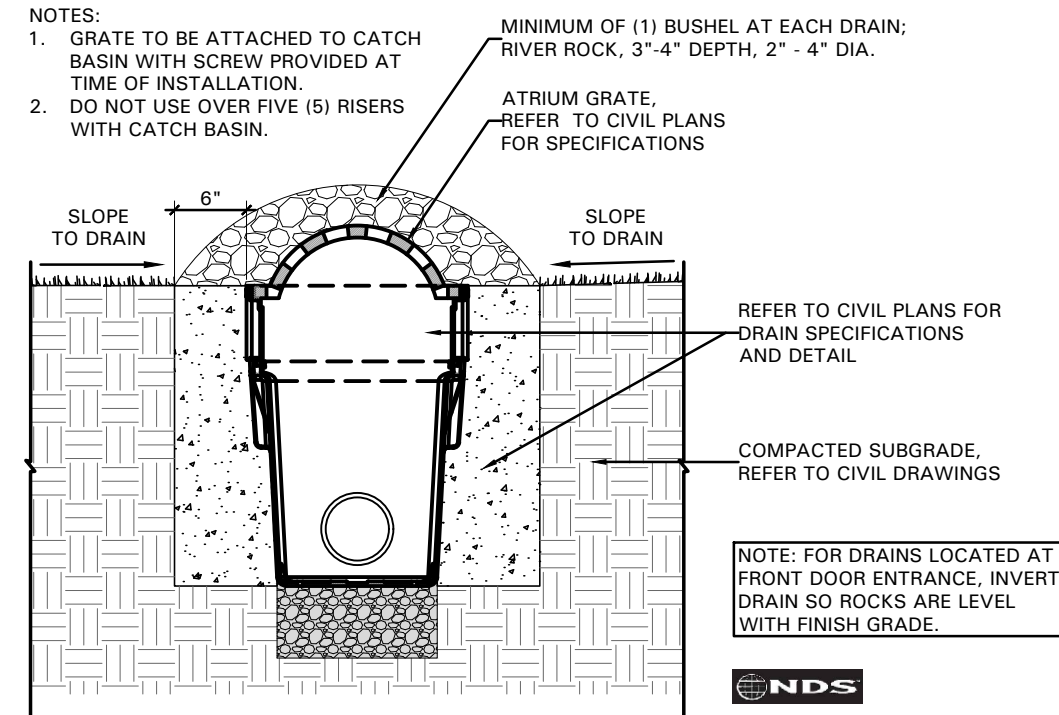
01 TREE PLANTING DETAIL
NOT TO SCALE

TREE PLANTING DETAIL LEGEND
AND NOTES

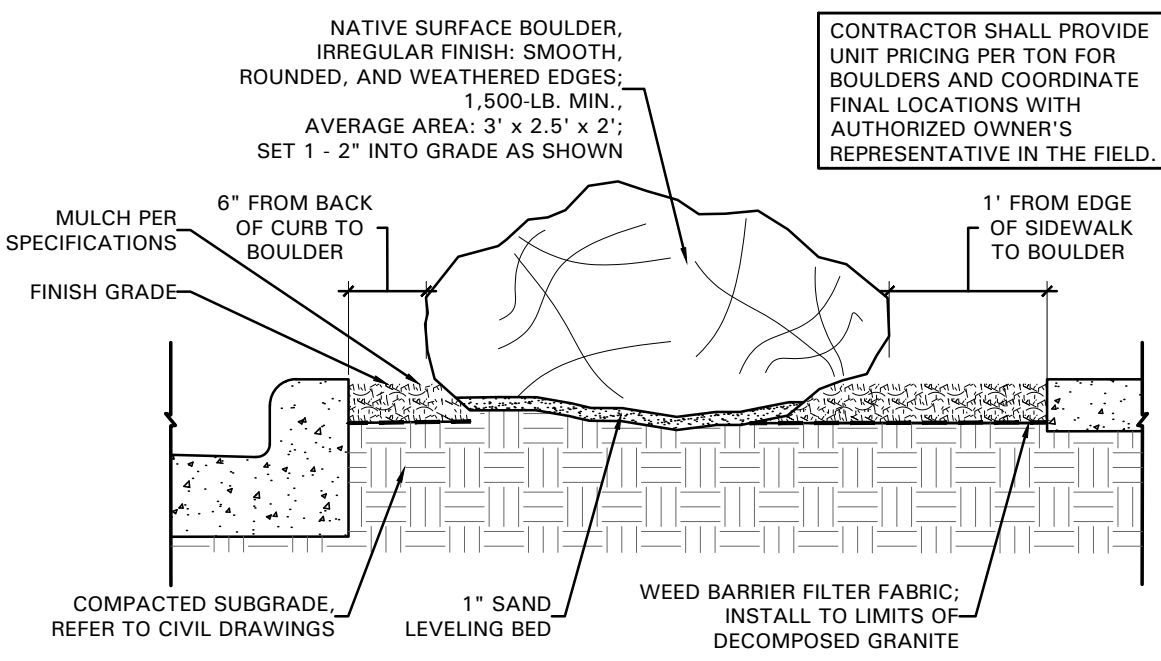
- A. TREE: TREES SHALL CONFORM WITH LATEST AMERICAN STANDARD FOR NURSERY STOCK. www.anla.org
- B. TREE PIT: WIDTH TO BE AT LEAST TWO (2) TIMES THE DIAMETER OF THE ROOT BALL CENTER TREE IN HOLE & REST ROOT BALL ON UNDISTURBED NATIVE SOIL.
- C. ROOT BALL: REMOVE TOP 1/2 BURLAP AND ANY OTHER FOREIGN OBJECT; CONTAINER GROWN STOCK TO BE INSPECTED FOR GIRDLING ROOTS.
- D. ROOT FLARE: ENSURE THAT ROOT FLARE IS EXPOSED, FREE FROM MULCH, AND AT LEAST TWO INCHES ABOVE GRADE. TREES SHALL BE REJECTED WHEN GIRDLING ROOTS ARE PRESENT & ROOT FLARE IS NOT APPARENT.
- E. ROOTBALL ANCHOR RING: REFER TO MANUFACTURER'S GUIDELINES FOR SIZING. PLACE ROOTBALL ANCHOR RING ON BASE OF ROOTBALL. TRUNK SHOULD BE IN THE CENTER OF THE RING.
- F. 'U' BRACKET.
- G. NAIL STAKE: REFER TO MANUFACTURER'S GUIDELINES FOR SIZING. INSTALL NAIL STAKES WITH HAMMER OR Mallet FIRMLY INTO UNDISTURBED GROUND. DRIVE NAIL STAKES FLUSH WITH 'U' BRACKET ADJACENT TO ROOTBALL (DO NOT DISTURB ROOTBALL).
- H. BACKFILL: USE EXISTING NATIVE SOIL (no amendments) WATER THOROUGHLY TO ELIMINATE AIR POCKETS.
- I. MULCH: DOUBLE SHREDDED HARDWOOD MULCH 2" INCH SETTLED THICKNESS, WITH 2" HT. WATERING RING; ENSURE THAT ROOT FLARE IS EXPOSED. BELOW GROUND STAKE SHOULD NOT BE VISIBLE.
- J. TREE STAKES: TREE STAKE SOLUTIONS 'SAFETY STAKE' BELOW GROUND MODEL AVAILABLE FROM: Tree Stake Solutions ATTN: Jeff Tuley (903) 676-6143 jeff@treestakesolutions.com www.treestakesolutions.com OR APPROVED EQUAL. TREES SHALL BE STAKED BELOW GROUND WHERE NECESSARY; ABOVE GROUND STAKING IS EXPRESSLY PROHIBITED.
- K. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN A COPY OF THE MANUFACTURER'S SPECIFICATIONS PRIOR TO INSTALLATION OF TREE STAKES. CONTRACTOR SHALL ADHERE TO MANUFACTURER'S INSTALLATION GUIDELINES, SPECIFICATIONS, AND OTHER REQUIREMENTS FOR TREE STAKE INSTALLATION.



02 SHRUB / GROUNDCOVER DETAIL
NOT TO SCALE



04 YARD INLET
SCALE: 1" = 1'-0"



03 BOULDER DETAIL
SCALE: 1" = 1'-0"



4245 North Central Expy
Suite 501
Dallas, Texas 75205
214.865.7192 office

LANDSCAPE
SPECIFICATIONS
AND DETAIL

L2.03

PROJECT NUMBER:
SGS17021

SECTION 32 9300 - LANDSCAPE

PART 1 - GENERAL

1.1 REFERENCED DOCUMENTS

- A. Refer to Landscape Plans, notes, details, bidding requirements, special provisions, and schedules for additional requirements.

1.2 DESCRIPTION OF WORK

- A. Work included: Furnish all supervision, labor, materials, services, equipment and appliances required to complete the work covered in conjunction with the landscaping covered in these specifications and landscaping plans, including:

- Planting (trees, shrubs and grasses)
- Bed preparation and fertilization
- Notification of sources
- Water and maintenance until final acceptance
- Guarantee

1.3 REFERENCE STANDARDS

- A. American Standard for Nursery Stock published by American Association of Nurserymen; 27 October 1980, Edition; by American National Standards Institute, Inc. (Z60.1) - plant material
- B. American Joint Committee on Horticultural Nomenclature: 1942 Edition of Standardized Plant Names.
- C. Texas Association of Nurserymen, Grades and Standards
- D. Horis Third, 1976 - Cornell University

1.4 NOTIFICATION OF SOURCES AND SUBMITTALS

- A. Samples: Provide representative quantities of sandy loam soil, mulch, bed mix material, gravel, crushed stone, steel edging and tree stakes. Samples shall be approved by Owner's Authorized Representative before use on the project.

1.5 JOB CONDITIONS

- A. General Contractor to complete the following punch list: Prior to Landscape Contractor initiating any portion of landscape installation, General Contractor shall leave planting bed areas three (3") inches below final finish grade of sidewalks, drives and curbs as shown on the drawings. All lawn areas to receive solid sod shall be left one (1") inch below the final finish grade of sidewalks, drives and curbs. All construction debris shall be removed prior to Landscape Contractor beginning any work.
- B. Storage of materials and equipment at the job site will be at the risk of the Landscape Contractor. The Owner cannot be held responsible for theft or damage.

1.6 MAINTENANCE AND GUARANTEE

- A. Maintenance:
- The Landscape Contractor shall be held responsible for the maintenance of all work from the time of planting until final acceptance by the Owner. No trees, shrubs, groundcover or grass will be accepted unless they show healthy growth and satisfactory foliage conditions.
 - Maintenance shall include watering of trees and plants, cultivation, weeding spraying, edging, pruning of trees, mowing of grass, cleaning up and all other work necessary of maintenance.
 - A written notice requesting final inspection and acceptance should be submitted to the Owner at least seven (7) days prior to completion. An on-site inspection by the Owner's Authorized Representative will be completed prior to written acceptance.
- B. Guarantee:

1. Trees, shrubs and groundcover shall be guaranteed for a twelve (12) month period after final acceptance. The Contractor shall replace all dead materials as soon as weather permits and upon notification of the Owner. Plants, including trees, which have partially died so that shape, size, or symmetry have been damaged, shall be considered subject to replacement. In such cases, the opinion of the Owner shall be final.

- a. Plants used for replacement shall be of the same size and kind as those originally planted and shall be planted as originally specified. All work, including materials, labor and equipment used in replacements, shall carry a twelve (12) month guarantee. Any damage, including ruts in lawn or bed areas, incurred as a result of making replacements shall be immediately repaired.

- b. At the direction of the Owner, plants may be replaced at the start of the next year's planting season. In such cases, dead plants shall be removed from the premises immediately.

- c. When plant replacements are made, plants, soil mix, fertilizer and mulch are to be utilized as originally specified and re-inspected for full compliance with the contract requirements. All replacements are to be included under "Work" of this section.

2. The Owner agrees that for the guarantee to be effective, he will water plants at least twice a week during dry periods and cultivate beds once a month after final acceptance.

3. The above guarantee shall not apply where plants die after acceptance because of injury from storms, hail, freeze, insects, diseases, injury by humans, machines or theft.

4. Acceptance for all landscape work shall be given after final inspection by the Owner provided the job is in a complete, undamaged condition and there is a stand of grass in all lawn areas. At the time of acceptance, the Owner will assume maintenance on the accepted work.

- C. Repairs: Any necessary repairs under the Guarantee must be made within ten (10) days after receiving notice, weather permitting. In the event the Landscape Contractor does not make repairs accordingly, the Owner, without further notice to Contractor, may provide materials and men to make such repairs at the expense to the Landscape Contractor.

1.7 QUALITY ASSURANCE

- A. General: Comply with applicable federal, state, county and local regulations governing landscape materials and work.

- B. Personnel: Employ only experienced personnel who are familiar with the required work. Provide full time supervision by a qualified foreman acceptable to Landscape Architect.

- C. Selection of Plant Material:
- Make contact with suppliers immediately upon obtaining notice of contract acceptance to select and book materials. Develop a program of maintenance (pruning and fertilization) which will ensure the purchased materials will meet and / or exceed project specifications.

- Substitutions: Do not make plant material substitutions. If the specified landscape material is not obtainable, submit proof of non-availability to Landscape Architect, together with proposal for use of equivalent material. At the time bids are submitted, the Contractor is assumed to have located the materials necessary to complete the job as specified.

3. Landscape Architect will provide a key identifying each tree location on site. The key will be in the form of a drawing to document material selection, source and delivery schedules to site.

4. Measurements: Measure trees with branches and trunks or canes in their normal position. Do not prune to obtain required sizes. Take caliper measurements six inches above ground for trees up to and including 4" caliper size, and twelve inches above ground for larger sizes. Measure main body of all plant material of height and spread dimensions,

do not measure from branch or root tip-to-tip.

5. Owner's Authorized Representative shall inspect all plant material with requirements for genus, species, cultivar / variety size and quality.

6. Owner's Authorized Representative retains the right to further inspect all plant material upon arrival to the site and during installation for size and condition of root balls and root systems, limbs, branching habit, insects, injuries and latent defects.

7. Owner's Authorized Representative may reject unsatisfactory or defective material at any time during the process work. Remove rejected materials immediately from the site and replace with acceptable material at no additional cost to the Owner. Plants damaged in transit or at job site shall be rejected.

1.8 PRODUCT DELIVERY, STORAGE AND HANDLING

A. Preparation:

1. Balled and Burlapped (B&B) Plants: Dig and prepare shipment in a manner that will not damage roots, branches, shape and future development.

2. Container Grown Plants: Deliver plants in rigid container to hold ball shape and protect root mass.

B. Delivery:

1. Deliver packaged materials in sealed containers showing weight, analysis and name of manufacturer. Protect materials from deterioration during delivery and while stored on site.

2. Deliver only plant materials that can be planted in one day unless adequate storage and watering facilities are available on job site.

3. Protect root balls by heeling in with sawdust or other approved moisture retaining material if not planted within 24 hours of delivery.

4. Protect plants during delivery to prevent damage to root balls or desiccation of leaves. Keep plants moist at all times. Cover all materials during transport.

5. Notify Owner's Authorized Representative of delivery schedule 72 hours in advance job site.

6. Remove rejected plant material immediately from job site.

7. To avoid damage or stress, do not lift, move, adjust to plumb, or otherwise manipulate plants by trunk or stems.

PART 2 - PRODUCTS

2.1 PLANTS

- A. General: Well-formed No. 1 grade or better nursery grown stock. Listed plant heights are from tops of root balls to nominal tops of plants. Plant spread refers to nominal outer width of the plant, not to the outer leaf tips. Plants will be individually approved by the Owner's Authorized Representative and his decision as to their acceptability shall be final.

- B. Quantities: The drawings and specifications are complimentary. Anything called for on one and not the other is as binding as if shown and called for on both. The plant schedule is an aid to bidders only. Confirm all quantities on plan.

- C. Quality and size: Plant materials shall conform to the size given on the plan, and shall be healthy, symmetrical, well-shaped, full branched and well rooted. The plants shall be free from injurious insects, diseases, injuries to the bark or roots, broken branches, objectionable disfigurements, insect eggs and larvae, and are to be of specimen quality.

- D. Approval: All plants which are found unsuitable in growth, or are in any unhealthy, badly shaped or undersized condition will be rejected by the Owner's Authorized Representative either before or after planting and shall be removed at the expense of the Landscape Contractor and replaced with acceptable plant as

specified at no additional cost to the Owner.

- E. Trees shall be healthy, full-branched, well-shaped, and shall meet the minimum trunk and diameter requirements of the plant schedule. Balls shall be firm, neat, slightly tapered and well wrapped in burlap. Any tree loose in the ball or with a broken root ball at time of planting will be rejected. Balls shall be ten (10") inches in diameter for each one (1") inch of trunk diameter, and measured six (6") inches above ball. (Nomenclature confirms to the customary nursery usage. For clarification, the term "multi-trunk" defines a plant having three (3) or more trunks of nearly equal diameter.)

- F. Pruning: All pruning of trees and shrubs, as directed by the Landscape Architect prior to final acceptance, shall be executed by the Landscape Contractor at no additional cost to the Owner.

2.2 SOIL PREPARATION MATERIALS

A. Sandy Loam:

1. Friable, fertile, dark, loamy soil, free of clay lumps, subsoil, stones and other extraneous material and reasonably free of weeds and foreign grasses. Loam containing Dallasgrass or Nutgrass shall be rejected.

2. Physical properties as follows:

- a. Clay - between 7-27 percent
- b. Silt - between 15-25 percent
- c. Sand - less than 52 percent

3. Organic matter shall be 3%-10% of total dry weight.

4. If requested, Landscape Contractor shall provide a certified soil analysis conducted by an approved soil testing laboratory verifying that sandy loam meets the above requirements.

- B. Organic Material: Compost with a mixture of 80% vegetative matter and 20% animal waste. Ingredients should be a mix of coarse and fine textured material.

- C. Premixed Bedding Soil as supplied by Vital Earth Resources, Glendale, Texas; Professional Bedding Soil as supplied by Living Earth Technology, Dallas, Texas or Acid Gro Municipal Mix as supplied by Soil Building Systems, Dallas, Texas or approved equal.

- D. Sharp Sand: Sharp sand must be free of seeds, soil particles and weeds.

- E. Mulch: Double Shredded Hardwood Mulch, partially decomposed, dark brown. Living Earth Technologies or approved equal.

- F. Organic Fertilizer: Fertilaids, Sustane, or Green Sense or equal as recommended for required applications. Fertilizer shall be delivered to the site in original unopened containers, each bearing the manufacturer's guaranteed statement of analysis.

- G. Commercial Fertilizer: 10-20-10 or similar analysis. Nitrogen source to be a minimum 50% slow release organic Nitrogen (SCU or UF) with a minimum 8% sulfur and 4% iron, plus micronutrients.

- H. Peat: Commercial sphagnum peat moss or partially decomposed shredded pine bark or other approved organic material.

2.3 MISCELLANEOUS MATERIALS

- A. Steel Edging: All steel edging shall be 3/16" thick x 4" deep x 16' long with 6 stakes per section, painted black at the factory as manufactured by The J.D. Russell Company and under its trade name DURAEDGE Heavy Duty Steel.

- B. Staking Material for Shade Trees: refer to details.

- C. Gravel: Washed native pea gravel, graded 1 inch to 1-1/2 inch.

- D. Filter Fabric: 'Mirafri Mirascape' by Mirafri Construction Products available at Lone Star Products, Inc., (469) 523-0444 or approved equal.

- E. River Rock: Tan-brown river rock, 3/4" - 1" dia.

- F. Decomposed Granite: Base material shall consist of a natural material mix of granite aggregate not to exceed 1/8" diameter in size and shall be composed of various stages of decomposed earth base.

PART 3 - EXECUTION

3.1 BED PREPARATION & FERTILIZATION

- A. Landscape Contractor to inspect all existing conditions and report any deficiencies to the Owner.

- B. All planting areas shall be conditioned as follows:

- Prepare new planting beds by scraping away existing grass and weeds as necessary. Till existing soil to a depth of six (6") inches prior to placing compost and fertilizer. Apply fertilizer as per Manufacturer's recommendations. Add six (6") inches of compost and till into a depth of six (6") inches of the topsoil. Apply organic fertilizer such as Sustane or Green Sense at the rate of twenty (20) pounds per one thousand (1,000) square feet.

- All planting areas shall receive a two (2") inch layer of specified mulch.

- Backfill for tree pits shall be as follows: Use existing top soil on site (use imported topsoil as needed) free from large clumps, rocks, debris, caliche, subsoils, etc., placed in nine (9") inch layers and watered in thoroughly.

C. Grass Areas:

- Blocks of sod should be laid joint to joint (staggered joints) after fertilizing the ground first. Roll grass areas to achieve a smooth, even surface. The joints between the blocks of sod should be filled with topsoil where they are evidently gapped open, then watered thoroughly.

3.2 INSTALLATION

- A. Maintenance of plant materials shall begin immediately after each plant is delivered to the site and shall continue until all construction has been satisfactorily accomplished.

- B. Plant materials shall be delivered to the site only after the beds are prepared and areas are ready for planting. All shipments of nursery materials shall be thoroughly protected from the drying winds during transit. All plants which cannot be planted at once, after delivery to the site, shall be well protected against the possibility of drying by wind and Balls of earth of B & B plants shall be kept covered with soil or other acceptable material. All plants remain the property of the Contractor until final acceptance.

- C. Position the trees and shrubs in their intended location as per plan.

- D. Notify the Owner's Authorized Representative for inspection and approval of all positioning of plant materials.

- E. Excavate pits with vertical sides and horizontal bottom. Tree pits shall be large enough to permit handling and planting without injury to balls of earth or roots and shall be of such depth that when planted and settled, the crown of the plant shall bear the same relationship to the finish grade as it did to soil surface in original place of growth.

- F. Shrub and tree pits shall be no less than twenty-four (24") inches wider than the lateral dimension of the earth ball and six (6") inches deeper than it's vertical dimension. Remove and haul from site all rocks and stones over three-quarter (3/4") inch in diameter. Plants should be thoroughly moist before removing containers.

- G. Dig a wide, rough sided hole exactly the same depth as the height of the ball, especially at the surface of the ground. The sides of the hole should be rough and jagged, never slick or glazed.

- H. Percolation Test: Fill the hole with water. If the water level does not percolate within 24 hours, the tree needs to move to another location or have drainage added. Install a PVC stand pipe per

tree planting detail as approved by the Landscape Architect if the percolation test fails.

- I. Backfill only with 5 parts existing soil or sandy loam and 1 part bed preparation. When the hole is dug in solid rock, topsoil from the same area should not be used. Carefully settle by watering to prevent air pockets. Remove the burlap from the top 1/2 of the ball, as well as all nylon, plastic string and wire. Container trees will usually be root bound, if so follow standard nursery practice of 'root scoring'.

- J. Do not wrap trees.

- K. Do not over prune.

- L. Mulch the top of the ball. Do not plant grass all the way to the trunk of the tree. Leave the area above the top of the ball and mulch with at least two (2") inches of specified mulch.

- M. All plant beds and trees to be mulched with a minimum settled thickness of two (2") inches over the entire bed or pit.

- N. Obstruction below ground: In the event that rock, or underground construction work or obstructions are encountered in any plant pit excavation work to be done under this section, alternate locations may be selected by the Owner. Where locations cannot be changed, the obstructions shall be removed to a depth of not less than three (3') feet below grade and no less than six (6") inches below the bottom of ball when plant is properly set at the required grade. The work of this section shall include the removal from the site of such rock or underground obstructions encountered at the cost of the Landscape Contractor.

- O. Trees and large shrubs shall be staked as site conditions require. Position stakes to secure trees against seasonal prevailing winds.

- P. Pruning and Mulching: Pruning shall be directed by the Landscape Architect and shall be pruned in accordance with standard horticultural practice following Fine Pruning, Class I pruning standards provided by the National Arborist Association.

- Dead wood, suckers, broken and badly bruised branches shall be removed. General tipping of the branches is not permitted. Do not cut terminal branches.

- Pruning shall be done with clean, sharp tools.

- Immediately after planting operations are completed, all tree pits shall be covered with a layer of organic material two (2") inches in depth. This limit of the organic material for trees shall be the diameter of the plant pit.

- Q. Steel Curbing Installation:

- Curbing shall be aligned as indicated on plans. Stake out limits of steel curbing and obtain Owners approval prior to installation.

- All steel curbing shall be free of kinks and abrupt bends.

- Top of curbing shall be 1/2" maximum height above final finished grade.

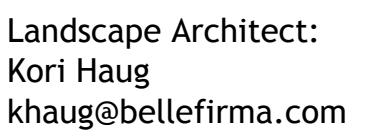
- Stakes are to be installed on the planting bed side of the curbing, as opposed to the grass side.

- Do not install steel edging along sidewalks or curbs.

3.3 CLEANUP AND ACCEPTANCE

- A. Cleanup: During the work, the premises shall be kept neat and orderly at all times. Storage areas for all materials shall be so organized so that they, too, are neat and orderly. All trash and debris shall be removed from the site as work progresses. Keep paved areas clean by sweeping or hosing them at end of each work day.

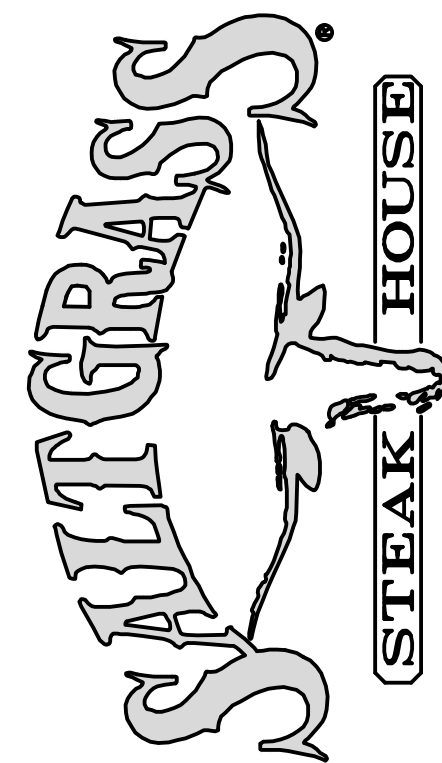
END OF SECTION



SALTGRASS STEAK HOUSE

1768-1770 N US Hwy 287
Mansfield, TX

CLIENT: LANDRY'S RESTAURANTS, INC.
3551 Plano Parkway
The Colony, TX.

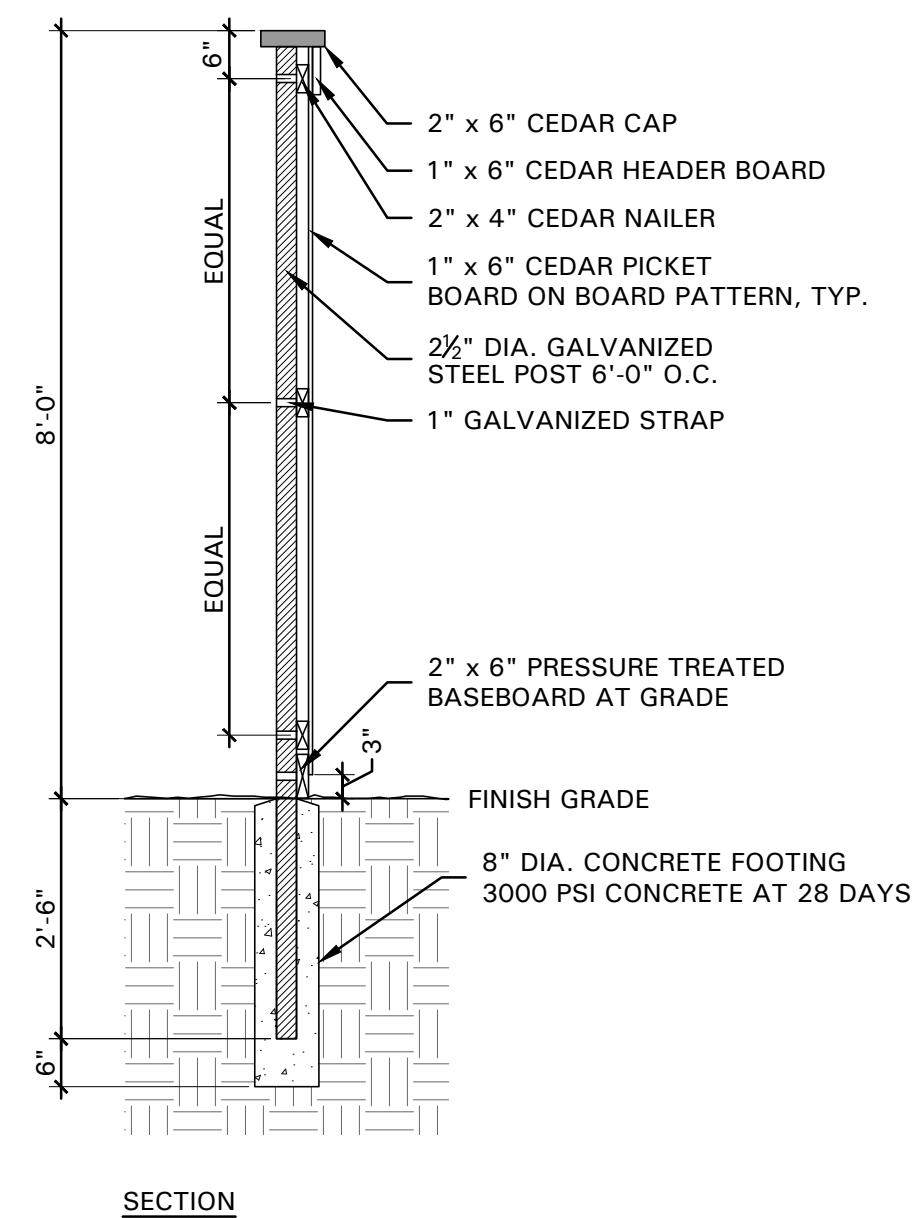
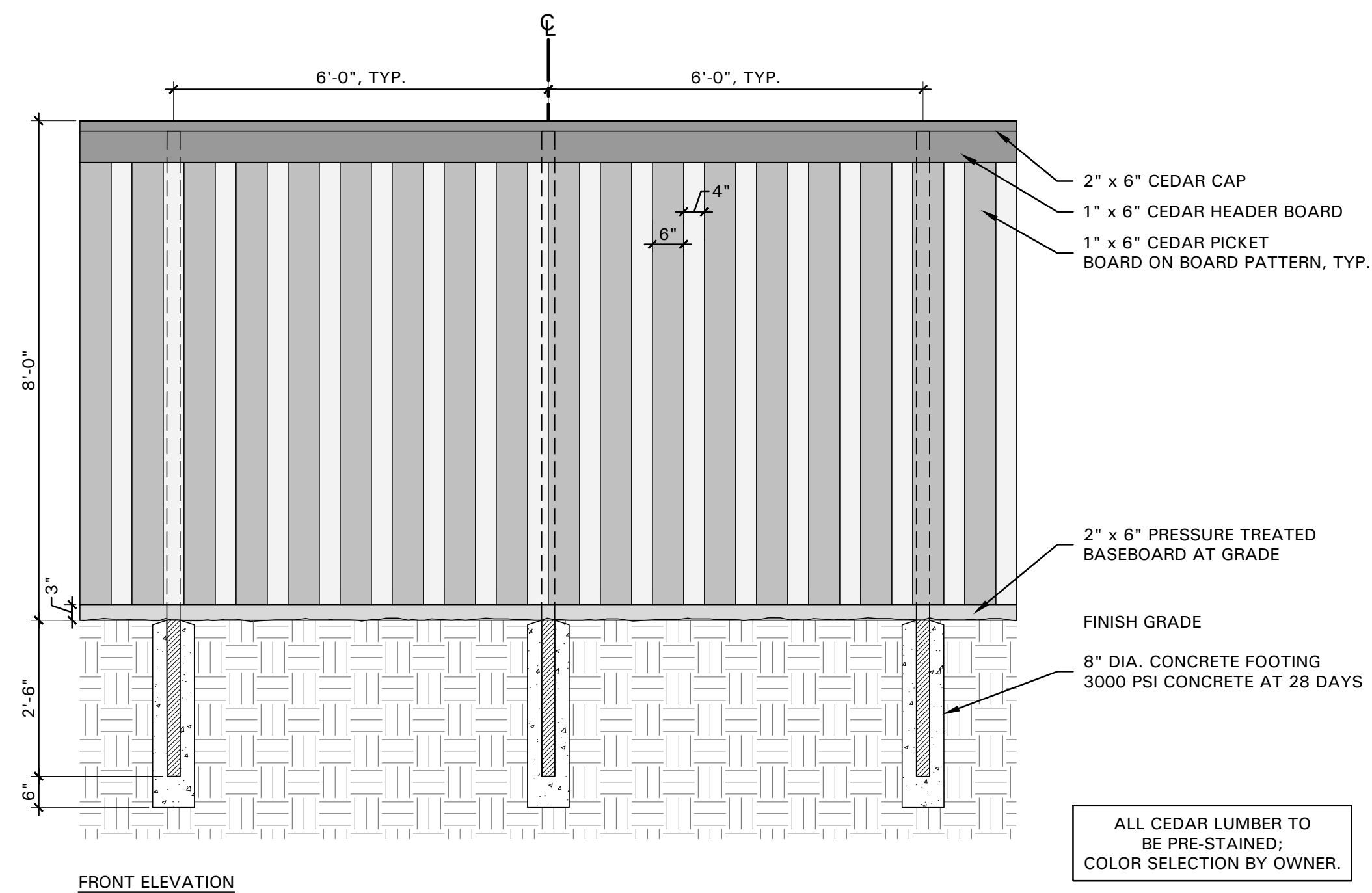
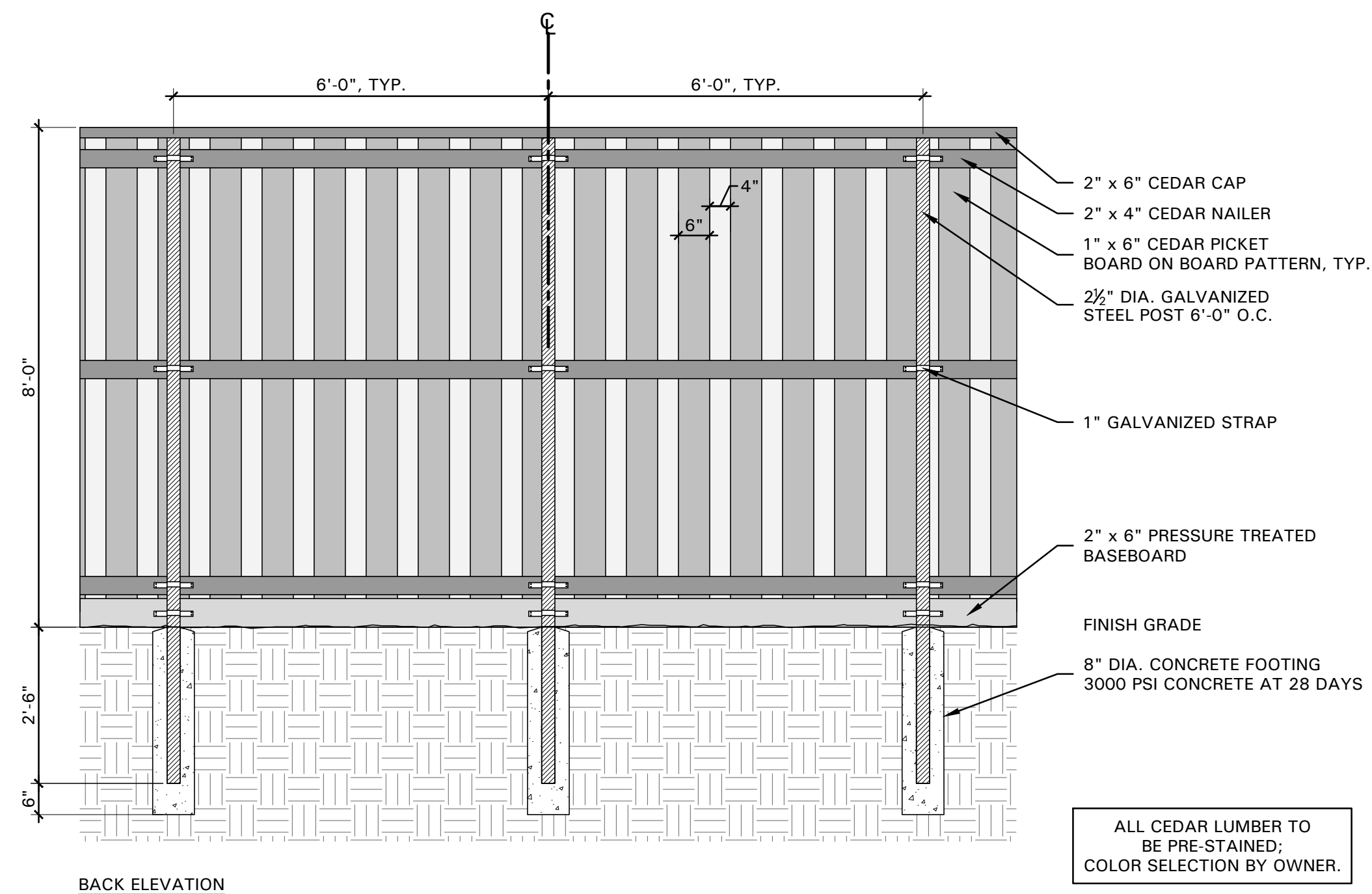
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FENCE DETAIL

L2.04

PROJECT NUMBER

SGS17021



01 WOOD FENCE DETAIL

NOT TO SCALE

EXHIBIT D
PAGE 4 OF 4
ZC#17-021

- 4245 North Central Expy
- Suite 501
- Dallas, Texas 75205
- 214.865.7192 office





SGS17021

Exhibit E



SALTGRASS
STEAK HOUSE

Mansfield, TX

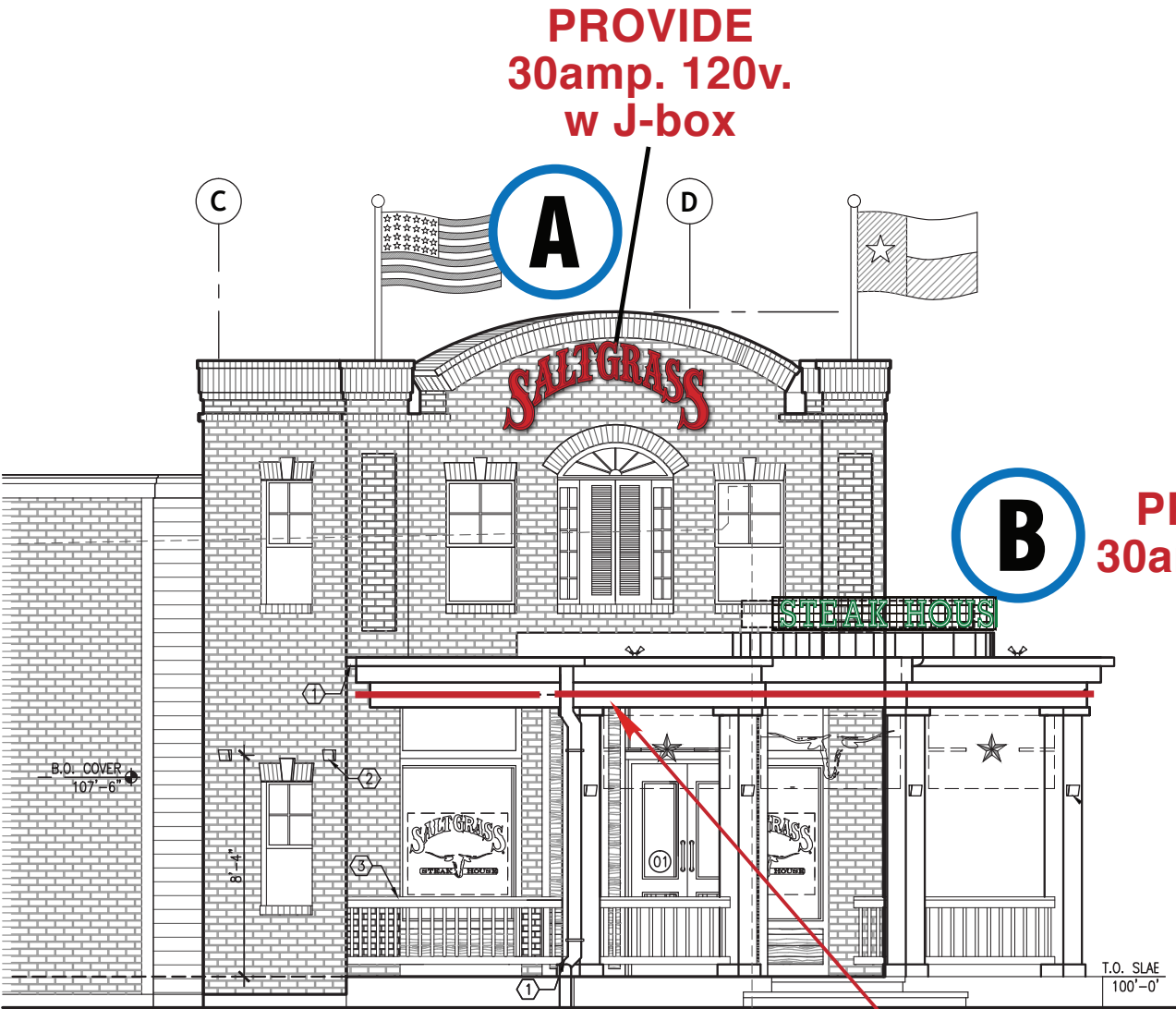
ZC#17-021

SALTGRASS - MANSFIELD, TX
DATE: 10-12-17

5 YEAR WARRANTY
ALL PARTS
ALL LABOR
ALL LIGHTING
ALL SIGNAGE

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WWW.HUMBLESIGNCO.COM

Face-Lit Channel Letters and Accent Lighting



Proposed Elevation - From Left Side



Proposed Elevation - From Right Side



ASSUMES:

- Reasonable ground access with a 55' boom truck
- Reasonable roof access
- Reasonable access behind the wall for the electrical
- Lag bolts will be sufficient for mounting
- Electrical will be available and ready for connection
- Special consideration must be made if there is a membrane roof.

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THIS PROOF IS FINAL UNLESS CHANGES ARE REQUESTED. THIS VERSION SUPERSEDES ALL PREVIOUS VERSIONS BY DATE AND ALL COPY WILL BE FINAL. PLEASE PROOF FOR ACCURACY, LANGUAGE AND SPELLING MISTAKES.

CONTACT: BEVEN HEBERT-LANDRY'S
PROJ. MGR.: BARBARA GRIFFEY
DESIGN: JOHN RUELAS

ZC#17-021

SALTGRASS - MANSFIELD, TX
HSC_DS PAGE 1 OF 9 SCALE: N.T.S.
DATE: 10-12-17



Sign A - Part 1 of Main Building Sign - Front Lit Channel Letters - Direct Mount Portion

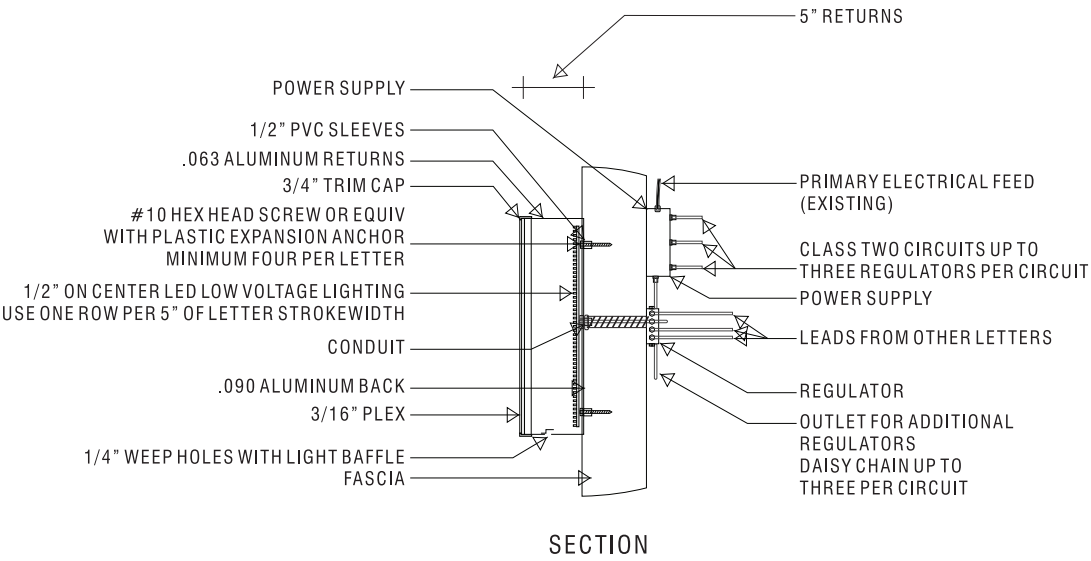
FACE = 29 SQ FT.



City of Mansfield Zoning Ordinance
Section 7199 - Regulation C-2

1 Sign per Street Frontage per individually owned lot or tract not to exceed 75% of building or store front.

THIS PORTION OF THE MAIN BUILDING SIGN IS 10'- 9" WIDE



PLEX FACED CHANNEL LETTERS WITH LED ILLUMINATION

A **NEW INTERNALLY-ILLUMINATED PLEX FACE CHANNEL LETTER DISPLAY**
SCALE 3/4" = 1'-0"

USE STANDARD ALUMINUM CONSTRUCTION w/ MATTHEWS SATIN ACRYLIC POLYURETHANE FINISH.

"SALTGRASS":
FACES USE CLEAR PLEX w/ **1st SURFACE** APPLIED RED VINYL & CUSTOM TRANSLUCENT RED OVERLAYS AND **2nd SURFACE** APPLIED 3M SCOTCHLITE RED #1172 w/ 3/4" RED TRIMCAP.
ILLUMINATE w/ RED LEDS.
PAINT 5" DEEP RETURNS RED






ELECTRICAL NOTES

Humble Sign Co. DOES NOT provide primary electrical to sign.
Power to the sign must be done by a licensed electrical contractor or licensed electrician.
Each sign must have: 1. A minimum of one dedicated 120V 20A circuit
2. Junction box installed within 6 feet of sign
3. Three wires: Line, Ground, Neutral

 SIGN TO BE UL APPROVED AND BEAR UL LABEL.

SEE ENGINEERS SPECS FOR STRUCTURAL CALCULATIONS,
VERIFY EXACT LOCATION OF SIGN PRIOR TO INSTALLATION.

Color Palette

 WHITE	 CUSTOM TRANSPARENT RED VINYL	 DURANODIC BRONZE #69
 RED #33	 HOLLY GREEN # 76	

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DESIGN: JOHN RUELAS

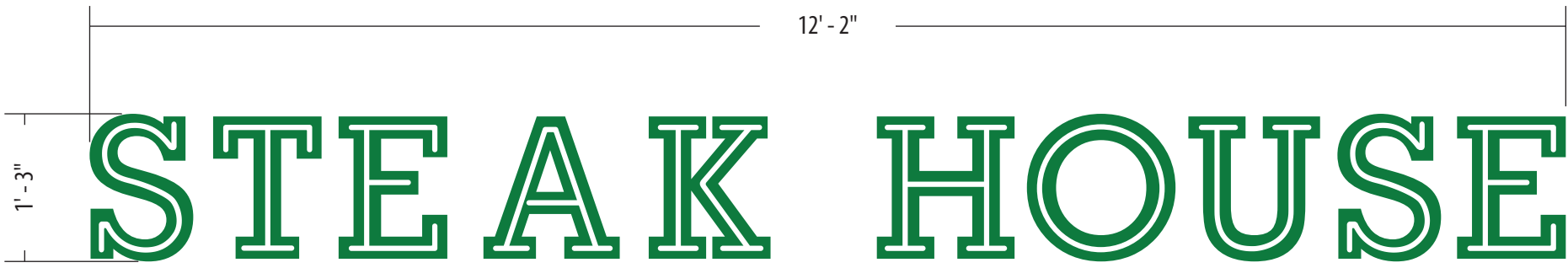
ZC#17-021
SALTGRASS - MANSFIELD, TX
HSC_DS PAGE 2 OF 9 SCALE: N.T.S.
DATE: 10-12-17

281-812-2100
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Sign B - Part 2 of Main Building Sign - Front Lit Channel Letters mounted to Aluminum Mesh welded to Sq Tubing

FACE = 17 SQ FT.

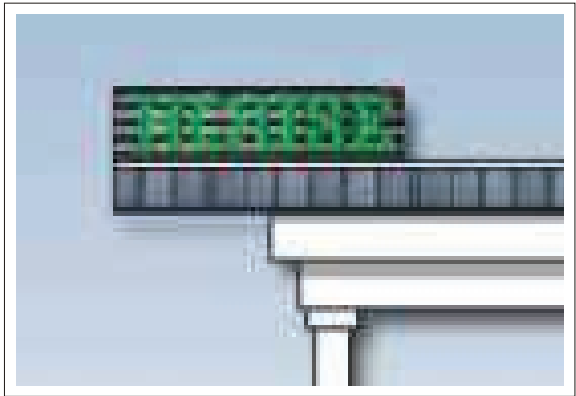
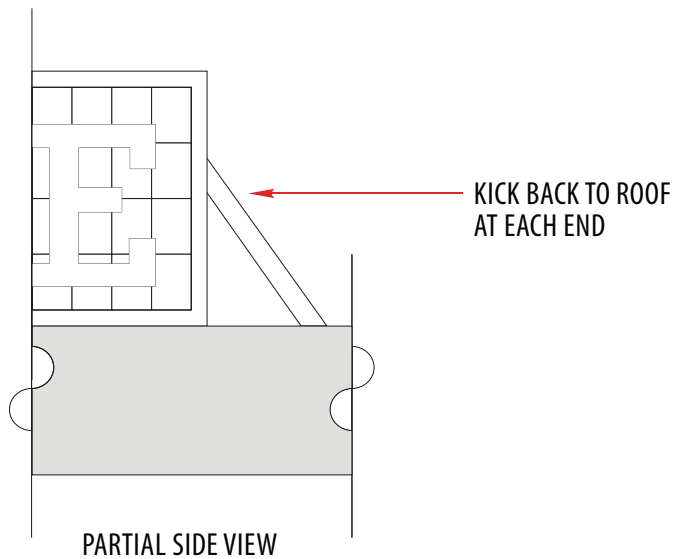
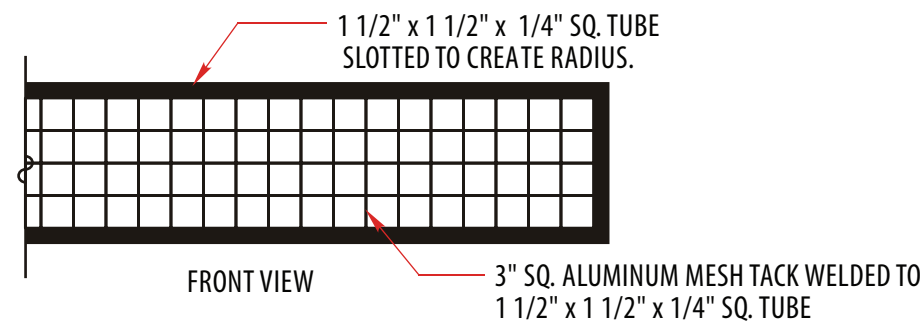


City of Mansfield Zoning Ordinance
Section 7199 - Regulation C-2

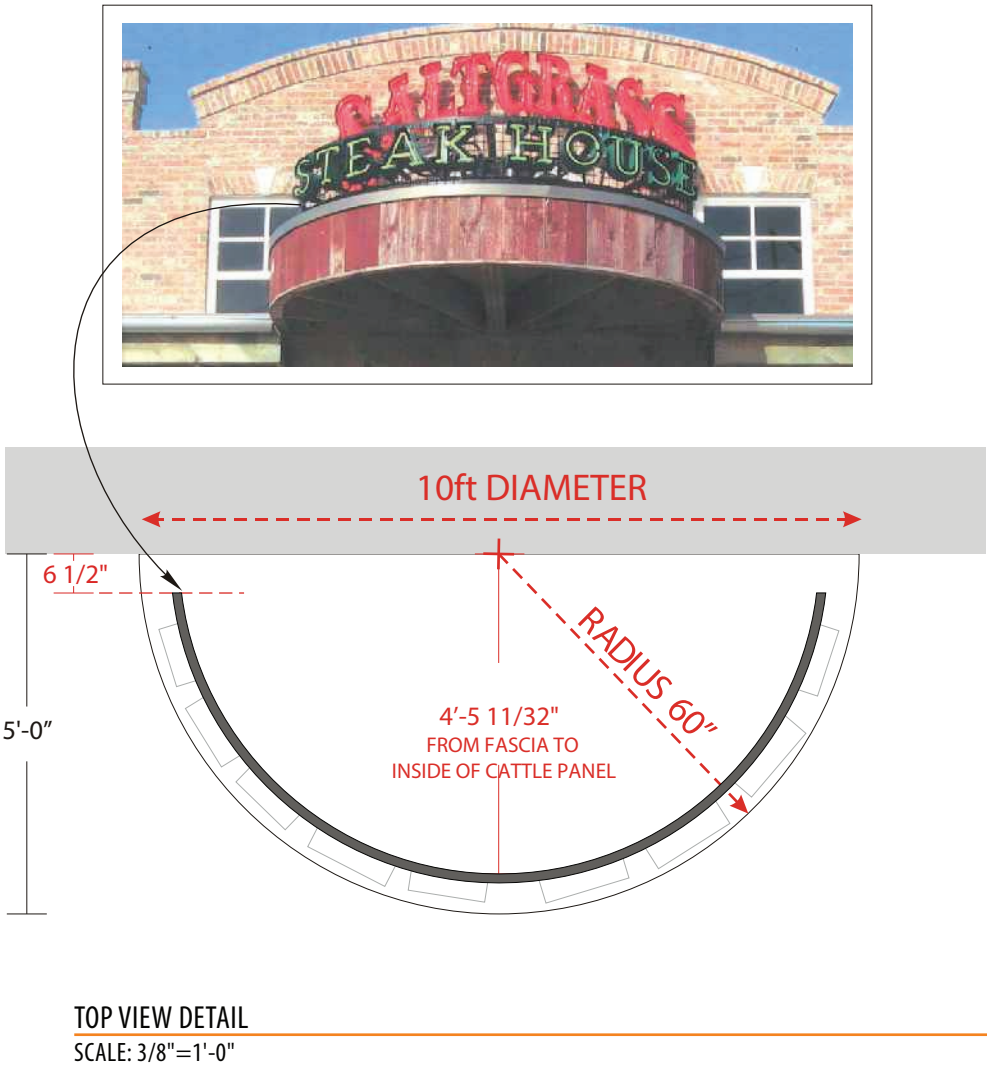
1 Sign per Street Frontage per individually owned lot or tract not to exceed 75% of building or store front.

THIS PORTION OF THE MAIN BUILDING SIGN IS 12'-2" WIDE

- B
- USE STANDARD ALUMINUM CONSTRUCTION w/ MATTHEWS SATIN ACRYLIC POLYURETHANE FINISH.
FACES USE #7328 WHITE PLEX w/ 1st SURFACE APPLIED GREEN VINYL OVERLAY & REVERSE WEEDED OUT "FAUX NEON" w/ 3/4" GREEN TRIMCAP. ILLUMINATE w/ WHITE PLASTOLED LEDS
PAINT RETURNS DURANODIC BRONZE.



PARTIAL SIDE VIEW



Color Palette

WHITE

HOLLY GREEN # 76

DURANODIC BRONZE #69

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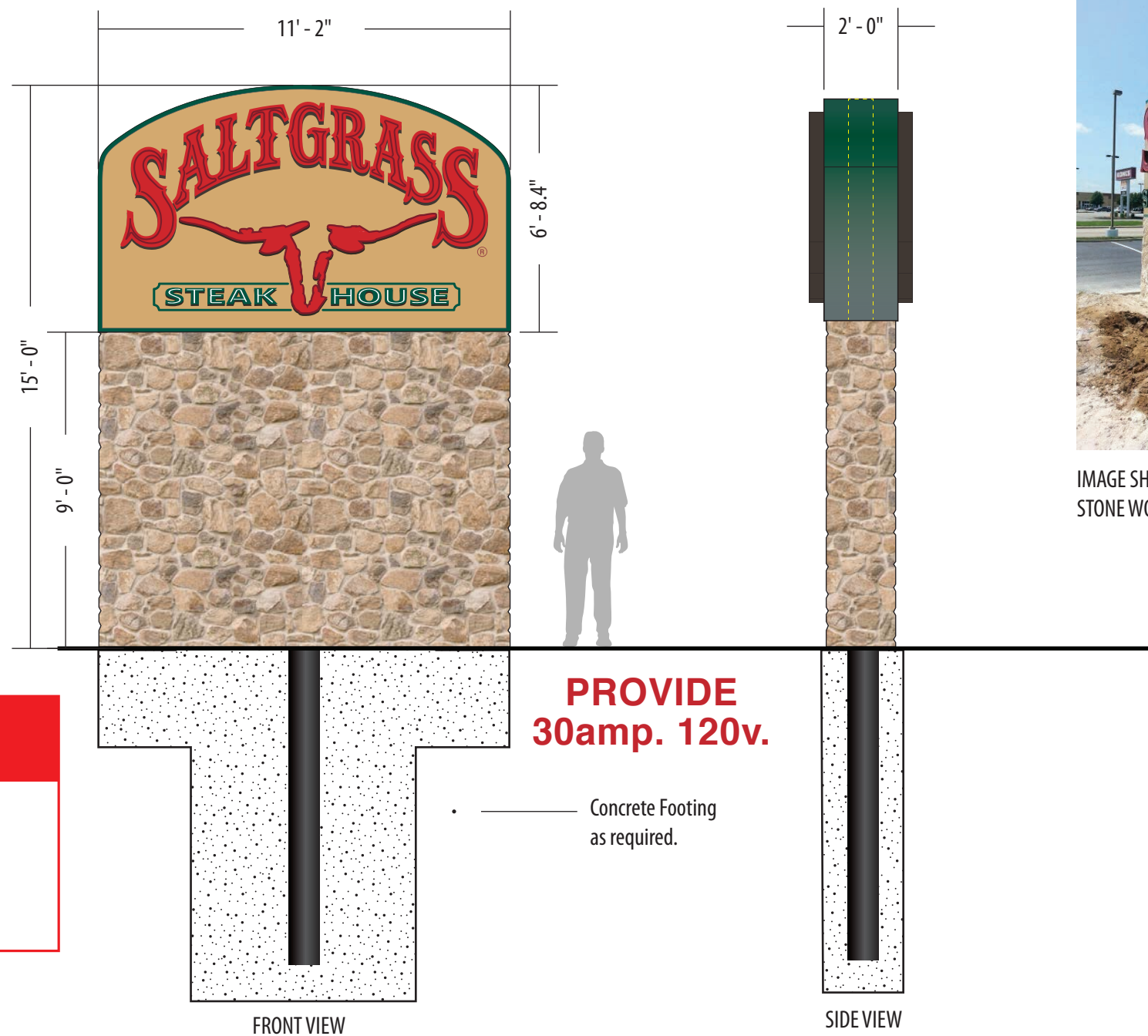
CONTACT:BEVEN HEBERT-LANDRY'S
PROJ.MGR.: BARBARA GRIFFEY
DESIGN: JOHN RUELAS

ZC#17-021
SALTGRASS - MANSFIELD, TX
HSC_DS PAGE 3 OF 9 SCALE: N.T.S.
DATE: 10-12-17

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Sign C - Double Faced Monument Sign - Single Pole Mounted



City of Mansfield
Zoning Ordinance

SIGN IS 74.8 SQ. FT
CODE ALLOWS for 75 Sq.ft

PROVIDE
30amp. 120v.

Concrete Footing
as required.

FRONT VIEW

SIDE VIEW

STONE BASE TO MATCH CHOSEN BUILDING STONE



NEW DOUBLE FACED ILLUMINATED SIGN

SCALE 1/8" = 1'-0"

USE STANDARD ALUMINUM CONSTRUCTION w/ ANGLE FRAME

SEE ENGINEERS SPECS FOR STRUCTURAL CALCULATIONS. VERIFY EXACT LOCATION OF SIGN PRIOR TO INSTALLATION.

Color Palette

	WHITE		PMS #343 GREEN		DURANODIC BRONZE #69
	AMBER GOLD 4308-0200 PASTEL DEVGUARD ALKYD INDUSTRIAL (BENJAMIN MOORE 2165-40)		RED #33		CUSTOM TRANSLUCENT RED VINYL

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IMAGE SHOWING:
STONE WORK QUALITY EXAMPLE



SIMULATED NIGHT VIEW

"SALTGRASS" & LOGO CHANNEL LETTERS
USE CLEAR PLEX FACES w/ 1st SURFACE
APPLIED RED VINYL & CUSTOM
TRANSLUCENT RED OVERLAYS AND 2nd
SURFACE APPLIED 3M SCOTCHLITE RED
#1172 w/ 3/4" RED TRIMCAP.
ILLUMINATE w/ RED LEDS

"STEAK HOUSE" CHANNEL LETTERS
USE #7328 WHITE PLEX FACES w/ 1st
SURFACE APPLIED GREEN VINYL OVERLAYS
w/ 3/4" GREEN TRIMCAP. ILLUMINATE w/
WHITE LEDS. PAINT RETURNS DURANODIC
BRONZE w/ 1st SURFACE APPLIED GREEN
INLAY VINYL. ILLUMINATE w/ WHITE LEDS

HIGH PERFORMANCE VINYL BORDER



CONSTRUCTION DETAIL

ZC#17-021

SALTGRASS - MANSFIELD, TX

HSC_DS PAGE 4 OF 9 SCALE: N.T.S.

DATE: 10-12-17

CONTACT:BEVEN HEBERT-LANDRY'S

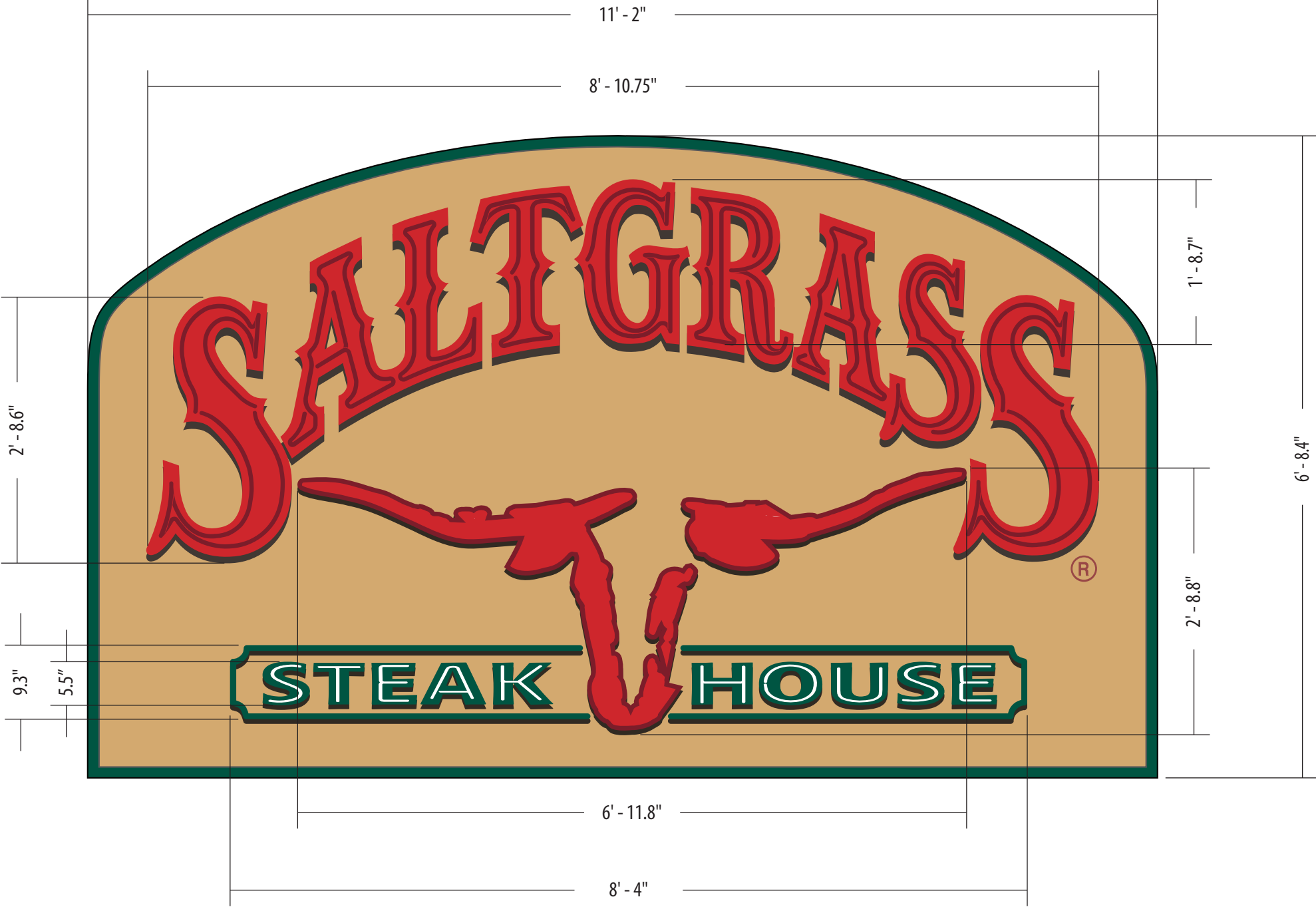
PROJ.MGR.: BARBARA GRIFFEY

DESIGN: JOHN RUELAS



Sign C - Double Faced Monument Sign - Single Pole Mounted

FACE = 74.8 SQ FT.



Color Palette

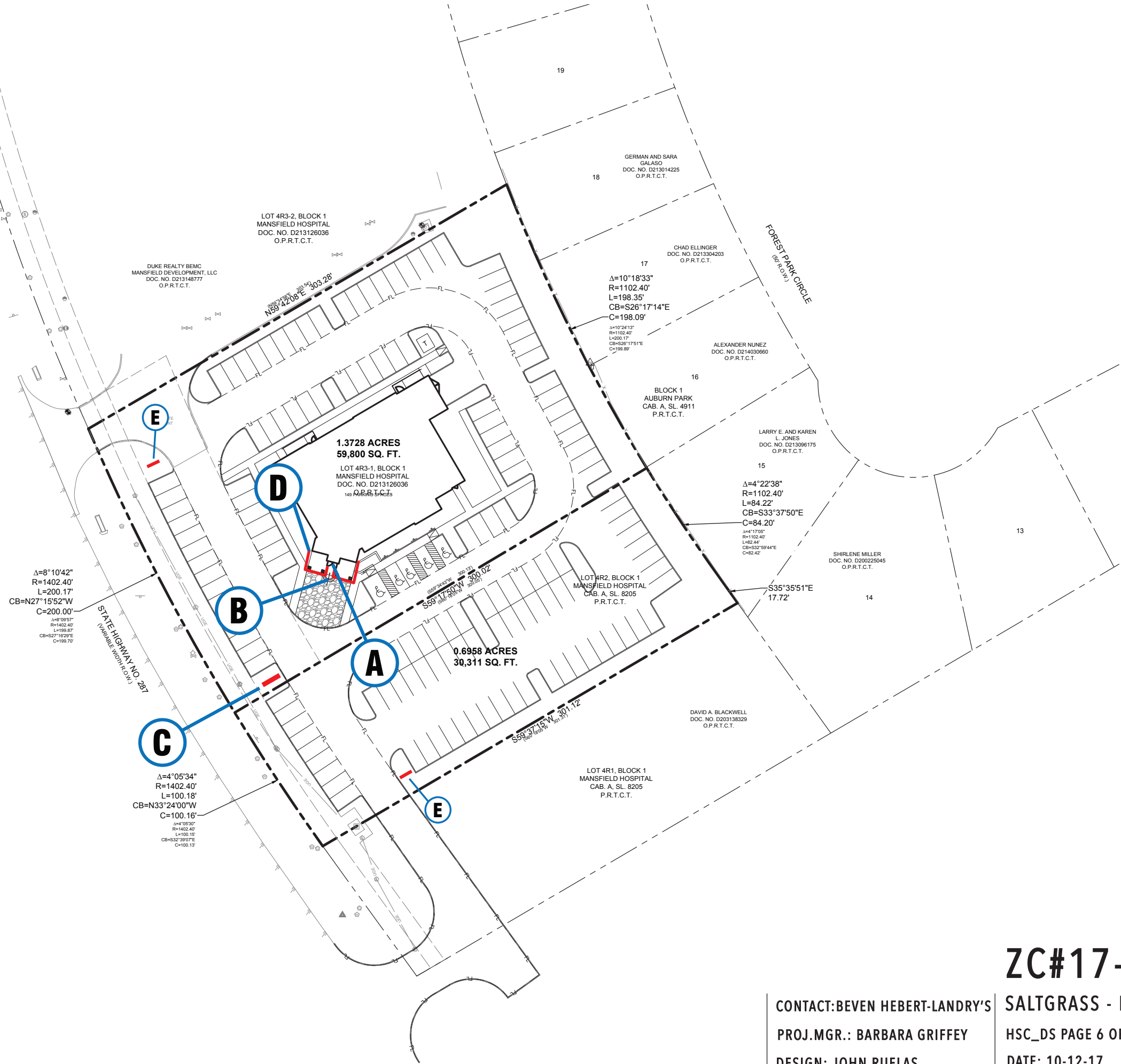
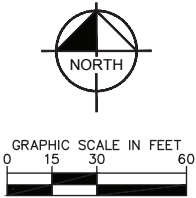
<div></div> WHITE	<div></div> PMS #343 GREEN	<div></div> DURANODIC BRONZE #69
<div></div> AMBER GOLD 4308-0200 PASTEL DEVGUARD ALKYD INDUSTRIAL (BENJAMIN MOORE 2165-40)	<div></div> RED #33	<div></div> CUSTOM TRANSLUCENT RED VINYL

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PROJ.MGR.: BARBARA GRIFFEY
DESIGN: JOHN RUELAS

ZC#17-021
SALTGRASS - MANSFIELD, TX
HSC_DS PAGE 5 OF 9 SCALE: 3/4" = 1'-0"
DATE: 10-12-17

Site Plan



ZC#17-021

CONTACT:BEVEN HEBERT-LANDRY'S
PROJ.MGR.: BARBARA GRIFFEY
DESIGN: JOHN RUELAS

SALTGRASS - MANSFIELD, TX
HSC_DS PAGE 6 OF 9 SCALE: NTS
DATE: 10-12-17

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Sign C - Street View



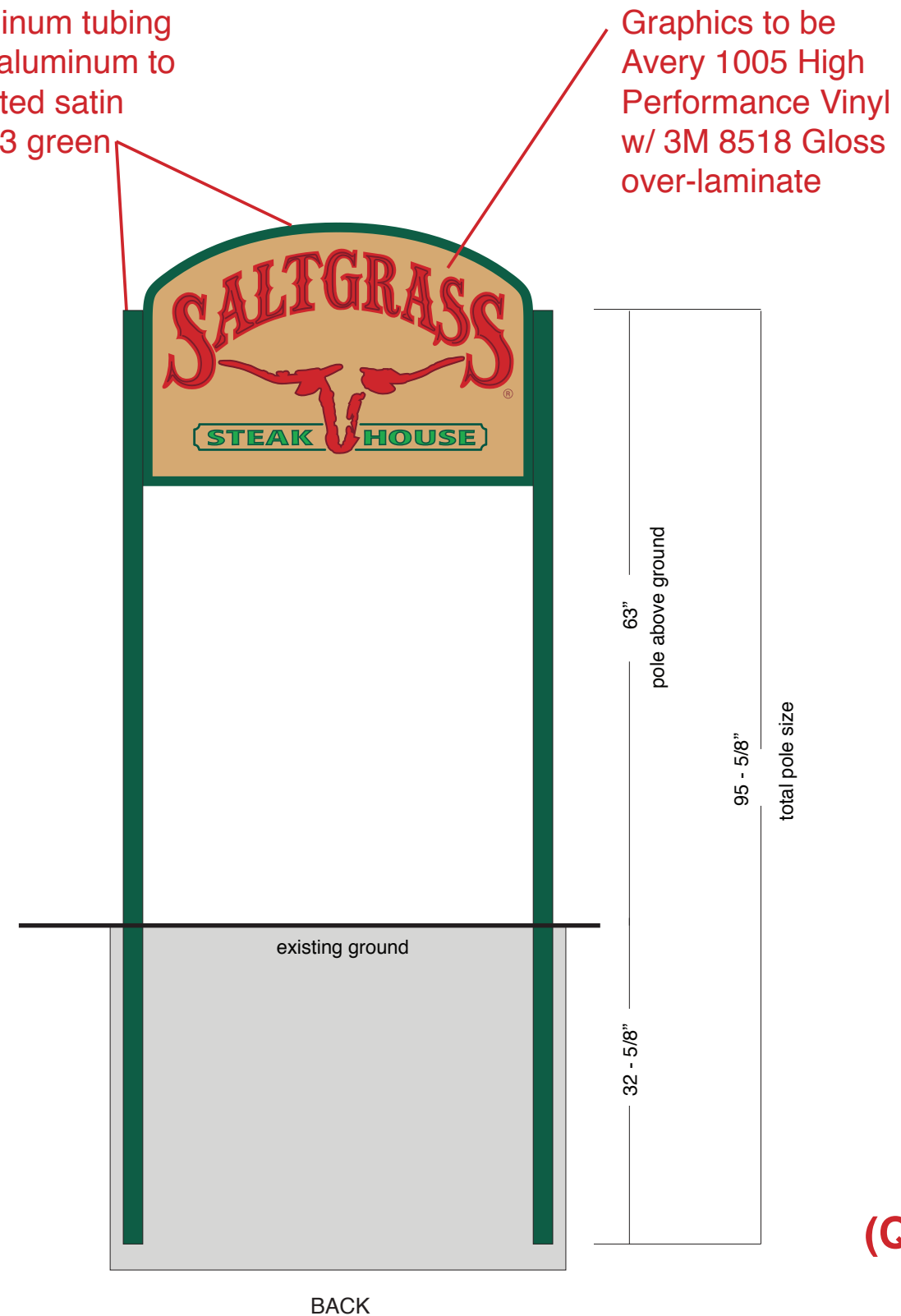
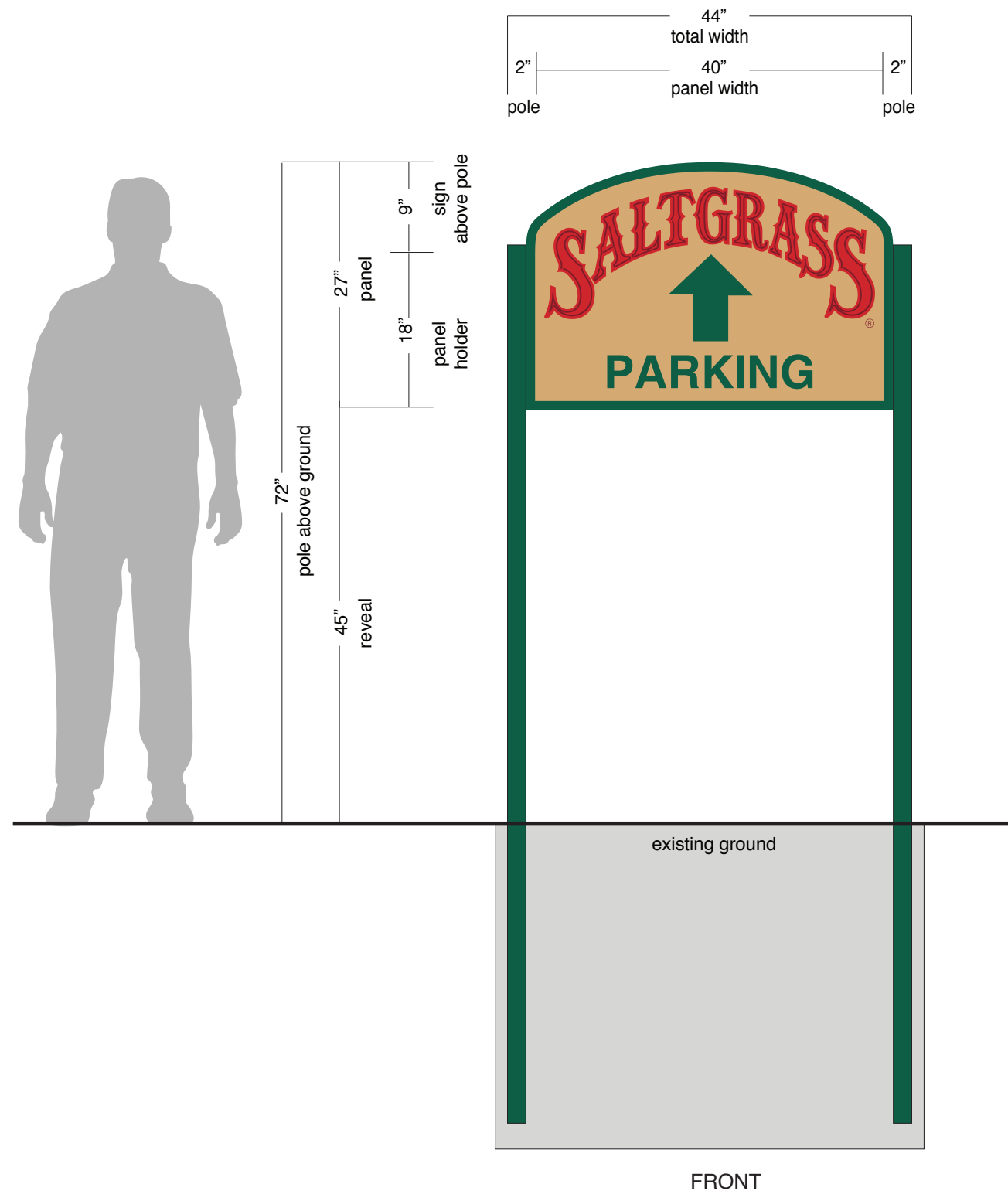
ZC#17-021

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DESIGN: JOHN RUELAS

SALTGRASS - MANSFIELD, TX
HSC_DS PAGE 7 OF 9 SCALE: N.T.S.
DATE: 10-12-17

Sign Type E - Parking - Post and Panel Sign



(QTY:2)

Color Palette



WHITE



GREEN - PMS 343



RED #33



AMBER GOLD
Benjamin Moore 2165-40



CUSTOM RED

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CONTACT: BEVEN HEBERT-LANDRY'S

PROJ.MGR.: BARBARA GRIFFEY

DESIGN: JOHN RUELAS

ZC#17-021

SALTGRASS - MANSFIELD, TX

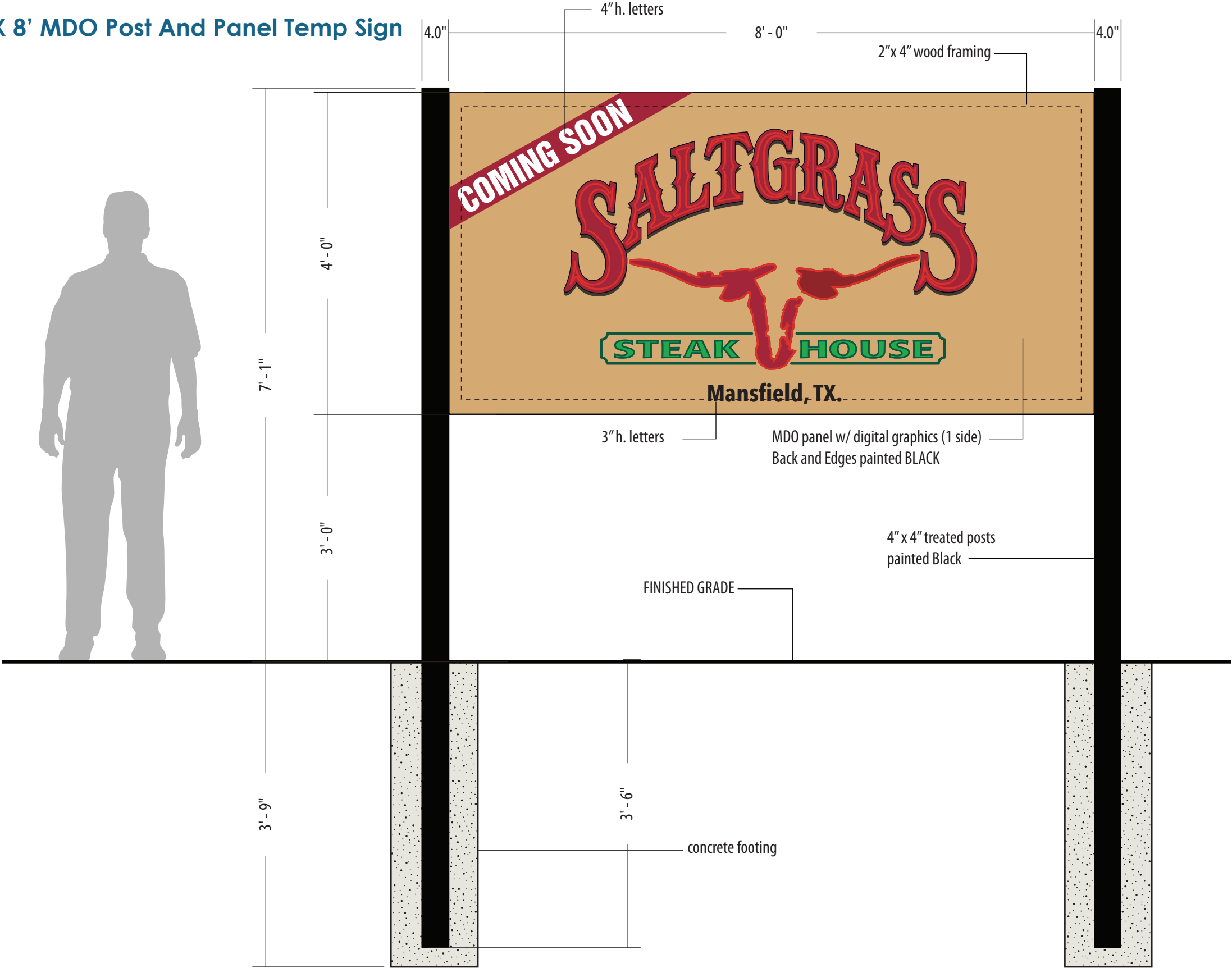
HSC_DS PAGE 8 OF 9 SCALE: N.T.S.

DATE: 10-12-17

281-812-2100
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Saltgrass - 4' X 8' MDO Post And Panel Temp Sign



Color Palette



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